

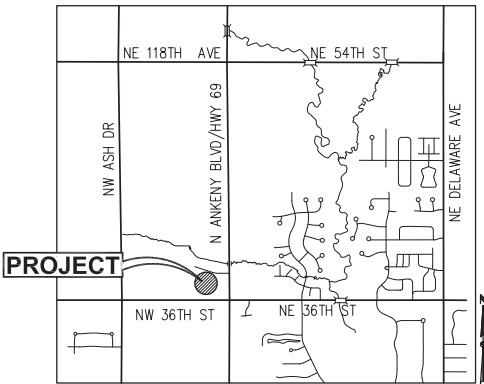


Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa



SITE PLAN FOR:  
**GREEN ACRES STORAGE**  
ANKENY, IOWA

VICINITY MAP  
NOT TO SCALE



OWNER / APPLICANT

GREEN ACRES STORAGE  
CONTACT: SETH GREEN  
550 LINDALE DRIVE  
MARION, IOWA 52302  
PH. (319) 533-8488

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: BRAD KUEHL  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: MIKE BROONER  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

ARCHITECT

OPN ARCHITECTS  
CONTACT: MALORIE HEPNER  
301 N. BLOOM STREET, SUITE 100  
MADISON, WI 53703  
PH. (608) 819-0260

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 4/17/17  
-SITE PLAN SUBMITTAL TO CITY #2: 5/08/17

LEGAL DESCRIPTION

LOT 1, AUTUMN CREST PLAT 7, AN OFFICIAL PLAT IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND CONTAINING 3.13 ACRES.

PROJECT SITE ADDRESS

225 NW AUTUMN CREST DRIVE

ZONING

C-2: GENERAL RETAIL, HIGHWAY ORIENTED, AND CENTRAL BUSINESS COMMERCIAL DISTRICT

BULK REGULATIONS

FRONT YARD = 35 FEET FROM NE 36TH STREET  
SIDE YARD = 25 FEET (ADJOINING R DISTRICT)  
REAR YARD = 40 FEET  
MAXIMUM HEIGHT = 45 FEET  
MAXIMUM STORIES = 3

DEVELOPMENT SUMMARY

AREA: 3.13 ACRES (136,444 SF)

OPEN SPACE CALCULATION:

TOTAL SITE: = 136,444 SF (3.13 ACRES)  
OPEN SPACE REQUIRED (20%) = 27,289 SF  
OPEN SPACE PROVIDED = 51,199 SF (37.5%)  
BUILDING FOOTPRINT = 48,000 SF  
PARKING/DRIVES = 36,000 SF  
SIDEWALK = 1,245 SF  
= 85,245 SF

PARKING:

STORAGE WITHIN COMPLETELY ENCLOSED STRUCTURE  
1 SPACE PER 5000 SF GROSS FLOOR AREA (119,700 SF)  
PLUS 1 SPACE PER 2 EMPLOYEES (2)

TOTAL REQUIRED = 25 STANDARD SPACES (1 ACCESSIBLE)

TOTAL PROVIDED = 25 STANDARD SPACES (1 ACCESSIBLE)  
= 20 LARGE VEHICLE SPACES

ERU CALCULATION

IMPERVIOUS SURFACES:

BUILDING FOOTPRINT = 48,000 SF  
PAVEMENT (PARKING/DRIVES) = 36,000 SF  
SIDEWALK = 1,245 SF

TOTAL IMPERVIOUS AREA = 85,245 SF  
ERU-SITE (IMPERVIOUS AREA/4000) = 22

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3	GRADING AND UTILITY PLAN
4	LANDSCAPE PLAN

DATE OF SURVEY

JULY 15, 2016

BENCHMARKS

CITY OF ANKENY BM#127: IDOT BM @ NW COR  
TOP OF WING WALL OF BRIDGE OVER FOUR MILE  
CREEK ON 100TH.  
ELEVATION = 922.03

BURY BOLT ON HYDRANT ON AUTUMN CREST DR  
555'+/- WEST OF HIGHWAY 69 ON SOUTH SIDE  
OF STREET.  
ELEVATION = 948.64



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



GENERAL LEGEND

PROPOSED

PROJECT BOUNDARY	---
LOT LINE	---
SECTION LINE	---
CENTER LINE	---
RIGHT OF WAY	--- R/W ---
PERMANENT EASEMENT	--- P/E ---
TEMPORARY EASEMENT	--- T/E ---
TYPE SW-501 STORM INTAKE	[Symbol]
TYPE SW-503 STORM INTAKE	[Symbol]
TYPE SW-505 STORM INTAKE	[Symbol]
TYPE SW-506 STORM INTAKE	[Symbol]
TYPE SW-513 STORM INTAKE	[Symbol]
TYPE SW-401 STORM MANHOLE	[Symbol]
TYPE SW-402 STORM MANHOLE	[Symbol]
TYPE SW-301 SANITARY MANHOLE	[Symbol]
STORM/SANITARY CLEANOUT	[Symbol]
WATER VALVE	[Symbol]
FIRE HYDRANT ASSEMBLY	[Symbol]
SIGN	[Symbol]
DETECTABLE WARNING PANEL	[Symbol]
STORM SEWER STRUCTURE NO.	[Symbol]
STORM SEWER PIPE NO.	[Symbol]
SANITARY SEWER STRUCTURE NO.	[Symbol]
SANITARY SEWER PIPE NO.	[Symbol]
SANITARY SEWER WITH SIZE	[Symbol]
SANITARY SERVICE	[Symbol]
STORM SEWER	[Symbol]
STORM SERVICE	[Symbol]
WATERMAIN WITH SIZE	[Symbol]
WATER SERVICE	[Symbol]
SAWCUT (FULL DEPTH)	[Symbol]
SILT FENCE	[Symbol]

EXISTING

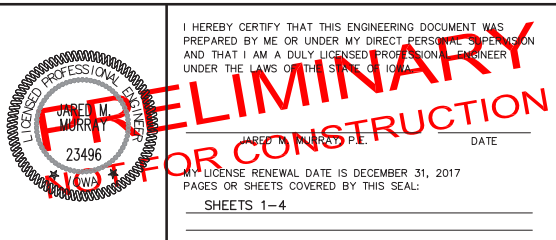
SANITARY MANHOLE	[Symbol]
WATER VALVE BOX	[Symbol]
FIRE HYDRANT	[Symbol]
WATER CURB STOP	[Symbol]
WELL	[Symbol]
STORM SEWER MANHOLE	[Symbol]
STORM SEWER SINGLE INTAKE	[Symbol]
STORM SEWER DOUBLE INTAKE	[Symbol]
FLARED END SECTION	[Symbol]
ROOF DRAIN/ DOWNSPOUT	[Symbol]
DECIDUOUS TREE	[Symbol]
CONIFEROUS TREE	[Symbol]
DECIDUOUS SHRUB	[Symbol]
CONIFEROUS SHRUB	[Symbol]
ELECTRIC POWER POLE	[Symbol]
GUY ANCHOR	[Symbol]
STREET LIGHT	[Symbol]
POWER POLE W/ TRANSFORMER	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
ELECTRIC BOX	[Symbol]
ELECTRIC TRANSFORMER	[Symbol]
ELECTRIC MANHOLE OR VAULT	[Symbol]
TRAFFIC SIGN	[Symbol]
TELEPHONE JUNCTION BOX	[Symbol]
TELEPHONE MANHOLE/VAULT	[Symbol]
TELEPHONE POLE	[Symbol]
GAS VALVE BOX	[Symbol]
CABLE TV JUNCTION BOX	[Symbol]
CABLE TV MANHOLE/VAULT	[Symbol]
MAIL BOX	[Symbol]
BENCHMARK	[Symbol]
SOIL BORING	[Symbol]
UNDERGROUND TV CABLE	[Symbol]
GAS MAIN	[Symbol]
FIBER OPTIC	[Symbol]
UNDERGROUND TELEPHONE	[Symbol]
OVERHEAD ELECTRIC	[Symbol]
UNDERGROUND ELECTRIC	[Symbol]
FIELD TILE	[Symbol]
SANITARY SEWER W/ SIZE	[Symbol]
STORM SEWER W/ SIZE	[Symbol]
WATER MAIN W/ SIZE	[Symbol]

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF ANKENY GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.



GREEN ACRES STORAGE



Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa





**GREEN ACRES**  
STORAGE

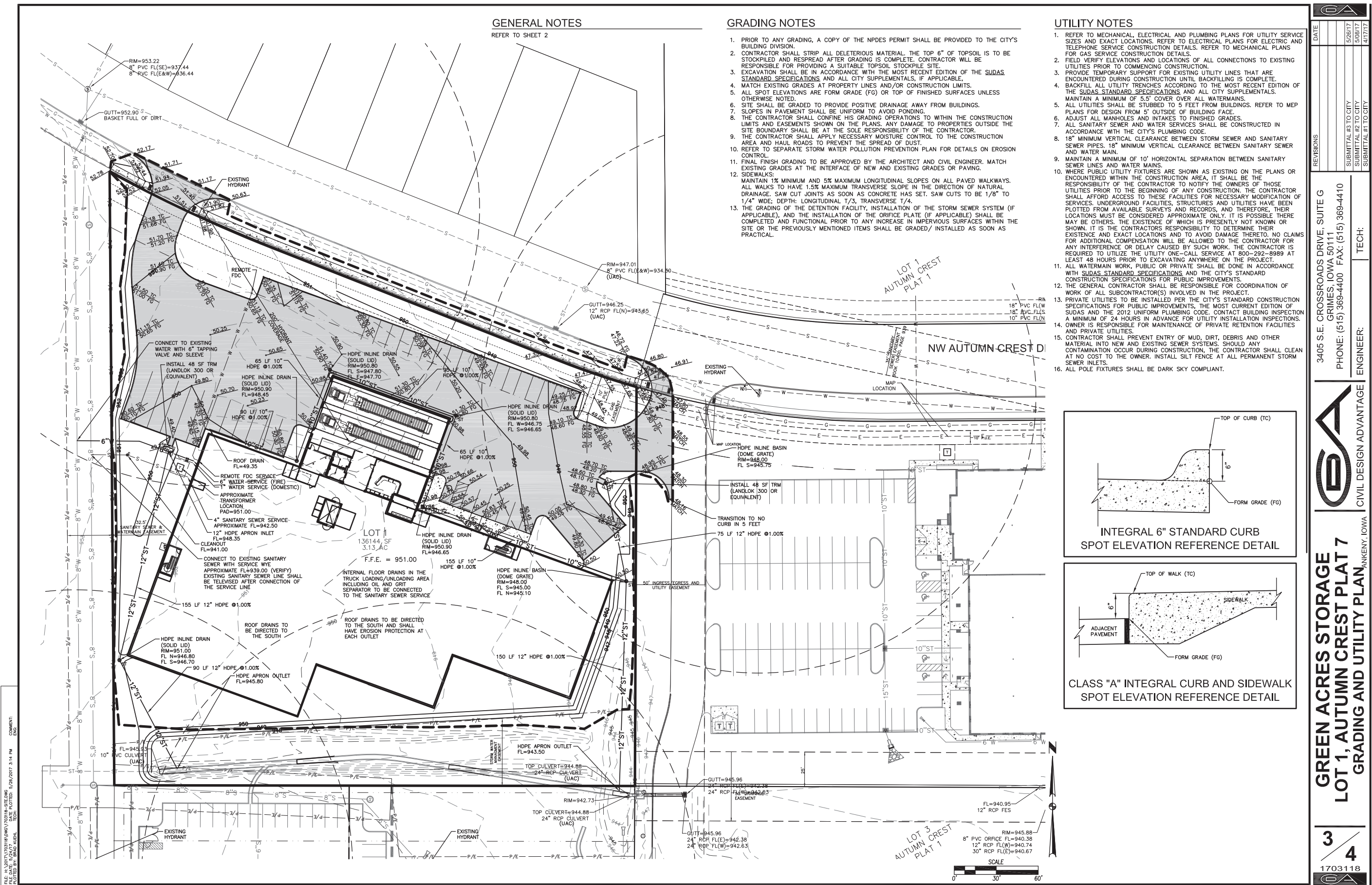
**OPN**  
ARCHITECTS

**GA**  
CIVIL DESIGN ADVANTAGE





Grading  
and Utility  
Plan





Landscape Plan

PLANT LIST

Key	Botanical name	Common Name	Size	Root	Spacing	Quantity
DECIDUOUS TREES						
AC RU	Acer rubrum 'Autumn Flame'	Autumn Flame Maple	2" cal.	Cont. or B&B	See Plan	4
GL TR	Gleditsia tricanthos inermis 'Shademaster'	Shademaster Honeylocust	2" cal.	Cont. or B&B	See Plan	6
QU RO	Quercus robur 'fastigiata'	Upright English Oak	2" cal.	Cont. or B&B	See Plan	9
UL AC	Ulmus Accolade	Accolade Elm	2" cal.	Cont. or B&B	See Plan	5
ORNAMENTAL TREES						
MA RA	Malus Radiant	Radiant Crabapple	1.5" cal.	Cont. or B&B	See Plan	13
MA SS	Malus Spring Snow	Spring Snow Crabapple	1.5" cal.	Cont. or B&B	See Plan	6
PY CA	Pyrus calleryana	Autumn Blaze Pear	1.5" cal.	Cont. or B&B	See Plan	5
EVERGREEN TREES						
PI PU	Picea pungens 'Densata'	Black Hills Spruce	6'	Cont. or B&B	See Plan	7
PI FL	Pinus flexilis 'Vanderwolf'	Vanderwolf Pine	6'	Cont. or B&B	See Plan	5
PI ST	Pinus strobus	Eastern White Pine	6'	Cont. or B&B	See Plan	6
DECIDUOUS SHRUBS						
AM CA	Amelanchier canadensis	Autumn Brilliance Serviceberry	10 Gal.	Cont. or B&B	See Plan	9
BE TH	Berberis thunbergii 'Carousel'	Carousel Barberry	5 Gal.	Container	See Plan	19
EU AL	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal.	Container	See Plan	69
HY AR	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 Gal.	Container	See Plan	11
RO AD	Rosa 'Adelaide Hoodless'	Adelaide Hoodless Rose	5 Gal.	Container	See Plan	30
SY MC	Syringa 'Miss Canada'	Miss Canada Lilac	5 Gal.	Container	See Plan	20
SY DK	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	5 Gal.	Container	See Plan	19
ORNAMENTAL GRASS AND PERENNIALS						
CA AC	Calamagrostis acutiflora	Karl Foerster Feather Reed Grass	1 Gal.	Container	See Plan	69
SC HE	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1 Gal.	Container	See Plan	56

NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE " AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 - 1986).
2. SOD OR SEED SHALL BE THREE IMPROVED VARIETIES OF KENTUCKY BLUE GRASS WITH AT LEAST ONE VARIETY BEING SHADE TOLERANT. ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
3. WEED BARRIER SHALL BE PLACED IN ALL SHRUB BEDS, WEED BARRIER SHALL BE A NON-WOVEN POLYPROPYLENE WEED BARRIER SUCH AS TYPAR, MIRAFI OR DEWITT PRO.
4. QUANTITIES PROVIDED IN PLANT SCHEDULE ARE FOR INFORMATION ONLY. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING QUANTITIES SHOWN ON PLAN.
5. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING.
6. AMEND PLANTING BEDS AND SOD AREAS WITH 3 CY/1,000 SF OF ORGANIC COMPOST, AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO EXISTING SOIL.
7. SOD ALL DISTURBED AREAS, IN ADDITION, EXISTING TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLUEGRASS SOD.
8. PROVIDE ONE YEAR WARRANTY ON ALL MATERIALS FROM THE DATE OF FINAL ACCEPTANCE.
9. OWNERS REPRESENTATIVE SHALL APPROVE PLANT LOCATIONS PRIOR TO FINAL INSTALLATION.
10. STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
11. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT.
12. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
13. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE OWNER OR LANDSCAPE ARCHITECT.
14. EDGING SHALL BE 1/8" X 4" ROLLED STEEL EDGING. EDGING SHALL BE PINNED AT 10' INTERVALS AT A MINIMUM, AND A 1" OPENING SHALL BE PROVIDED AT LOW POINTS AND 30' INTERVALS TO ALLOW FOR DRAINAGE. ALL EDGING ABUTTING SOD OR GRASS SHALL BE SET FLUSH WITH THE FINISHED SURFACE.
15. THE LANDSCAPE CONTRACTOR SHALL DESIGN AND INSTALL AN **IRRIGATION SYSTEM**. ALL TURF AREAS TO BE IRRIGATED WITH A POP-UP SPRAY/ ROTOR IRRIGATION SYSTEM. ALL PLANTING BEDS SHALL BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM.
16. IT IS RECOMMENDED THAT THE LANDSCAPE CONTRACTOR VISIT THE SITE PRIOR TO BIDDING TO UNDERSTAND THE LIMIT OF LANDSCAPE/ DISTURBED AREA TO BE PLANTED AND SODDED.
17. TOPSOIL: IN ORDER TO PROVIDE AN ADEQUATE GROWING MEDIUM, A MINIMUM OF 6 INCHES OF TOPSOIL SHOULD BE PLACED OVER THE DISTURBED AREA PRIOR TO SEEDING, DEEPER TOPSOIL DEPTHS (8-12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL. THESE BENEFITS WILL INCREASE THE DROUGHT TOLERANCE AND LONG TERM HEALTH OF THE VEGETATION, WHERE SUFFICIENT TOP SOIL IS NOT AVAILABLE, COMPOSTED MATERIALS MAY BE INCORPORATED AT THE RATE OF 1 INCH OF COMPOST FOR EVERY 3 INCHES OF DEFICIENT TOPSOIL. THIS WILL INCREASE ORGANIC MATTER CONTENT OF THE SOIL, AND PROVIDE ADEQUATE GROWING MEDIUM FOR VEGETATION.

PLANTING DETAILS:

- PLANT SO THAT TOP OF ROOT BALL IS 2"-4" ABOVE THE FINISHED GRADE
- 2 STRAND TRISTED 12 GAUGE GAL. WIRE WITH FABRIC TIES
- STAKE (3) DIRECTIONS

- METAL POSTS DRIVEN (MIN. 18") FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING
- STAKE ABOVE FIRST BRANCHES OR AS NECESSARY FOR FIRM SUPPORT

- 6"-8" CONTINUOUS BERM (OMIT FOR CONIFERS AND IN LAWN AREAS)
- SCARIFY SIDES AND BOTTOM OF PLANTING HOLE

- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAX. 20% (BY VOL.) ORGANIC MATERIAL. WATER THOROUGHLY TO SETTLE AND REMOVE AIR POCKETS.

- PLACEMENT NOTES:
- SET SHRUB PLUMB. SPACE PLANTS, AND PLACE FOR BEST EFFECT.

- PRUNING NOTES:
- DO NOT HEAVILY PRUNE SHRUB AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PRUNING, REPLACE SHRUB.

- CUT BURLAP AND ROLL AWAY FROM ROOTBALL
- 3" DEEP CEDAR MULCH RING

- LAY BACK BURLAP FROM ROOT BALL; REMOVE ALL WIRE MESH AND CONTAINERS

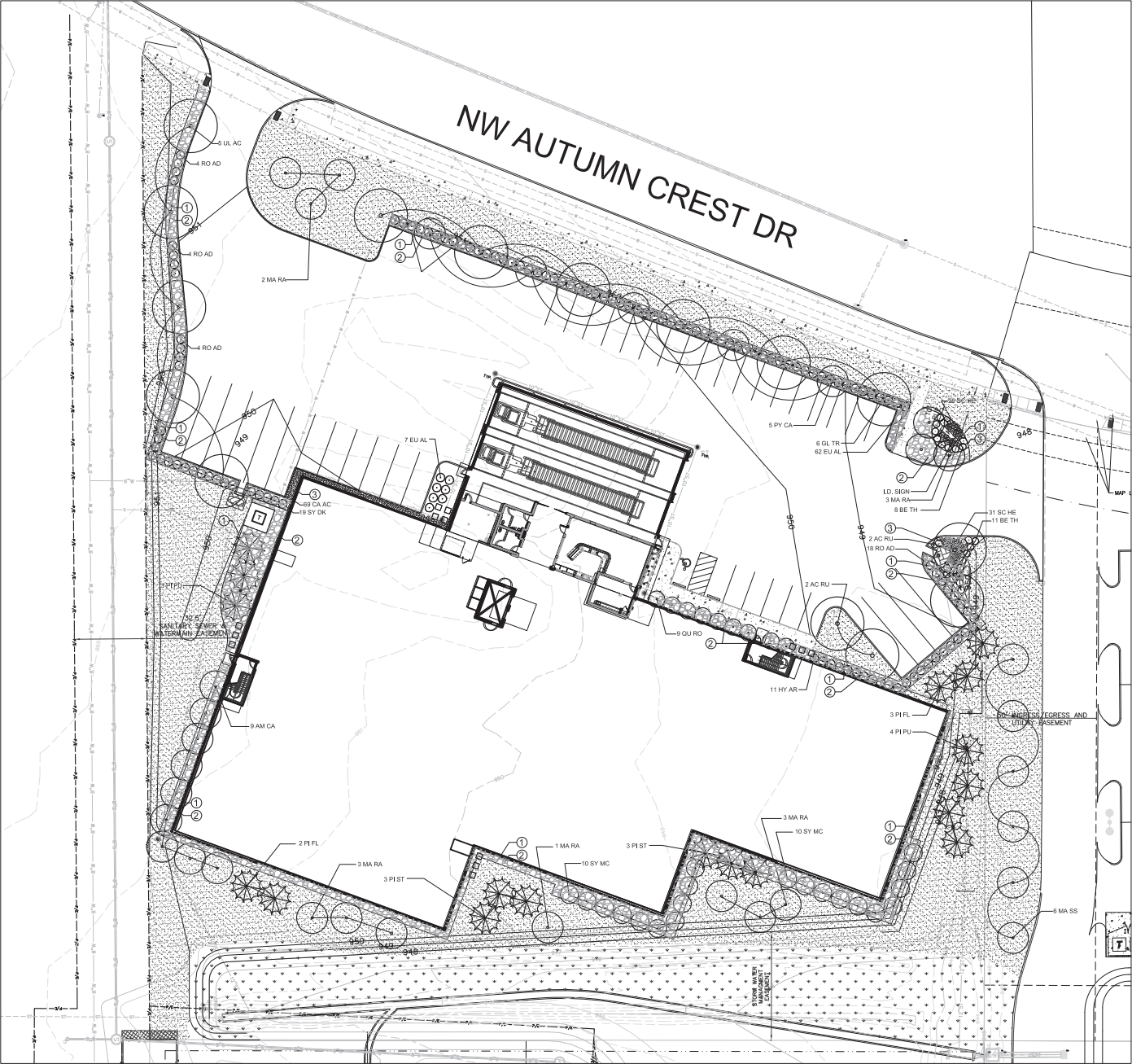
- SET TOP OF ROOTBALL 1-2" HIGHER THAN ADJACENT GRADE.
- 4" HIGH WATER SAUCER.

- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAX. 20% (BY VOL.) ORGANIC MATERIAL. WATER THOROUGHLY TO SETTLE AND REMOVE AIR POCKETS.
- SCARIFY SIDES AND USE 1:1 SLOPE.

- REMOVE CONTAINER (INCLUDING FIBER CONTAINERS), BASKETS, WIRE, ETC. FROM THE ROOTBALL. BREAK UP ENCIRCLING ROOTS WITH SHARP KNIFE OR SPADE. SPLIT BOTTOM OF ROOT BALL. PLACE ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

1 TREE PLANTING – VERTICAL STAKES  
NOT TO SCALE

2 SHRUB AND ORNAMENTAL GRASS PLANTING  
NOT TO SCALE



PLANTING PLAN

LEGEND

- 1 – STEEL EDGING
- 2 – 70%-(1"-1.5") RIVER ROCK MULCH / 30% (4"-6") COBBLE (3'-4" DEPTH)
- 3 – SHREDDED CEDAR MULCH (3" DEPTH)
- A – 3/4 TON ROUNDED GRANITE BOULDER
- B – 1/2 TON ROUNDED GRANITE BOULDER
- C – 1/4 TON ROUNDED GRANITE BOULDER
- TURF: turf shall be 3 improved varieties of blue grass. one shall be shade tolerant.
- DETENTION SEED MIX: Wet Mix: Mixture Seed Mix: Native Seed Mix: Apply at 40lb/acre. Contact Ion Exchange, Inc. (800) 251-2143

LANDSCAPE CALCULATIONS

OPEN SPACE LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIRED 20% = 27,289 S.F.

OPEN SPACE PROVIDED = 51,999 S.F. (37.5%)

LANDSCAPE REQUIREMENTS– 2 TREES & 6 SHRUBS PER 3,000 S.F. OF OPEN SPACE

REQUIRED TREES= 18 SHRUBS= 55

PROVIDED TREES= 66 SHRUBS= 177

SCREENING REQUIREMENTS

AUTUMN CREST DRIVE (TYPE 'B' AND PARKING) TREES SHRUBS

PROVIDED 19 130

PAVEMENT SHADING REQUIREMENTS

20% OF ALL PAVEMENT NEEDS TO BE SHADED

PARKING/ DRIVES = 3,600 S.F. 20% = 7,200 S.F.

7,200 S.F. / 706 (30" DIA. TREE) = 10 TREES

TREES PROVIDED = 10 TREES

LDG

LEE DESIGN GROUP

319.325.5470

www.lee-designgroup.com

Project:

Ankeny Green Acres Storage

Ankeny, Iowa

Client:

Green Acres Storage

Revisions

1

2

3

4

5

NORTH

0 10' 15' 30'

SCALE: 1"= 30'

Designed by: RL

Drawn by: RL

Checked by:

Drawing Name:

LANDSCAPE PLAN

Project Number: 17-55

Sheet Date: 5-29-17

Sheet Number:

L1

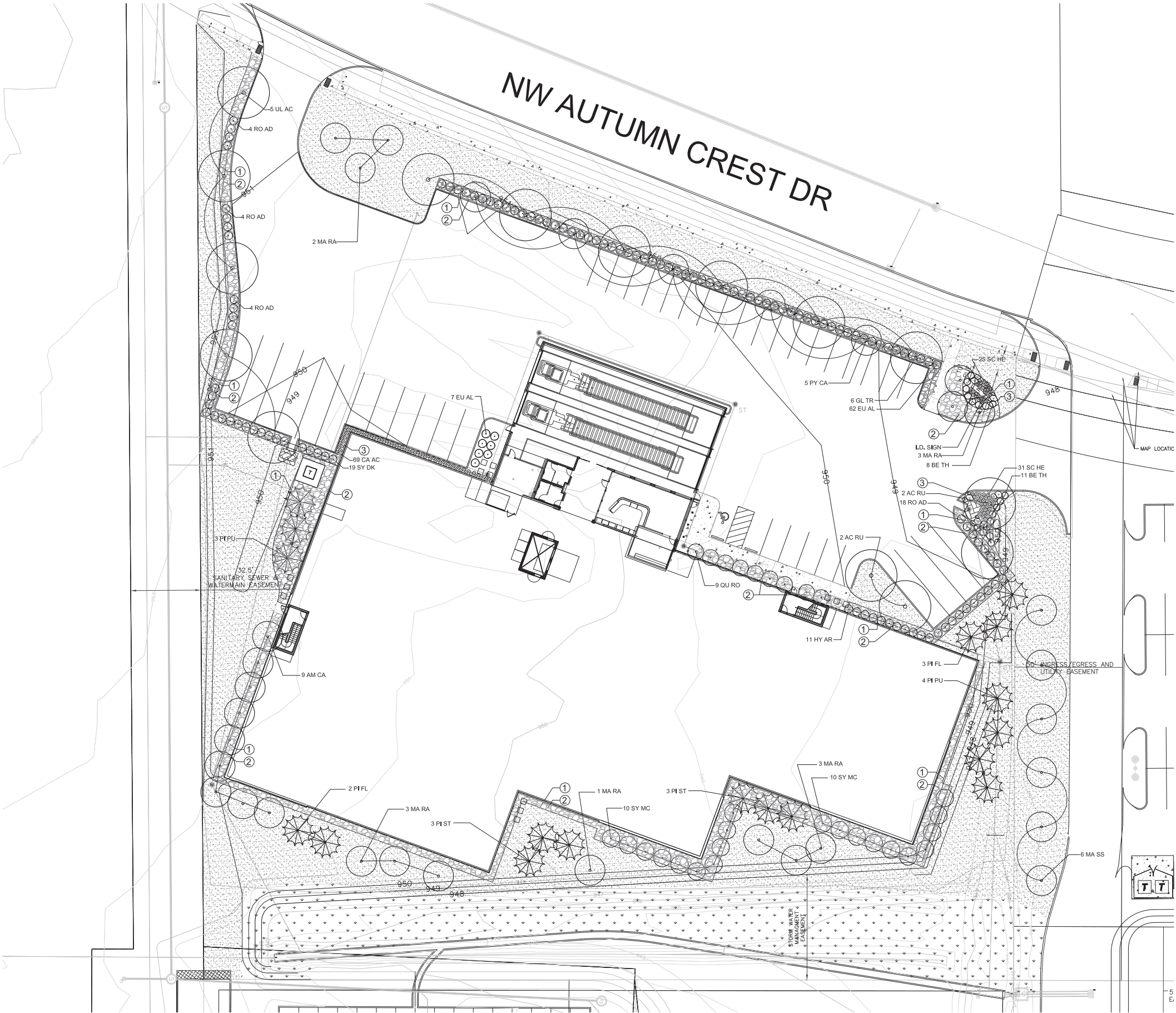


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Autumn Crest Drive - Ankeny, Iowa

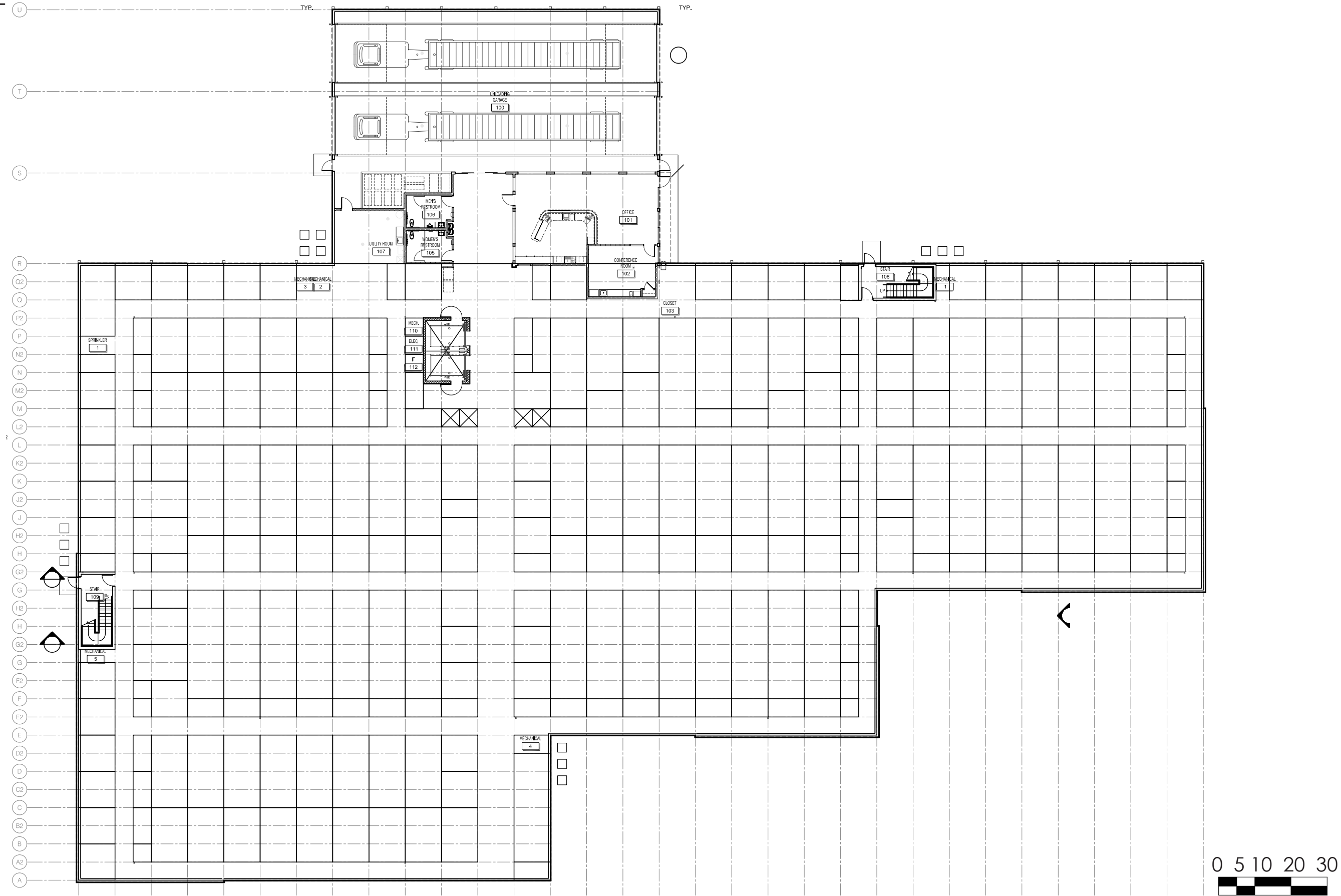




Landscape Plan -  
Enlarged



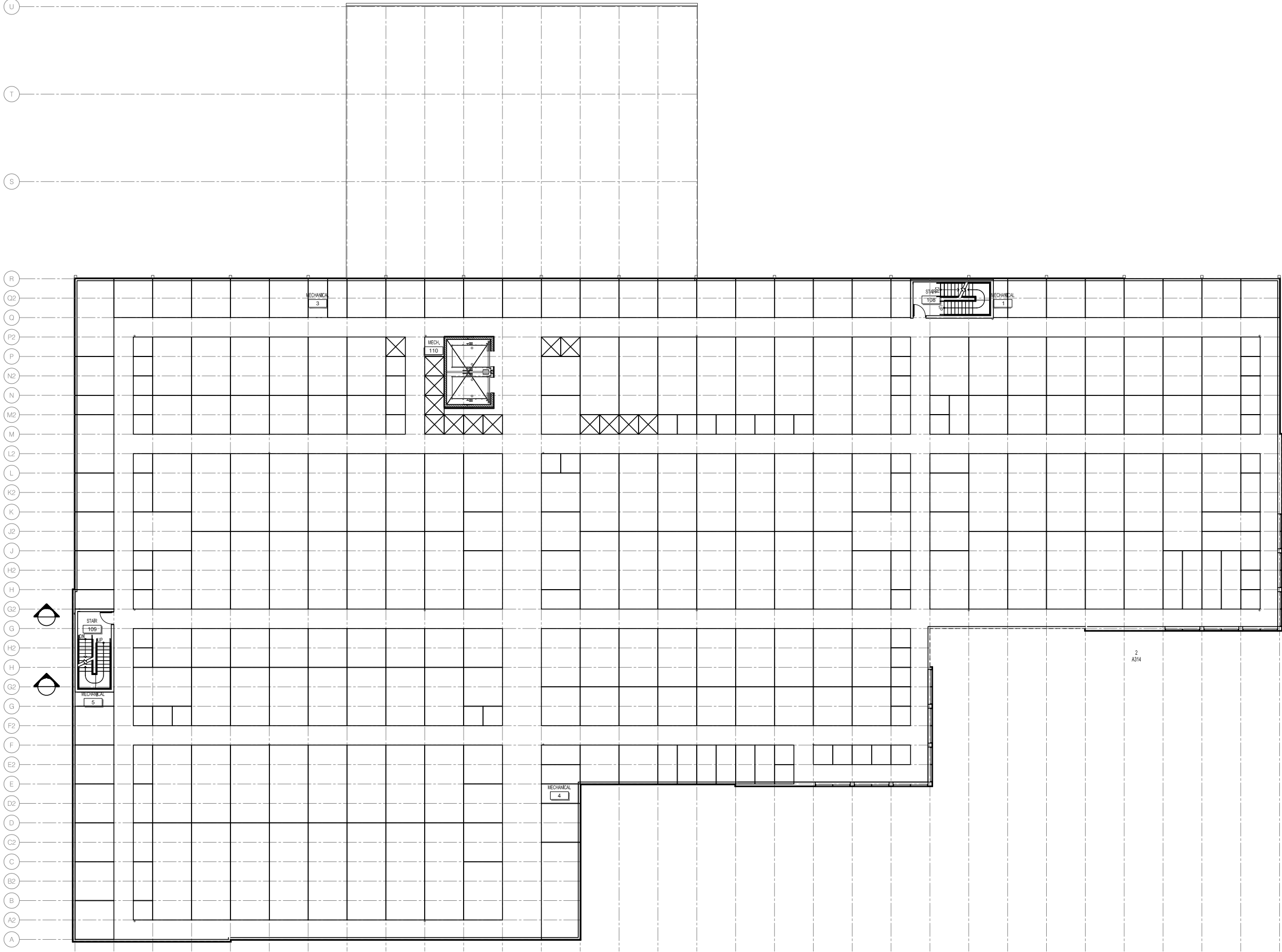
Building Plan -  
First Floor



Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa



Building Plan -  
Second Floor

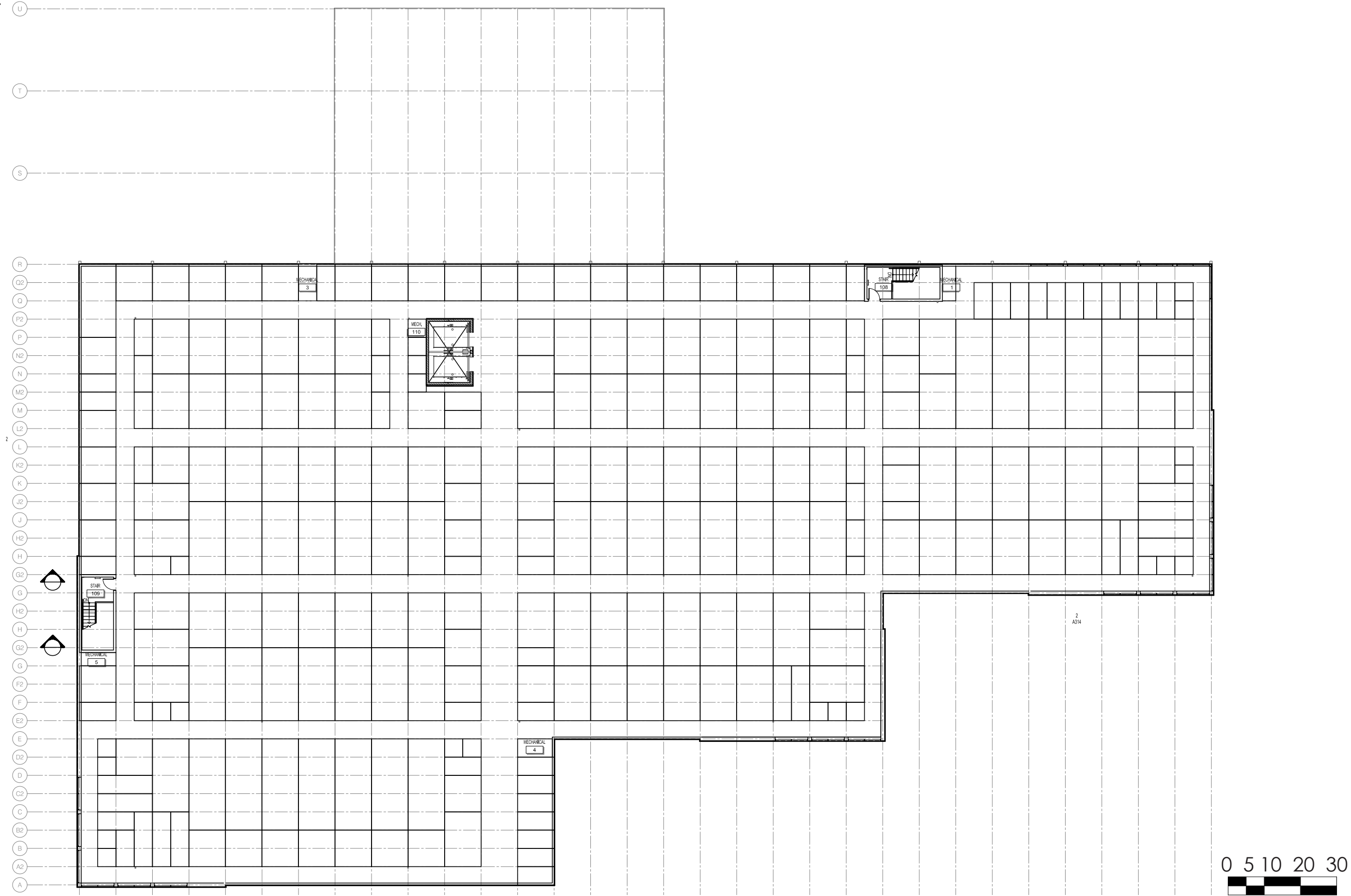


Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa





Building Plan -  
Third Floor



Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa



Exterior Materials -  
Waterloo Facility



Glass Overhead Doors

Horizontal Metal Siding

Fiber Cement Siding (Wood)

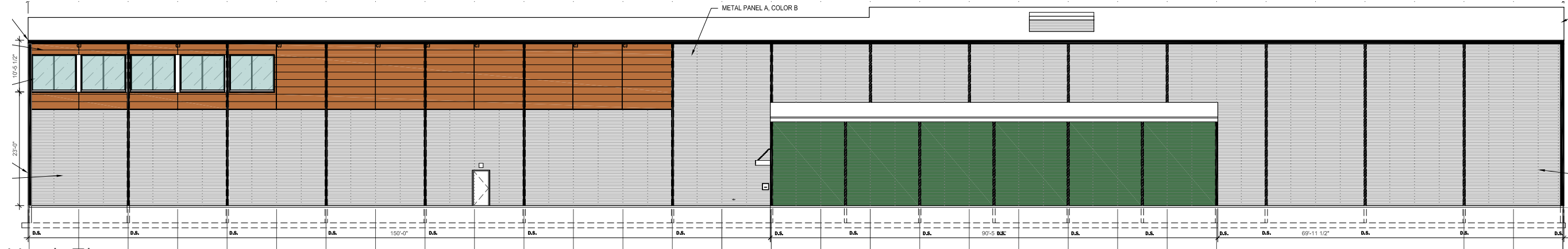


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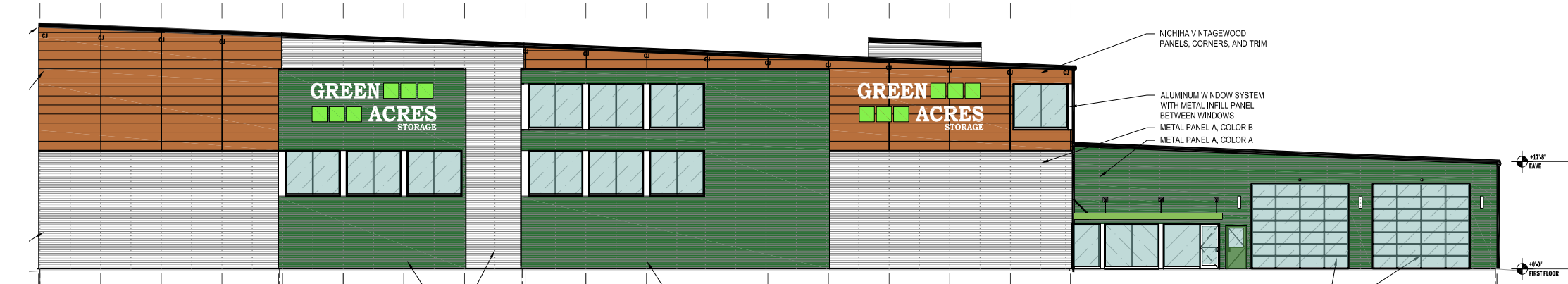




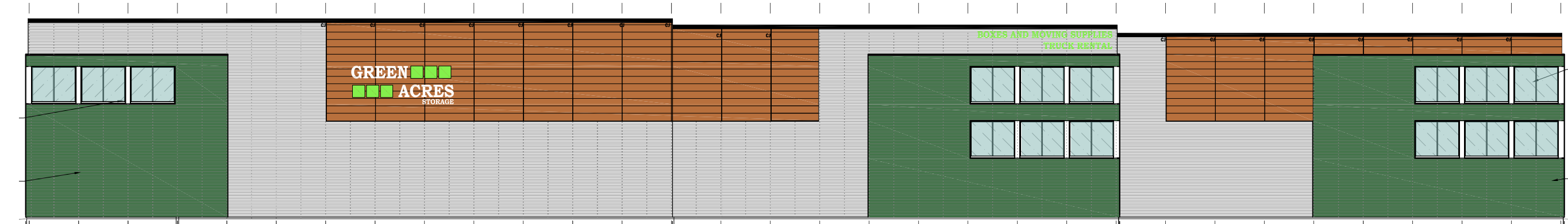
Building Elevations



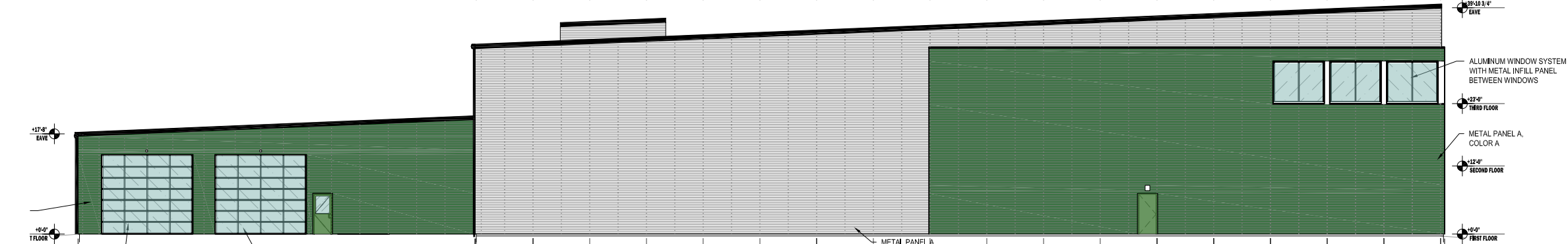
North Elevation



East Elevation



South Elevation



West Elevation



Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa





Rendering - West on 36th Street



Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa





Rendering - East on 36th Street



Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa





Rendering - East Adjacent Property



Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa





Rendering - West on Autumn Crest Drive



Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa





Rendering - East on Autumn Crest



Green Acres Storage  
Autumn Crest Drive - Ankeny, Iowa

