





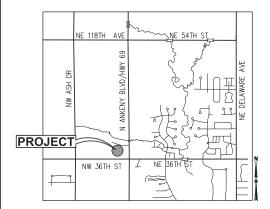




### SITE PLAN FOR:

# **GREEN ACRES STORAGE**

#### VICINITY MAP



### OWNER / APPLICANT

GREEN ACRES STORAGE CONTACT: SETH GREEN 550 LINDALE DRIVE MARION, IOWA 52302 PH. (319) 533-8488

### **ENGINEER**

CIVIL DESIGN ADVANTAGE, LLC CONTACT: BRAD KUEHL 3405 SE CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PH. (515) 369-4400 FX. (515) 369-4410

### SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC CONTACT: MIKE BROONER 3405 SE CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PH. (515) 369-4400

### **ARCHITECT**

PH. (608) 819-0260

### SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: -SITE PLAN SUBMITTAL TO CITY #2 5/08/17

#### LEGAL DESCRIPTION

LOT 1, AUTUMN CREST PLAT 7, AN OFFICIAL PLAT IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND CONTAINING 3.13 ACRES.

#### PROJECT SITE ADDRESS

225 NW AUTUMN CREST DRIVE

### ZONING

GENERAL RETAIL, HIGHWAY ORIENTED, AND CENTRAL BUSINESS COMMERICAL DISTRICT

### **BULK REGULATIONS**

FRONT YARD = 35 FEET FROM NE 36TH STREET SIDE YARD REAR YARD = 25 FEET (ADJOINING R DISTRICT) = 40 FEET

### **DEVELOPMENT SUMMARY**

3.13 ACRES (136,444 SF)

### OPEN SPACE CALCULATION: TOTAL SITE:

= 136,444 SF (3.13 ACRES) TOTAL SITE: = 136,444 SF (3.13 M)
OPEN SPACE REQUIRED (20%) = 27,289 SF
OPEN SPACE PROVIDED = 51,199 SF (37.5%)
BUILDING FOOTPRINT = 48,000 SF
PARKING/DRIVES = 36,000 SF
SIDEWALK = 1,245 SF = 85,245 SF

PARKING: STORAGE WITHIN COMPLETELY ENCLOSED STRUCTURE 1 SPACE PER 5000 SF GROSS FLOOR AREA (119,700 SF)

= 25 STANDARD SPACES (1 ACCESSIBLE)

### TOTAL PROVIDED

= 25 STANDARD SPACES (1 ACCESSIBLE) = 20 LARGE VEHICLE SPACES

### ERU CALCULATION

### IMPERVIOUS SURFACES:

BUILDING FOOTPRINT = 48 000 SE PAVEMENT (PARKING/DRIVES) SIDEWALK TOTAL IMPERVIOUS AREA = 85,245 SF ERU-SITE (IMPERVIOUS AREA/4000)

### ANKENY, IOWA

### INDEX OF SHEETS

DESCRIPTION

- COVER SHEET
- DIMENSION PLAN
- GRADING AND UTILITY PLAN
- LANDSCAPE PLAN

### DATE OF SURVEY

JULY 15 2016

### **BENCHMARKS**

CITY OF ANKENY BM#127. IDOT BM ® NW COR TOP OF WING WALL OF BRIDGE OVER FOUR MILE CREEK ON 100TH. ELEVATION = 922.03

BURY BOLT ON HYDRANT ON AUTUMN CREST DR 555'+/- WEST OF HIGHWAY 69 ON SOUTH SIDE OF STREET.
ELEVATION = 948.64

# **SIOWA**ONE CALL 1-800-292-8989

www.iowaonecall.com

### UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



3405 SE CROSSROADS DR. SUITE G, GRIMES. IOWA 50111 PH: (515) 369-4400 Fax: (515) 369-4410 PROJECT NO. 1703.118

### GENERAL LEGEND

PROJECT BOUNDARY LOT LINE SECTION LINE CENTER LINE RIGHT OF WAY PERMANENT FASEMENT TEMPORARY EASEMENT TYPE SW-501 STORM INTAKE TYPE SW-503 STORM INTAKE TYPE SW-505 STORM INTAKE TYPE SW-506 STORM INTAKE TYPE SW-513 STORM INTAKE TYPE SW-401 STORM MANHOLE TYPE SW-402 STORM MANHOLE TYPE SW-301 SANITARY MANHOLE STORM/SANITARY CLEANOUT

FIRE HYDRANT ASSEMBLY DETECTABLE WARNING PANEL STORM SEWER STRUCTURE NO.

STORM SEWER PIPE NO SANITARY SEWER STRUCTURE NO.

SANITARY SEWER PIPE NO.

SANITARY SEWER WITH SIZE SANITARY SERVICE STORM SEWER STORM SERVICE WATERMAIN WITH SIZE WATER SERVICE SAWCUT (FULL DEPTH)

SILT FENCE

WATER CURB STOP STORM SEWER MANHOLE STORM SEWER SINGLE INTAKE STORM SEWER DOUBLE INTAKE FLARED END SECTION ROOF DRAIN / DOWNSPOUT ○ ☆ ○ DECIDUOUS TREE CONIFEROUS TREE DECIDUOUS SHRUB CONIFEROUS SHRUB 0 FLECTRIC POWER POLE -GUY ANCHOR STREET LIGHT **∩**—« POWER POLE W/ TRANSFORMER **-**UTILITY POLE W/ LIGHT ELECTRIC BOX ELECTRIC TRANSFORMER ELECTRIC MANHOLE OR VAULT E TRAFFIC SIGN TELEPHONE JUNCTION BOX TELEPHONE MANHOLE/VAULT (T) TELEPHONE POLE GAS VALVE BOX CABLE TV JUNCTION BOX

SANITARY MANHOLE

WATER VALVE BOX

FIRE HYDRANT

 $\bigcirc$ 

(TV)

M

STORAGE

**REEN ACRES** 

ū

P-10 —8"s — —s—s—s— — st — st — \_\_\_\_\_\_8"w \_\_\_\_\_ —— w —— w —— <del>. . . . . .</del>

- -P/E-----

(S)

ST-10

(L-10)

(S-10)

RENCHMARK SOIL BORING UNDERGROUND TV CABLE GAS MAIN FIBER OPTIC — — F0— — — UNDERGROUND TELEPHONE OVERHEAD ELECTRIC UNDERGROUND ELECTRIC FIELD TILE — — — TILE — — — SANITARY SEWER W/ SIZE -----8"S -----STORM SEWER W/ SIZE \_\_\_\_\_15<u>" RCP\_\_\_\_\_</u> WATER MAIN W/ SIZE ——— 8"W —

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF ANKENY GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPT THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

CABLE TV MANHOLE/VAULT

MAIL BOX

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE <u>SUDAS STANDARD SPECIFICATIONS</u>. THE <u>PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES</u> (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL WORK ON THE PROJECT LINESS DIFFERENCE NOTIFIED TO ALL

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.

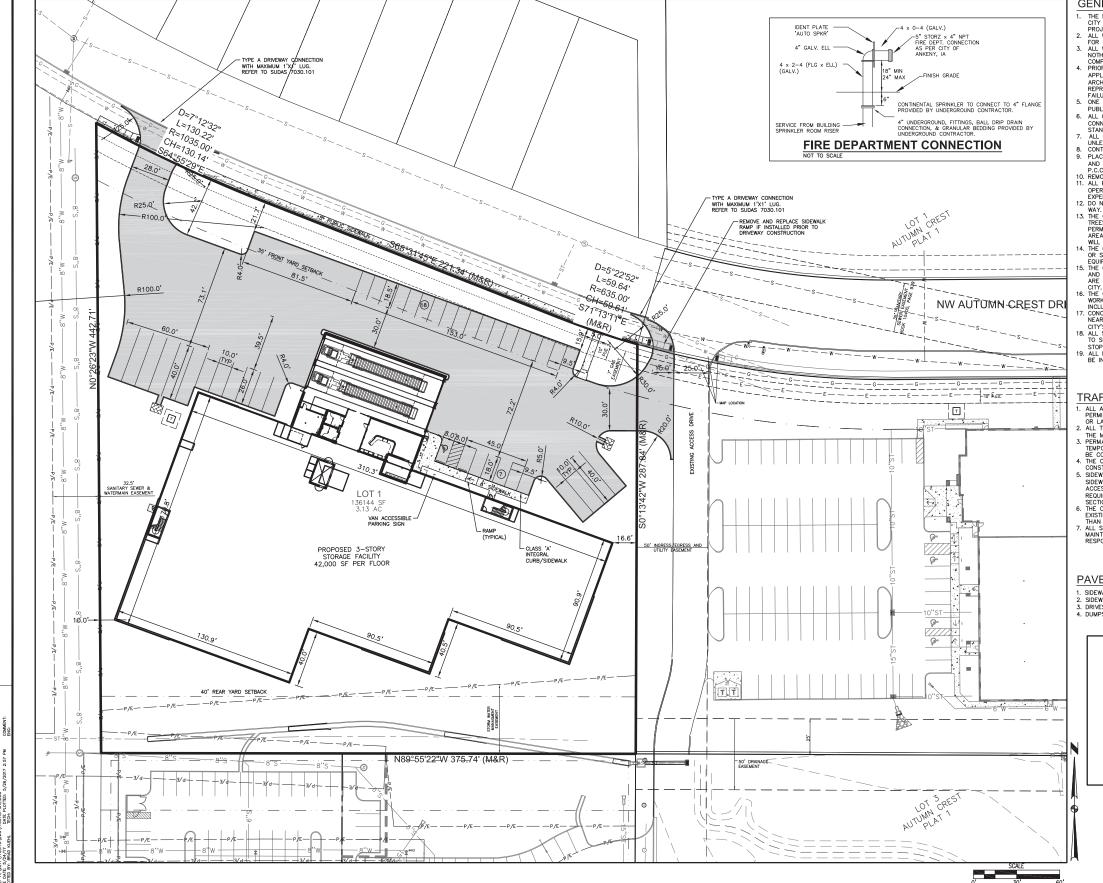


GREEN ACRES





## Dimension Plan





- THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

  2. ALL WORK SHALL COMPLY WITH PROWAG AND ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACLITIES.

  3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

  4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR APPLICABLE TAND CONSILLY WITH OWNERS.
- 4. PRIOR TO ANY WORK AT THE STIE, CONTRACTOR STALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/ORNY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/ORNY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

  5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.

  7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.

  8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.

  9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING, PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.

  10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.

  11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.

- 12. DN NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.

  13. THE CONTRACTOR SHALL NOT DISTURE DESIRABLE GRASS AREAS AND DESIRABLE TRESS OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.

  14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAYEMENT OR SIDEWALK. NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAYEMENT OR SIDEWALK.

  15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.

  16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING SEGNIC OF CONTRUCTION OF MAIL. SET THE NEW OF THE PROJECT, INCLUDING SEGNIC OF CONTRUCTION TRAILS.

  17. CALOURS STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SOUR STOP SHALL BE REMOVED TO ANY CONCRETE REMOVAL. LINITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL. BINST WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.

  18. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS. INSTALL SOD UNDER ALL SCOUR STOP SHALL BE RESPONSIBLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP AND THE REINFORCEMENT MAT (TRM.)

  19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR SHOULD BE INCLUDED IN TH

### TRAFFIC CONTROL NOTES

- TRAFFIC CONTROL NOTES

  1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANG CLOSURES.

  2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

  3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRAPY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.

  4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.

  5. SIDEWALK/SHARED USE PATH CLOSED SIGNING REQUIRED FOR ALL SIDEWALK/SHARED USE PATH CLOSURES. SIGNIAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.

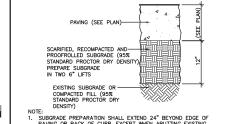
  6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

  7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD.

  MAINTENANCE AND REPLICAMENT.

### PAVEMENT THICKNESS

1. SIDEWALKS	4" P.C.C
2. SIDEWALK RAMPS	6" P.C.C
<ol><li>DRIVES AND PARKING</li></ol>	6" P.C.C
<ol> <li>DUMPSTER ENCLOSURE &amp; FRONT 20'</li> </ol>	8" P.C.C



12" SUBGRADE PREPARATION DETAIL

2 1703118

GREEN ACRES STORAGE OT 1, AUTUMN CREST PLAT DIMENSION PLAN

OADS DRIVE, SI IOWA 50111 100 FAX: (515) (

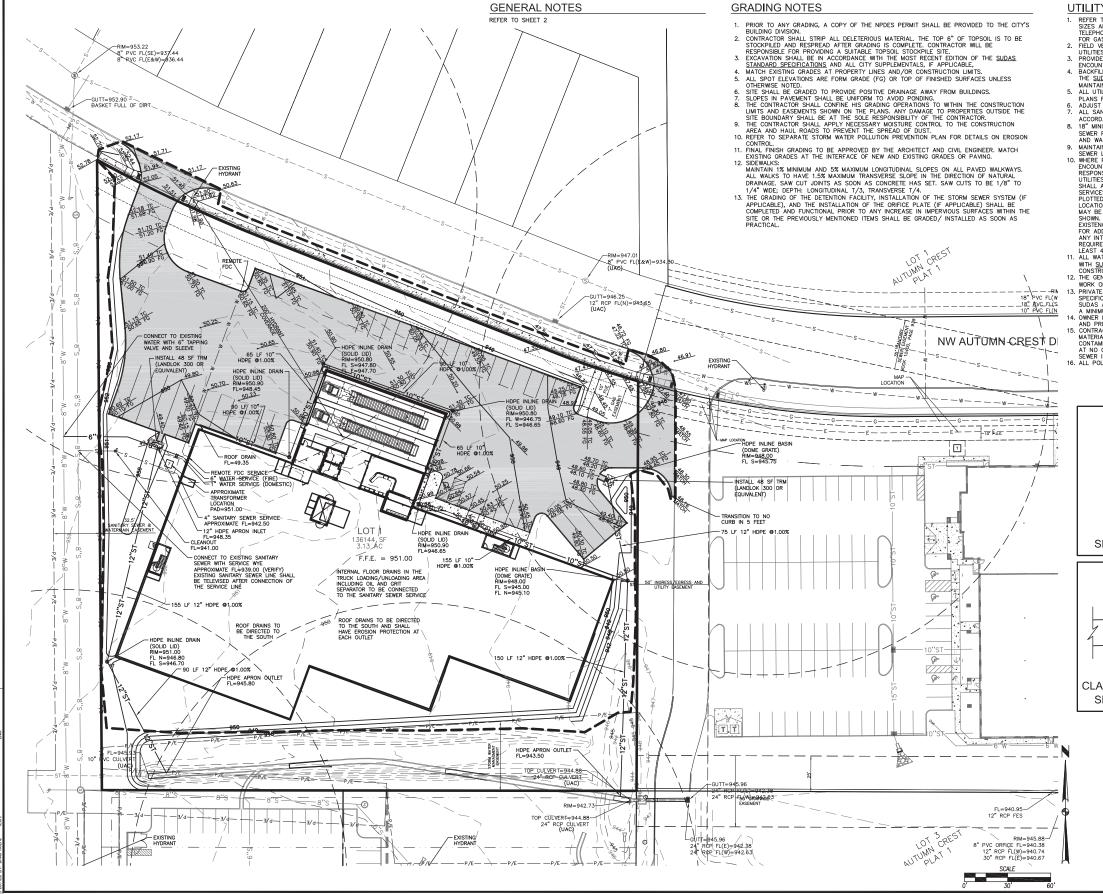
GR (515)







## Grading and Utility Plan





- UTILITY NOTES

  1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELECTRICA PLANS FOR ELECTRICA AND TELECRIPOL SERVICE CONSTRUCTION DETAILS.

  FOR GAS SERVICE CONSTRUCTION DETAILS.

  FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.

  PROMOTE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.

  BACKFILL ALL UTILITY TERNCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.

  MAINTAIN A MIMIMUM OF 5.5' COVER OVER ALL WATERMAINS.

  5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.

  6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.

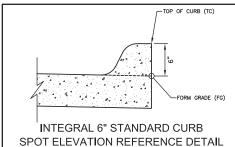
  7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.

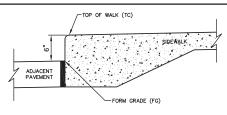
  8. 18' MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER AND WATER MAIN.

  9. MAINTAIN A MIMIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAIN.

  10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTEED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT HE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE—CALL SERVICE AT BOO—292–8989 AT LEAST 48 HOURS PRIOR TO EVALUATE BEAUTH OF DETAILS THE PROJECT.

  11. ALL W





CLASS "A" INTEGRAL CURB AND SIDEWALK SPOT ELEVATION REFERENCE DETAIL

> 3 1703118

ES STORAGE N CREST PLAT 7 UTILITY PLANAMEN

GREEN ACRES
OT 1, AUTUMN GRADING AND U

S DRIVE, S VA 50111 FAX: (515) :

E. CRO GRIN (515) 36









## Landscape Plan

PLANT LIST							
Key	Botanical name	Common Name	Size	Root	Spacing	Quantity	
DECIDUOUS	TREES						
AC RU GL TR QU RO UL AC	Acer rubrum 'Autumn Flame' Gleditsia tricanthos inermis 'Shadema Quercus robur 'Fastigiata' Ulmus Accolade	Autumn Flame Maple ster' Shademaster Honeylocust Upright English Oak Accolade Elm	2" cal. 2" cal. 2" cal. 2" cal.	Cont. or B&B Cont. or B&B Cont. or B&B Cont. or B&B	See Plan See Plan See Plan See Plan	4 6 9 5	
ORNAMENTA	AL TREES						
MA RA MA SS PY CA	Malus Radiant Malus Spring Snow Pyrus calleryana	Radiant Crabapple Spring Snow Crabapple Autumn Blaze Pear	1.5" cal. 1.5" cal. 1.5" cal.	Cont. or B&B Cont. or B&B Cont. or B&B	See Plan See Plan See Plan	13 6 5	
EVERGREEN	TREES						
PI PU PI FL PI ST	Picea pungens 'Densata' Pinus flexilis 'Vanderwolf' Pinus strobus	Black Hills Spruce Vanderwolf Pine Eastern White Pine	6' 6' 6'	Cont. or B&B Cont. or B&B Cont. or B&B	See Plan See Plan See Plan	7 5 6	
DECIDUOUS	SHRUBS						
AM CA BE TH EU AL	Amelanchier canadensis Berberis thunbergii 'Carousel' Euonymust alatus 'Compactus'	Autumn Brilliance Serviceber Carousel Barberry Dwarf Burning Bush	ry 10 Gal. 5 Gal. 5 Gal.	Cont. or B&B Container	See Plan See Plan See Plan	9 19 69	
HY AR RO AD	Hydrangea arborescens 'Annabelle' Rosa 'Adelaide Hoodless'	Annabelle Hydrangea Adelaide Hoodless Rose	5 Gal. 5 Gal.	Container Container	See Plan See Plan	11 30	
SY MC SY DK	Syringa 'Miss Canada' Syringa meyeri 'Palibin'	Miss Canada Lilac Dwarf Korean Lilac	5 Gal. 5 Gal.	Container Container	See Plan See Plan	20 19	
ORNAMENTA	AL GRASS AND PERENNIALS						
CA AC SC HE		arl Foerster Feather Reed Grass ara Prairie Dropseed	1 Gal. 1 Gal.	Container Container	See Plan See Plan	69 56	

### **NOTES**

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 1986).
- 2. SOD OR SEED SHALL BE THREE IMPROVED VARIETIES OF KENTUCKY BLUE GRASS WITH AT LEAST ONE VARIETY BEING SHADE TOLERANT. ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED
- OTHERWISE.
  3. WEED BARRIER SHALL BE PLACED IN ALL SHRUB BEDS, WEED BARRIER SHALL BE A NON-WOVEN POLYPROPYLENE WEED BARRIER SUCH AS TYPAR, MIRAFI OR DEWITT PRO.
  4. QUANTITIES PROVIDED IN PLANT SCHEDULE ARE FOR INFORMATION ONLY. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING

- 4. QUANTITIES PROVIDED IN PLANT SCHEDULE ARE FOR INFORMATION ONLY, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING QUANTITIES SHOWN ON PLAN,

  5. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING,

  6. AMEND PLANTING BEDS AND SOD AREAS WITH 3 CY11,000 SF OF ORGANIC COMPOST, AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO EMSTING SOIL.

  7. SOD ALL DISTURBED AREAS, IN ADDITION, EXISTING TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLUEGRASS SOD.

  8. PROVIDE ONE YEAR WARRANTY ON ALL MATERIALS FROM THE DATE OF FINAL ACCEPTANCE.

  9. OWNERS REPRESENTATIVE SHALL APPROVE PLANT LOCATIONS PRIOR TO FINAL INSTALLATION.

  10. STAKE SOD ON ALL SLOPES 3:1 OR GREATER.

  11. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT.

  12. STAKE AND WRAP ALL DECIDIOUS TREES IMMEDIATELY AFTER PLANTING, STAKE ALL TREES ACCORDING TO THE STAKING DETAILS.

  CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.

  SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ALL EXISTING UTILITIES.

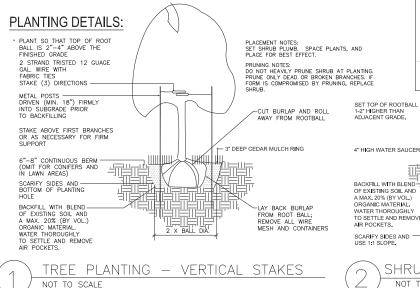
  13. NO LANDSCAPE MATERIAL, SHALL BE SUBSTITUTE ON WITHOUT THE AUTHORIZATION OF THE COWNER OR LANDSCAPE ARCHITECT.

  14. EDGING SHALL BE 18° X 4" ROLLED STEEL EDGING. EDGING SHALL BE PINNED AT 10' INTERVALS AT A MINIMUM, AND A 1" OPENING SHALL BE PROVIDED AT LOW POINTS AND 30' INTERVALS TO ALLOW FOR DRAINAGE, ALL EDGING ABUTTING SOD OR GRASS SHALL BE SET FILLSH WITH THE FINSHED SURFACE.
- FINISHED SURFACE.

  15. THE LANDSCAPE CONTRACTOR SHALL DESIGN AND INSTALL AN <u>IRRIGATION SYSTEM</u>. ALL TURF AREAS TO BE IRRIGATED WITH A POP-UP SPRAY/ ROTOR IRRIGATION SYSTEM. ALL PLANTING BEDS SHALL BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM.

  16. IT IS RECOMMENDED THAT THE LANDSCAPE CONTRACTOR VISIT THE SITE PRIOR TO BIDDING TO UNDERSTAND THE LIMIT OF LANDSCAPE/ DISTURBED AREA TO BE PLANTED AND SODDED.
- DISTURBED AREA TO BE PLANTED AND SODDED.

  17. TOPSOIL: IN ORDER TO PROVIDE AN ADEQUATE GROWING MEDIUM. A MINIMUM OF 6 INCHES OF TOPSOIL SHOULD BE PLACED OVER THE DISTURBED AREA PRIOR TO SEEDING, DEEPER TOPSOIL DEPTHS (8-12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL. THESE BENEFITS WILL INCREASE THE DROUGHT TOLERANCE AND LONG TERM HEALTH OF THE VEGETATION, WHERE SUFFICIENT TOP SOIL. IS NOT AVAILABLE. COMPOSTED MATTERIALS MAY BE INCORPORATED AT THE RATE OF 1 INCH OF COMPTO FOR EVERY 3 INCHES OF DEFICIENT TOPSOIL. THIS WILL INCREASE ORGANIC MATTER CONTENT OF THE SOIL, AND PROVIDE ADEQUATE GROWING MEDIUM FOR VEGETATION.



SCARIFY SIDES AND USE 1:1 SLOPE. PLACE ON UNDISTURBED SOIL SHRUB AND ORNAMENTAL GRASS PLANTING

3" DEEP CEDAR MULCH RING

PLANTING PLAN



2-70%-(1"-1.5") RIVER ROCK MULCH / 30% (4"-6") COBBLE (3"-4" DEPTH) 3 - SHREDDED CEDAR MULCH (3" DEPTH)

NW AUTUMN CREST DR

A)-3/4 TON ROUNDED GRANITE BOULDER B – 1/2 TON ROUNDED GRANITE BOULDER
C – 1/4 TON ROUNDED GRANITE BOULDER

LANDSCAPE CALCULATIONS OPEN SPACE LANDSCAPE REQUIREMENTS
OPEN SPACE REQUIRED 20% = 27,289 S.F.
OPEN SPACE PROVIDED = 51,999 S.F. (37.5%)

SCREENING REQUIREMENTS
AUTUMN CREST DRIVE (TYPE 'B' AND PARKING)
118-1130

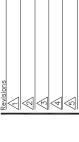
PAVEMENT SHADING REQUIREMENTS 20% OF ALL PAVEMENT NEEDS TO BE SHADED PARKING/ DRIVES = 3,600 S.F. 20% = 7,200 S.F. 7,200 S.F./ 706 (30° DIA. TREE) = 10 TREES TREES PROVIDED = 10 TREES



319.325.5470

age. Stor Acres

9 Ankeny, lowa





SCALE1"= 30'

Designed by:RL Drawn by: RL Checked by:

LANDSCAPE PLAN

Project Number: 17-55







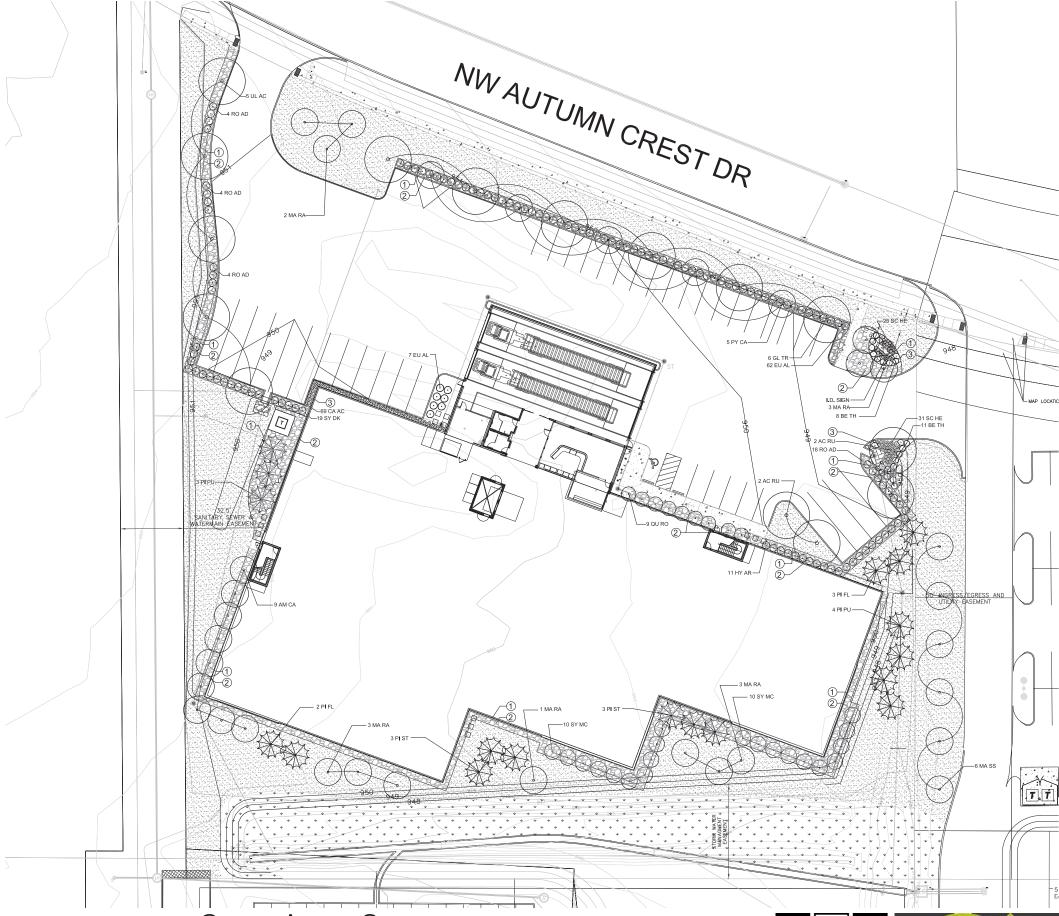
O SETTLE AND REMOV







Landscape Plan -Enlarged

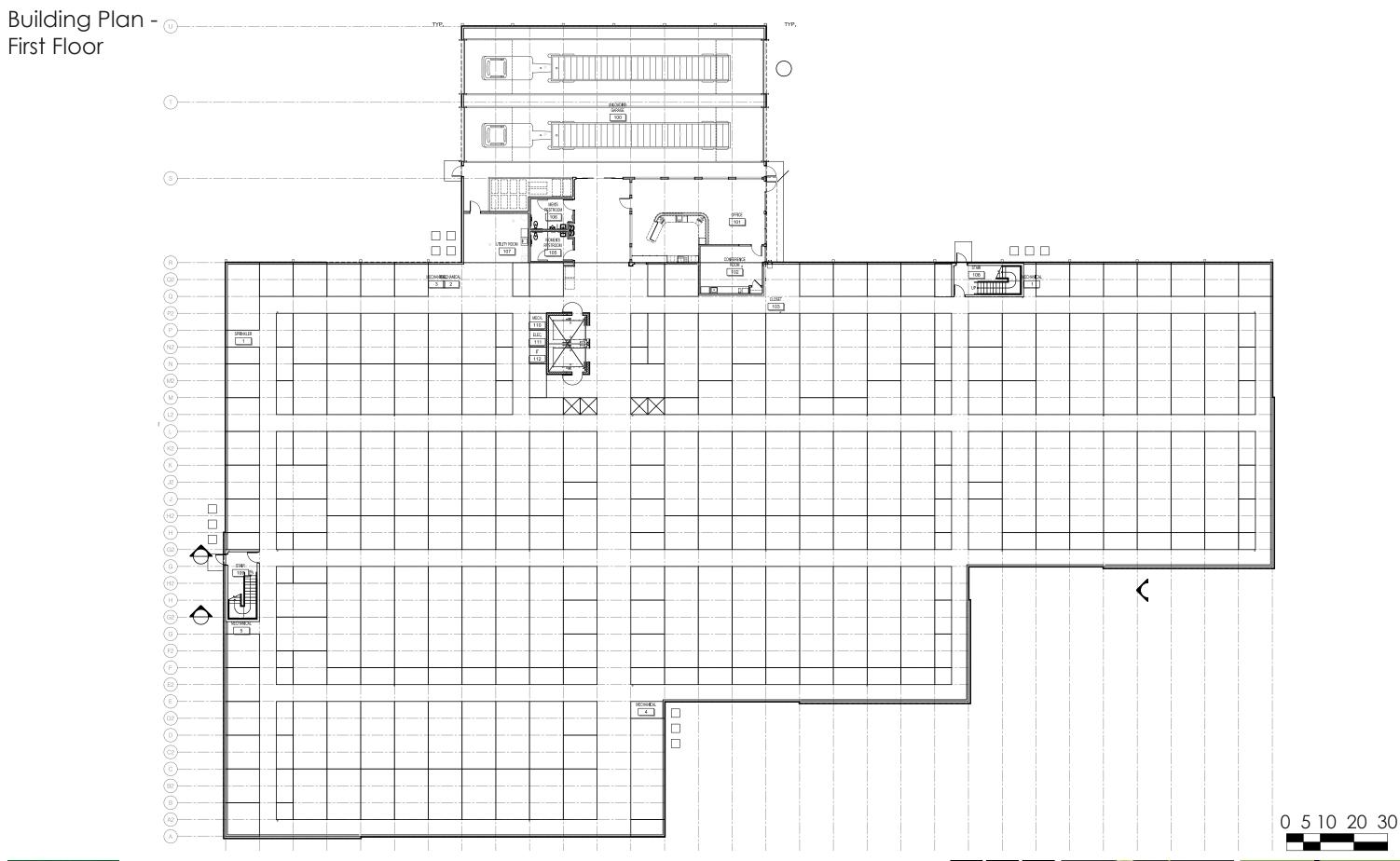










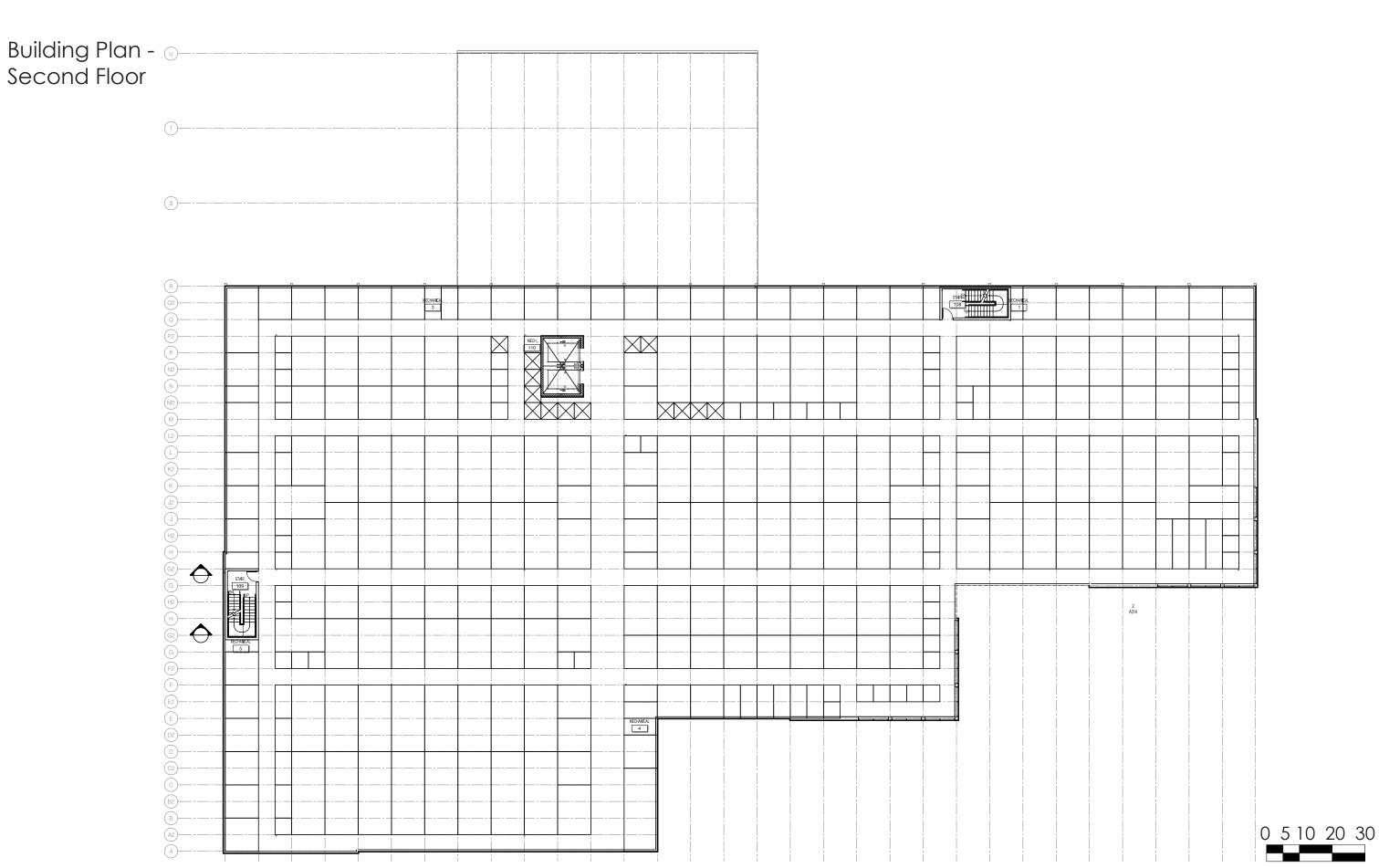










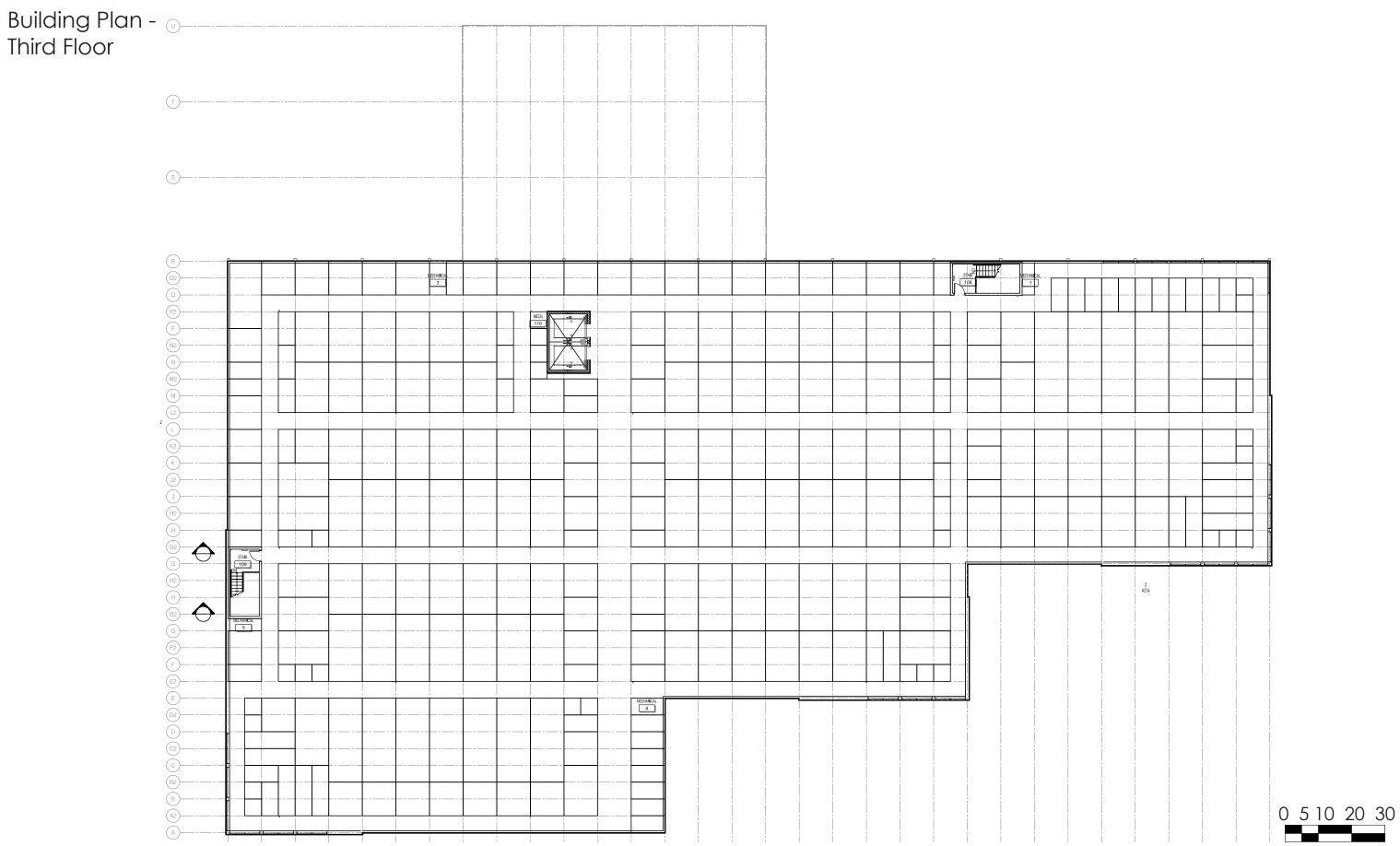




















Exterior Materials -Waterloo Facility



Glass Overhead Doors



Horizontal Metal Siding



Green Acres Storage Autumn Crest Drive - Ankeny, Iowa













# Rendering - West on 36th Street









# Rendering - East on 36th Street

























# Rendering - East on Autumn Crest







