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EXTERIOR COLOR PACKAGE

- Royal White
- Graphite
- Slate
- Greystone

MADISON





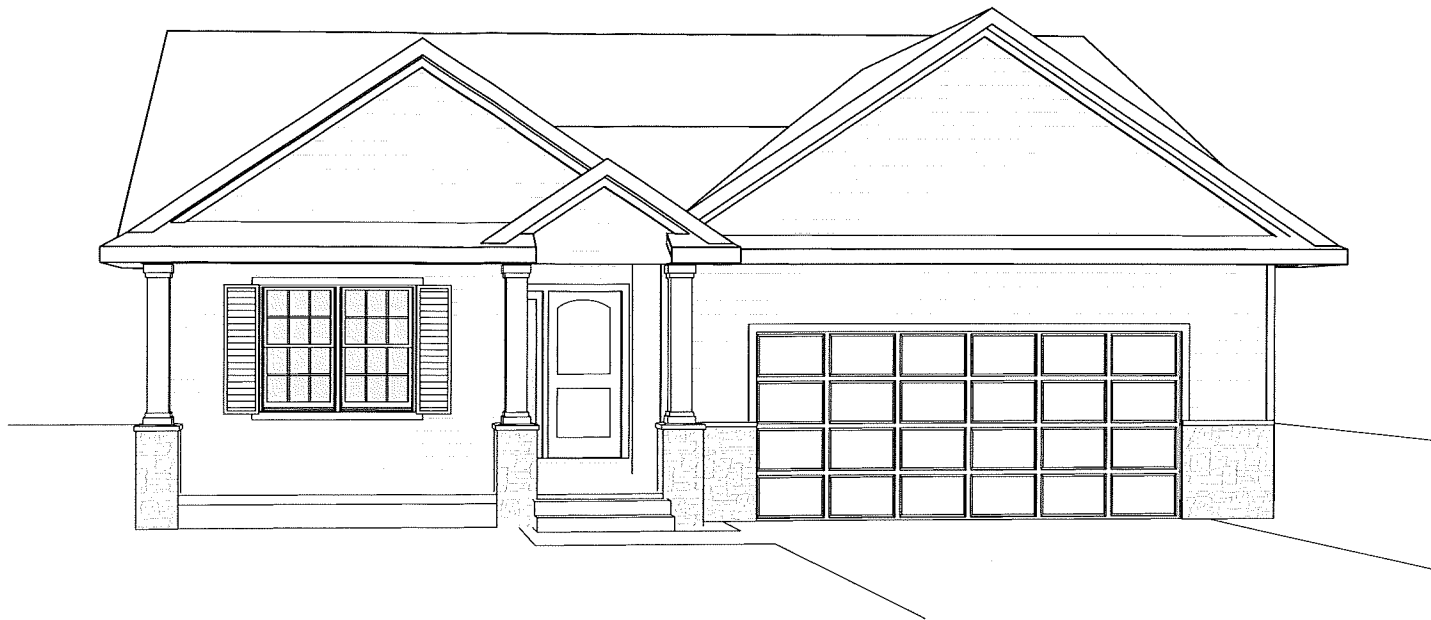
Classic Builders
Madison Base Plan
Villas at Stonehaven

DRAWING LIST

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH E-FAN
	SMOKE/HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	W.M. MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

 FROST PROOF HOSE BIB
 FLOOR LINE ABOVE
 STRUCTURAL BEAM/HEADER
OR GIRDER/TRUSS

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NOT FOR CONSTRUCTION

THESE ARE PLANS ARE CONCEPTIONAL PLANS AND HAVE NOT BEEN APPROVED AS A BID SET OR FOR CONSTRUCTION

- 1. ROOM REQUIREMENTS**
- A. CEILING HEIGHT** (205.11) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS/LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
- EXCEPTION 1: BEAMS AND GRIDS SPACED LESS THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING.
- 2. CEILING IN BASEMENT** (205.12) UNHABITABLE SPACES MAY PROJECT WITHIN A FEET 1 INCHES OF FINISHED FLOOR.
- 3. FOR ROOMS WITH SLOPED CEILING**, AT LEAST 50 PERCENT OF THE REQUIRED ROOM FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED

- | | | |
|----|--|---|
| A. | WOOD FRAMING | |
| | 1. ROOF, FLOOR, AND WALL SHEATHING | APA RATED SHEATHING. |
| | 2. WALL STUDS | MINIMUM SPF STUD OR DOUGLAS FIR LARCH STUD. |
| | 3. WALL PLATES | MINIMUM SPF STUD OR BETTER. |
| | 4. DIMENSIONAL HEADERS | DOUGLAS FIR OR BETTER. |
| | 5. LIN. HEADERS | 1999 FIVE/6 MINIMUM. |
| | 6. JOIST UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. (R502.4) | |
| | 7. THE ENDS OF EACH JOIST, BEAM OR GROUND SHALL HAVE NOT LESS THAN 15 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 6 INCHES ON CONCRETE. (R502.4) | |
| | 8. THE JOISTS SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH AISI S10.1. REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR WEB BRACING AND WALL CONNECTION OF GEDS. R502.1-3 SHOULD BE REFER TO FOR HANDLING INSTALLATION AND BRACING OF METAL PLATE TRUSSES. | |
| | 9. NO CUTS, NOTCHES AND HOLES BORED INTO TRUSSES, STRUCTURAL COMPOSITE LUMBER, GLUE LAMINATED WOODJOISTS, OR JOIST ARE PROHIBITED UNLESS THEY ARE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR THE DESIGN PROFESSIONAL. | |
| | 10. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND ROOF SPACE. (R502.1) | |
| | 11. ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R502.1.2, MINIMUM 3x4 PLANE SHEATHING. | |
| | 12. THE EXTERIOR SPANS OF GROUNDWATER PROTECTED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL MEET THE REQUIREMENTS OF SECTION R502.1.2. | |

TABLE 1		SPECIALIZED SUPPORTING						
GROUP 10 GROUP SUPPORTING		SPECIALIZED SUPPORTING						
		KE	SPN	2	3	4	5	6
FOOTER GROUP	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
FOOTER GROUP	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
FOOTER GROUP	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
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	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
FOOTER GROUP	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7
	SPN	1	2	3	4	5	6	7

[illegible]

- B. ROOM DIMENSIONS (R20.1). THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7-0 CLEAR IN ANY HORIZONTAL DIRECTION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 70 SQ. FEET. EXCEPT INTENTION (R20.2).
- C. LIGHT AND VENTILATION (R20.3) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL BE LOCATED IN ANY OF THE FLOOR AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA IS AVAILABLE TO THE PERSON FOR VENTILATION PURPOSES. IF THERE ARE NO OPERABLE WINDOWS OF 1.5 FT. IN AN AREA NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE EQUIPPED WITH EXHAUST FANS AND ARTIFICIAL LIGHT.
- D. EMERGENCY ESCAPE WINDOWS (R20.8). BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 2' BY 20" IN WIDTH (NET), 2' BY 20" HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS MUST BE INSTALLED WITH A MIN. HEIGHT OF 30 IN MORE THAN 4' ABOVE THE FLOOR. EGRESS WINDOW WALLS MUST PROJECT OUTWARD BY 3" AND PROVIDED OVER 10" WIDE, 67" NET CLEARANCE FROM THE BOTTOM OF THE WINDOW TO THE FLOOR.

SUBJECT TO CHANGE PER:						WATER	SEWER	RADIATION	FLUO	HEAT	VIBRA	ENVIRONMENTAL
DATE	BY	REVISION	DESCRIPTION	APPROVED BY	DATE	APPROVED BY	DATE	APPROVED BY	DATE	APPROVED BY	DATE	APPROVED BY
01/01/01	N/A	1	ISSUE	C	01/01/01							

C. MINIMUM LIFE LOADS, PER SBC 19C 806

ATTIC WITH LIMITED STORAGE	20 PSF	MINIMUM ROOF LIVE LOADS PER SBC 806	20 PSF
ATTIC WITHOUT STORAGE	10 PSF	ROOF TRUSS/LINE LOAD(S)	20 PSF
DECK(S)	40 PSF	GROUND SNOW(P)	30 PSF
EXTERIOR BALCONIES	60 PSF	FLAT ROOF SNOW (PT)	24 PSF
GIORGIAL AND HANDRAILS	80 PSF	THERMAL CHARGING	Q = 1.0
ROOM OTHER THAN SLEEPING ROOMS	40 PSF	TERRAIN EXPOSURE	B
SLEEPING ROOMS	30 PSF	DURATION OF LOAD-SNOW	1.15
STAIRS	40 PSF		

DEFLECTION CRITERIA

FLOOR LIVE LOAD	L400	UNBALANCED AND SNOW DRIFT LOADING	
FLOOR TOTAL LOAD	L500	ACCORDING TO ASCE 7-05	
ROOF LIVE LOAD	L200		
ROOF TOTAL LOAD	L240	WIND DESIGN METHOD:	MWFSG-C HYBRID ASCE 7-05
		EXPOSURE CATEGORY:	B

4. BUILDING REQUIREMENTS
- A. ATTIC ACCESS (R401) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 2' X 3' IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.
- B. VENTILATION (R402) PROVIDE VENTILATION TOTAL AREA OF 1 S.F. (NET) FOR EACH 100 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN SHEET.
- C. SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT, SEE SEPARATE INSTRUMENT.
- D. STAIRWAY ENCLOSURE (R310) PROVIDE STAIRWAY ENCLOSURE WITH A MINIMUM RATING OF 1 HOUR. STAIRWAY ARE TO BE A MINIMUM OF 3' WIDE (FINISHED), (R311.5.1) WITH A MINIMUM HEADROOM OF 4 FEET 3 INCHES (R311.5.2), THE MAXIMUM RISE IS 7 INCH (R311.5.3.1) WITH A MINIMUM RUN OF 11 INCH (R311.5.3.2), HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTIGUOUS RUN OF TREADS OR FLIGHTS WITH 4 GROUND FLOOR STAIRS (R311.5.3.4). STAIRS SHALL HAVE A MINIMUM OF 10 INCHES (R311.5.3.5) CLEARANCE FROM THE HANDRAILS TO THE WALLS.
- E. PROVIDE 6" GUTTERS, DOWN SPOUTS AND 24" RAIN COVERS ON EACH SIDE OF THE ROOF.

- | | | |
|----------------------------|-----------------------------------|--|
| <u>DEFLECTION CRITERIA</u> | UNBALANCED AND SNOW DRIFT LOADING | |
| FLOOR LIVE LOAD | L463 | ACCORDING TO ASCE 7-05 |
| FLOOR TOTAL LOAD | L263 | |
| ROOF LIVE LOAD | L463 | WIND DESIGN METHOD: MWFRS/C-HYBRID ASCE 7-05 |
| ROOF TOTAL LOAD | L249 | EXPOSURE CATEGORY B |
| | | CHARACTERIZATION COEFFICIENT 0.8 |

- ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA

- | D. DEAD LOADS, ANY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS. | | | |
|--|---------|------------------------------------|----------|
| <u>FLOOR TOP CHORD</u> | | <u>ROOF TOP CHORDS</u> | |
| CARPET AND PADO | 1.5 PSF | ROOFING SHINGLES (220 LBS) 2 LAYER | 4.40 PSF |
| 3/8" CERAMIC TILE 1/2" BACKER BD. | 10 PSF | 30 LBS. FELT | 0.30 PSF |
| 3/4" HARDWOOD FLOOR | 4.0 PSF | 1/2" OSB OR COM. PLYWOOD | 1.65 PSF |
| SUBFLOOR 3/4" OSB OR COM. PLYWOOD | 2.0 PSF | 1/2" ROOF TRUSS-2X4 | 1.10 PSF |
| 1/2 FLOOR TRUSS-JOIST SYSTEM | 1.5 PSF | CORRECTION FOR SLOPE (12/12) | 1.55 PSF |

- | | | | |
|----------------------------|----------|--------------------|----------|
| TOTAL WITH CARPET/PAD | 5.5 PSF | TOTAL | 9.00 PSF |
| TOTAL WITH TILE/BACKER BD. | 13.5 PSF | | |
| TOTAL WITH HARDWOOD FLOOR | 7.5 PSF | ROOF-BOTTOM CHORDS | |

- | | | | |
|-----------------------------------|---------|-----------------------------------|----------|
| FLOOR BOTTOM CHORD | | 1/2 ROOF TRUSS-2X4 | 1.10 PSF |
| 1/2 FLOOR TRUSS-KIST SYSTEM | 1.5 PSF | 5" GYPBOARD | 2.8 PSF |
| 5/8" GYPBOARD | 2.8 PSF | MINIMUM FOR MISC MECHANICAL/ELEC. | 1.5 PSF |
| MINIMUM FOR MISC MECHANICAL/ELEC. | 0.7 PSF | 16" BATT BLOWN INSULATION | 1.50 PSF |
| TOTAL | 5.0 PSF | TOTAL | 7.50 PSF |

- A. FOUNDATION/CONCRETE**
1. IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED AT [§ 81.04] AND, IF SO, CAPACITY OF TWO SPTS SHALL BE ASSUMED.
2. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI AT [§ 79.04], GRADE FLOOR JOBS SHALL BE 3,500 PSI. ALL REINFORCING BARS, CHAIRS, ETC., SHALL BE EPOXY COATED TO THE MAXIMUM PERMITTED BY [§ 60.04][§ 60.02].
3. CONCRETE SHALL BE PLACED WITH 5% TOTAL AIR CONTENT.
4. ALL FOOTING SHALL BE ENRICHED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL. MINIMUM FOOTING TO BE 1' WIDE & 1' DEEP FOR A 2 STORY BUILDING AND 1' WIDE X 1' DEEP FOR A 3 STORY BUILDING. (TABLE 403), ONE BOTH TOWARDS CONTIGUOUS HORIZONTAL AREA.
5. ALL WALLS FOR 2 & 3' IN DIAMETER SHALL EXCEED A MINIMUM OF 10" CONCRETE, USE TWO BOLTS PER SILL PLATE WITH BOLTS SPACING AT A MAXIMUM OF 1 FEET FROM CENTER WITH AN MINIMUM OF ONE BOLT NOT MORE THAN 12 INCHES FROM THE END BUT AT LEAST 1 FEET FROM END OF SILL PLATE. [§ 81.04], I.E. ALTERNATE FOUNDATION STRIPS MAY BE USED, SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR FOR 2" DIAMETER ANCHOR BOLTS.
6. ALL FOUNDATIONS SHALL BE PROPERLY CONSTRUCTED AS SET FORTH IN TABLE #403.II, REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

6. TRUSSER SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 175 POUNDS AND PER THE MANUFACTURE SPECIFICATIONS.
7. PROTECTION FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATION: BY THE USE OF A NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER. (1011.1)
8. ALL NO. 10 FRAMING THAT REST ON CONCRETE EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 4" FROM THE EXPOSED GROUND.
9. SILL AND SLEEPERS ON A CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
10. THE ENDS OF WOOD GROUND EXTERIOR CONTACT WALLS HAVING CLEARANCE OF LESS THAN 3 INCH ON TOP, SIDE AND END.
11. WOOD JOIST, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 4 INCHES FROM THE GROUND
12. ALL LUMBER IN CONTACT WITH THE GROUND, EXPOSED IN CONTACT IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES (1011.2)
13. ALL JOIST, ROST AND SUBFLOORS IN THE FOUNDATION WALL AND ROOF JOIST AND ROOF FLOOR SHALL BE INSULATED THE SAME MATERIAL FOR EXTERIOR WALLS ALL EXTERIOR CORNERS AND INTERIOR PARTITIONS TO EXTERIOR WALLS THAT ARE CLOSED OFF TO FUTURE INSULATION MUST BE INSULATED DURING FRAMING OF WALL.
14. WALL NAILING AND FASTENING SHOULD COMPLY WITH THE IRC TABLE NAY-1(1). FASTENER SCHEDULE FOR STRUCTURAL MEMBERS.
15. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A572 GRADE 50 OR EQUAL AND SHALL HAVE BRIDGE CLIPPING AT STEEL JOINTS TO RESIST LATERAL DEFLECTION.
16. FRAMING TO BE ATTACHED TO STRUCTURAL STEEL, IN ACCORDANCE WITH GOVERNING CODES.

PROJECT ID: PDS 1904

ISSUE DATE:

DATE: 05-12-15

DATE:

DATE:

DATE:

REVISIONS:

DATE:

DATE:

DATE: _____

DATE: _____

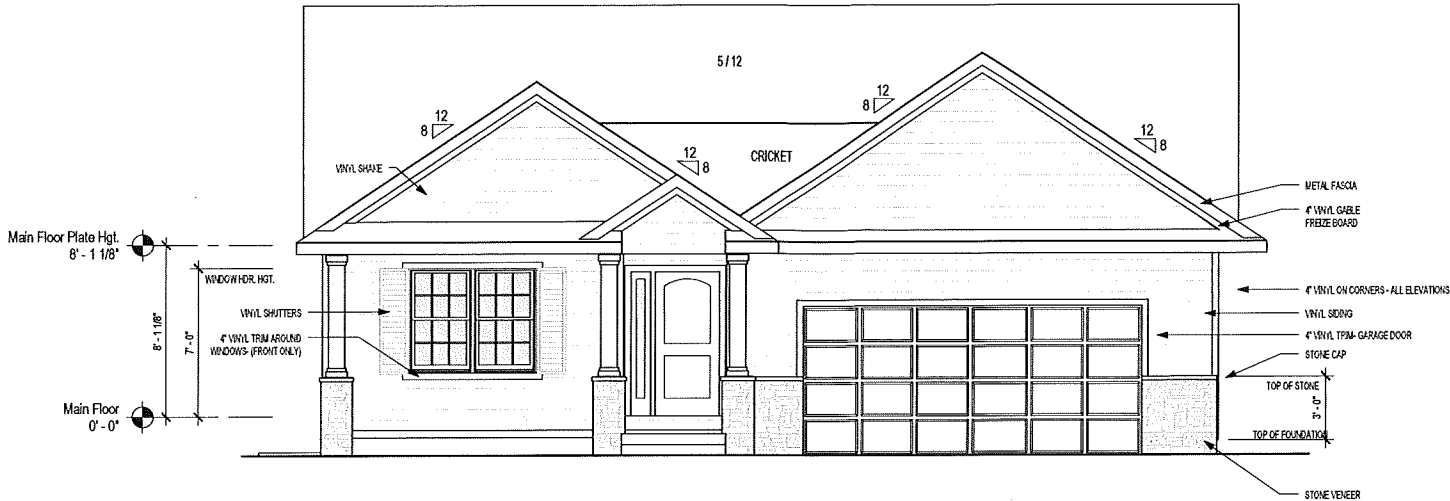
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A.0



PLUM DESIGN SERVICES
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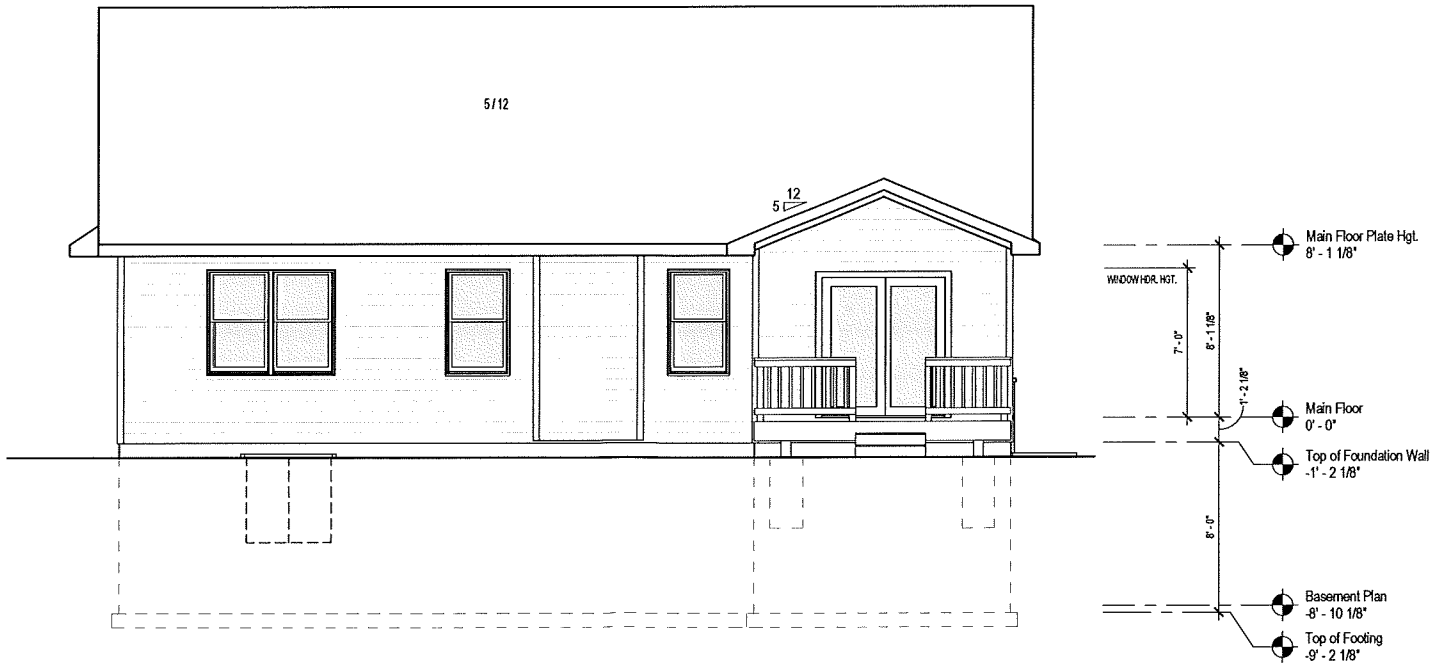
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1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED WALL CLADDING SF	
Stone Veneer	70 SF
Vinyl Siding	2323 SF

* TO USE ESTIMATE OF CLADDING AREA WITHIN 5% OF THE REPORTED SQUARE FOOTAGE OF THE WALL.
1. THE VENEER IS APPLIED BELOW THE GARAGE DOOR.
2. THE VENEER IS APPLIED WITHIN 5% OF THE WALL.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

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Madison Base Plan
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Elevations

1/4" = 1'-0"

A.1



PLUM DESIGN SERVICES
1100 ALKE'S ROAD, WAUKEE, IOWA 50263-1100
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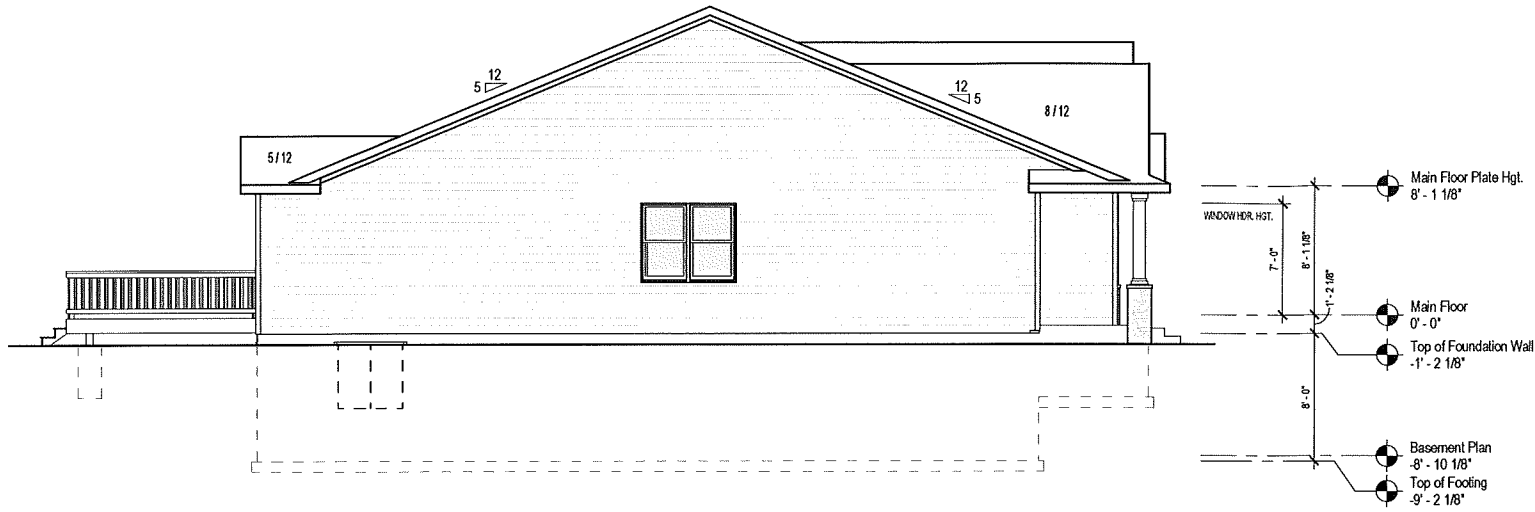
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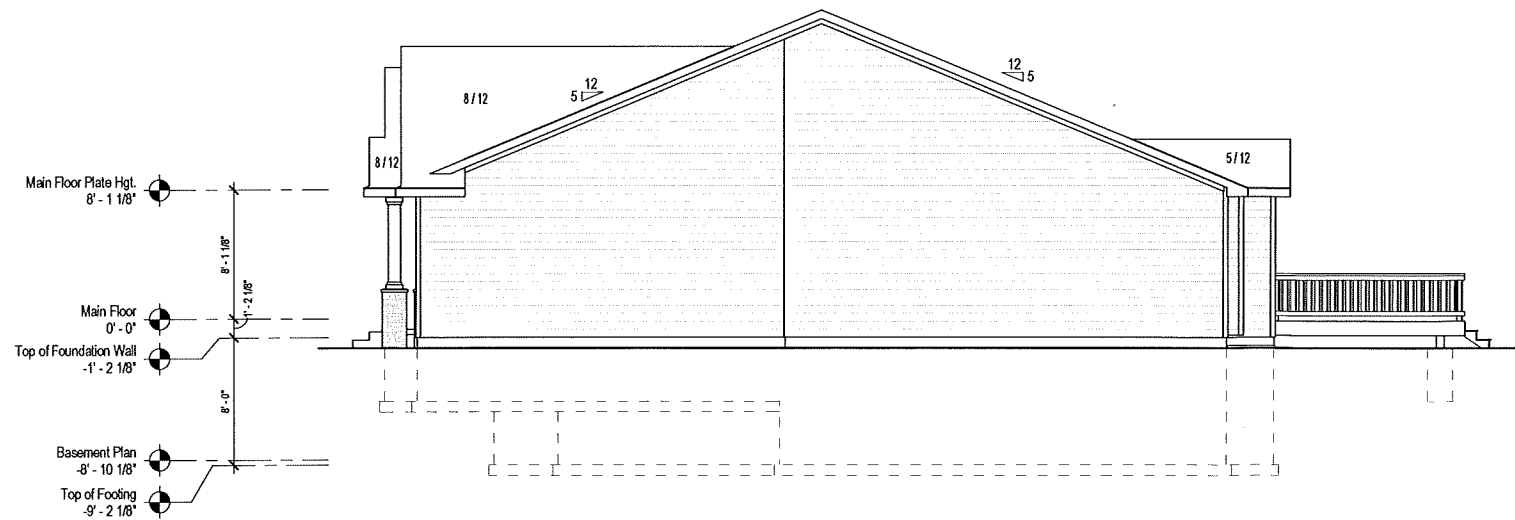
Elevations

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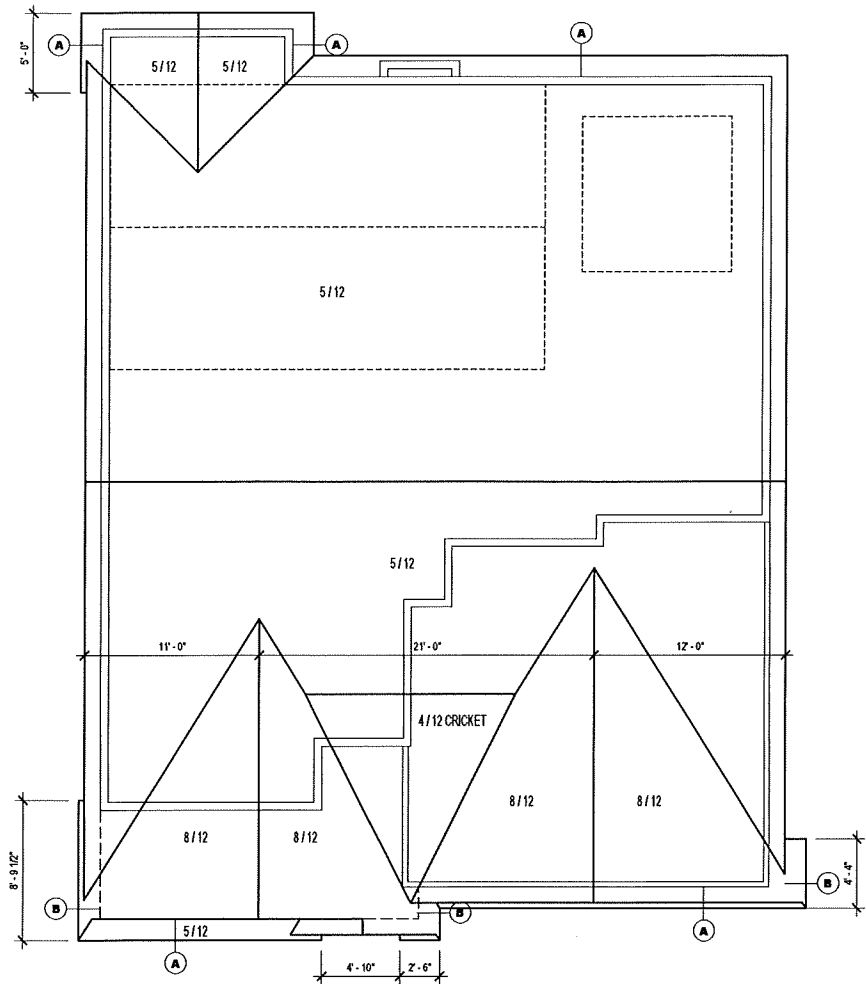
A.2



1 LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
Scale: 3/16" = 1'-0"



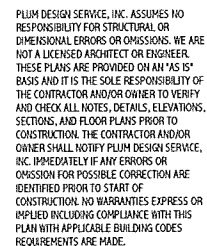
3 ROOF PLAN
Scale: 3/16" = 1'-0"

ROOF PLAN LEGEND				
SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-11 1/8"	5/12	1'-4"	7"
B	8'-11 1/8"	5/12	1'-4"	11"

ALL RAISE OVERHANGS ARE 12" UNLESS NOTED

ESTIMATED ROOF SF	
2820 SF	

1. TO APPROXIMATE OF ROOF IS TAKEN FROM THE EXPOSED SURFACE OF THE ROOF.
2. THE AREA OF CLAYERS DECK AND SURFACES BEHIND VALLEY.
3. NO ROOF DRAIN OR HATCHES INCLUDED



ADJ	ADJUSTABLE
AUN	AUNT
BTM	BOTTOM
BST	BASINETS
BTW	BETWEEN
CAN	CANISTER
CAR	CARPET
C	CENTER LINE
C.G	CENTER
C.O.	CASED OPENING
COL	COLLEGE
CONC.	CONCRETE
D	DRIVER
DIA	DIAMETER
DN	DOWN
DH	DOUBLE HUNG
DW	DEWMAN
D.O.	FLOOR JOIST
FL	FLOOR
FLR	FLOOR
FEET	FEET
FURN	FURNACE
H	HEAD
HEND	HARDWOOD
INSUL	INSULATION
JST.	JOIST
L	LAMINATED VENEER LUGGER
MAX	MAXIMUM
MIN	MINIMUM
OC	OVERHEAD
ORL	ORIENTAL
O.R.D.	OPENING DOOR
OPNG	OPENING
PEL	PEDestal
P.T.S.	NOT TO SCALE
PEF	PEDESTATOR
REQ	REQUIRED
R	ROUGH OPENING
ROI	ROOF
SH	SINGLE HUNG
S.F.R.	SHELF AND ROOF
S.F.	SQUARE FEET
SUB	SUB
STL	STEEL
STY	STYLISH
TRANS.	TRANSOM
UNEX	UNEXPOSED
VAN	VANITY
W	WASHER
WTR	WATER
W.H	WATER HEATER

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	THREE WAY SWITCH
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1. GENERAL

- A. ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2009, LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IRC 2009, THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IRC 2009. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
- B. CONTRACTOR TO CONFIRM THE SIZES, SPACINGS AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE SIZED BY OWNER/CONTRACTOR. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURE OF THE BUILD UP OF MOISTURE OR MOLD.
- C. ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- D. ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.

2 DESIGN CRITERIA

- A. BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOAD AS PRESCRIBED BY THIS CODE (R301.1)
- B. TABLE 331.2(1) IRC 2006, VALUES BASED FROM THE CITY OF DES MOINES, IOWA.

GRID ID LOC	W.D. SPED FPA	GENERIC CAPTION	SUBJECT TO DAMAGE FROM				WATER DESIGN TEMP.	ICE SHIPPER OR EQUIPMENT	FLOOD HAZARDS	W.D. FLOOD RISK	GEN. HAZARD TEMP.
			WATER TEMP.	ICE TEMP.	WIND TEMP.	SEA TEMP.					
107	51	1	SEA TEMP.	ICE TEMP.	WIND TEMP.	SEA TEMP.	4 F	12	WIND TEMP.	12	4 F

- | | | | |
|---|---------|---|--------------------|
| C. MINIMAL LIFE LOADS (R301.5) IRC 2006 | | MINIMUM ROOF LIFE LOADS (R301.6) IRC 2006 | |
| ATTIC WITH LIMITED STORAGE | 20 PSF | ROOF TRUSS LIFE LOAD (L1) | 20 PSF |
| ATTIC WITHOUT STORAGE | 10 PSF | GROUND SNOW (P) | 20 PSF |
| DECKS | 40 PSF | FLAT ROOF SNOW (Pi) | 24 PSF |
| EXTERIOR BALCONIES | 60 PSF | | |
| GUMBER AND MATERIALS | 200 PSF | THERMAL CONDITION | C1 = 1.0 |
| ROOM OTHER THAN SLEEPING ROOMS | 40 PSF | TERRAIN EXPOSURE | B |
| SLEEPING ROOMS | 30 PSF | DURATION OF LOAD-SNOW | 1.15 |
| STAIRS | 40 PSF | | |
| DEFLECTION CRITERIA | | UNBALANCED AND SNOW DRIFT LOADS | |
| FLOR LIFE LOAD | L400 | ACCORDING TO ASCE 7-10 | |
| FLOOR TOTAL LOAD | L500 | | |
| ROOF LIFE LOAD | L500 | WIND DESIGN METHOD | MAFRC-20 ACSE 7-10 |
| ROOF TOTAL LOAD | L740 | EXPOSURE CATEGORY | B |

ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA

- D. DEAD LOADS: ANY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.

FLOOR-TO-POOR CHORDS		ROOF-TO-POOR CHORDS	
CARPET AND PAD	1.5 PSF	ROOFING-SHINGLES/20 LBS/2 LAYER	4.00 PSF
1/2" TOP BALKEN/BG	10 PSF	2X10 TRUSS	2.10 PSF
3/4" HARDWOOD FLOOR	4.0 PSF	1/2" OSB OR COM-PLYWOOD	1.65 PSF
1/2" TOP TRUSS-JOIST	1.5 PSF	1/2" TOP TRUSS-2X4	1.10 PSF
		TOTAL (FOR SLOPE 10/12)	
TOTAL WITH CARPET/PAD	5.5 PSF		8.00 PSF
TOTAL WITH BALKEN/BG	15.5 PSF		
TOTAL WITH HARDWOOD FLOOR	15 PSF		
		ROOF-BOTTOM CHORDS	
		1/2" TOP TRUSS-2X4	1.10 PSF
FLOOR-BOTTOM CHORDS		5" GYPSUMBOARD	2.8 PSF
1/2" TOP TRUSS-JOIST SYSTEM	1.5 PSF	MINIMUM FOR MISC MECHANICAL/ELEC.	1.5 PSF
5" GYPSUMBOARD	2.8 PSF	1" BATTLEBOARD INSULATION	1.60 PSF
MINIMUM FOR MISC MECHANICAL/ELEC.	0.7 PSF		
	5.0 PSF	TOTAL	7.00 PSF

- ### 3. ROOM REQUIREMENTS

- A. CEILING HEIGHT (RYS.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LAUNDRY, REAR PORCHES AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION ON THE CEILING.
EXCEPTION 1: BEAMS AND GIRDERS SHALL NOT AFFECT ON CONTENT MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.
- B. CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN 6 FEET 8 INCHES OF FINISHED FLOOR.
C. FOR ROOMS WITH GLOVED DOORS TO THE CEILING OF THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING, HEIGHT OF LESS THAN 6 FEET.
- D. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 7 FEET 8 INCHES OVER THE FRONT OF THE TUB OR SHOWER. ROOM DIMENSIONS (RYS.1) THE MINIMUM CEILING HEIGHT OF THE ROOM SHALL NOT BE LESS THAN 7 FEET 8 INCHES IN ANY HORIZONTAL DIMENSION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 70 SQ. FEET. EXCEPT KITCHEN (RYS.2).
- E. LIGHT AND VENTILATION (RYS.1) HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOW SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE MINIMUM OF 3 S.F. IN AREA, NON-HABITABLE ROOMS, BATHROOMS MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT.
EGRESS: ESCAPE WINDOWS (RYS.1) BATHROOMS SHALL HAVE AN EGRESS WINDOW. HAVE AN EGRESS WINDOW THAT IS AT LEAST 57 SQUARE FEET. THE MINIMUM CEILING HEIGHT OF THE WINDOW SHALL HAVE A MINIMUM HEIGHT OF AT LEAST 57 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A BALL BEARING OF NO MORE THAN 4 INCHES ABOVE THE FLOOR. EGRESS WINDOW SHALL PROJECT A MINIMUM OF 36" AND PROVIDE OVER 20 SQ. FT. OF NET AREA. EGRESS AREA SHALL BE AT LEAST 57 SQUARE FEET.

4. BUILDING REQUIREMENTS

- A. ATTIC ACCESS (R407) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 2' X 3' IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 3' OF CLEAR HEAD SPACE.
- B. ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.0 S.F. PER EACH 150 S.F. OF ATTIC AREA. THE VENTS MUST BE LOCATED AT LEAST 12" ABOVE THE CEILING.
- C. SMOKE ALARMS ARE REQUIRED IN ALL SLEEPING AREAS, IN ALL BATHS, AND IN ALL BEDROOMS, AND IN ALL EGRESS AREAS. IF THE BASEMENT, ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT, SEE BUILDING DEPARTMENT. SMOKE ALARMS MUST BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK (P111.5). STAIRWAY ARE TO BE A MINIMUM OF 3" WIDE (FINISHED) (R111.5), WITH A MINIMUM HEADROOM OF 6 FEET 8 INCHES (P111.5.2). THE MAXIMUM RISER IS 7" (P111.5.1.3) WITH A MINIMUM RISE OF 1" (P111.5.1.2). HANDRAILS SHALL BE PROVIDED ON EACH DOWN SIDE OF EACH CONTINUOUS RUN OF STAIRS OR FLIGHT WITH 4 OR MORE RISERS (P111.5.6). HANDRAILS SHALL HAVE A MINIMUM CLEARANCE OF 36" FROM THE WALL (P111.5.6.1).
- D. PROVIDE DOOR, OUTLETS, DOWN PIPES, AND SINKS/UBS AS NECESSARY.

5. FOUNDATION CONCRETE

- A. IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNUSUAL SOIL CHARACTERISTICS, THE FOUNDATION SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. RAINI 4.4.10. SOIL CAPACITY OF 2000 PSF IS ASSUMED.
- B. CONCRETE SHALL BE PLACED IN ONE LIFT PER 4" OF THICKNESS. THE MAXIMUM ALLOWABLE SLAB FLOOR FINISH TO THE TOP OF THE FOUNDATION SHALL BE 4" BELOW THE FINISH FLOOR FINISH.
- C. AT 14 DAYS POST-CAST, CONCRETE SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3.50 mg/L (3.0% Ca(OH)_2) CONCENTRATION. CONCRETE SHALL BE AIR ENTRAINMENT WITH 5%-%10 AIR CONTENT.
- D. ALL FOOTING SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACT FILL. MINIMUM FOOTING TO BE 12" WIDE X 12" DEEP FOR A 1 STORY BUILDING AND 18" WIDE X 18" DEEP FOR A 2 STORY BUILDING. ALL FOOTING TO BE 12" BOTH WITH A CONTINUOUS HORIZONTAL #4 REBAR.
- E. ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 10" INTO CONCRETE. USE TWO BOLTS PER ANCHOR. THE MINIMUM SPACING BETWEEN ANCHORS SHALL BE 12" ON CENTER. THE MINIMUM SPACING BETWEEN ANCHORS SHALL BE 12" INCHES FROM THE END BUT AT LEAST 13" INCHES FROM THE END OF SLAB. REBAR #3, 4.4.10.6, ALTERNATE FOUNDATION STRIPS MAY BE USED, SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 1/2" DIAMETER ANCHOR BOLTS.
- F. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE RAINI 4.4.10.6.1. REFER TO TYPICAL WALL SECTION FOR ANCHOR SPECIFICATIONS.

- ## 5. WOOD FRAMING

- | | | |
|----|--|--|
| A. | ROOF, FLOOR AND WALL SHEATHING | APRATED SHEATHING |
| B. | WALL STUDS | MINIMUM SP STUD OR DOUGLAS FIR LARSON STUD |
| C. | WALL PLATES | MINIMUM SP STUD OR BETTER |
| D. | DIAGONAL BRACERS | DOUGLAS FIR OR BETTER |
| E. | LVL HEADERS | 3500 PSI MINIMUM |
| F. | JOIST UNDER PLATING. BRACING PARTICES SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD, (50%2) | |
| G. | JOIST BRACING: EACH RIGID, BEAM OR CROSS BRACE SHALL HAVE LESS THAN 15 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 8 INCHES ON CONCRETE. (50%2) | |
| H. | WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ACHS/ITR. REFERS TO THE NOMINAL TRUSS DESIGN DRAWINGS FOR WEB BRACING AND WALL CONNECTION. JOIST BRACING 20% 143 | |
| I. | SHOULD BE USED FOR FLOOR BRACING IN WALLS OF WOOD OR METAL PLATE TRUSSES | |
| J. | NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES, STRUCTURAL COMPOSITE LUMBER, GLUE LAMINATED TIMBERS, OR JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN OF PROFESSIONAL. (50%2) | |
| K. | THE ROOF TRUSS SHALL BE PROTECTED FROM ALL CONCEALED DRAFT CRYING BOTH VERTICAL AND HORIZONTAL, AND TO FORM AN EFFECTIVE PRECIPITATION BARRIER BETWEEN, AND BETWEEN TOP STORY AND ROOF SPACE. (50%2) | |
| L. | ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION 102.12. MINIMUM 3/4" PANEL SHEATHING. | |
| M. | THE ALLOWABLE SPANS OF GIRDERS/BEAMS PARALLEL FROM DIAGONAL MEMBER ON EXTERIOR WALLS SHALL BE THE LESSOR OF THE FOLLOWING: | |

[illegible][illegible]

14. TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTIONS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 115 POUNDS AND NOT PER THE MANUFACTURER SPECIFICATIONS.
15. PROTECTION FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATION BY THE USE OF NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER. (011912)
 - A. ALL WOOD FRAMING THAT REST ON CONCRETE EXTERIOR FOUNDATION WALLS AND ARELESS THAN 6" FROM THE EXPOSED GROUND.
 2. SELLS AND SLEEPERS ON A CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
 3. THE ENDS OF WOOD GROUND EXTENDING EXTERIOR CONCRETE WALLS HAVING A CLEARANCE OF LESS THAN 6 INCH ON TOPS, SIDES AND ENDS.
 4. WOOD JOISTS, SLEEPING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND
16. ALL LUMBER IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE OR IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES (011912)
 - A. SHALL BE OAK, BOST SPECIES BETTER TO THE QUALITY OF THE EXTERIOR WALLS AND FLOORING OF THE WALL SHALL BE OF THE SAME WATER USED FOR EXTERIOR WALLS. ALL EXTERIOR CORNERS AND INTERIOR PLATIONS TO EXTERIOR WALLS THAT ARE CLOSED OFF TO FUTURE INSULATION SHALL BE INSULATED DURING FRAMING OF WALLS.
17. ALL NAILING AND FASTENING SHOULD COMPLY WITH THE IRC TABLE NAY3 (1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS
7. STRUCTURAL STEEL
 - A. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A992 GRADE 50 OR EQUAL AND SHALL HAVE BRIDGE CLIPPING PLATES ON CENTER TO RESIST LATERAL DEFLCTION.
 - B. ALL FRAMING TO BE ATTACHED TO STRUCTURAL STEEL, IN ACCORDANCE WITH GOVERNING CODES.

Classic Builders
Madison Base Plan-B
Villas at Stonehaven

PROJECT ID: PDS 3006

ISSUE DATE:

DATE: 05-12-15

DATE: 11-13-15

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DATE: _____

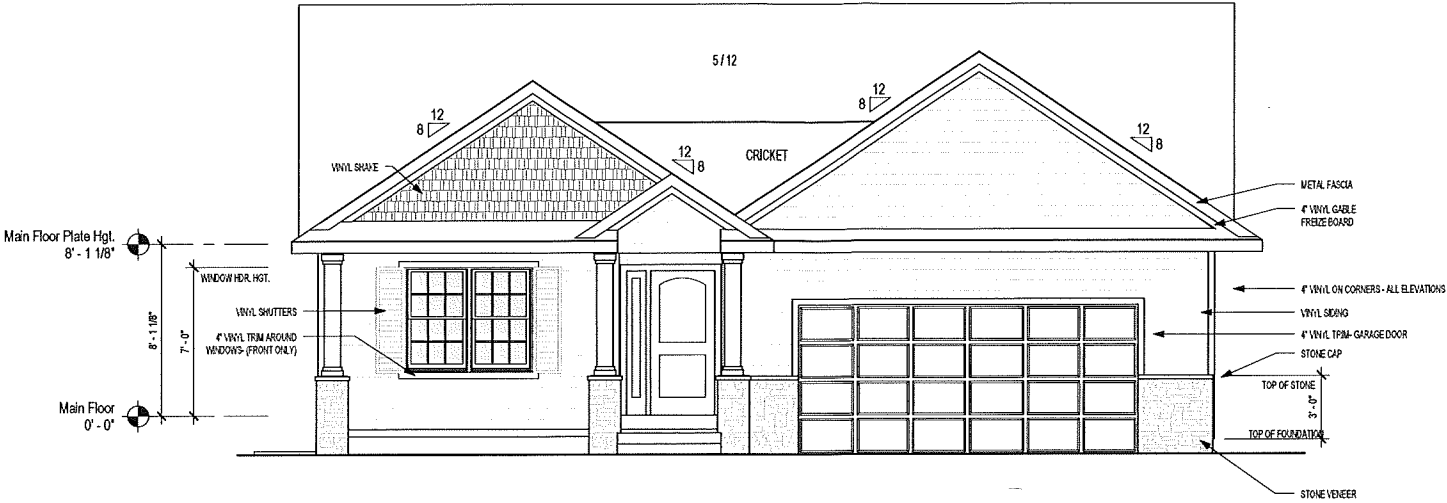
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Cover Page
As indicated

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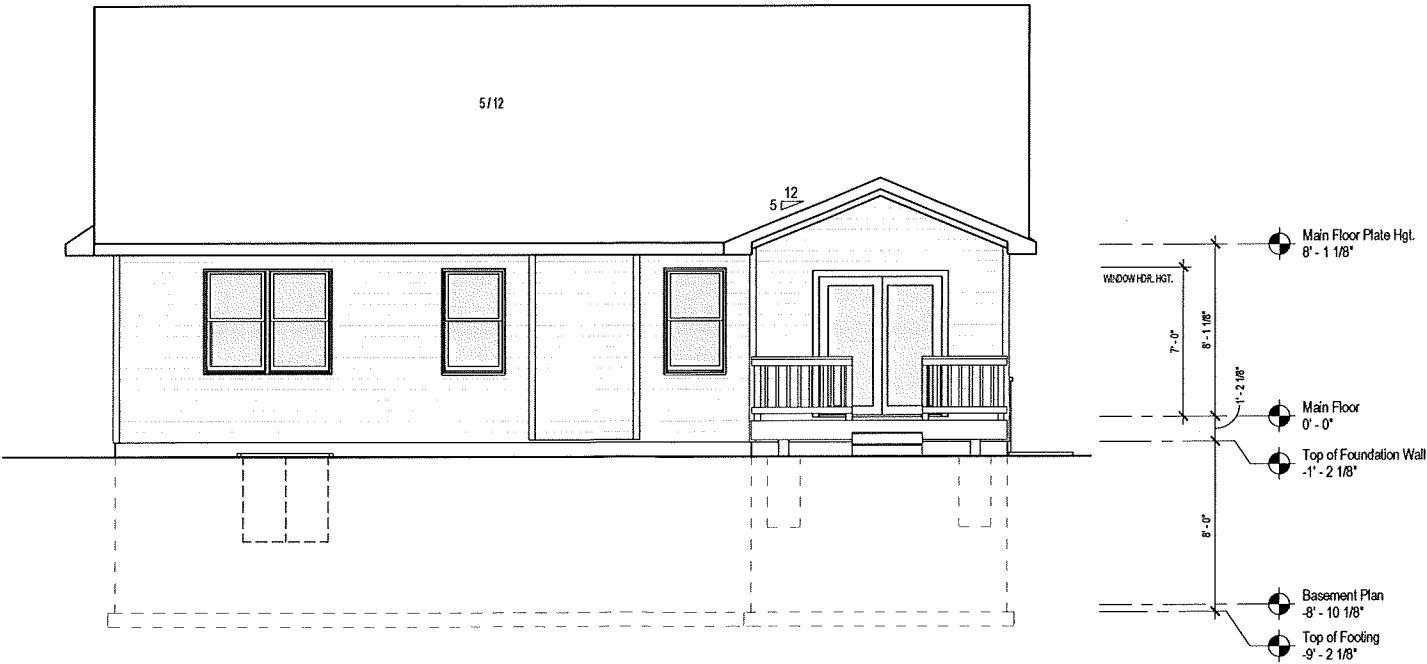
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1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED WALL CLADDING SF	
Stone Veneer	70 SF
Vinyl Shake Material	61 SF
Vinyl Siding	2282 SF

* SQUARE FOOTAGE OF COVER CLADDING IS IN ADDITION TO THE EXPOSED SURFACE OF THE WALL.
1. THE AREA INCLUDES SURFACE BELOW WINDOW SILL LINE.
2. THE AREA INCLUDES AREA IN GUTTER VENTS ETC.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

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Elevations
1/4" = 1'-0"



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Classic Builders
Madison Base Plan-B
Villas at Stonehaven

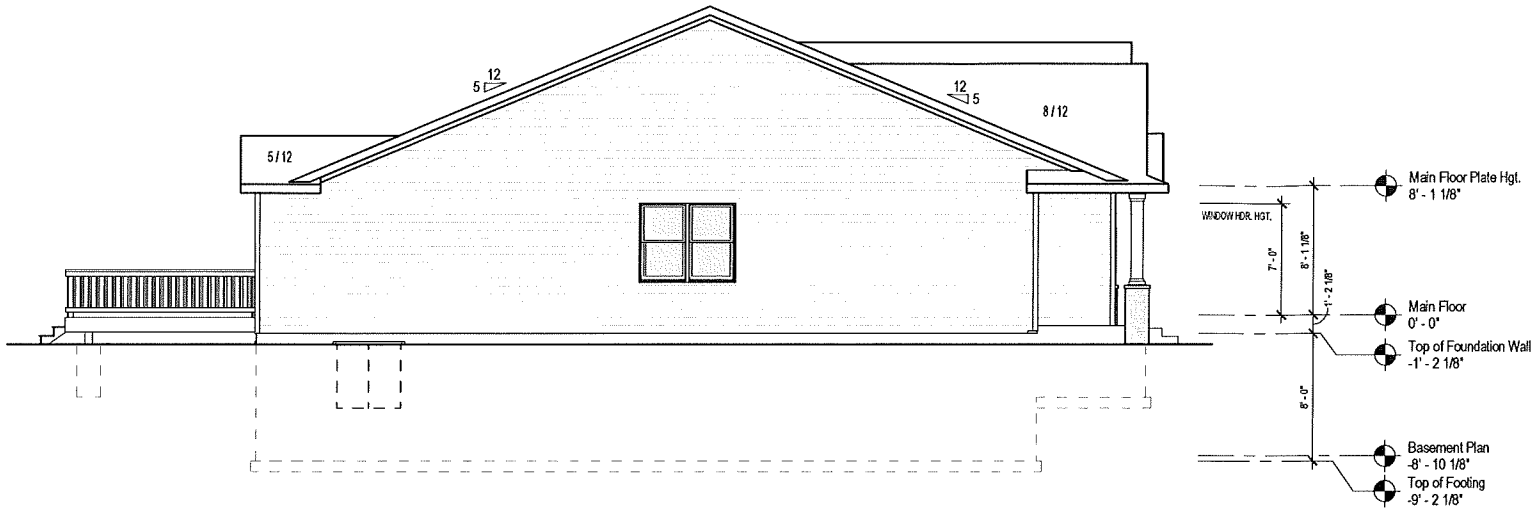
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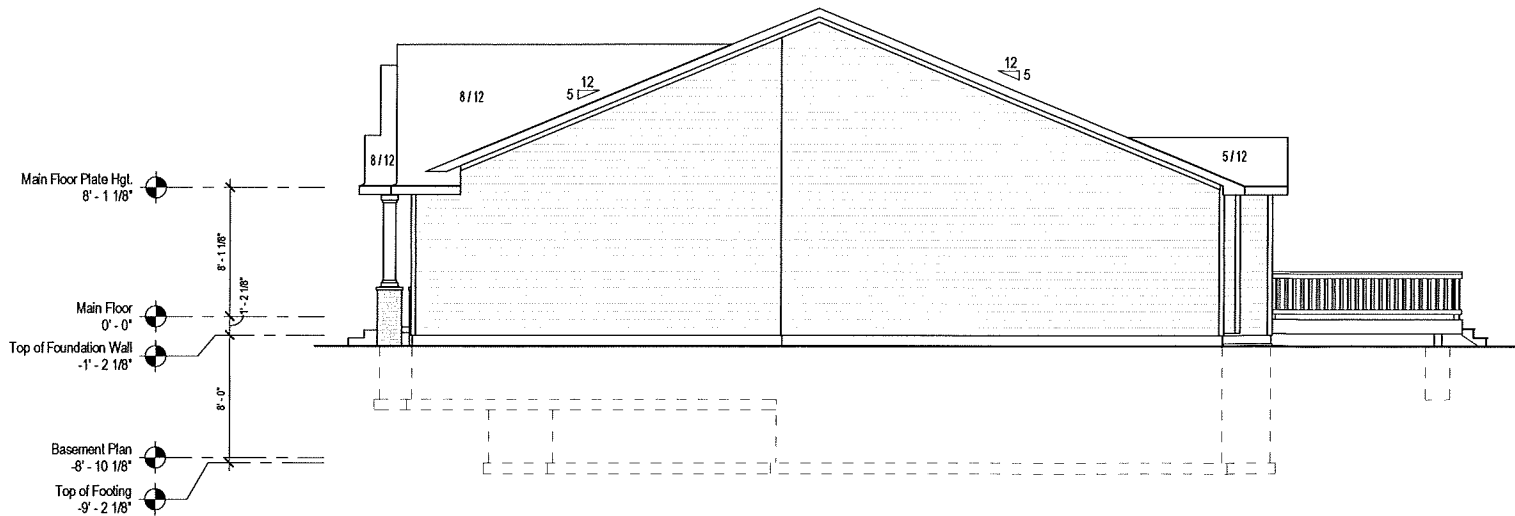
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Elevations
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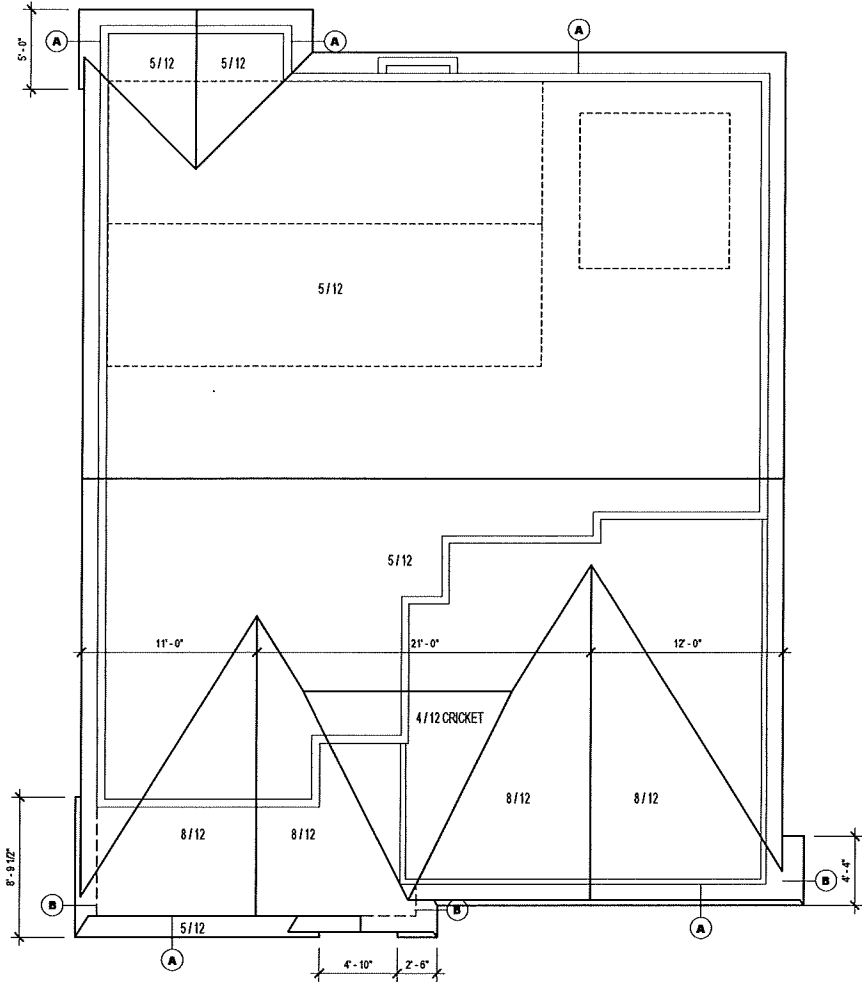
A.2



1 LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
Scale: 3/16" = 1'-0"



3 ROOF PLAN
Scale: 3/16" = 1'-0"

ROOF PLAN LEGEND				
SYMBOL	WALL HGT.	PITCH	OVERHANG	FEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	8/12	1'-4"	11"

ALL RAKE OVERHANGS ARE 12" UNLESS NOTED

ESTIMATED ROOF SF	
2820 SF	

* SQUARE FOOTAGE OF ROOF IS IN BLUE ON THE EXPOSED SURFACE OF THE ROOF.
1. THE AREA OF THE ROOF IS NOT INCLUDED IN THE TOTAL AREA.
2. NO RAKE OVERHANGS ARE INCLUDED.

ADJ	ADJUSTABLE
AKN	AKING
BTW	BOTTOM
BTW	BACINET
BTW	BETWEEN
CAS	CASEMENT
CANT.	CANTILEVER
CA	CABINET
	CENTER LINE
CLG	CEILING
CLD	CLOSED
COL	COLUMN
CONC.	CONCRETE
	D RIVER
DA	DAUNTER
DI	DOUBLE HUNG
DW	DRYSPRAYER
F.D.	FLOOR DRAIN
FL	FLOOR
FL	FEET
FURN	FURNACE
HER	HERRER
HWD	HARDWOOD
INST.	INSTAL
JSTL	JUNCTION
	LONGER VONDER LINGER
LN	LINE
MAX	MAXIMUM
ML	MODUM
OC	ON CENTER
O.H.D.	OVERHEAD DOOR
OPED.	OPENING
PE	PENALTY
REF	REFRIGERATOR
REF	REFRIGERATED
RM	ROOM
SH	SINGLE HUNG
S.R.R.	SHEET AND ROD
S.F.	SQUARE FEET
SP	SUMP PIT
STL	STEEL
TRAP	TRAP
UNEX.	UNEXCAVATED
VAN	VANITY
W	WASHER
W	WATER
WH	WATER HEATER

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH H.E. FAN
	SMOKE/HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	W.M. MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

 FROST PROOF HOSE BIB
 FLOOR LINE ABOVE
 STRUCTURAL BEAM/HEADER
OR GIRDER TRUSS

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering

[illegible]

A. CEILING HEIGHT (R515.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LANDINGS/LOUNGS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.

EXCEPTION 1: BEAMS AND CORPUSES SHALL NOT AFFECT OR EXCEED ANY PROJECT OR SET BACK MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.

B. CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN A FEET 8 INCHES OF FINISHED FLOOR.

C. FOR ROOMS WITH A CEILING HEIGHT OF AT LEAST 7 FEET, THE ROOM SHALL NOT BE LESS THAN 7 FEET FROM THE ROOMST MAT HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED ROOM AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET.

D. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 8 FEET IN ROOMS OVER THE FRONT OR THE REAR PORCHES (R511.4). THE MINIMUM CEILING HEIGHT OF THE REAR PORCH SHALL NOT BE LESS THAN 7 FEET CLEAR IN ANY HORIZONTAL DIMENSION, THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 70 SQ. FEET. EXCEPT IN ROOMS.

E. LIGHT AND VENTILATION (R511.1) HABITABLE ROOMS, ROOMS, HALLWAYS, LIGHT AND VENTILATION REQUIREMENTS SHALL BE LESS THAN 7 FEET FROM THE FLOOR AREA OF EXPOSURE TO THE REQUIRED VENTILATION AREA SHALL BE OBTAINABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 3.5 SF IN AREA, NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT.

F. EMERGENCY ESCAPE WINDOWS (R511.1) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW WITH AT LEAST 5.7 SQ. FT. OF MINIMUM OPENING AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A MINIMUM HEIGHT OF 20 INCHES ABOVE THE FLOOR. EGRESS WINDOW WALLS MUST PROJECT A MINIMUM OF 3" AND PROVIDED OVER NO MORE THAN 20". IF ONE OR MORE WINDOWS ARE REQUIRED IF THE WALL IS 10' OR 4" DEEP. DEPENDS DOWN A MAX OF 1" OF WIDE.

BUILDING REQUIREMENTS

A. ATTIC ACCESS (R511.1) PROVIDE ACCESS TO THE ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 2' X 3' IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.

B. ATTIC VENTILATION (R511.1) PROVIDE AT LEAST 1 SQ. FT. OF VENT FOR EACH 150 SQ. FT. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN SHEET.

C. SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACES OF THE BASEMENT, SEE THE EXISTING DRAWING FOR ALARM LOCATIONS. ALARMS SHALL BE INSTALLED WITHIN 10' OF EACH BEDROOM OR STAIRWAY ARE TO BE A MINIMUM OF 3" WIDE, FINISHED (R511.5.1) WITH A MINIMUM HEADROOM OF 8 FEET 8 INCHES (R511.5.2), THE MAXIMUM SPACING IS 37' 3" (R511.5.3.1) WITH A MINIMUM RUN OF 17' (R511.5.3.2) AND/OR SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH SPACIOUS BLOCK OF TREADS OR RISES BETWEEN 4 ON MORE STAIRS (R511.5.3.4). FLIGHT HANDRAILS SHALL NOT HAVE A MAXIMUM SPACING OF 48" BETWEEN FLIGHT HANDRAILS ON LANDINGS (R511.5.3.5). PROVIDE GLG OUTDOOR, DOWN SPOUTS AND SPLASH BLOCKS AS NECESSARY.

A. IN AREAS LIKE A TO HAVE EXPOSURE, COMPRESSION, SHIFTING OR OTHER UNUSUAL SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. (PARA 6.4.3.1) SOIL CAPACITY OF 2000 PSF IS ASSUMED. BUILDING SHALL HAVE A MINIMUM OF 12" OF COMPACTED FILL OR 18" OF UNCOMPACTED FILL TO BE PLACED OVER THE FOUNDATION.

B. AT 28 DAYS, POROSITY, CAPTURED SLUGS AND SLOPE EXPOSURE TO THE WEATHER SHALL BE 3.5mm @ 1/2" (S4.2, R40.2). CONCRETE SHALL BE AIR ENTRAINMENT WITH 15% TYPICAL AIR CONTENT.

C. CONCRETE SHALL BE PLACED ON UNIFORM 12" DEEP, 12" WIDE X 4" DEEP FOR 1 STORY BUILDINGS (TABLE 4.0.1), BOTH WITH 2" MINIMUM HORIZONTAL 4" REBAR.

D. ALL ANCHORS SHALL BE 10" MIN. DIAMETER SHALL BE 12" MIN. DIAMETER AND 18" MIN. DEPTH. USE TWO BOLTS PER ANCHOR WITH 6" MIN. SPACING. ALL ANCHORS SHALL BE SET AT A MAXIMUM OF 18" OFF CENTER WITH MAXIMUM OF 12" FROM THE END BUT AT LEAST 12" INCHES FROM END OF SILL PLATE (R43.1.3). ALTERNATE FOUNDATION STRIPS MAY BE USED, SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO 10" DIAMETER ANCHOR BOLTS.

E. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE 4.0.1(A), REFER TO TYPICAL WALL SECTION FOR PLAN FOR SPECIFICATION.

A.	ROOF, FLOOR AND WALL SHEATHING	APRATED SHEATHING
B.	WALL STUDS	MINIMUM SPF STUD OR DOUGLAS FIR LARCH STUD
C.	WALL PLATES	MINIMUM SPF STUD OR DOUGLAS FIR LARCH STUD
D.	DIMENSIONAL HEADERS	DOUGLAS FIR OR BETTER
E.	WALL HEADERS	3590 PLS MINIMUM
F.	KIST UNDER PARALLEL BEAMS PARTIALLY SHALL BE OF ADEQUATE SIZE TO SUPPORT LOAD, (R52.4)	
G.	THE DISTANCE FROM JOINT, BEAM OR GIRDERS SHALL BE AT LEAST 15 INCHES OF BEARING ON JOINT	
H.	WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSI/TPI-1. REFER TO THE POKERHEAD TRUSS DESIGN DRAWINGS FOR WEB BRACING AND NAIL CONNECTIONS TO OTHERS. QEDERS 3-1-13	
I.	WOOD TRUSSES TO BE FOR RAISING OF ROOFING MATERIAL PLATE TRUSSES	
J.	NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES, STRUCTURAL COMPONENT LUMBER, GLUE LAMINATED TRUSSES, OR JOINTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN PROFESSIONAL. (R52.4)	
K.	TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN TOP STORE AND ROOF SPACE. (R52.4)	
L.	ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R502.1.2 MINIMUM 3" PLATE SHEATHING.	
M.	THE END SPANS OF EXTERIOR WALLS SHALL BE DERIVED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R502.4.1	

TABLE 10-1		WORLDWIDE DATA									
COUNTRY AND ECONOMIC SUPPORTING		RATING OF COUNTRY									
		1	2	3	4	5	6	7	8	9	10
AUSTRIAN CREDIT	2001	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2002	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2003	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2004	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2005	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
EUROPEAN CREDIT	2001	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2002	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2003	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2004	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2005	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
EUROPEAN CREDIT FOR DEVELOPING	2001	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2002	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2003	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2004	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2005	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
EUROPEAN CREDIT FOR DEVELOPING QUANTITATIVE	2001	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2002	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2003	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2004	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5
	2005	6.0	5.5	5.0	4.5	4.0	3.5	3.0	2.5	2.0	1.5

[illegible]

- M. TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 175 POUNDS AND PER THE MANUFACTURE SPECIFICATIONS.
- N. PROTECTION FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATION BY THE USE OF NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER. (R13.1.1)
 1. ALL WOOD FRAMING THAT REST ON CONCRETE EXTERIOR FOUNDATION WALLS AND KNEESL THAN 4" FROM THE EXPOSED END.
 2. GILLS AND SLEEPERS ON A CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND OR UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS WATER BARRIER.
 3. THE ENDS OF WOOD GUSSET EXTENDING OUTSIDE CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 3 INCH ON TOP, SIDE AND BASE.
 4. WOOD JOIST, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND.
 5. ALL LUMBER IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES (R13.1.2)
- O. ALL EXTERIOR JOIST SHALL BE SET WITHIN TOP OF THE FOUNDATION WALL AND FLOOR JOIST SHALL BE INSULATED WITH THE SAME WATER RESISTANT FOR EXTERIOR WALLS. ALL EXTERIOR CORNERS AND INTERIOR PARTITIONS TO EXTERIOR WALLS THAT ARE CLOSSED OFF TO FUTURE INSULATION SHALL BE INSULATED DURING FINISHING OF WALL.
- P. ALL NAILING AND FASTENING SHALL COMPLY WITH THE IRC TABLE N102.3.1 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS.
7. STRUCTURAL STEEL.
 - A. ALL STEEL SHALL COMPLY WITH ASTM SPECIFICATION A36 GRADE-50 OR EQUAL, SHALL HAVE BRIDGE CLIPPING.
 - B. ALL STEEL TO BE ATTACHED TO RESIST LATERAL DEFLECTION.
 - C. ALL FRAMING TO BE CONFORM TO STRUCTURAL STEEL. IN ACCORDANCE WITH GOVENING CODES.

THESE ARE PLANS ARE CONCEPTIONAL PLANS AND HAVE NOT BEEN APPROVED AS A BID SET OR FOR CONSTRUCTION

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Classic Builders
Madison Base Plan
Villas at Stonehaven

PROJECT ID: PDS 1904

ISSUE DATE:

DATE: 05-12-15

DATE:

DATE: _____

DATE:

REVISIONS:

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DATE:

DATE:

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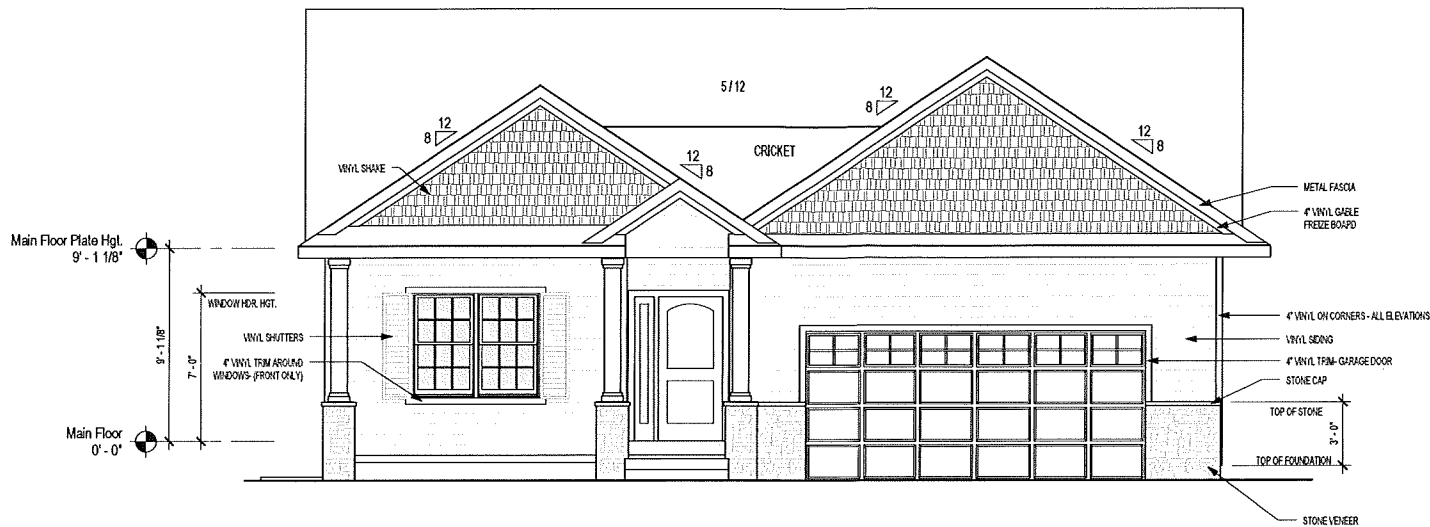
Cover Page
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A.0



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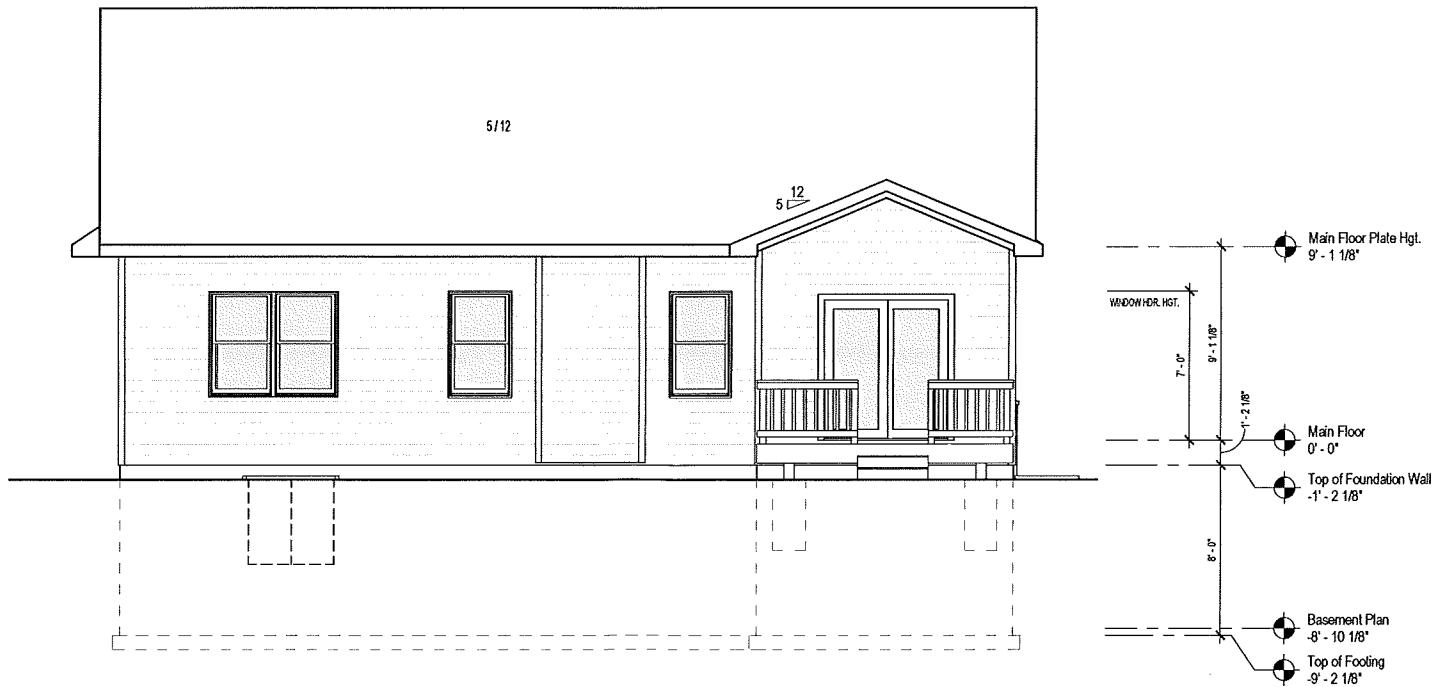
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1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED WALL CLADDING SF	
Stone Veneer	70 SF
Vinyl Shake Material	168 SF
Vinyl Siding	2352 SF

* SQUARE FOOTAGE OF GLAZED AREAS IS TO BE SHOWN ON THE EXTERIOR SURFACE OF THE WALL.
1. THE AREA INCLUDES SURFACES BEHIND DECORATIVE FRAMES.
2. THE AREA EXCLUDES WINDOW GLASS AND DOOR GLASS.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

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Villas at Stonehaven

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DATE:

Elevations

1/4" = 1'-0"

A.1

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Madison Base Plan
Villas at Stonehaven

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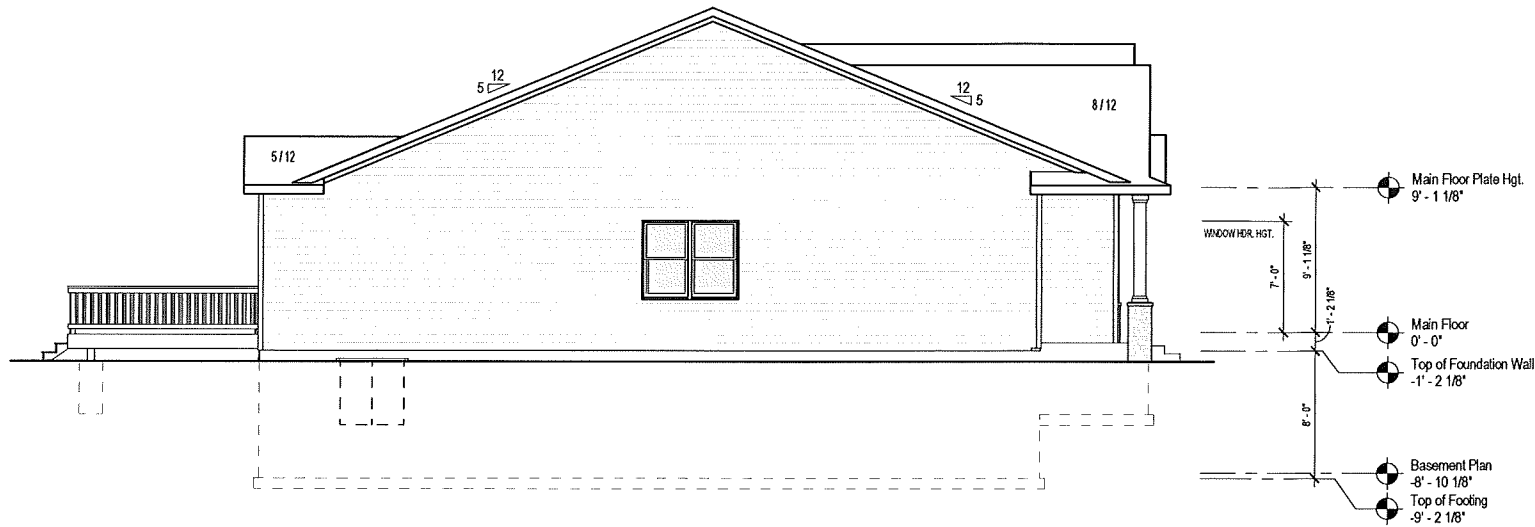
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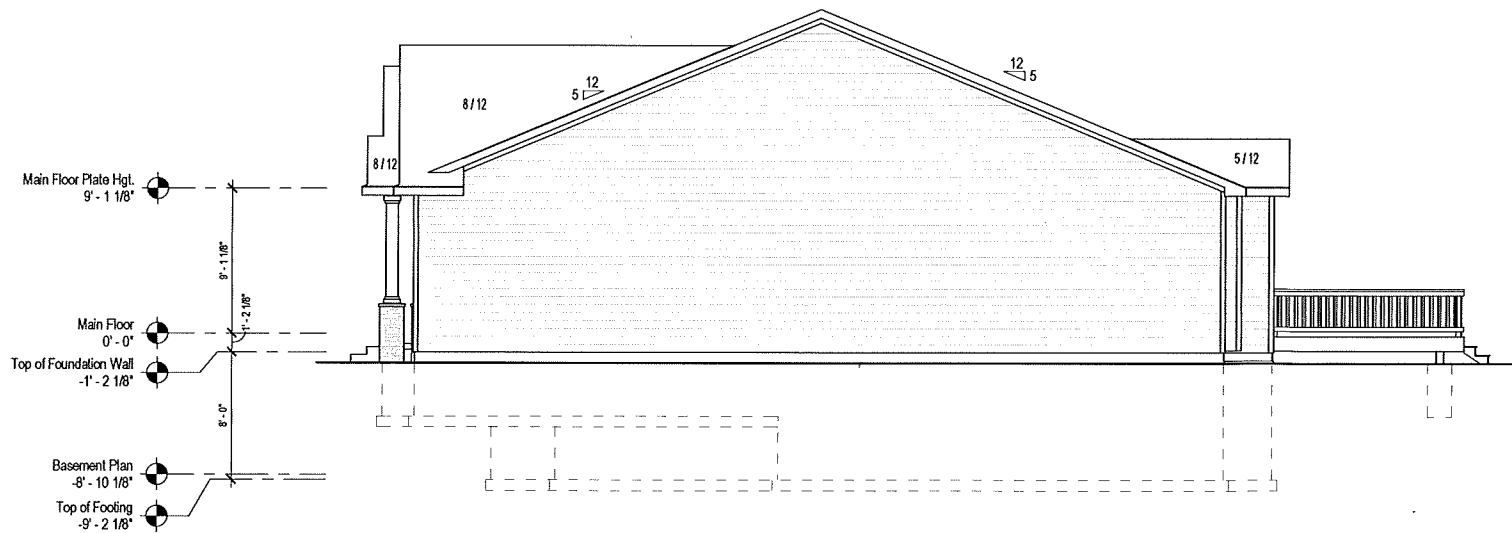
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Elevations
As indicated

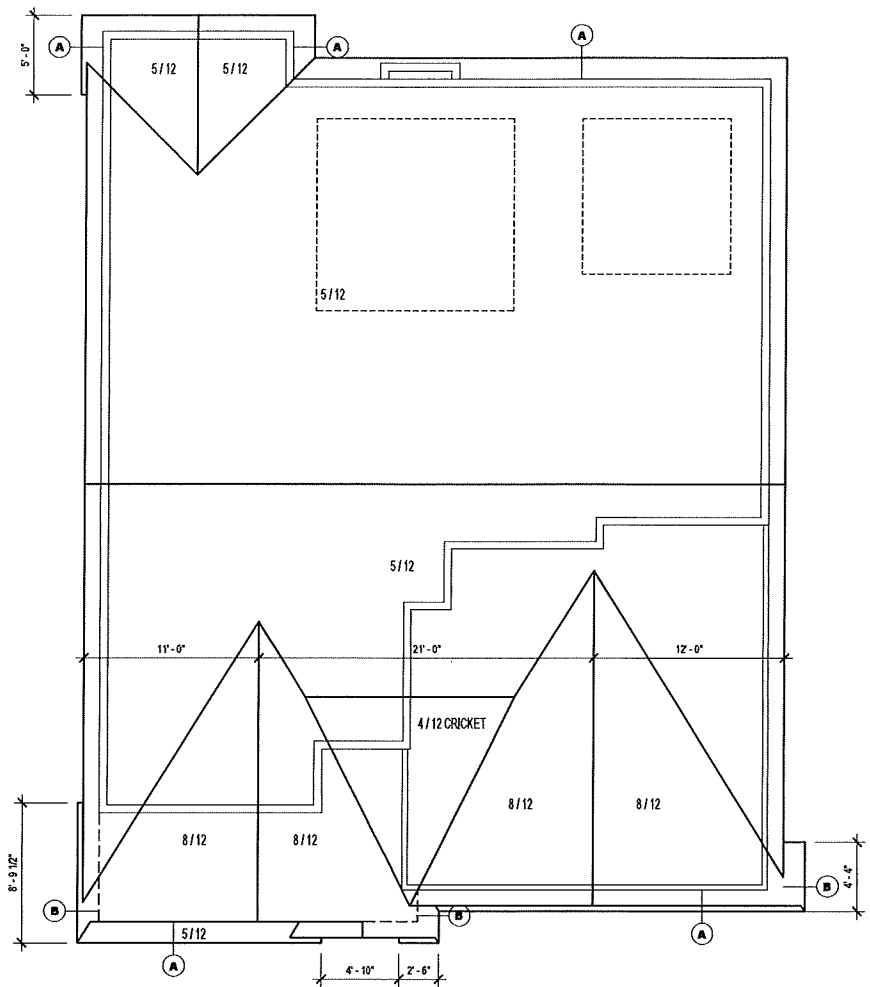
A.2



1 LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
Scale: 3/16" = 1'-0"



3 ROOF PLAN
Scale: 3/16" = 1'-0"

ROOF PLAN LEGEND			
SYMBOL	WALL HGT.	PITCH/OVERHANG	DEEL HGT.
A	8'-1 1/8"	5/12	1'-4"
B	8'-1 1/8"	8/12	1'-4"

ALL RAISE OVERHANGS ARE 12" UNLESS NOTED

ESTIMATED ROOF SF	
2820 SF	

* SQUARE FOOTAGE OF ROOF IS IN ADDITION TO THE EXPOSED SURFACE OF THE ROOF.
1. THE AREA IS CALCULATED BASED ON THE SURFACE AREA OF THE ROOF.
2. NO RAISE OVERHANGS ARE INCLUDED



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EXTERIOR COLOR PACKAGE

- Royal White
- Graphite
- Slate
- Greystone



JACKSON

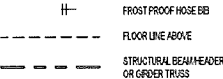
ABBREVIATIONS

ADJ	ADJUSTABLE
ANAL	ANALOG
BTM	BOTTOM
BSMT.	BASEMENT
BTWL	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
CAB.	CABINET
C	CENTER LINE
CLG	CEILING
C.O.	CASED OPENING
COL.	COLUMN
CONC.	CONCRETE
D	DRIVER
DIA.	DIAMETER
DN	DOWN
DN	DOUBLE HUNG
DW	DISHWASHER
F.D.	FLOOR DRAIN
FLR.	FLOOR
FT.	FEET
FURN.	FURNACE
HR.	HEADER
HWID	HARDWOOD
INSUL.	INSULATION
JST	JOIST
LVL	LAMINATED VENEER LUMBER
LNEN	LINE
MAX	MAXIMUM
MIN	MINIMUM
OC	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG.	OPENING
PER	PERISTAL
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQ	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S.L.R.	SHEDS AND ROO
S.F.	SQUARE FEET
S.P.	SUMP PIT
STL	STEEL
TYP.	TYPICAL
TRANS.	TRANSOM
UNEX.	UNEXCAVATED
VAN.	VANITY
W	WASHER
W	WITH
WH	WATER HEATER

ELECTRIC SYMBOLS

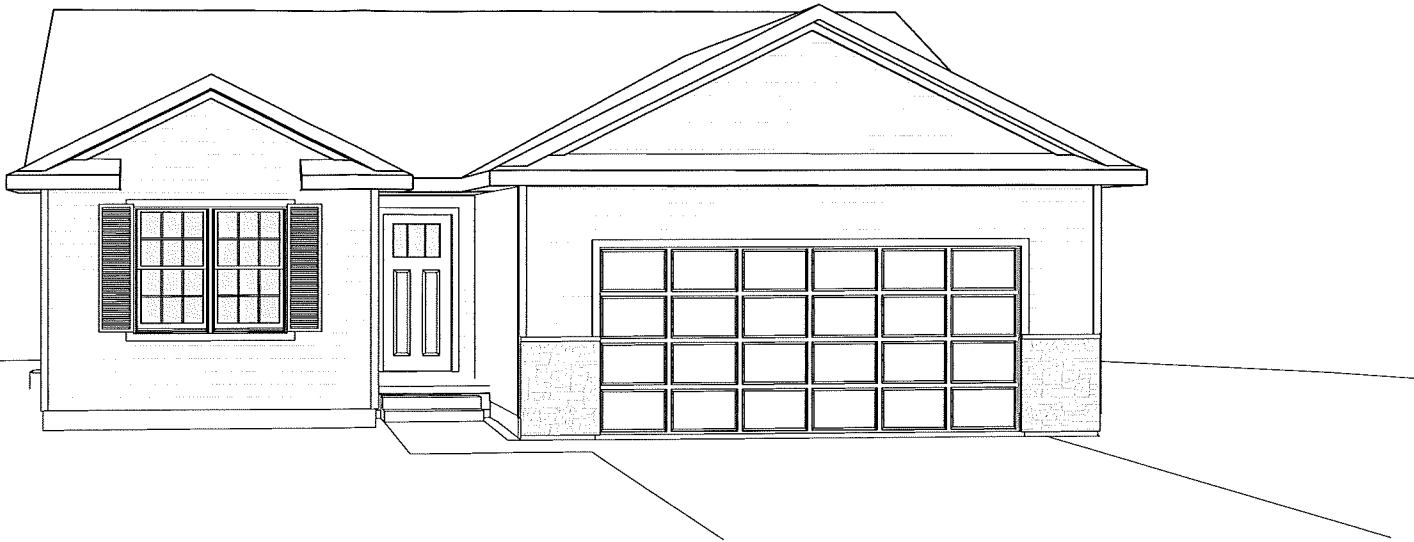


MISC. SYMBOLS



DRAWING LIST

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering



GENERAL CONSTRUCTION NOTES

- GENERAL
 - ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2018. LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IRC 2018. THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IRC 2018. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
 - CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE SIZED BY CONCRETE CONTRACTOR.
 - THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PROVIDING MEASUREMENTS OF THE BUILDING OF MEASURE OR MOLD.
 - ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
 - ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.
 - DESIGN CRITERIA
 - BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (RCM 1).
 - TABLE 301.2(1) IRC 2018. VALUES BASED FROM THE CITY OF DES MOINES, IOWA.

FLOOR OR ROOF TYPE	DEAD LOAD (PSF)	LIVE LOAD (PSF)	WIND SPEED (MPH)		WIND PRESSURE (PSF)	FLOOD LOAD (PSF)	SEISMIC LOAD (PSF)
			30	40			
1. FLOOR	10	40	30	40	1.0	1.0	1.0
2. ROOF	10	20	30	40	1.0	1.0	1.0
 - MINIMUM LIVE LOADS (RL1.5) IRC 2018

ATTIC WITH LIMITED STORAGE	20 PSF
ATTIC WITHOUT STORAGE <td>10 PSF</td>	10 PSF
DECKS <td>40 PSF</td>	40 PSF
EXTERIOR BALCONIES <td>60 PSF</td>	60 PSF
CHALKS AND HANDRAILS <td>50 PSF</td>	50 PSF
ROOM OTHER THAN SLEEPING ROOMS <td>40 PSF</td>	40 PSF
SLEEPING ROOMS <td>30 PSF</td>	30 PSF
STAIRS <td>40 PSF</td>	40 PSF
 - DEFLECTION CRITERIA

FLOOR LINE LOAD	L/400
FLOOR LINE LOAD <td>L/600</td>	L/600
ROOF LINE LOAD <td>L/600</td>	L/600
ROOF TOTAL LOAD <td>L/400</td>	L/400
- DEAD LOADS, ANY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADVISED TO THE BELOW CALCULATIONS.

FLOOR TOP CHORD	ROOF TOP CHORD	ROOF BOTTOM CHORD
CARPET AND PAD	1.5 PSF	1.5 PSF
5/8" CERAMIC TILE ON 1/2" BACKER BD.	10 PSF	10 PSF
5/8" HARDWOOD FLOOR	4.0 PSF	4.0 PSF
SUBFLOOR 3/4" OSB OR COMPAKWOOD	2.0 PSF	2.0 PSF
1/2" FLOOR TRUSS-JOIST SYSTEM	1.5 PSF	1.5 PSF
TOTAL WITH CARPET/PAD	5.5 PSF	5.5 PSF
TOTAL WITH TILE/BACKER BD.	11.5 PSF	11.5 PSF
TOTAL WITH HARDWOOD FLOOR	7.5 PSF	7.5 PSF
FLOOR BOTTOM CHORD		
1/2" FLOOR TRUSS-JOIST SYSTEM	1.5 PSF	1.5 PSF
5/8" GYPSUM BOARD	2.8 PSF	2.8 PSF
MINIMUM FOR MISC MECHANICAL/ELEC.	0.7 PSF	0.7 PSF
TOTAL	5.0 PSF	7.0 PSF

3. ROOM REQUIREMENTS

- CEILING HEIGHT (R301.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
 - FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET.
 - BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 8 FEET 8 INCHES OVER THE FRONT OF THE FIXTURE CLEAR IN ANY HORIZONTAL DIMENSION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 70 SQ. FEET EXCEPT KITCHEN (R302.2).
- LIGHT AND VENTILATION (R302) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 3 S.F. IN AREA. NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT.
- EMERGENCY ESCAPE WINDOWS (R310) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 24" IN HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR. EGRESS WINDOW WELLS MUST PROJECT A MINIMUM OF 36" AND PROVIDED OVER 8 SQ. FT. OF NET CLEAR AREA. LADDERS ARE REQUIRED IF THE WELL IS OVER 44" DEEP. LADDERS SHALL BE A MIN. OF 12" WIDE.
- BUILDING REQUIREMENTS
 - AT TIC ACCESS (R310) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 30" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.
 - ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.2 S.F. (NET) FOR EACH 150 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (R302.2).
 - SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT. SEE BUILDING DEPARTMENT. SMOKE ALARMS SHALL BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK UP (R311).
 - STAIRWAY ARE TO BE A MINIMUM OF 36" WIDE (FINISHED) (R311.5.1) WITH A MINIMUM HEADROOM OF 6 FEET 8 INCHES (R311.5.2). THE MAXIMUM RISE IS 7 1/4" (R311.5.3) WITH A MINIMUM RUN OF 10" (R311.5.3.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF STAIRS OR FLIGHT WITH 4 OR MORE RISERS (R311.5.4). A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 12 FEET BETWEEN FLOORS OR LANDINGS (R311.5.4).
 - PROVIDE GL. OUTTERS, DOWN SPOUTS, AND SPLASH BLOCKS AS NECESSARY.
- FOUNDATION/CONCRETE
 - IN AREAS KNOWN TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. (R311.4) A SOIL CAPACITY OF 2000 PSF IS ASSUMED.
 - CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 psi AT 28 DAYS. GARAGE FLOOR SLABS SHALL BE 3.50" AT 28 DAYS (R402.2). CONCRETE SHALL BE AIR ENTRAINED WITH 5%-% TOTAL AIR CONTENT.
 - ALL FOOTING SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL. MINIMUM FOOTING TO BE 16" WIDE X 18" DEEP FOR A 1.5 STORY BUILDING AND 16" WIDE X 18" DEEP FOR A 1 STORY BUILDING (TABLE 401.1). BOTH WITH 2 CONTINUOUS HORIZONTAL #4 REBAR.
 - ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS PER SILL PLATE WITH BOLTS SPACED AT A MAXIMUM OF 4 FEET. ANCHOR BOLTS WITH A MINIMUM OF ONE BOLT IN TWO MORE THAN 12 INCHES FROM THE END BUT AT LEAST 12 INCHES FROM END OF SILL PLATE (R401.1.6). ALTERNATE FOUNDATION STRAPS MAY BE USED, SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 1/2" DIAMETER ANCHOR BOLTS.
 - CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE R401.1.1(5). REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

4. WOOD FRAMING

- ROOF, FLOOR, AND WALL SHEATHING APA RATED SHEATHING.
- WALL STUDS: MINIMUM SPP STUD OR DOUGLAS FIR LARCH STUD.
- WALL PLATES: MINIMUM SPP #2 OR BETTER.
- DIMENSIONAL HEADERS: #2 DOUGLAS FIR OR BETTER.
- LVL HEADERS: 3050 PLATE MINIMUM.
- JOIST UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. (R502.4)
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON CONCRETE. (R502.5)
- WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSI/TLA. REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR WEB BRACING AND MULTI CONNECTION OF GIRDERS. BSCT 1-10 SHOULD BE REFER TO FOR HANDLING INSTALLATION AND BRACING OF METAL PLATE TRUSSES.
- NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES, STRUCTURAL COMPOSITE LUMBER, CLUE LAMINATED MEMBERS, OR L-KOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN BY PROFESSIONAL. (R502.8.2)
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND ROOF SPACE. (R501.4)
- ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.13. MINIMUM 1/4" PANEL SHEATHING.
- THE ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R602.1(1).

TABLE 602.1(1) - CONT.	SPACING OF STUDS				SPACING OF STUDS			
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
ROOF OR FLOOR JOIST	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
ROOF OR FLOOR GIRDER	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.

TABLE 602.1(1) - CONT.	SPACING OF STUDS				SPACING OF STUDS			
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
ROOF OR FLOOR JOIST	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
ROOF OR FLOOR GIRDER	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.
	16" O.C.	12" O.C.	8" O.C.	6" O.C.	16" O.C.	12" O.C.	8" O.C.	6" O.C.

- TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 175 POUNDS AND PER THE MANUFACTURE SPECIFICATIONS.
- PROTECTION FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATION BY THE USE OF NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER. (R311.1)
 - ALL WOOD FRAMING THAT REST ON CONCRETE EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 4" FROM THE EXPOSED GROUND.
 - SILLS AND SLEEPERS ON A CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
 - THE BACK OF WOOD GIRDER ENTERING EXTERIOR CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 5 INCH ON TOP, SIDES AND ENDS.
 - WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND.
 - ALL LUMBER IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES (R311.1.2).
- ALL RUN AND BOX JOIST SPACES BETWEEN TOP OF THE FOUNDATION WALL AND FLOOR/ROOF LINE SHALL BE INSULATED WITH THE SAME MATERIAL USED FOR EXTERIOR WALLS. ALL EXTERIOR CORNERS AND INTERIOR PARTITIONS TO EXTERIOR WALLS THAT ARE CLOSED OFF TO FUTURE INSULATION MUST BE INSULATED DURING FRAMING OF WALL.
- ALL NAILING AND FASTENING SHOULD COMPLY WITH THE IRC TABLE R602.3(1). FASTENER SCHEDULE FOR STRUCTURAL MEMBERS
- STRUCTURAL STEEL
 - ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A992 GRADE 50 OR EQUAL AND SHALL HAVE BRIDGE CLIPPING AT 4 FEET ON CENTER TO RESIST LATERAL DEFLECTION.
 - ALL FRAMING TO BE ATTACHED TO STRUCTURAL STEEL IN ACCORDANCE WITH GOVERNING CODES.

NOT FOR CONSTRUCTION

THESE PLANS HAVE NOT BEEN APPROVED FOR FINAL CONSTRUCTION. PLEASE CALL OR SEE OWNER FOR UPDATED PLANS.



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TELEPHONE 515 978 6250 FAX 515 978 6261

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Classic Builders
Jackson Base Plan-A
Villas @ Stone Haven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-06-15

DATE: 11-13-15

DATE: _____
DATE: _____

REVISIONS:

DATE: _____
DATE: _____
DATE: _____
DATE: _____

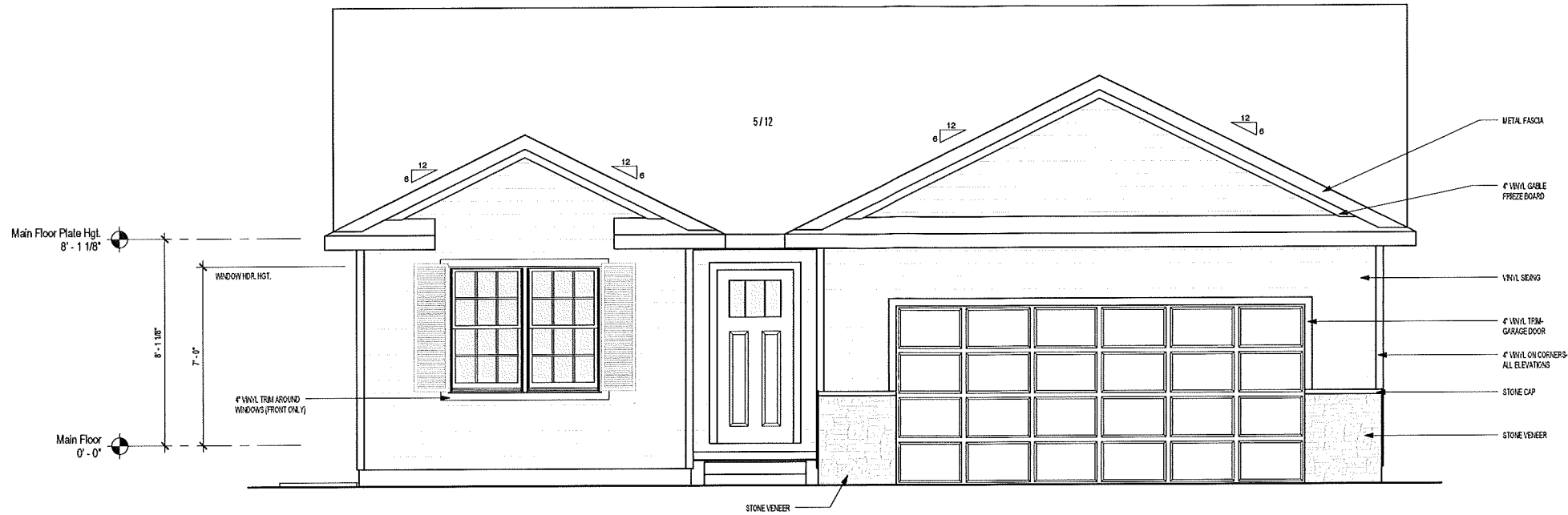
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A.0



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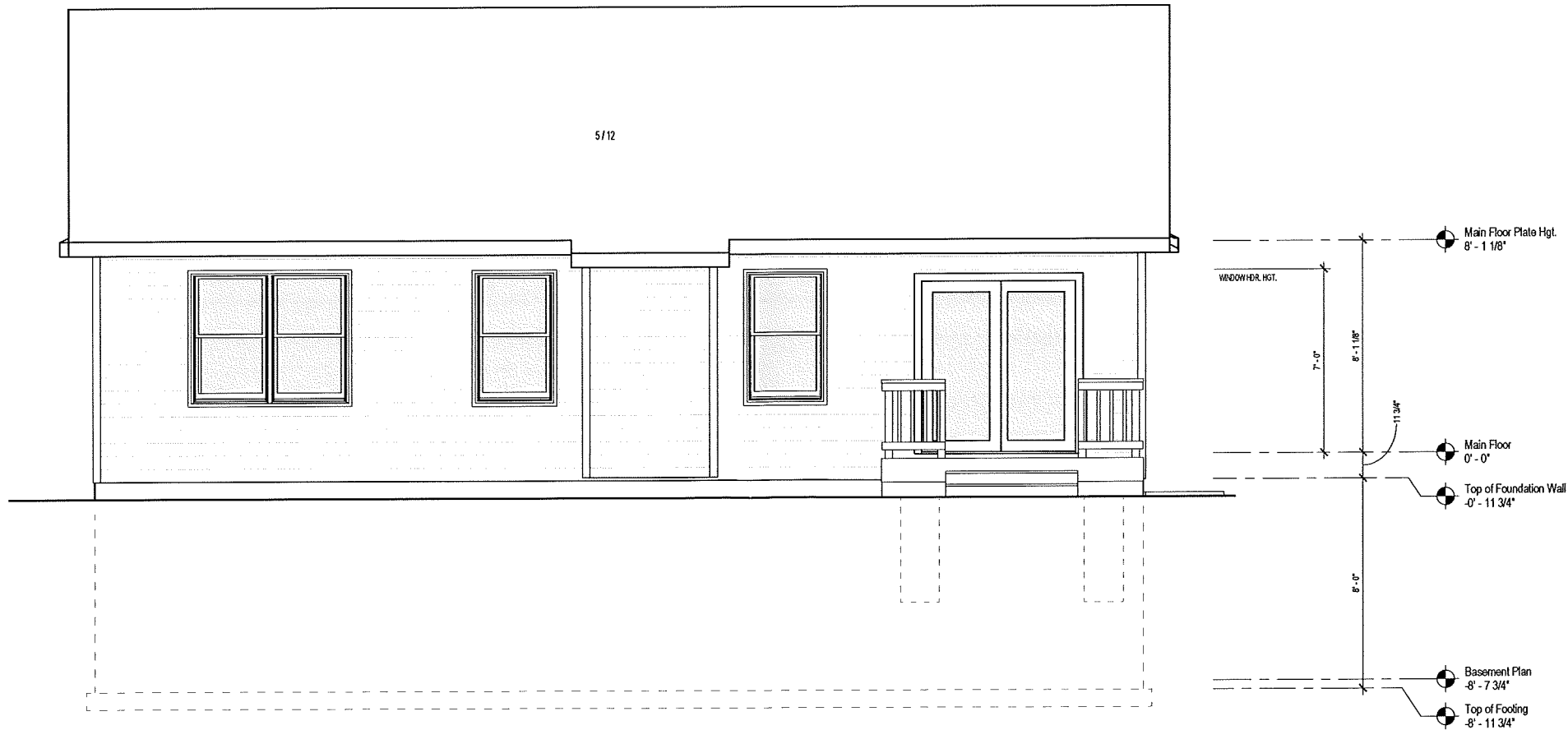
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1 FRONT ELEVATION
Scale: 3/8" = 1'-0"

ESTIMATED WALL...	
Lap Siding	1909 SF
Stone Veneer	23 SF

1. COULD BE DONE IN 2 DAYS OR LESS TO BE IN THE EVENT OF THE WALL.
2. THE AREA IS INCLUDED IN THE TOTAL AREA OF THE WALL.
3. THE AREA IS INCLUDED IN THE TOTAL AREA OF THE WALL.



2 REAR ELEVATION
Scale: 3/8" = 1'-0"

Classic Builders
Jackson Base Plan-A
Villas @ Stone Haven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-06-15

DATE: 11-13-15

DATE:

DATE:

REVISIONS:

DATE:

DATE:

DATE:

DATE:

Elevations

3/8" = 1'-0"

A.1



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Classic Builders
Jackson Base Plan-A
Villas @ Stone Haven

PROJECT ID: PDS 3005

ISSUE DATE:

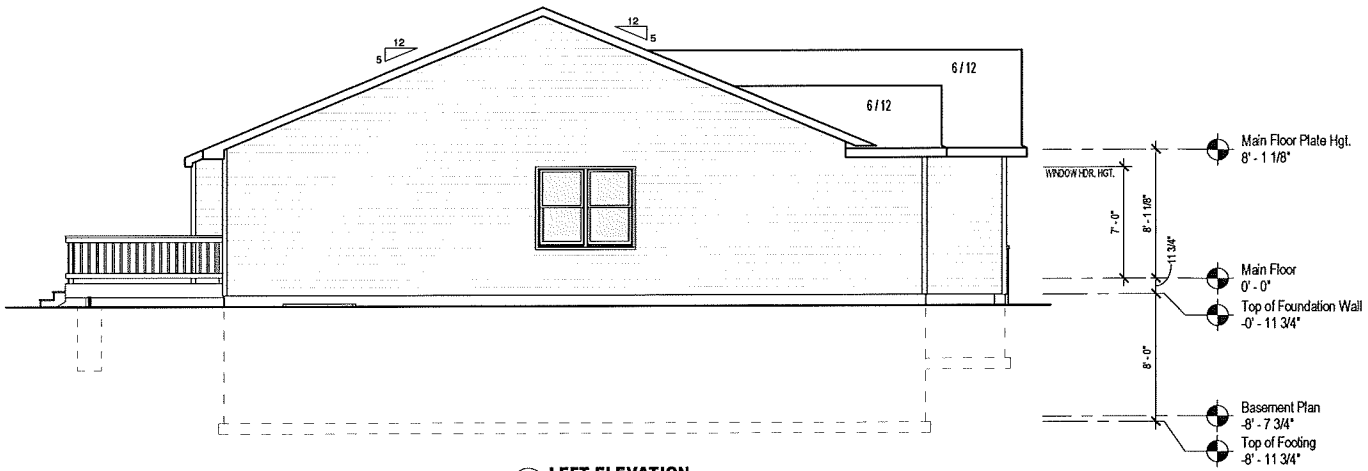
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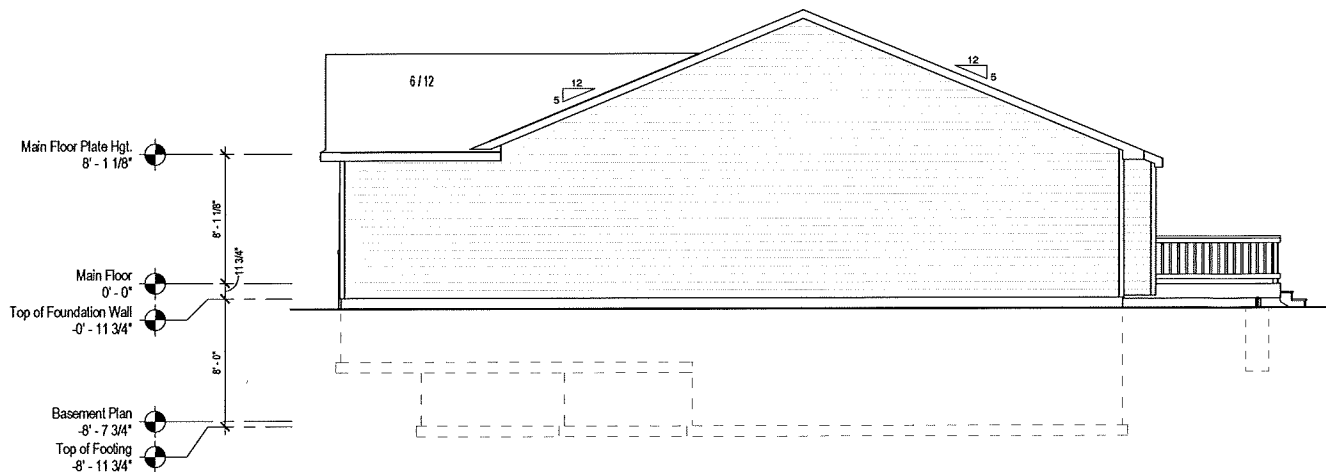
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Elevations
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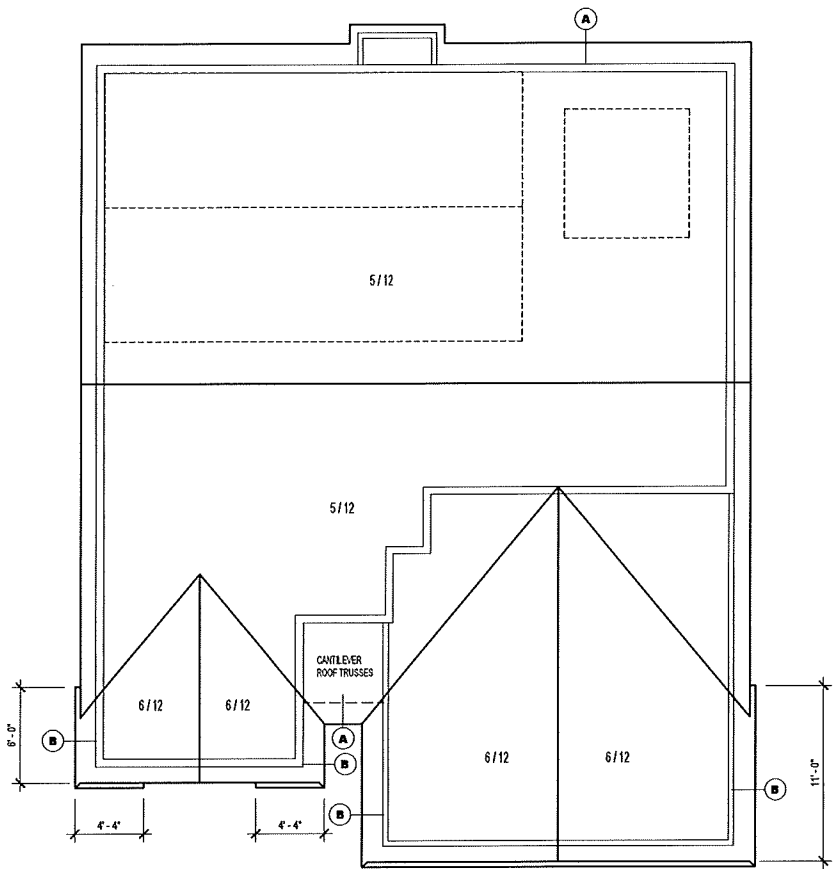
A.2



1 LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
Scale: 3/16" = 1'-0"



3 ROOF PLAN
Scale: 3/16" = 1'-0"

ESTIMATED ROOF SF

2311 SF

* SQUARE FOOTAGE OF ROOF IS IN ENTIRE PROJECT SCOPE OF THE ROOF.
1. THE ROOF IS CALLED "SHED" ROOF. SEE PLAN. 11/12/15.
2. 10' x 12' ROOF IS NOT INCLUDED.

ROOF PLAN LEGEND

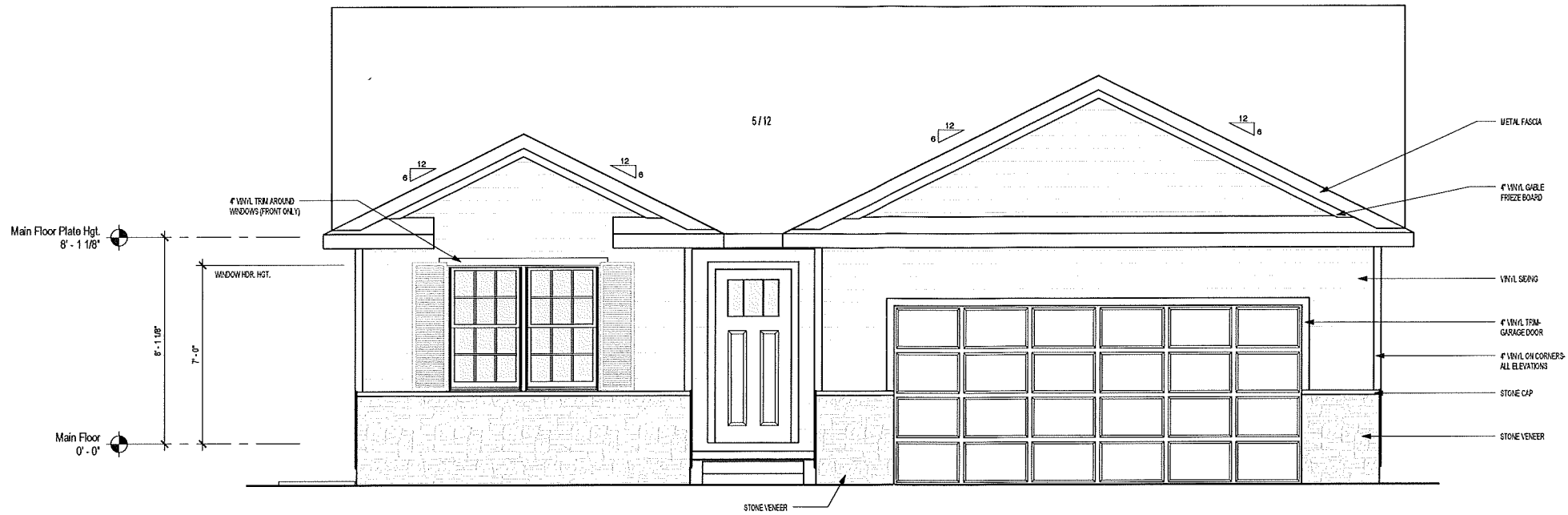
SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	6/12	1'-4"	0"
B	8'-1 1/8"	6/12	1'-4"	8'-5 1/2"

ALL RAKE OVERHANGS ARE 12" UNLESS NOTED



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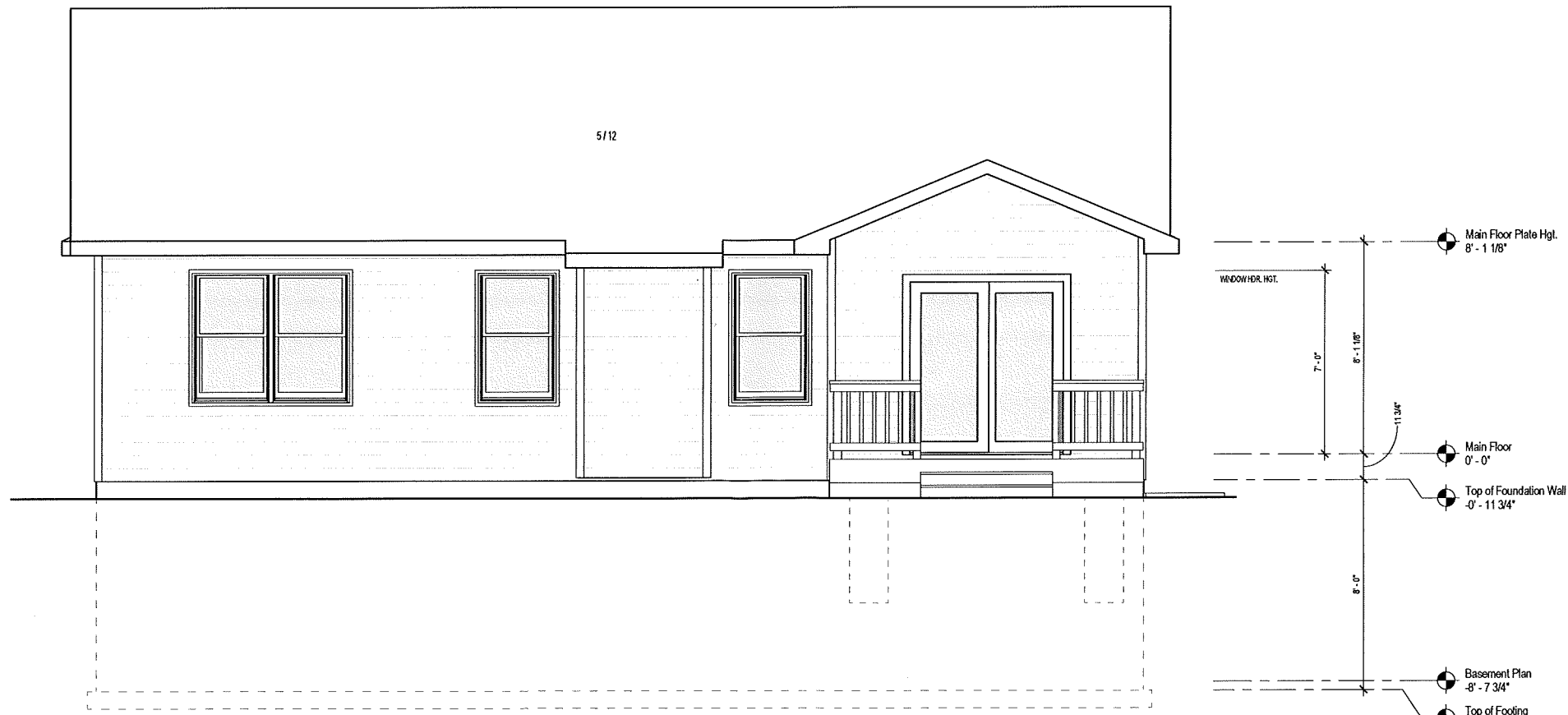
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1 FRONT ELEVATION
Scale: 3/8" = 1'-0"

ESTIMATED WALL...	
Lap Siding	1935 SF
Stone Veneer	75 SF

1. SQUARE FOOTAGE OF CLASH CANNOT BE DETERMINED FROM THE EXISTED SURFACE OF THE WALL.
2. THE AREA INCLUDES SURFACES AND IN RECESSED TOP SURFACES.
3. THE AREA INCLUDES 1/2" DIA. 4" X 8" DOOR OPENINGS.



2 REAR ELEVATION
Scale: 3/8" = 1'-0"

Classic Builders
Jackson Base Plan-B
Villas @ Stonehaven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-07-15

DATE: 11-13-15

DATE:

DATE:

REVISIONS:

DATE:

DATE:

DATE:

DATE:

Elevations

3/8" = 1'-0"

A.1

ABBREVIATIONS

ADJ	ADJUSTABLE
ANLN	ANNING
BTM	BOTTOM
BSMT	BASEMENT
BTWL	BETWEEN
CA	CASEMENT
CANT	CANTILEVER
CAB	CABINET
C	CENTER LINE
CLG	CEILING
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
D	DRIVER
DIA	DIAMETER
DN	DOWN
DN	DOUBLE HUNG
DW	DOWNHANGER
F.D.	FLOOR DRAIN
FLR	FLOOR
FT	FEET
FURN	FURNACE
HDR	HEADER
HWD	HARDWOOD
INSUL	INSULATION
JST	JOIST
LVL	LAMINATED VENEER LUMBER
LNL	LINEN
LVL	LUMBER
MCM	MASONRY
OC	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG	OPENING
PEL	PEDestal
NTLS	NOT TO SCALE
REF	REFRIGERATOR
REQ	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S & R	SHELF AND ROD
S.F.	SQUARE FEET
S.P.	SUBMIT
STL	STEEL
TYP.	TYPICAL
TRANS	TRANSOM
UNCL	UNCALCULATED
VAL	VANITY
W	WASHER
W	WITH
WAL	WATER HEATER

ELECTRIC SYMBOLS

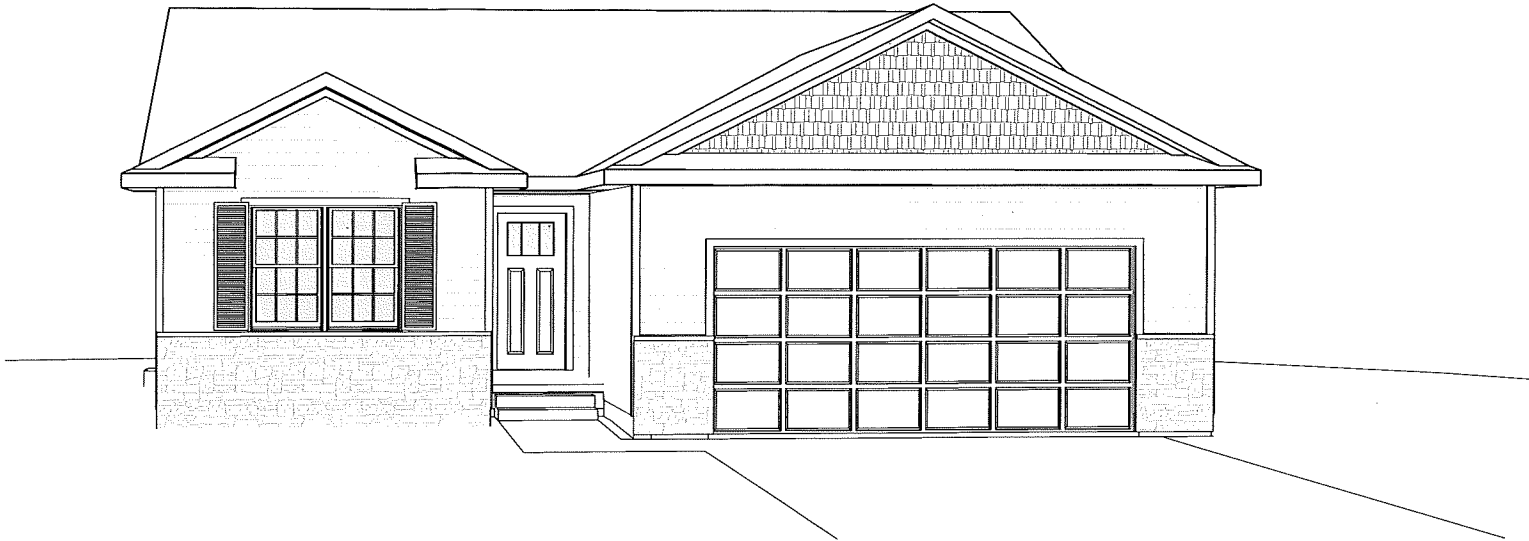
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH E. FAN
	SMOKE/HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	W.M. MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

MISC. SYMBOLS

	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAM/HEADER OR GIRDER TRUSS

DRAWING LIST

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering



GENERAL CONSTRUCTION NOTES

1. GENERAL

- A. ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2018, LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE NOTES, THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IRC 2018. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
- B. CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE SIZED BY OWNER/CONTRACTOR.
- C. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURE OF THE BUILD UP OF MOISTURE OR MOLD.
- D. ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- E. ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.

2. DESIGN CRITERIA

- A. BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (SECTION 1.1).
- B. TABLE 301.2(1) IRC 2018, VALUES BASED FROM THE CITY OF DES MOINES, IOWA.

DESIGN S.C. LOAD		WIND SPEED (FPS)		SEISMIC DESIGN CATEGORY		SLOPE		FLOOD PROTECTION		MIN. FLOOR FINISH		MIN. CEILING FINISH		MIN. ROOF FINISH		MIN. EXTERIOR FINISH		MIN. INTERIOR FINISH		MIN. ATTIC FINISH		MIN. BASEMENT FINISH	
2-FR	3-FR	10	15	A	B	1%	2%	3%	4%	5%	6%	7%	8%	9%	10%	11%	12%	13%	14%	15%	16%	17%	18%
2-FR	3-FR	10	15	A	B	1%	2%	3%	4%	5%	6%	7%	8%	9%	10%	11%	12%	13%	14%	15%	16%	17%	18%

- C. MINIMUM LIVE LOADS, (R301.5) IRC 2018
- ATTIC WITH LIMITED STORAGE 20 PSF
- ATTIC WITHOUT STORAGE 10 PSF
- DECKS 40 PSF
- EXTERIOR BALCONIES 60 PSF
- GUARDRAIL AND HANDRAILS 20 PSF
- ROOM OTHER THAN SLEEPING ROOMS 40 PSF
- SLEEPING ROOMS 30 PSF
- STAIRS 40 PSF

- DEFLECTION CRITERIA
- FLOOR LIVE LOAD L/600
- FLOOR TOTAL LOAD L/300
- ROOF LIVE LOAD L/60
- ROOF TOTAL LOAD L/240

- ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA

- D. DEAD LOADS, ANY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.

FLOOR TOP CHORD		ROOF TOP CHORD	
CARPET AND PAD	1.5 PSF	ROOFING SHINGLES (20 LBS) 2 LAYER	4.0 PSF
3/4" CERAMIC TILE @ 2" BACHER BD.	10 PSF	30 LBS. FILL	0.30 PSF
3/4" HARDWOOD FLOOR	4.0 PSF	12" OSB OR COMPLYWOOD	1.50 PSF
SUBFLOOR 3/4" OSB OR COMPLYWOOD	2.0 PSF	12" ROOF TRUSS 2X4	1.10 PSF
12" FLOOR TRUSS JOIST SYSTEM	1.5 PSF	CORRECTION FOR SLOPE (12/12)	1.55 PSF
TOTAL WITH CARPET/PAD	5.5 PSF	TOTAL	9.00 PSF
TOTAL WITH TILE/BACHER BD.	13.5 PSF		
TOTAL WITH HARDWOOD FLOOR	7.5 PSF		

- FLOOR BOTTOM CHORD
- 12" FLOOR TRUSS JOIST SYSTEM 1.5 PSF
- 5/8" GYPSUM BOARD 2.0 PSF
- MINIMUM FOR MECH. MECHANICAL ELEC. 0.7 PSF

- TOTAL 5.0 PSF

3. ROOM REQUIREMENTS

- A. CEILING HEIGHT, (R301.1) HABITABLE ROOMS, WALLS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
- EXCEPTION 1. BEAMS AND GIRDERS SPACED LESS THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.
2. CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN 4 FEET 1 INCHES OF FINISHED FLOOR.
3. FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET.
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF FEET 8 INCHES OVER THE FRONT OF THE FEATURE.
- B. ROOM DIMENSIONS (R301.1) THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7'-0" CLEAR IN ANY HORIZONTAL DIMENSION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 70 SQ. FEET, EXCEPT KITCHEN (R301.2).
- C. LIGHT AND VENTILATION (R301.1) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 3 S.F. IN AREA. NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT.
- D. EMERGENCY ESCAPE WINDOWS (R310) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 24" IN HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR. EGRESS WINDOW WELLS MUST PROJECT A MINIMUM OF 36" AND PROVIDED OVER 800 FT. OF NET CLEAR AREA. LADDERS ARE REQUIRED IF THE WELL IS OVER 44" DEEP. LADDERS SHALL BE A MIN. OF 12" WIDE.

4. BUILDING REQUIREMENTS

- A. ATTIC ACCESS (R301.7) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 30" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.
- B. ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.0 S.F. (NET) FOR EACH 150 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (R301.7).
- C. SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT. SEE BUILDING DEPARTMENT. SMOKE ALARMS SHALL BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK UP (R310.1).
- D. STAIRWAY ARE TO BE A MINIMUM OF 36" WIDE (FINISHED) (R311.5.1) WITH A MINIMUM HEADROOM OF FEET 8 INCHES (R311.5.2). THE MAXIMUM RISER IS 7 1/4" (R311.5.1.1) WITH A MINIMUM RUN OF 11" (R311.5.2.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLEET WITH 4 OR MORE RISERS (R311.5.4). A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 10 FEET BETWEEN FLOORS OR LANDINGS (R311.5.4). PROVIDE GL. GUTTERS, DOWN SPOUTS, AND SPLASH BLOCKS AS NECESSARY.

5. FOUNDATION/CONCRETE

- A. IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. (RAY.4) A SOIL CAPACITY OF 2000 PSF IS ASSUMED.
- B. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 psi AT 28 DAYS. GARAGE FLOOR SLABS SHALL BE 3.00" AT 28 DAYS. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3.500 psi AT 28 DAYS (R401.2). CONCRETE SHALL BE AIR ENTRAINED WITH 5%-% TOTAL AIR CONTENT.
- C. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL. MINIMUM FOOTING TO BE 18" WIDE A 8" DEEP FOR A 2 STORY BUILDING AND 18" WIDE X 8" DEEP FOR A 3 STORY BUILDING (TABLE 401.1) BOTH WITH 2 CONTINUOUS HORIZONTAL REBAR.
- D. ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS PER SILL PLATE WITH BOLTS SPACED AT A MAXIMUM OF 4 FEET ON CENTER WITH A MAXIMUM OF ONE BOLT NOT MORE THAN 12 INCHES FROM THE END BUT AT LEAST 1 1/2 INCHES FROM END OF SILL PLATE (R401.1.5). ALTERNATE FOUNDATION STRIPS MAY BE USED. SPECIFICATION TO PROVIDE EQUIVALENT BACK TO 4" DIA. DIAMETER ANCHOR BOLTS.
- F. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE R401.1.1(1). REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

6. WOOD FRAMING

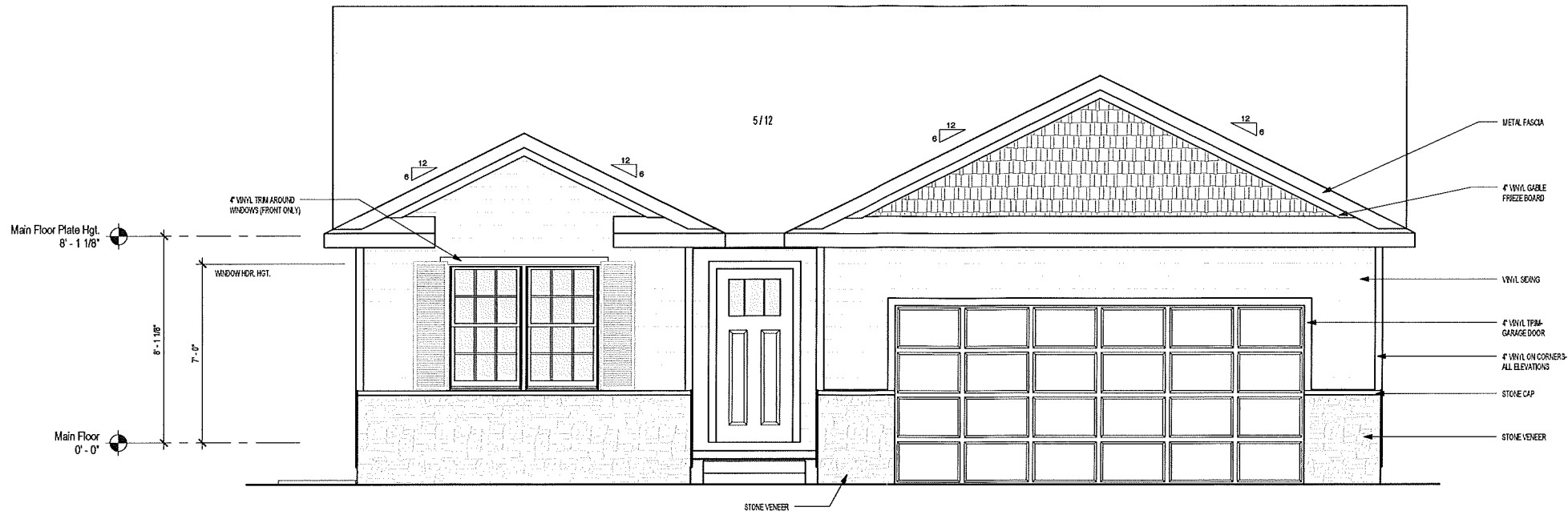
- A. ROOF, FLOOR, AND WALL SHEATHING. APA RATED SHEATHING.
- B. WALL STUDS. MINIMUM SPF STUD OR DOUGLAS FIR LARCH STUD.
- C. WALL PLATES. MINIMUM SPF #2 OR BETTER.
- D. DIMENSIONAL HEADERS. #2 DOUGLAS FIR OR BETTER.
- E. LVL HEADERS. 3550 POUND MINIMUM.
- F. JOIST LAGS PARALLEL BEARING. PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. (R401.4)
- G. THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON CONCRETE. (R401.4)
- H. WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSHPH-1. REFER TO THE MANUFACTURER'S TRUSS DESIGN DRAWINGS FOR WEB BRACING AND MULTICONNECTION OF GIRDERS. SECT 1.1(1) SHOULD BE REFER TO FOR HANDLING INSTALLATION AND BRACING OF METAL PLATE TRUSSES.
- I. NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES. STRUCTURAL COMPOSITE LUMBER, GLUE LAMINATED MEMBERS, OR L JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN BY PROFESSIONAL. (R301.2)
- J. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND ROOF SPACE. (R401.4)
- K. ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R401.11. MINIMUM 3/4" PANEL SHEATHING.
- L. THE ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R502.1(1).

TABLE R502.1(1) - PERMITTED SPANS				
SUPPORTED BY WALLS				
MEMBER	SPAN (FT)			
	2	3	4	5
2x10	12	12	12	12
	14	14	14	14
	16	16	16	16
	18	18	18	18
	20	20	20	20
2x12	16	16	16	16
	18	18	18	18
	20	20	20	20
	22	22	22	22
	24	24	24	24
2x14	20	20	20	20
	22	22	22	22
	24	24	24	24
	26	26	26	26
	28	28	28	28
2x16	24	24	24	24
	26	26	26	26
	28	28	28	28
	30	30	30	30
	32	32	32	32
2x18	28	28	28	28
	30	30	30	30
	32	32	32	32
	34	34	34	34
	36	36	36	36
2x20	32	32	32	32
	34	34	34	34
	36	36	36	36
	38	38	38	38
	40	40	40	40
2x22	36	36	36	36
	38	38	38	38
	40	40	40	40
	42	42	42	42
	44	44	44	44
2x24	40	40	40	40
	42	42	42	42
	44	44	44	44
	46	46	46	46
	48	48	48	48
2x26	44	44	44	44
	46	46	46	46
	48	48	48	48
	50	50	50	50
	52	52	52	52
2x28	48	48	48	48
	50	50	50	50
	52	52	52	52
	54	54	54	54
	56	56	56	56
2x30	52	52	52	52
	54	54	54	54
	56	56	56	56
	58	58	58	58
	60	60	60	60
2x32	56	56	56	56
	58	58	58	58
	60	60	60	60
	62	62	62	62
	64	64	64	64
2x34	60	60	60	60
	62	62	62	62
	64	64	64	64
	66	66	66	66
	68	68	68	68
2x36	64	64	64	64
	66	66	66	66
	68	68	68	68
	70	70	70	70
	72	72	72	72
2x38	68	68	68	68
	70	70	70	70
	72	72	72	72
	74	74	74	74
	76	76	76	76
2x40	72	72	72	72
	74	74	74	74
	76	76	76	76
	78	78	78	78
	80	80	80	80
2x42	76	76	76	76
	78	78	78	78
	80	80	80	80
	82	82	82	82
	84	84	84	84
2x44	80	80	80	80
	82	82	82	82
	84	84	84	84
	86	86	86	86
	88	88	88	88
2x46	84	84	84	84
	86	86	86	86
	88	88	88	88
	90	90	90	90
	92	92	92	92
2x48	88	88	88	88
	90	90	90	90
	92	92	92	92
	94	94	94	94
	96	96	96	96
2x50	92	92	92	92
	94	94	94	94
	96	96	96	96
	98	98	98	98
	100	100	100	100
2x52	96	96	96	96
	98	98	98	98
	100	100	100	100
	102	102	102	102
	104	104	104	104
2x54	100	100	100	100
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	104	104	104	104
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	108	108	108	108
2x56	104	104	104	104
	106	106	106	106
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2x58	108	108	108	108
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2x60	112	112	112	112
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	116	116	116	116
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2x62	116	116	116	116
	118	118	118	118
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	130	130	130	130
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2x68	128	128	128	128
	130	130	130	130
	132	132	132	132
	134	134	134	134
	136	136	136	136
2x70	132	132	132	132
	134	134	134	134
	136	136	136	136
	138	138	138	138
	140	140	140	140
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	138	138	138	138
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	144	144	144	144
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2x76	144	144	144	144
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	152	152	152	152
2x78	148	148	148	148
	150	150	150	150
	152	152	152	152
	154	154	154	154
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2x80	152	152	152	152
	154	154	154	154
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	158	158	158	158
	160	160	160	160
2x82	156	156	156	156
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	272	272	272	272
2x138	268	268	268	268
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	272	272	272	272
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	276	276	276	276
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	280	280	280	280
2x142				



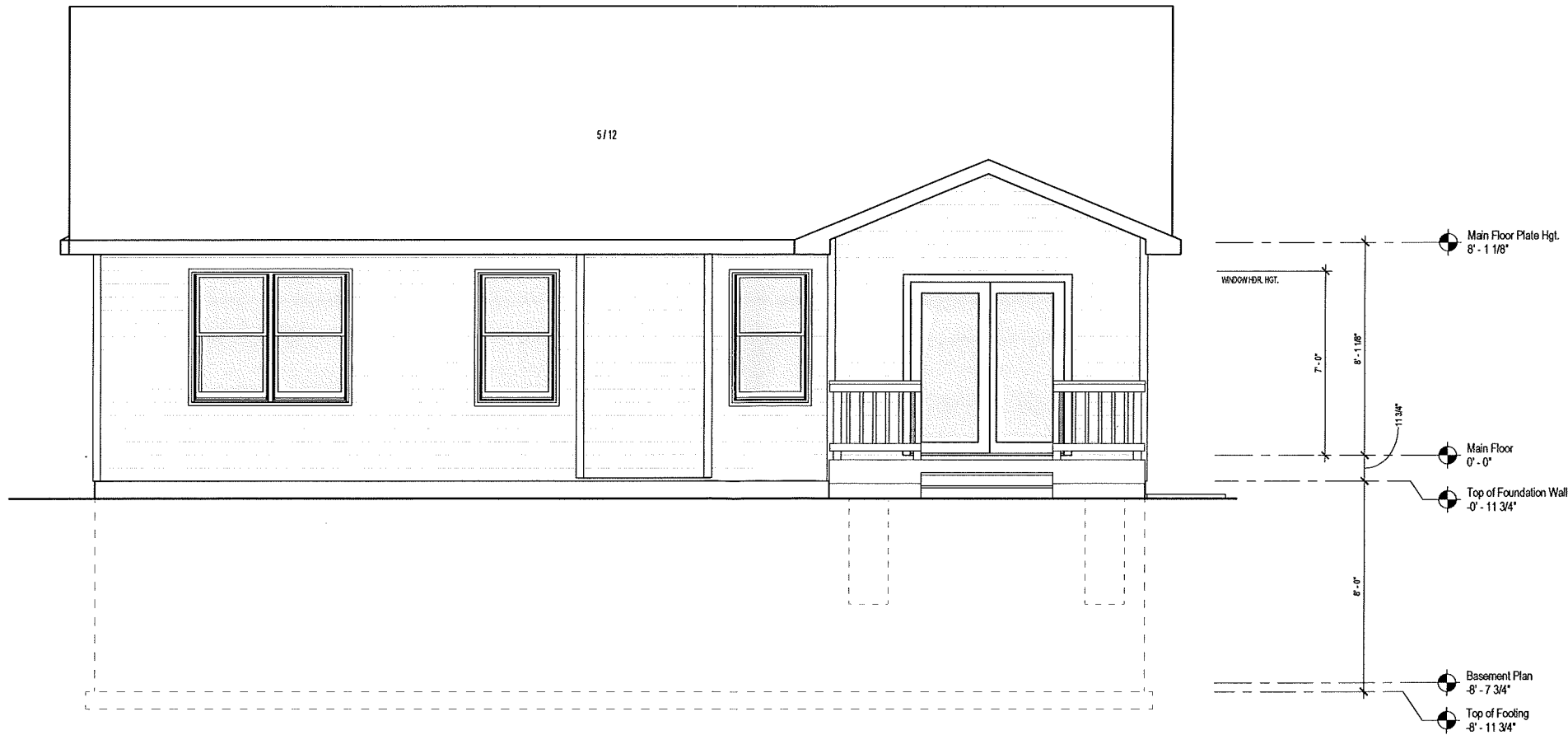
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1 FRONT ELEVATION
Scale: 3/8" = 1'-0"

ESTIMATED WALL...	
Lap Siding	1883 SF
Stone Veneer	75 SF
Stone Veneer -	59 SF



2 REAR ELEVATION
Scale: 3/8" = 1'-0"

Classic Builders
Jackson Base Plan-C
Villas @ Stonehaven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-07-15

DATE: 11-13-15

DATE:

DATE:

REVISIONS:

DATE:

DATE:

DATE:

DATE:

Elevations

3/8" = 1'-0"

A.1



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Classic Builders
Jackson Base Plan-C
Villas @ Stonehaven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-07-15

DATE: 11-13-15

DATE:

DATE:

REVISIONS:

DATE:

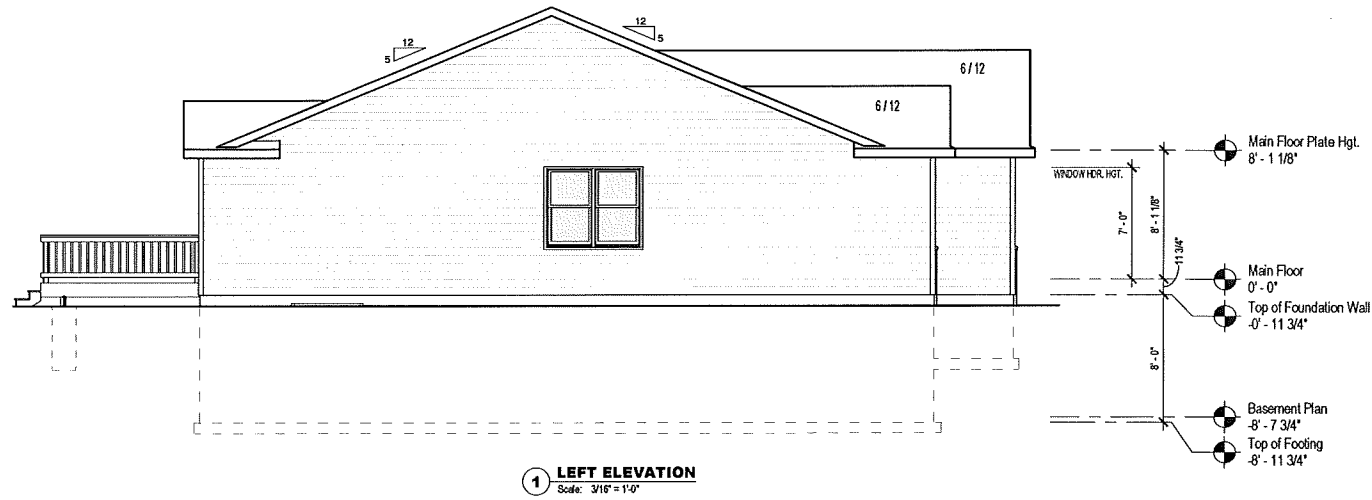
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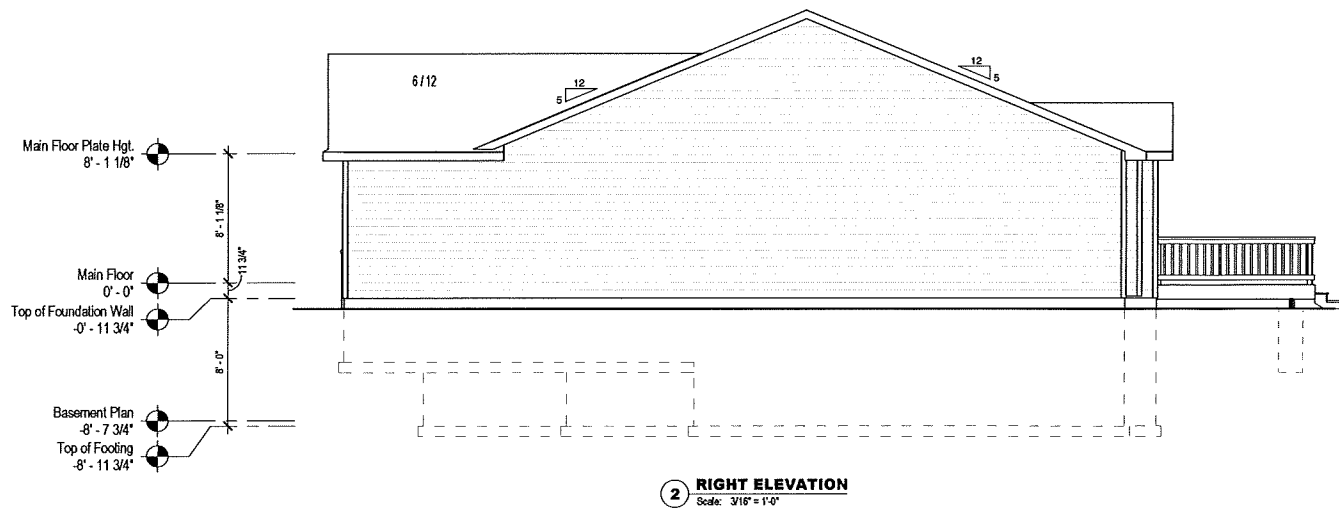
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Elevations
As indicated

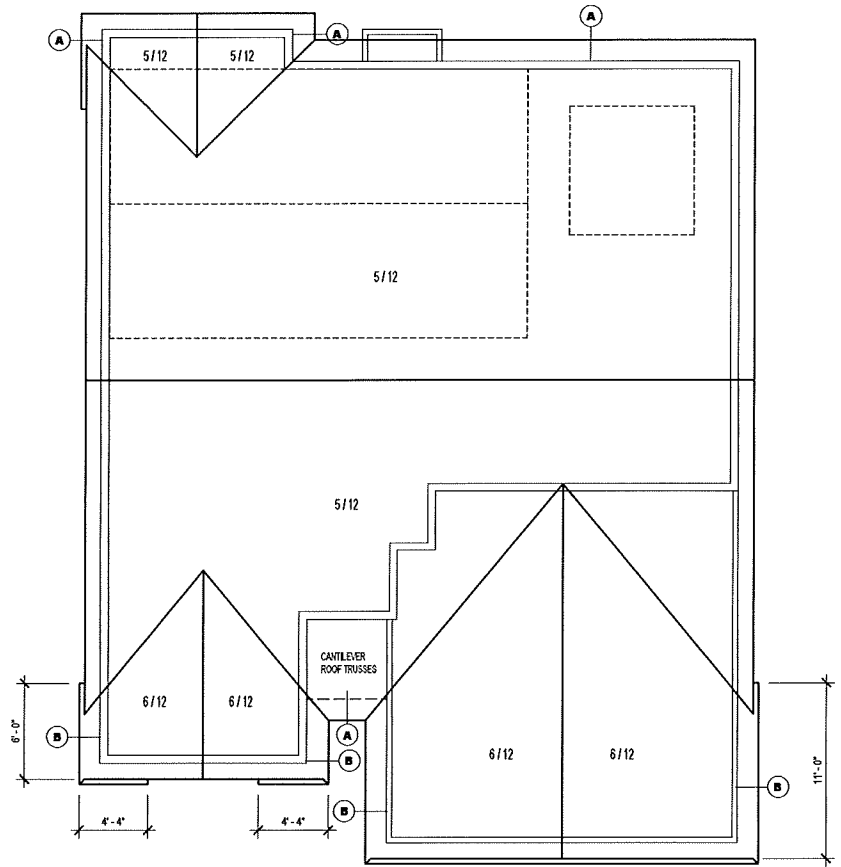
A.2



1 LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
Scale: 3/16" = 1'-0"



3 ROOF PLAN
Scale: 3/16" = 1'-0"

ESTIMATED ROOF SF

2401 SF

1. SQUARE FOOTAGE OF ROOF IS IN ACCORDANCE WITH THE SQUARE FOOTAGE OF THE FLOOR.
2. THE AREA OF THE ROOF IS NOT INCLUDED IN THE TOTAL AREA OF THE FLOOR.
3. THE AREA OF THE ROOF IS NOT INCLUDED IN THE TOTAL AREA OF THE FLOOR.

ROOF PLAN LEGEND

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	0'-4"	7'
B	8'-1 1/8"	6/12	0'-4"	8'-5 1/2"

ALL RAISE OVERHANGS ARE 12" UNLESS NOTED

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2015. LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT LISTED IN THE IRC 2015. THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IRC 2015. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
- CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE USED BY OWNER/CONTRACTOR.
- THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE MEASURE OF THE BUILD UP OF MOISTURE OR MOLD.
- ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.
- ALL EXTERIOR STAIRS ARE SHOWN FOR CONCEPT. FINAL DESIGN DETERMINE ON SITE FOR FINAL GRADE.
- THE FOLLOWING CODE INFORMATION IS INTENDED TO ASSIST AND INFORM YOU THROUGHOUT THIS PROJECT HAS BEEN DRAFTED TO PRESERVE TO INDUSTRY STANDARDS.

CHAPTER 3 (BUILDING PLANNING)

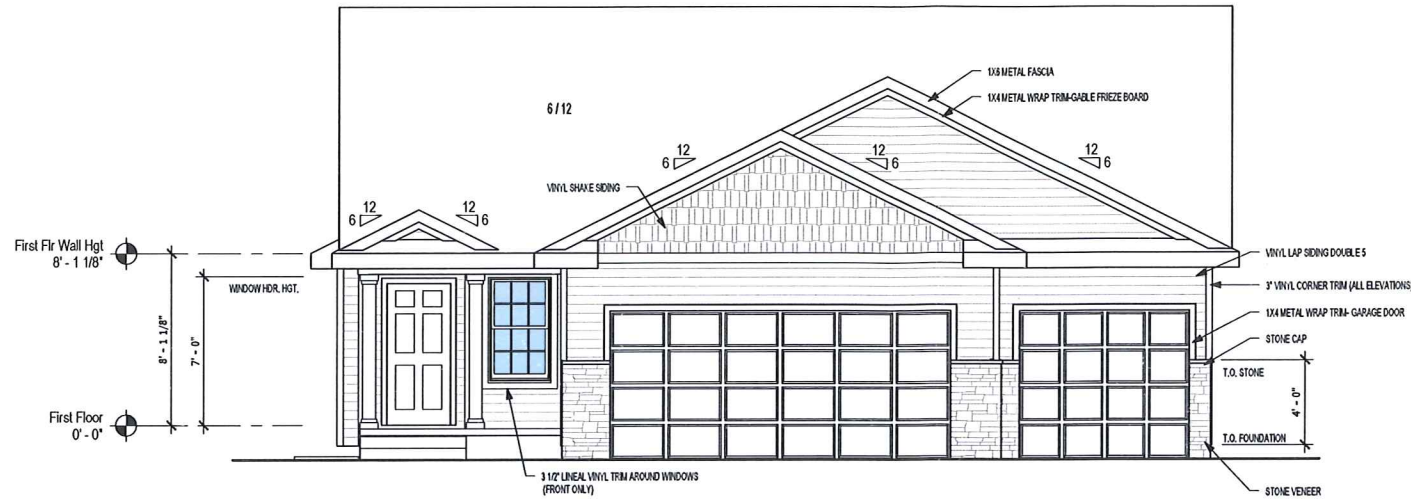
- BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (R301.1).
- TABLE 301.1(1) IRC 2015. VALUES BASED FROM THE CITY OF DES MOINES, IOWA.

SPECIAL LOAD	HORIZONTAL				SEISMIC DESIGN CATEGORIES	SUBJECT TO DAMAGE FROM			WATER TEMP.	ICE BARRIER UPPER LIMIT REQUIRED	FLOOD PROTECTION	AIR FREEZING	MIN. WIND SPEED
	SPEED (MPH)	TOPGGRAPHIC EFFECTS	SPECIAL HORIZONTAL RECORD	HORIZONTAL DESIGN CATEGORIES		WIND DIRECTION	WIND SPEED	WIND DURATION					
1000	15	10 E	10 E	10 E	1	20 E	40	MODERATE HEAVY	4 F	15	1000	100	40 E



PLUM DESIGN SERVICES
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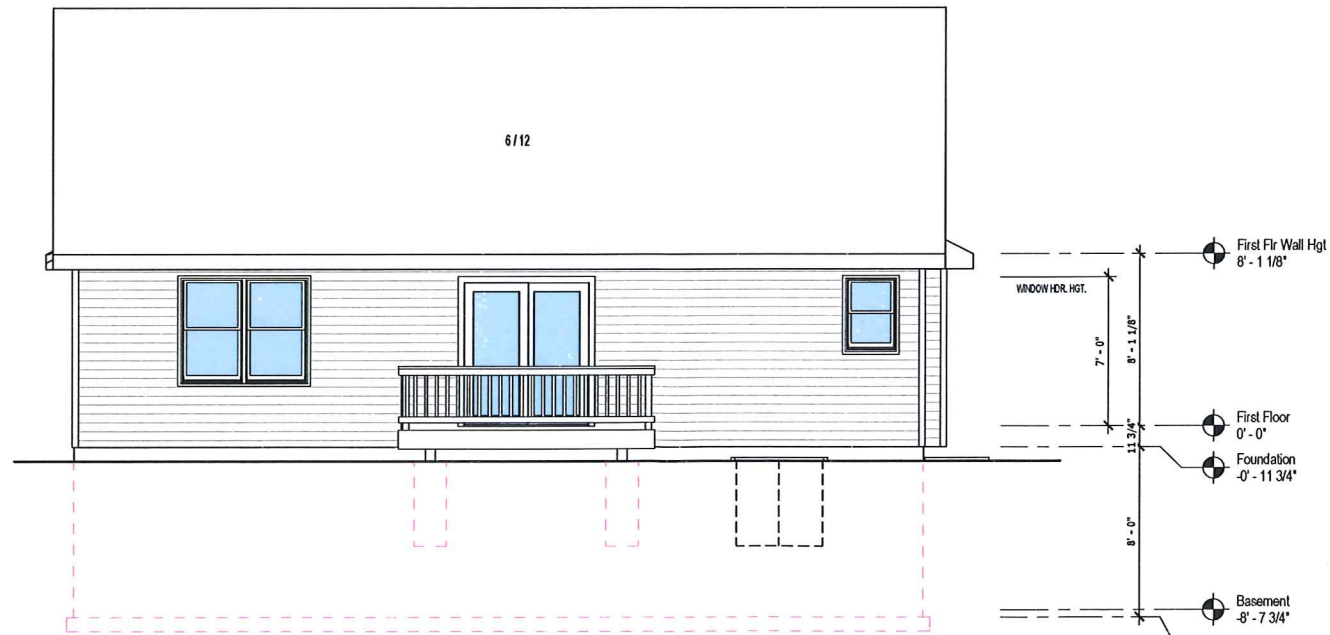
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1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED AREA - WALL CLADDING			
MATERIAL TYPE	MATERIAL SF	MATERIAL %	MATERIAL ELEVATION
Lap Siding - 6"	1966 SF	100.0%	
Lap Siding - 6"	109 SF	65.6%	Front
Shake Material - Staggered	57 SF	34.4%	Front

* SQUARE FOOTAGE OF CLADDING IS TO BE FROM THE EXPOSED SURFACE OF THE WALL.
1. THE AREA INCLUDED SHOWN WITHIN DECORATIVE TRIM SCAPES.
2. THE AREA INCLUDED WITHIN THE TRIM SCAPES.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

Classic Builders
U.S. Grant Plan

PROJECT ID:
PDS 3523

ISSUE DATE:
DATE: 10-10-16
DATE: 10-21-16
DATE: 10-25-16
DATE:
DATE:
DATE:
DATE:

Elevations
1/4" = 1'-0"
THIS PAGE IS INTENDED TO BE PRINTED ON 24"x36" PAPER TO BE TO SCALE.

A.1



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AMERICAN INSTITUTE of
BUILDING DESIGN
Creating where people live

Classic Builders
U.S. Grant Plan

PROJECT ID:
PDS 3523

ISSUE DATE:

DATE: 10-10-16

DATE: 10-21-16

DATE: 10-25-16

DATE:

DATE:

DATE:

DATE:

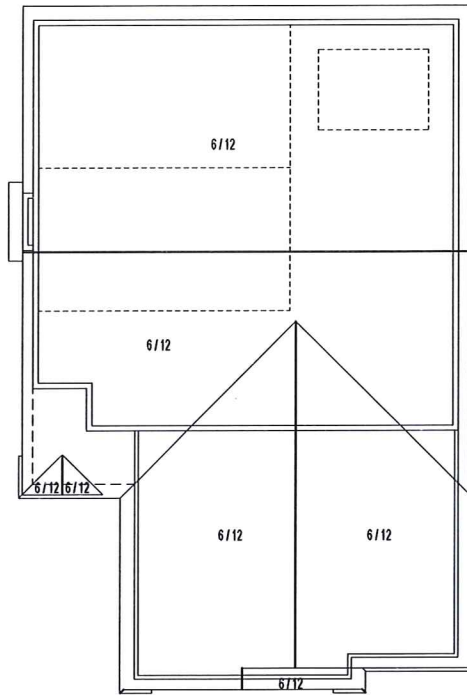
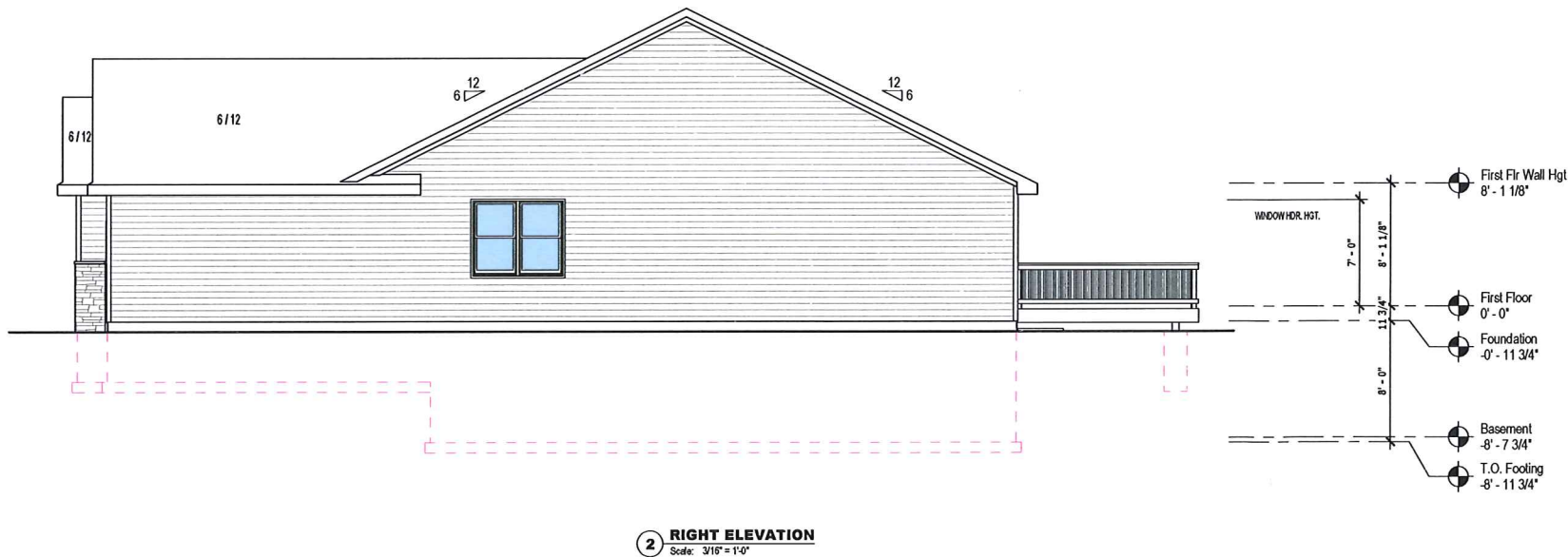
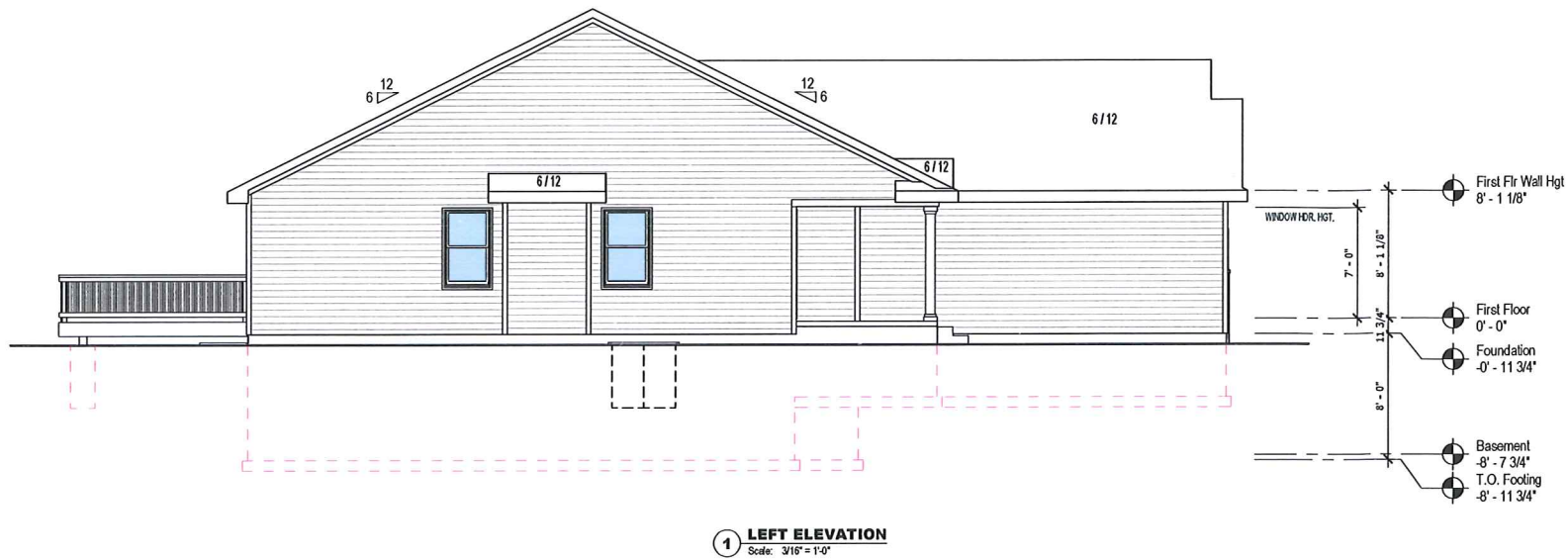
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Elevations

As indicated

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A.2

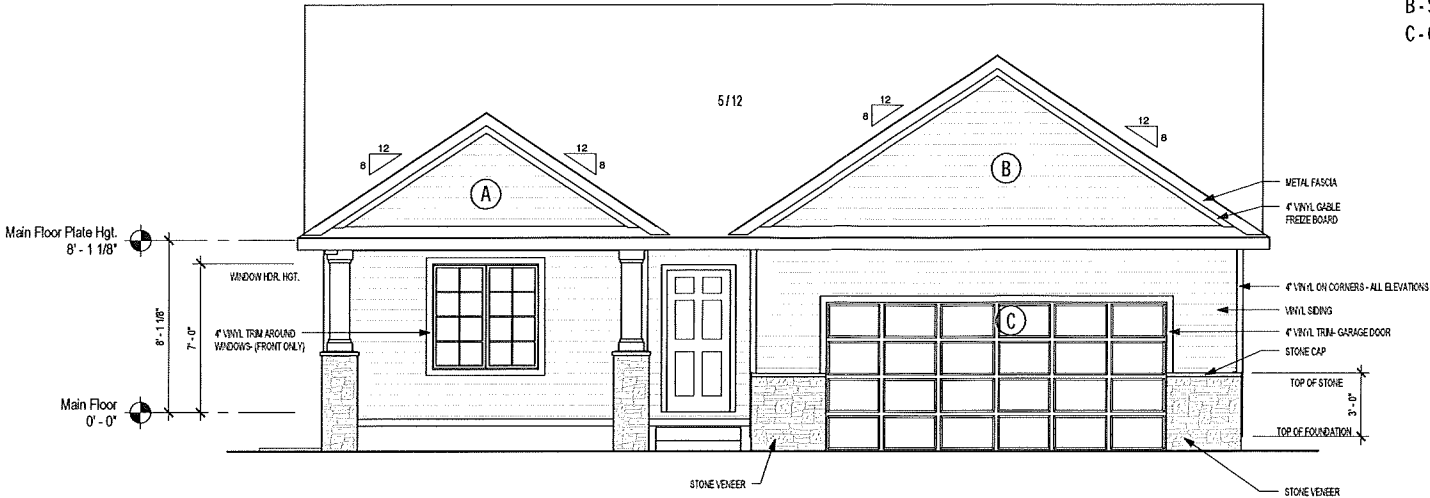


3 ROOF PLAN
Scale: 1/8" = 1'-0"

ROOF PLAN LEGEND				
SYMBOL	PLATE HGT.	PITCH	OVERHANG	HEEL HGT.
ALL	6'-1 1/8"	6/12	1'-4"	7"
ALL RAISE OVERHANGS ARE 12" UNLESS NOTED				

ESTIMATED AREA - ROOF	
2921 SF	
* SQUARE FOOTAGE OF ROOF AS TAKEN FROM THE EXPOSED SURFACE OF THE ROOF.	
1. THE AREA ENCLOSED BY THE ROOF SURFACES BELOW IS INCLUDED.	
2. NO RAISE FACTOR HAS BEEN INCLUDED.	

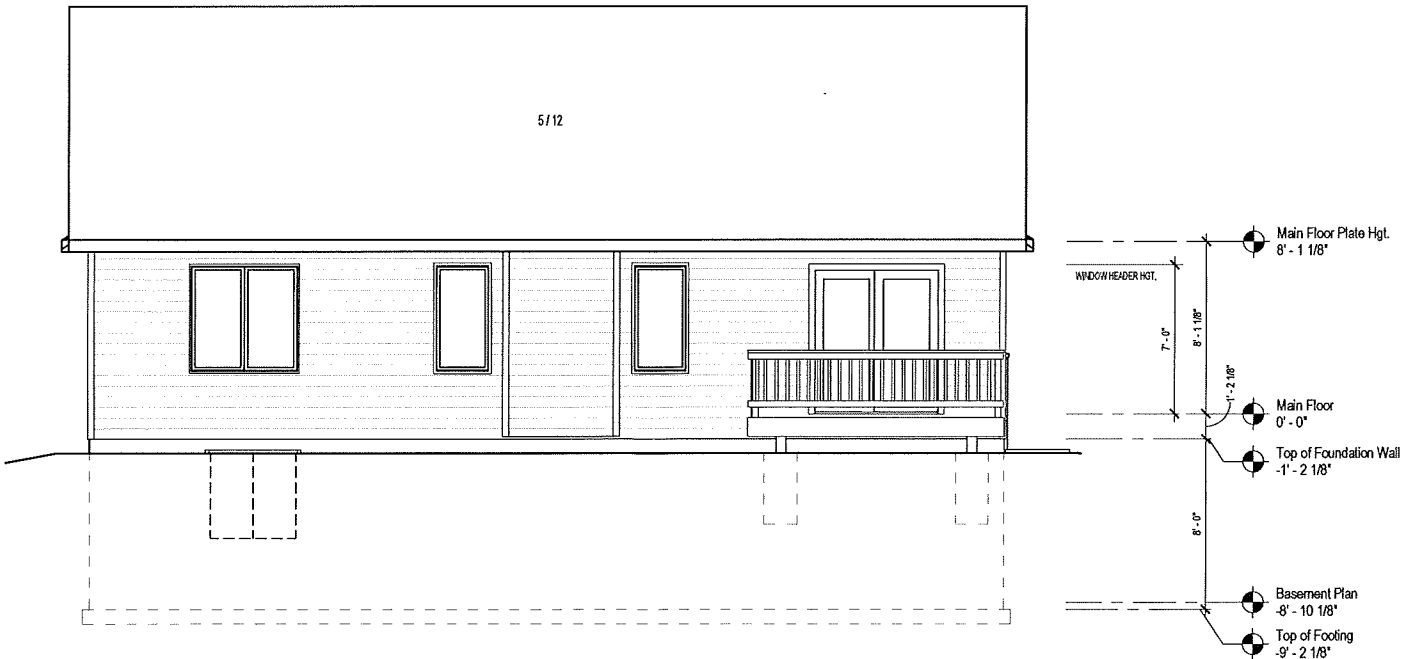
FRONT ELEVATION OPTIONS
A - SHAKE ABOVE PORCH
B - SHAKE ABOVE GARAGE
C - GARAGE DOOR WINDOWS



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED WALL...	
Lap Siding	2202 SF
Stone Veneer	66 SF

1. EXCLUDE FINISHES OF SILLING AND TRIM FROM THE EXPOSED SURFACE OF THE WALL.
2. THE AREA IS GUESSED FROM A PHOTO OF THE HOUSE.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

Classic Builders
Stonehaven Hamilton II -
Porch

PROJECT ID: PDS 3301

ISSUE DATE:

DATE: 06-30-16

DATE: 08-08-16

DATE: 08-25-16

DATE: 11-17-16

REVISIONS:

DATE:

DATE:

DATE:

DATE:

Elevations

1/4" = 1'-0"

A.1



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Classic Builders
Stonehaven Hamilton II -
Porch

PROJECT ID: PDS 3301

ISSUE DATE:

DATE: 06-30-16

DATE: 08-08-16

DATE: 08-25-16

DATE: 11-17-16

REVISIONS:

DATE:

DATE:

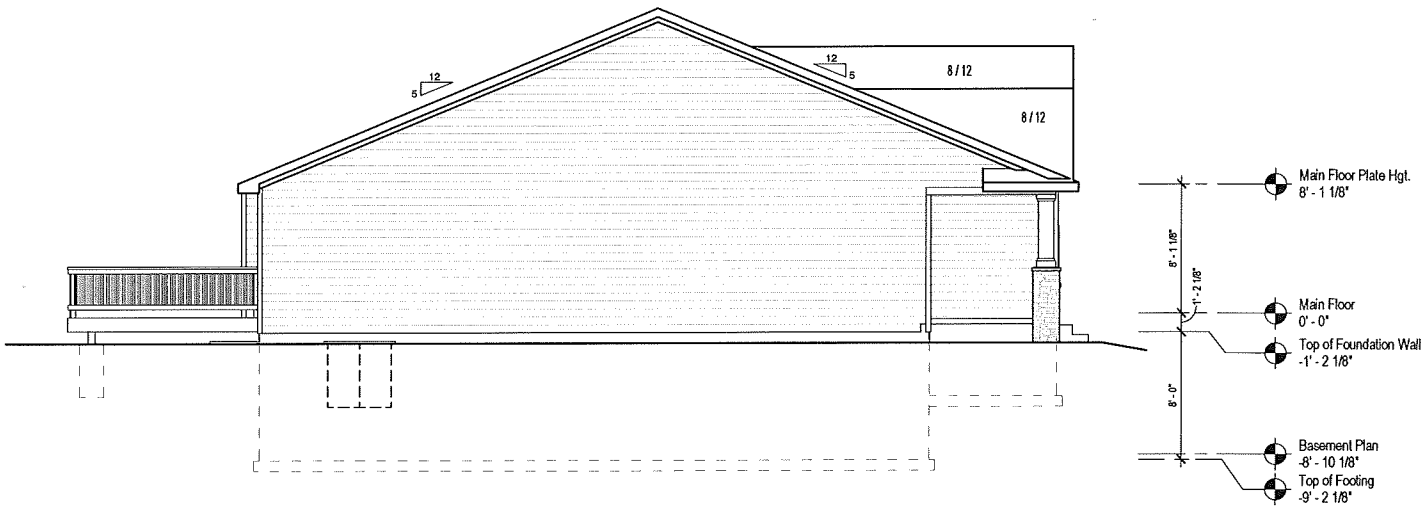
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DATE:

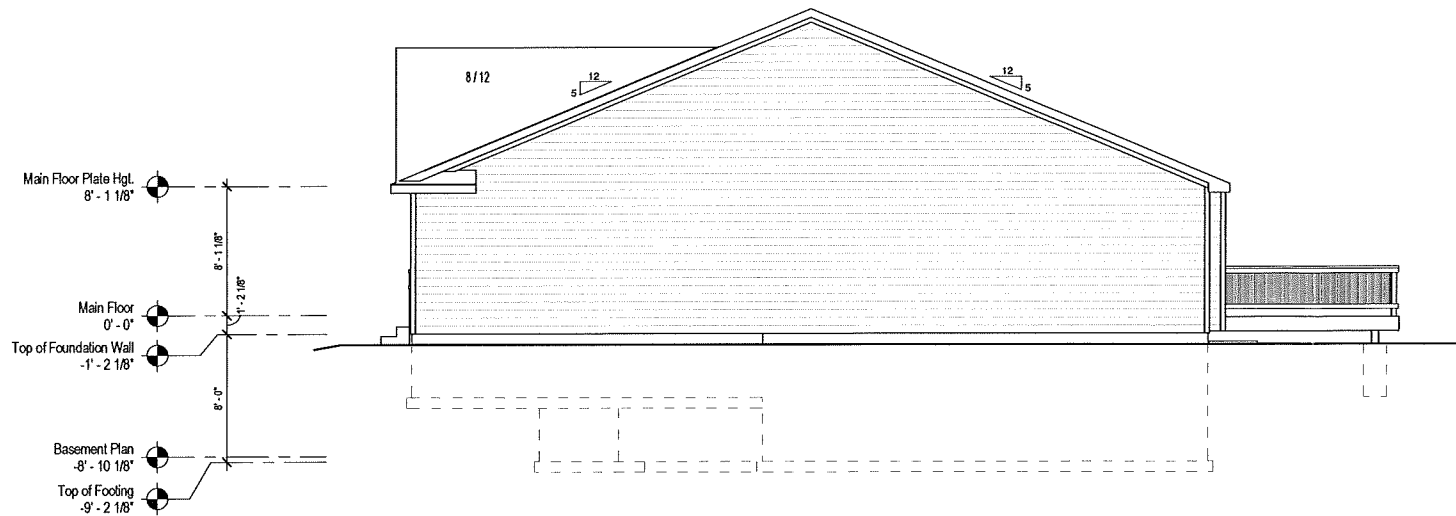
Elevations

As indicated

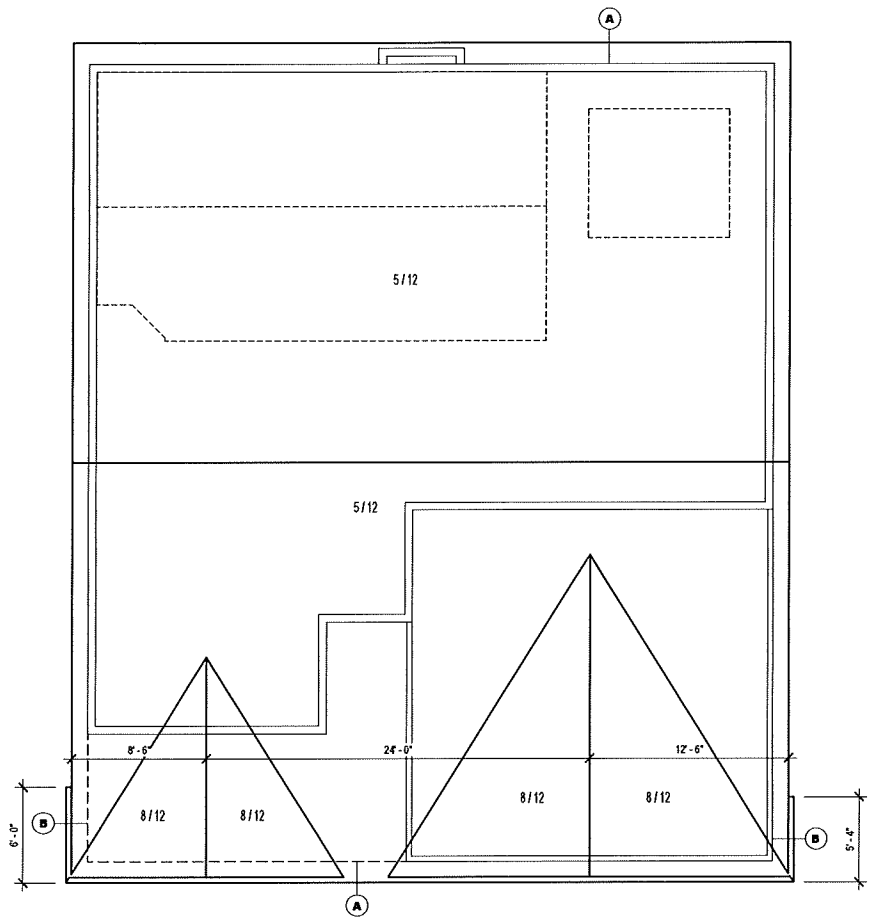
A.2



1 LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
Scale: 3/16" = 1'-0"



3 ROOF PLAN
Scale: 3/16" = 1'-0"

ESTIMATED ROOF SF

2675 SF

- SQUARE FOOTAGE OF ROOF IS IN SQUARE FEET SURFACE OF THE ROOF.
1. THE AREA INCLUDES GABLES AND PARALLEL GABLES.
2. NO 4:12 PITCH OR STEEPER IS ALLOWED.

ROOF PLAN LEGEND

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	12/5	1'-4"	7"
B	8'-1 1/8"	12/5	1'-4"	7"

ALL RAISE OVERHANGS ARE 12" UNLESS NOTED