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## EXTERIOR COLOR PACKAGE

- Royal White
- Graphite
- Slate
- Greystone

ROLL CALL				
Plan & Zoning Commission				
Ankeny, IA				
Date	June 20, 2017			
Anderson	Aye	Nay	Pass	Absent
Ender	Aye	Nay	Pass	Absent
Flack	Aye	Nay	Pass	Absent
Houlihan	Aye	Nay	Pass	Absent
Hunter	Aye	Nay	Pass	Absent
Odson	Aye	Nay	Pass	Absent
Ripper	Aye	Nay	Pass	Absent
West	Aye	Nay	Pass	Absent
Whiting	Aye	Nay	Pass	Absent
Ayes	9	Nays	0	Pass
				Absent
APPROVED				
T. Ripper			Chairperson	
B. Lugsang			Secretary	



# JACKSON

ABBREVIATIONS

ADJ	ADJUSTABLE
ADJN	ADJUSTING
BTM	BOTTOM
BSMT	BASEMENT
BTW	BETWEEN
CA	CASEMENT
CANT	CANTILEVER
CAB	CABINET
CLG	CENTER LINE
CLG	CEILING
C.O.	CASED OPENING
COL	COLUMN
CONC.	CONCRETE
D	DRYER
DA	DIAMETER
DN	DOWN
DH	DOUBLE HANG
DW	DOWNHANGER
FD	FLOOR DOWN
FLR	FLOOR
FT	FEET
FLRN	FLURANCE
HL	HEADER
HWD	HARDWOOD
INSUL	INSULATION
JST	JOIST
LVL	LAMINATED VENEER LUMBER
LVL	LUMEN
MAX	MAXIMUM
MIN	MINIMUM
OC	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG	OPENING
PEL	PEDESTAL
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQ	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S & R	SHELF AND ROD
S.F.	SQUARE FEET
S.P.	SUMP PIT
STL	STEEL
TYP.	TYPICAL
TRANS.	TRANSOM
UNEX.	UNEXCAVATED
VAN	VANITY
W	WASHER
W	WITH
WHL	WATER HEATER

ELECTRIC SYMBOLS

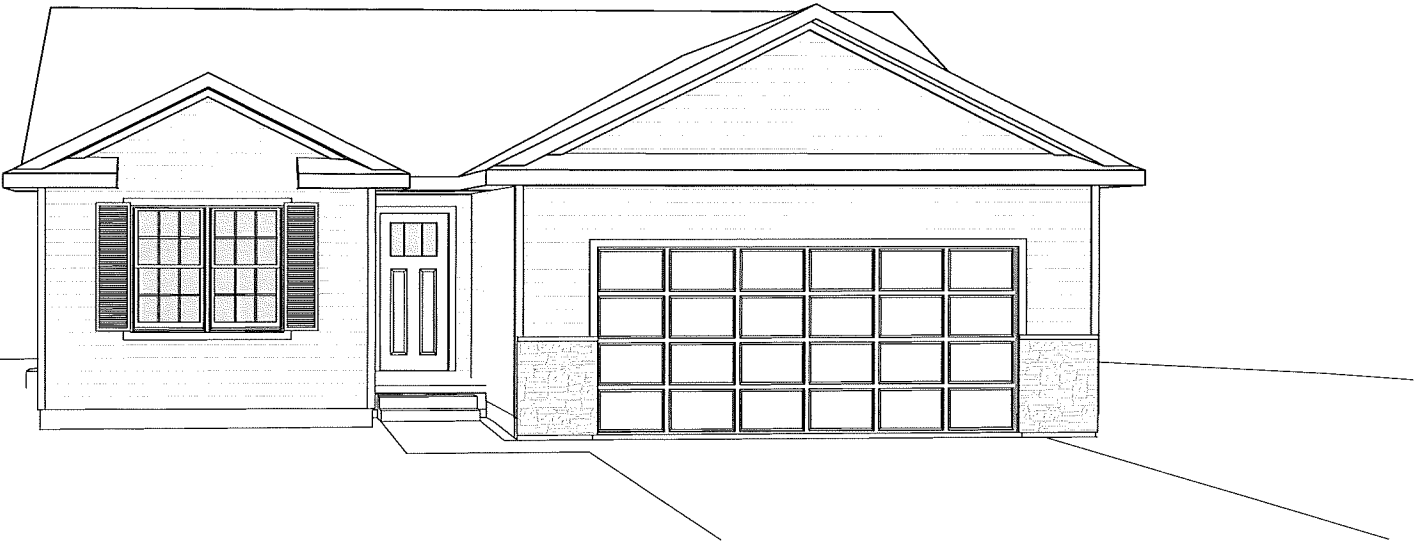
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH E. FAN
	SMOKE/HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	W.M. MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

MISC. SYMBOLS

	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAM/HEADER OR GIRDOR TRUSS

DRAWING LIST

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering



GENERAL CONSTRUCTION NOTES

1. GENERAL
- A. ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2006. LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IRC2006. THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IRC 2006. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
- B. CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE SIZED BY OWNER/CONTRACTOR.
- C. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURE OF THE BUILD UP OF MOISTURE OR MOLD.
- D. ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- E. ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.

2. DESIGN CRITERIA
- A. BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (IRC11.1).
- B. TABLE M1.2(1) IRC 2006. VALUES BASED FROM THE CITY OF DES MOINES, IOWA.

CITY OF DES MOINES, IOWA		DESIGN WIND SPEED (MPH)		DESIGN SNOW LOAD (PSF)		DESIGN FLOOD LOAD (PSF)		DESIGN SEISMIC LOAD (PSF)	
WIND	SNOW	WIND	SNOW	WIND	SNOW	WIND	SNOW	WIND	SNOW
115	10	115	10	115	10	115	10	115	10

LOAD TYPE	LOAD VALUE (PSF)
MINIMUM LIVE LOADS (IRC11.5) IRC 2006	20 PSF
ATRIC WITH LIMITED STORAGE	10 PSF
ATRIC WITHOUT STORAGE	10 PSF
DECKS	40 PSF
EXTERIOR BALCONIES	60 PSF
QUADRAL AND HANDRAILS	200 PSF
ROOM OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
STAIRS	40 PSF

DEFLECTION CRITERIA	DEFLECTION CRITERIA
FLOOR LIVE LOAD	L/360
FLOOR TOTAL LOAD	L/600
ROOF LIVE LOAD	L/240
ROOF TOTAL LOAD	L/120

ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA

D. DEAD LOADS MAY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.	
FLOOR-TOP CHORD	
CARPET AND PAD	1.5 PSF
3/4" CERAMIC TILE ON BACKER BD.	10 PSF
3/4" HARDWOOD FLOOR	10 PSF
6" SUBFLOOR 1/2" OSB OR COM. PLYWOOD	2.0 PSF
1/2" FLOOR TRUSS-X-JOIST SYSTEM	1.5 PSF
TOTAL WITH CARPET AND PAD	5.0 PSF
TOTAL WITH CERAMIC TILE	11.5 PSF
TOTAL WITH HARDWOOD FLOOR	7.5 PSF
FLOOR-BOTTOM CHORD	
1/2" FLOOR TRUSS-X-JOIST SYSTEM	1.5 PSF
5/8" GYPSUM BOARD	2.0 PSF
MINIMUM FOR MISC MECHANICAL/ELEC.	0.7 PSF
TOTAL	5.0 PSF

3. ROOM REQUIREMENTS
- A. CEILING HEIGHT (IRC11.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
- EXCEPTION 1. BEAMS AND GIRDERS SPACED LESS THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.
2. CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN 6 FEET 1 INCHES OF FINISHED FLOOR.
3. FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET.
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 1 INCHES OVER THE FRONT OF THE FIXTURE.
- B. ROOM DIMENSIONS (IRC11.1) THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7'-0" CLEAR IN ANY HORIZONTAL DIMENSION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 50 SQ. FEET, EXCEPT KITCHEN (IRC11.2).
- C. LIGHT AND VENTILATION (IRC11.1) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 1/8 IN. OF THE FLOOR AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 3 S.F. IN AREA. NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT.
- D. EMERGENCY ESCAPE WINDOWS (IRC11.1) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 24" IN HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR. EGRESS WINDOW WELLS MUST PROJECT A MINIMUM OF 36" AND PROVIDED OVER 8 SQ. FT. OF NET CLEAR AREA. LADDERS ARE REQUIRED IF THE WELL IS OVER 44" DEEP. LADDERS SHALL BE A MIN. OF 12" WIDE.

4. BUILDING REQUIREMENTS
- A. ATTIC ACCESS (IRC11.1) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 30" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.
- B. ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.0 S.F. (NET) FOR EACH 150 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (IRC11.2).
- C. SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT, SEE BUILDING DEPARTMENT. SMOKE ALARMS SHALL BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK UP (IRC11.1).
- D. STAIRWAY ARE TO BE A MINIMUM OF 36" WIDE (IRC11.1.5.1) WITH A MINIMUM HEADROOM OF 6 FEET 1 INCHES (IRC11.1.5.2). THE MAXIMUM RISE IS 7 1/4" (IRC11.1.5.3.1) WITH A MINIMUM RUN OF 10" (IRC11.1.5.3.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS (IRC11.1.5.3). A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 12 FEET BETWEEN FLOORS OR LANDINGS (IRC11.1.5.3).
- E. PROVIDE OIL OUTLETS, DOWN SPOUTS, AND SPLASH BLOCKS AS NECESSARY.

5. FOUNDATION/CONCRETE
- A. IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. (IRC11.4) A SOIL CAPACITY OF 2000 PSF IS ASSUMED.
- B. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 psi AT 28 DAYS. GARAGE FLOOR SLABS SHALL BE 3'00 AT 28 DAYS. FORMED, CASFORM SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3'500 psi AT 28 DAYS (IRC11.2). CONCRETE SHALL BE REINFORCED WITH #4 OR #5 BARS.
- C. ALL FOOTING SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL. MINIMUM FOOTING TO BE 18" WIDE X 4" DEEP FOR A 2 STORY BUILDING AND 12" WIDE X 8" DEEP FOR A 1 STORY BUILDING (TABLE 403.1) BOTH WITH 2 CONTINUOUS HORIZONTAL #4 REBAR.
- D. ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS PER SILL PLATE WITH BOLTS SPACED AT A MAXIMUM OF 6 FEET ON CENTER WITH A MINIMUM OF ONE BOLT NOT MORE THAN 12 INCHES FROM THE END BUT AT LEAST 3 1/2 INCHES FROM END OF SILL PLATE (IRC11.1.5). ALTERNATE FOUNDATION STRIPS MAY BE USED, SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 1/2" DIAMETER ANCHOR BOLTS.
- F. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE 403.1(1). REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

6. WOOD FRAMING
- A. ROOF, FLOOR, AND WALL SHEATHING: APA RATED SHEATHING.
- B. WALL STUDS: MINIMUM SPF STUD OR DOUGLAS FIR LARCH STD.
- C. WALL PLATES: MINIMUM SPF #2 OR BETTER.
- D. DIMENSIONAL HEADERS: #2 DOUGLAS FIR OR BETTER.
- E. LVL HEADERS: 3P99 R2.2 MINIMUM.
- F. JOIST UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD (IRC11.4).
- G. THE ENDS OF EACH JOIST, BEAM, OR GIRDOR SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON CONCRETE (IRC11.2).
- H. WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSI/TPI-1. REFER TO THE TYPICAL TRUSS DESIGN DRAWINGS FOR MEMBER BRACING AND WALL CONNECTION OF GIRDERS (IRC11.4).
- I. NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES, STRUCTURAL COMPOSITE LUMBER, GLUE-LAMINATED MEMBERS, OR JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN BY PROFESSIONAL (IRC11.2).
- J. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND ROOF SPACE (IRC11.2).
- K. ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10. MINIMUM 3/8" PANEL SHEATHING.
- L. THE ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R602.3(1).

TABLE R602.3(1) - CONT.	
SPACING OF STUDS	
SPACING OF STUDS	SPACING OF STUDS
16" O.C.	16" O.C.
24" O.C.	24" O.C.
32" O.C.	32" O.C.
40" O.C.	40" O.C.
48" O.C.	48" O.C.
56" O.C.	56" O.C.
64" O.C.	64" O.C.
72" O.C.	72" O.C.
80" O.C.	80" O.C.
88" O.C.	88" O.C.
96" O.C.	96" O.C.
104" O.C.	104" O.C.
112" O.C.	112" O.C.
120" O.C.	120" O.C.
128" O.C.	128" O.C.
136" O.C.	136" O.C.
144" O.C.	144" O.C.
152" O.C.	152" O.C.
160" O.C.	160" O.C.
168" O.C.	168" O.C.
176" O.C.	176" O.C.
184" O.C.	184" O.C.
192" O.C.	192" O.C.
200" O.C.	200" O.C.

TABLE R602.3(1) - CONT.	
SPACING OF STUDS	
SPACING OF STUDS	SPACING OF STUDS
16" O.C.	16" O.C.
24" O.C.	24" O.C.
32" O.C.	32" O.C.
40" O.C.	40" O.C.
48" O.C.	48" O.C.
56" O.C.	56" O.C.
64" O.C.	64" O.C.
72" O.C.	72" O.C.
80" O.C.	80" O.C.
88" O.C.	88" O.C.
96" O.C.	96" O.C.
104" O.C.	104" O.C.
112" O.C.	112" O.C.
120" O.C.	120" O.C.
128" O.C.	128" O.C.
136" O.C.	136" O.C.
144" O.C.	144" O.C.
152" O.C.	152" O.C.
160" O.C.	160" O.C.
168" O.C.	168" O.C.
176" O.C.	176" O.C.
184" O.C.	184" O.C.
192" O.C.	192" O.C.
200" O.C.	200" O.C.

A. GIVE WEATHER RESISTANCE  
B. FILL WITH INSULATION  
C. MINIMUM 3/8" PANEL SHEATHING  
D. MINIMUM 3/8" PANEL SHEATHING  
E. MINIMUM 3/8" PANEL SHEATHING  
F. MINIMUM 3/8" PANEL SHEATHING  
G. MINIMUM 3/8" PANEL SHEATHING  
H. MINIMUM 3/8" PANEL SHEATHING  
I. MINIMUM 3/8" PANEL SHEATHING  
J. MINIMUM 3/8" PANEL SHEATHING  
K. MINIMUM 3/8" PANEL SHEATHING  
L. MINIMUM 3/8" PANEL SHEATHING  
M. MINIMUM 3/8" PANEL SHEATHING  
N. MINIMUM 3/8" PANEL SHEATHING  
O. MINIMUM 3/8" PANEL SHEATHING  
P. MINIMUM 3/8" PANEL SHEATHING  
Q. MINIMUM 3/8" PANEL SHEATHING  
R. MINIMUM 3/8" PANEL SHEATHING  
S. MINIMUM 3/8" PANEL SHEATHING  
T. MINIMUM 3/8" PANEL SHEATHING  
U. MINIMUM 3/8" PANEL SHEATHING  
V. MINIMUM 3/8" PANEL SHEATHING  
W. MINIMUM 3/8" PANEL SHEATHING  
X. MINIMUM 3/8" PANEL SHEATHING  
Y. MINIMUM 3/8" PANEL SHEATHING  
Z. MINIMUM 3/8" PANEL SHEATHING

- M. TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 175 POUNDS AND PER THE MANUFACTURE SPECIFICATIONS.
- N. PROTECTION FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATION BY THE USE OF NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER (IRC11.1).
1. ALL WOOD FRAMING THAT REST ON CONCRETE EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM THE EXPOSED GROUND.
2. SILL AND SLEEPERS ON A CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
3. THE ENDS OF WOOD GIRDOR EXTENDING EXTERIOR CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 5 INCH ON TOPS, SIDES AND ENDS.
4. WOOD SILLING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 4 INCHES FROM THE GROUND.
5. ALL LUMBER IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES (IRC11.1.2).
- D. ALL RUN AND BOX JOIST SPACES BETWEEN TOP OF THE FOUNDATION WALL AND FLOOR/ROOF LINE SHALL BE INSULATED WITH THE SAME MATERIAL USED FOR EXTERIOR WALLS. ALL EXTERIOR CORNERS AND INTERIOR PARTITIONS TO EXTERIOR WALLS THAT ARE CLOSED OFF TO FUTURE INSULATION MUST BE INSULATED DURING FRAMING OF WALL.
- P. ALL NAILING AND FASTENING SHOULD COMPLY WITH THE IRC TABLE R602.3(1) "FASTENER SCHEDULE FOR STRUCTURAL MEMBERS".
7. STRUCTURAL STEEL
- A. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A992 GRADE 50 OR EQUAL AND SHALL HAVE BRIDGE CLIPPING AT 4 FEET ON CENTER TO RESIST LATERAL DEFLECTION.
- B. ALL FRAMING TO BE ATTACHED TO STRUCTURAL STEEL IN ACCORDANCE WITH GOVERNING CODES.



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Classic Builders  
Jackson Base Plan-A  
Villas @ Stone Haven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-06-15

DATE: 11-13-15

DATE:

DATE:

REVISIONS:

DATE:

DATE:

DATE:

DATE:

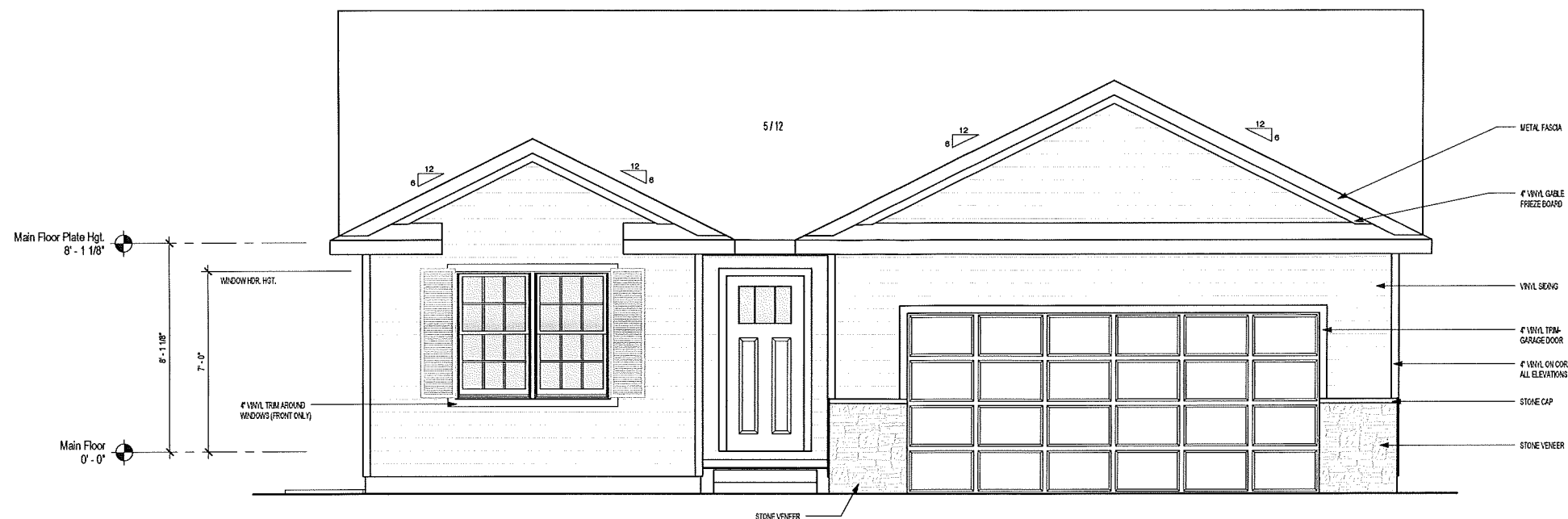
Cover Page  
As indicated

A.0



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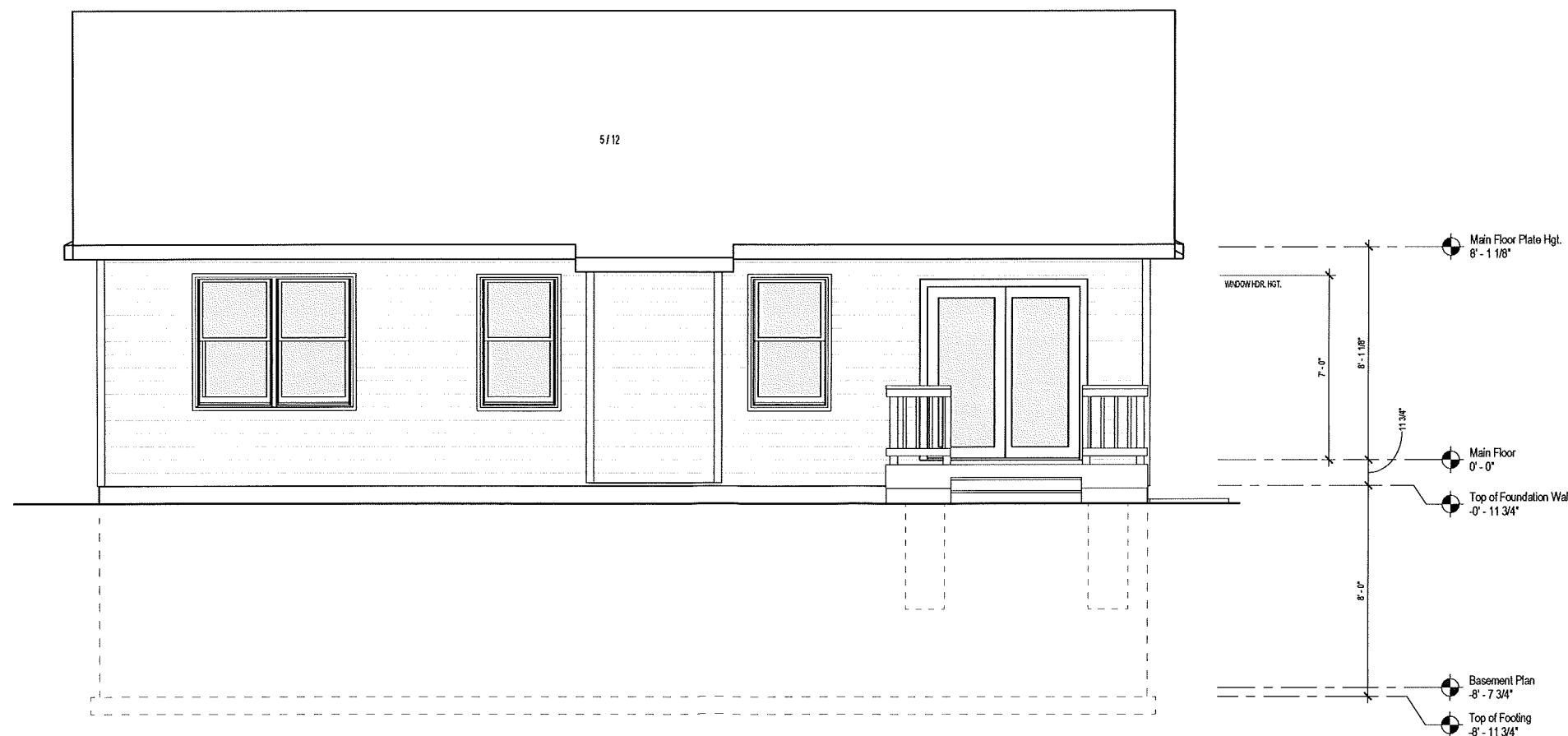
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1 FRONT ELEVATION  
Scale: 3/8" = 1'-0"

ESTIMATED WALL...	
Lap Siding	1909 SF
Stone Veneer	23 SF

\* SQUARE FOOTAGE OF CLADDING EXCLUDED FROM THE ESTIMATED SQUARE FOOTAGE OF THE WALL.  
1. THE AREA CALLED "TRIM" IS NOT INCLUDED IN THE SQUARE FOOTAGE.  
2. THE AREA CALLED "TRIM" IS NOT INCLUDED IN THE SQUARE FOOTAGE.



2 REAR ELEVATION  
Scale: 3/8" = 1'-0"

Classic Builders  
Jackson Base Plan-A  
Villas @ Stone Haven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-06-15

DATE: 11-13-15

DATE:

DATE:

REVISIONS:

DATE:

DATE:

DATE:

DATE:

Elevations

3/8" = 1'-0"

A.1



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Classic Builders  
Jackson Base Plan-A  
Villas @ Stone Haven

PROJECT ID: PDS 3005

ISSUE DATE:

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DATE:

DATE:

REVISIONS:

DATE:

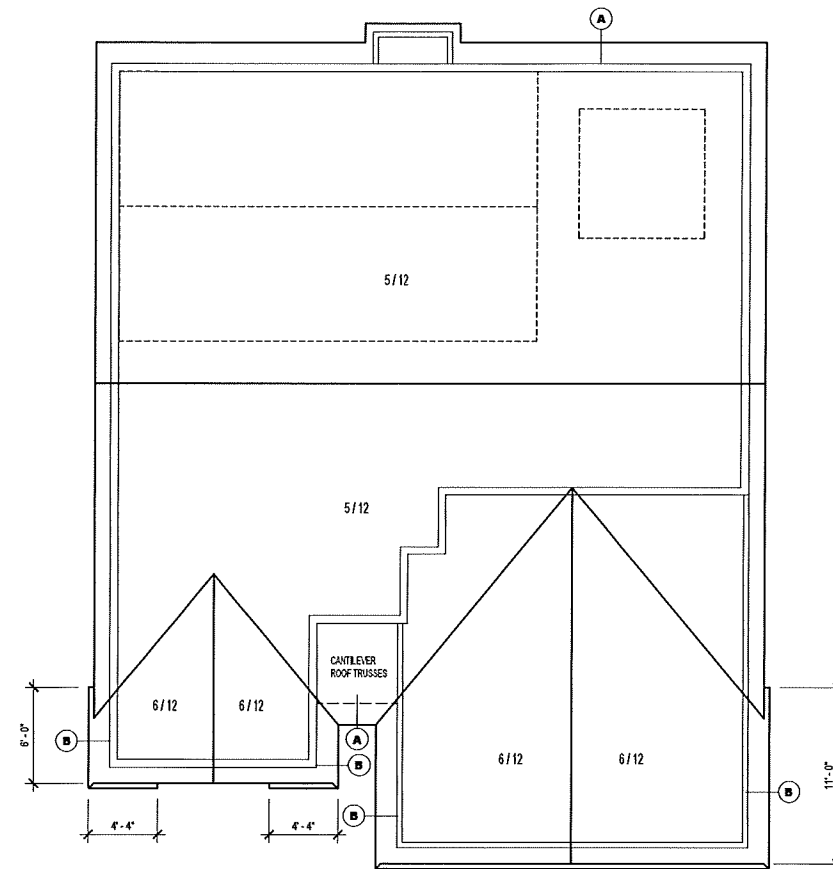
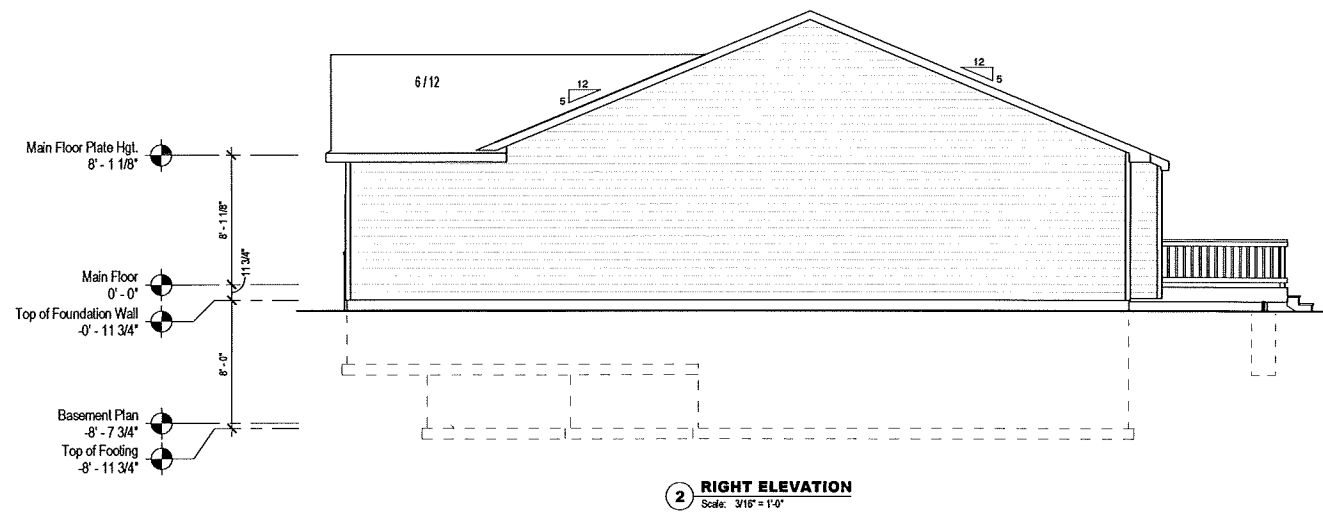
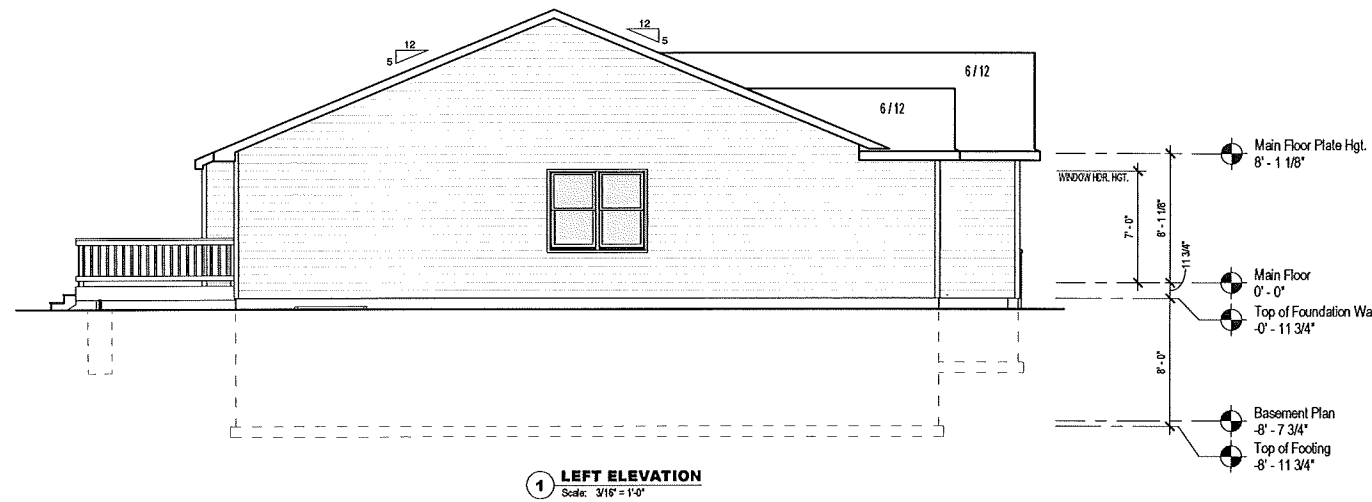
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DATE:

DATE:

Elevations  
As indicated

A.2



**ESTIMATED ROOF SF**

2311 SF

\* SQUARE FOOTAGE OF ROOF IS 1% IN EXCESS OF THE EXPOSED SURFACE OF THE ROOF.  
1. THE ROOF INCLUDES 3% WIND UPLIFT RESISTANCE VALUE.  
2. 10% INTERSECTION AREA IS INCLUDED.

**ROOF PLAN LEGEND**

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	5/12	1'-4"	8 5/16"

ALL RAVE OVERHANGS ARE 12" UNLESS NOTED



ABBREVIATIONS

ADJ	ADJUSTABLE
ANL	ANNEX
BTNL	BOTTOM
BSMT.	BASEMENT
BTWL	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
CAB.	CABINET
CL	CENTER LINE
CLG	CLOSED
C.O.	CASED OPENING
COL.	COLUMN
CONC.	CONCRETE
D	DRYER
DA	DRAWER
DN	DOWN
DH	DOUBLE HUNG
DW	DISHWASHER
F.D.	FLOOR DRAIN
FLR	FLOOR
FT.	FEET
FURN.	FURNACE
HR	HEADER
HWWD	Hardwood
INSUL.	INSULATION
JST.	JOIST
LVL	LAMINATED VENEER LUMBER
LNL	LINEN
MAX	MAXIMUM
MNL	MINIMUM
OC	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG.	OPENING
PD.	PEDestal
PLT.S.	NOT TO SCALE
REF.	REFRIGERATOR
REQ.	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S.E.R.	SHELF AND ROOF
S.F.	SQUARE FEET
S.P.	SUMP PIT
STL	STEEL
TYP.	TYPICAL
TRANS.	TRANSOM
UNEX.	UNEXCAVATED
VAL.	VALVE
W	WASHER
W	WITH
WHL	WATER HEATER

ELECTRIC SYMBOLS

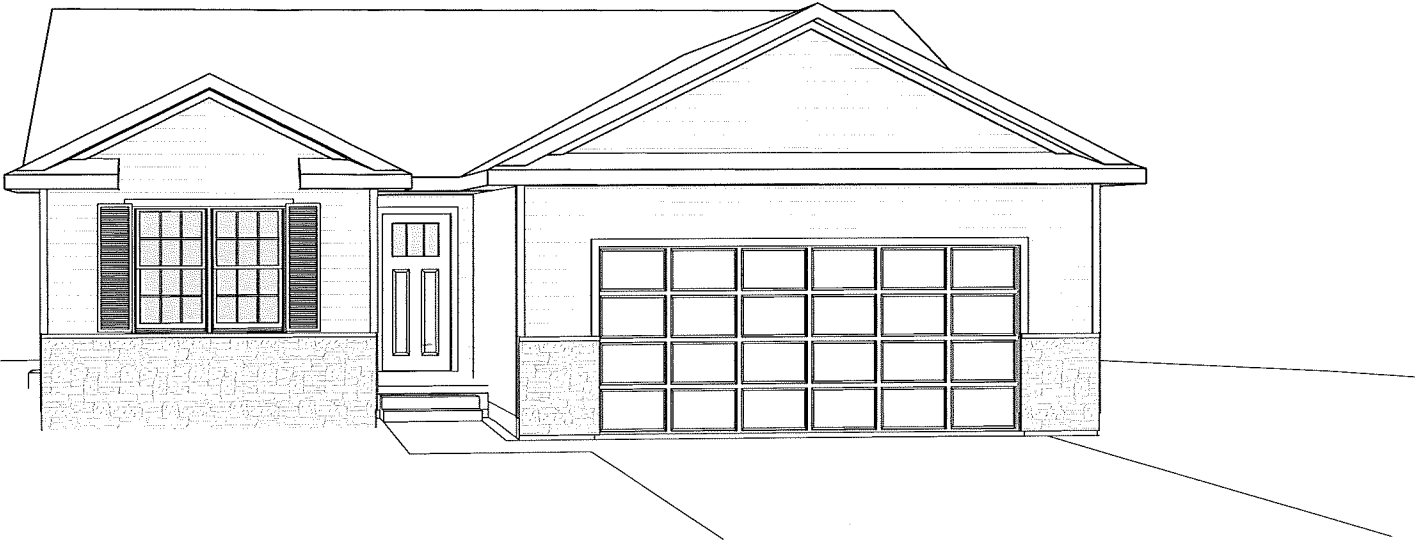
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH E. FAN
	SMOKE/HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	WALL MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

MISC. SYMBOLS

	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAM/HEADER OR GIRDOR TRUSS

DRAWING LIST

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering



GENERAL CONSTRUCTION NOTES

1. GENERAL
- A. ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2018, LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IRC2018. THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IRC 2018. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
- B. CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPEEDS OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE SIZED BY OWNER/CONTRACTOR.
- C. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURE OF THE BUILD UP OF MOISTURE OR MOLD.
- D. ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS.
- E. ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.
2. DESIGN CRITERIA
- A. BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (R301.1)
- B. TABLE 301.2(1) IRC 2018, VALUES BASED FROM THE CITY OF DES MOINES, IOWA.
- | GROUND SLOPE | WIND SPEED | SEISMIC DESIGN CATEGORY | DESIGN WIND SPEED | DESIGN SNOW LOAD | DESIGN FLOOD LOAD | DESIGN SEISMIC LOAD | DESIGN WIND SPEED | DESIGN SNOW LOAD | DESIGN FLOOD LOAD | DESIGN SEISMIC LOAD |
|--------------|------------|-------------------------|-------------------|------------------|-------------------|---------------------|-------------------|------------------|-------------------|---------------------|
| 3:12         | 10         | A                       | 105               | 10               | 10                | 10                  | 105               | 10               | 10                | 10                  |
- C. MINIMUM LIVE LOADS, (R301.5) IRC 2018
- |                                |        |                                           |        |
|--------------------------------|--------|-------------------------------------------|--------|
| ATTIC WITH LIMITED STORAGE     | 20 PSF | MINIMUM ROOF LIVE LOADS (R301.5) IRC 2018 |        |
| ATTIC WITHOUT STORAGE          | 10 PSF | ROOF TRUSS LIVE LOAD (L)                  | 20 PSF |
| DECKS                          | 40 PSF | GROUND SNOW (S)                           | 20 PSF |
| EXTERIOR BALCONIES             | 60 PSF | FLAT ROOF SNOW (S)                        | 20 PSF |
| QUADRAL AND HANDRAILS          | 20 PSF | THERMAL CONDITION                         | C=1.0  |
| ROOM OTHER THAN SLEEPING ROOMS | 40 PSF | TERRAIN EXPOSURE                          | B      |
| SLEEPING ROOMS                 | 30 PSF | DURATION OF LOAD-SNOW                     | 1.15   |
| STAIRS                         | 40 PSF | UNEVALUATED AND SNOW DRIFT LOADING        |        |
- DEFLECTION CRITERIA
- |                  |      |                                              |
|------------------|------|----------------------------------------------|
| FLOOR LIVE LOAD  | L480 | ACCORDING TO ASCE 7-16                       |
| FLOOR TOTAL LOAD | L580 |                                              |
| ROOF LIVE LOAD   | L20  | WIND DESIGN METHOD: MWFRS-C-HYBRID ACSE 7-16 |
| ROOF TOTAL LOAD  | L20  | EXPOSURE CATEGORY: B                         |
|                  |      | DURATION OF LOAD-WIND: 1.0                   |
- ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA.
- D. DEAD LOADS, ANY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.
- | FLOOR TOP CHORD                    | ROOF TOP CHORD                  | ROOF BOTTOM CHORD                 |          |
|------------------------------------|---------------------------------|-----------------------------------|----------|
| CARPET AND FPD                     | ROOFING SHINGLES 2018LS 2 LAYER | 1/2 ROOF TRUSS-2X4                |          |
| 3/4" CERAMIC TILE/NO BACKER BD.    | 30 LBS. FLT.                    | 5/8" GYPSUM BOARD                 |          |
| 3/4" HARDWOOD FLOOR                | 1/2" OSB OR COU PLYWOOD         | MINIMUM FOR MECH MECHANICAL/ELEC. |          |
| SUBFLOOR 3/4" OSB OR COMPLY SYSTEM | 1/2" ROOF TRUSS-2X4             | 15 PSF                            |          |
| 1/2" FLOOR TRUSS-2X4 SYSTEM        | CORRECTION FOR SLOPE (1/12)     | 15 PSF                            |          |
|                                    |                                 |                                   |          |
| TOTAL WITH CARPET/FPD              | 5.5 PSF                         | TOTAL                             | 8.00 PSF |
| TOTAL WITH TILE/BACKER BD.         | 13.5 PSF                        |                                   |          |
| TOTAL WITH HARDWOOD FLOOR          | 13.5 PSF                        |                                   |          |
|                                    |                                 |                                   |          |
| FLOOR BOTTOM CHORD                 |                                 |                                   |          |
| 1/2" FLOOR TRUSS-2X4 JOIST SYSTEM  | 1.5 PSF                         |                                   |          |
| 6X10 STUD                          | 2.0 PSF                         |                                   |          |
| MINIMUM FOR MECH MECHANICAL/ELEC.  | 0.7 PSF                         |                                   |          |
|                                    |                                 |                                   |          |
| TOTAL                              | 5.0 PSF                         | TOTAL                             | 7.00 PSF |

3. ROOM REQUIREMENTS

- A. CEILING HEIGHT (R301.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM, LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
- EXCEPTION 1. BEAMS AND GIRDERS SPACED LESS THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.
2. CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN 6 FEET 4 INCHES OF FINISHED FLOOR.
3. FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET.
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 4 INCHES OVER THE FRONT OF THE FIXTURE.
- B. ROOM DIMENSIONS (R301.3) THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7'-0" FEET, EXCEPT KITCHEN (R301.2).
- C. LIGHT AND VENTILATION (R301.1) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 1/8 OF THE FLOOR AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 3 S.F. IN AREA. NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT. EMERGENCY ESCAPE WINDOWS (R310) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 24" IN HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR. EGRESS WINDOW WELLS MUST PROJECT A MINIMUM OF 3/4" AND PROVIDED OVER 9 SQ. FT. OF NET CLEAR AREA. LADDERS ARE REQUIRED IF THE WELL IS OVER 44" DEEP. LADDERS SHALL BE A MIN. OF 12" WIDE.
- D. BUILDING REQUIREMENTS
- A. ATTIC ACCESS (R301.7) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 30" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.
- B. ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.0 S.F. (NET) FOR EACH 150 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (R301.2).
- C. SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT, SEE BUILDING DEPARTMENT. SMOKE ALARMS SHALL BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK UP (R311).
- D. STAIRWAY ARE TO BE A MINIMUM OF 36" WIDE (FINISHED) (R311.5.1) WITH A MINIMUM HEADROOM OF 6 FEET 8 INCHES (R311.5.2). THE MAXIMUM RISER IS 7 1/4" (R311.5.3.1) WITH A MINIMUM RUN OF 10" (R311.5.3.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS (R311.5.4). A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 12 FEET BETWEEN FLOORS OR LANDINGS (R311.5.4). PROVIDE GIL, COUNTERS, DOWN SPOUTS, AND SPLASH BLOCKS AS NECESSARY.
- E. FOUNDATION/CONCRETE
- A. IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. (R301.4) A SOIL CAPACITY OF 2000 PSF IS ASSUMED.
- B. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 psi AT 28 DAYS. GARAGE FLOOR SLAB SHALL BE 3' 00" AT 28 DAYS. PORCHES, CANTON SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3,500 psi AT 28 DAYS (R301.2). CONCRETE SHALL BE AIR ENTRAINED WITH 5% 1% TOTAL AIR CONTENT.
- C. ALL FOOTING SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL. MINIMUM FOOTING TO BE 10" WIDE X 1' DEEP FOR A 2 STORY BUILDING AND 10" WIDE X 8" DEEP FOR A 3 STORY BUILDING (TABLE 401.1) BOTH WITH 2 CONTINUOUS HORIZONTAL #4 REBAR.
- D. ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS PER SILL PLATE WITH BOLTS SPACED AT A MAXIMUM OF 4 FEET ON CENTER WITH A MINIMUM OF ONE BOLT NOT MORE THAN 12 INCHES FROM THE END BUT AT LEAST 3 10 INCHES FROM END OF SILL PLATE (R301.1.6). ALTERATIVE FOUNDATION STRIPS MAY BE USED. SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 1/2" DIAMETER ANCHOR BOLTS.
- F. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE R301.4.1.1 REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

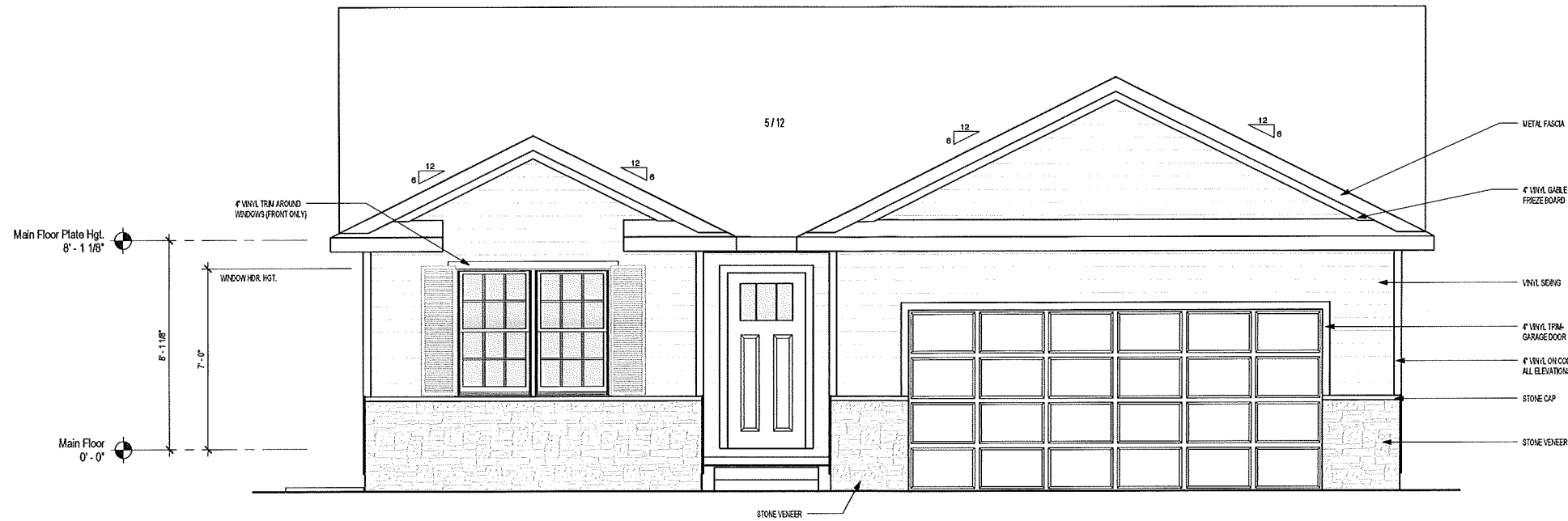
6. WOOD FRAMING

- A. ROOF, FLOOR, AND WALL SHEATHING
- B. WALL STUDS
- C. WALL PLATES
- D. DIMENSIONAL HEADERS
- E. LVL HEADERS
- F. JOIST UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. (R502.4)
- G. THE ENDS OF EACH JOIST, BEAM, OR GIRDOR SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON CONCRETE. (R502.4)
- H. WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANNOTA 1. REFER TO THE INDIVIDUAL TRUSS DESIGN OR MANUFACTURER FOR WEB BRACING AND MULTICONNECTION OF GIRDERS (R502.1.4) SHOULD BE REFER TO FOR HANDLING INSTALLATION AND BRACING OF METAL PLATE TRUSSES.
- I. NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES, STRUCTURAL COMPOSITE LUMBER, GLUE LAMINATED MEMBERS, OR JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURERS RECOMMENDATION OR DESIGN BY PROFESSIONAL. (R502.2)
- J. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND ROOF SPACE. (R502.4)
- K. ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10. MINIMUM 3/4" PANEL SHEATHING.
- L. THE ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R502.4(1)
- | TABLE R502.4(1)     | SPACING (INCHES) | MAXIMUM SPAN (FEET) |     |      |
|---------------------|------------------|---------------------|-----|------|
| GIRDER/HEADER       | SILL PLATE       |                     |     |      |
|                     | 2x4              | 2x6                 | 2x8 | 2x10 |
| FLOOR JOIST         | 16"              | 12"                 | 10" | 8"   |
|                     | 18"              | 14"                 | 12" | 10"  |
|                     | 20"              | 16"                 | 14" | 12"  |
|                     | 22"              | 18"                 | 16" | 14"  |
| FLOOR GIRDER/HEADER | 16"              | 12"                 | 10" | 8"   |
|                     | 18"              | 14"                 | 12" | 10"  |
|                     | 20"              | 16"                 | 14" | 12"  |
|                     | 22"              | 18"                 | 16" | 14"  |
| FLOOR GIRDER/HEADER | 16"              | 12"                 | 10" | 8"   |
|                     | 18"              | 14"                 | 12" | 10"  |
|                     | 20"              | 16"                 | 14" | 12"  |
|                     | 22"              | 18"                 | 16" | 14"  |
- | TABLE R502.4(1)     | SPACING (INCHES) | MAXIMUM SPAN (FEET) |     |      |
|---------------------|------------------|---------------------|-----|------|
| GIRDER/HEADER       | SILL PLATE       |                     |     |      |
|                     | 2x4              | 2x6                 | 2x8 | 2x10 |
| FLOOR JOIST         | 16"              | 12"                 | 10" | 8"   |
|                     | 18"              | 14"                 | 12" | 10"  |
|                     | 20"              | 16"                 | 14" | 12"  |
|                     | 22"              | 18"                 | 16" | 14"  |
| FLOOR GIRDER/HEADER | 16"              | 12"                 | 10" | 8"   |
|                     | 18"              | 14"                 | 12" | 10"  |
|                     | 20"              | 16"                 | 14" | 12"  |
|                     | 22"              | 18"                 | 16" | 14"  |
| FLOOR GIRDER/HEADER | 16"              | 12"                 | 10" | 8"   |
|                     | 18"              | 14"                 | 12" | 10"  |
|                     | 20"              | 16"                 | 14" | 12"  |
|                     | 22"              | 18"                 | 16" | 14"  |
- A. SPACE WE DO NOT INTERFERE WITH THE STRUCTURAL MEMBERS. C. LUMBER OF 2X4, 2X6, 2X8, 2X10, 2X12, 2X14, 2X16, 2X18, 2X20, 2X22, 2X24, 2X26, 2X28, 2X30, 2X32, 2X34, 2X36, 2X38, 2X40, 2X42, 2X44, 2X46, 2X48, 2X50, 2X52, 2X54, 2X56, 2X58, 2X60, 2X62, 2X64, 2X66, 2X68, 2X70, 2X72, 2X74, 2X76, 2X78, 2X80, 2X82, 2X84, 2X86, 2X88, 2X90, 2X92, 2X94, 2X96, 2X98, 2X100, 2X102, 2X104, 2X106, 2X108, 2X110, 2X112, 2X114, 2X116, 2X118, 2X120, 2X122, 2X124, 2X126, 2X128, 2X130, 2X132, 2X134, 2X136, 2X138, 2X140, 2X142, 2X144, 2X146, 2X148, 2X150, 2X152, 2X154, 2X156, 2X158, 2X160, 2X162, 2X164, 2X166, 2X168, 2X170, 2X172, 2X174, 2X176, 2X178, 2X180, 2X182, 2X184, 2X186, 2X188, 2X190, 2X192, 2X194, 2X196, 2X198, 2X200, 2X202, 2X204, 2X206, 2X208, 2X210, 2X212, 2X214, 2X216, 2X218, 2X220, 2X222, 2X224, 2X226, 2X228, 2X230, 2X232, 2X234, 2X236, 2X238, 2X240, 2X242, 2X244, 2X246, 2X248, 2X250, 2X252, 2X254, 2X256, 2X258, 2X260, 2X262, 2X264, 2X266, 2X268, 2X270, 2X272, 2X274, 2X276, 2X278, 2X280, 2X282, 2X284, 2X286, 2X288, 2X290, 2X292, 2X294, 2X296, 2X298, 2X300, 2X302, 2X304, 2X306, 2X308, 2X310, 2X312, 2X314, 2X316, 2X318, 2X320, 2X322, 2X324, 2X326, 2X328, 2X330, 2X332, 2X334, 2X336, 2X338, 2X340, 2X342, 2X344, 2X346, 2X348, 2X350, 2X352, 2X354, 2X356, 2X358, 2X360, 2X362, 2X364, 2X366, 2X368, 2X370, 2X372, 2X374, 2X376, 2X378, 2X380, 2X382, 2X384, 2X386, 2X388, 2X390, 2X392, 2X394, 2X396, 2X398, 2X400, 2X402, 2X404, 2X406, 2X408, 2X410, 2X412, 2X414, 2X416, 2X418, 2X420, 2X422, 2X424, 2X426, 2X428, 2X430, 2X432, 2X434, 2X436, 2X438, 2X440, 2X442, 2X444, 2X446, 2X448, 2X450, 2X452, 2X454, 2X456, 2X458, 2X460, 2X462, 2X464, 2X466, 2X468, 2X470, 2X472, 2X474, 2X476, 2X478, 2X480, 2X482, 2X484, 2X486, 2X488, 2X490, 2X492, 2X494, 2X496, 2X498, 2X500, 2X502, 2X504, 2X506, 2X508, 2X510, 2X512, 2X514, 2X516, 2X518, 2X520, 2X522, 2X524, 2X526, 2X528, 2X530, 2X532, 2X534, 2X536, 2X538, 2X540, 2X542, 2X544, 2X546, 2X548, 2X550, 2X552, 2X554, 2X556, 2X558, 2X560, 2X562, 2X564, 2X566, 2X568, 2X570, 2X572, 2X574, 2X576, 2X578, 2X580, 2X582, 2X584, 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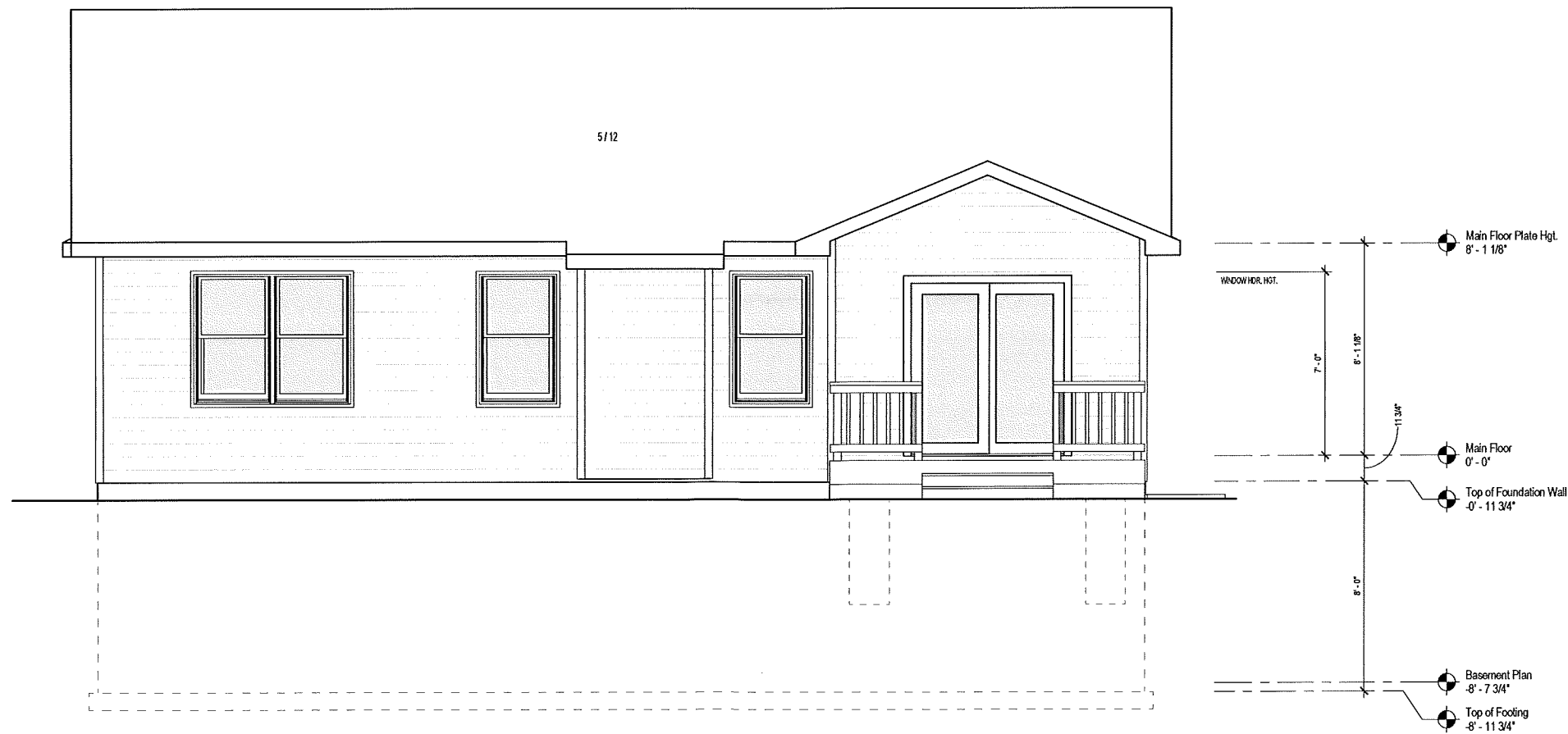
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1 FRONT ELEVATION  
Scale: 3/8" = 1'-0"

ESTIMATED WALL...	
Lap Siding	1835 SF
Stone Veneer	75 SF

\* QUOTE 20' X 8' OF SLIDE GARAGE DOOR TO MATCH THE EXISTING SURFACE OF THE WALL.  
1. THE MAIN FLOOR SLIPPER BEHIND THE FRONT PORCH.  
2. THE FRONT PORCH IN 0'-0" X 1'-0" DOOR OPENING.



2 REAR ELEVATION  
Scale: 3/8" = 1'-0"

Classic Builders  
Jackson Base Plan-B  
Villas @ Stonehaven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-07-15

DATE: 11-13-15

DATE:

DATE:

REVISIONS:

DATE:

DATE:

DATE:

DATE:

Elevations

3/8" = 1'-0"

A.1

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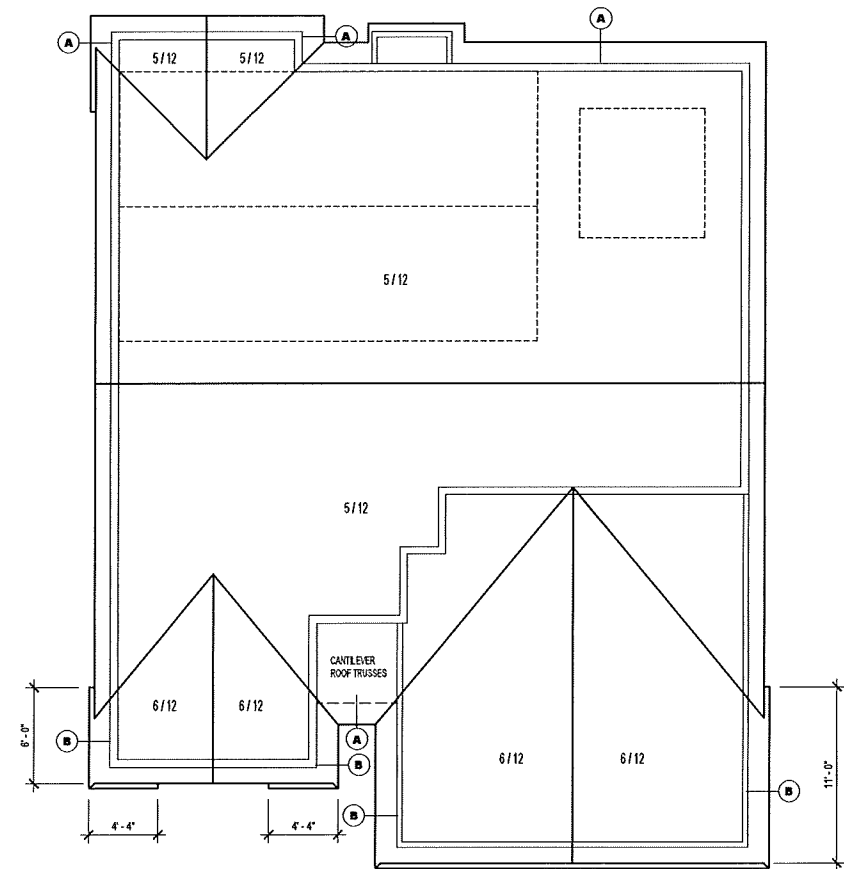
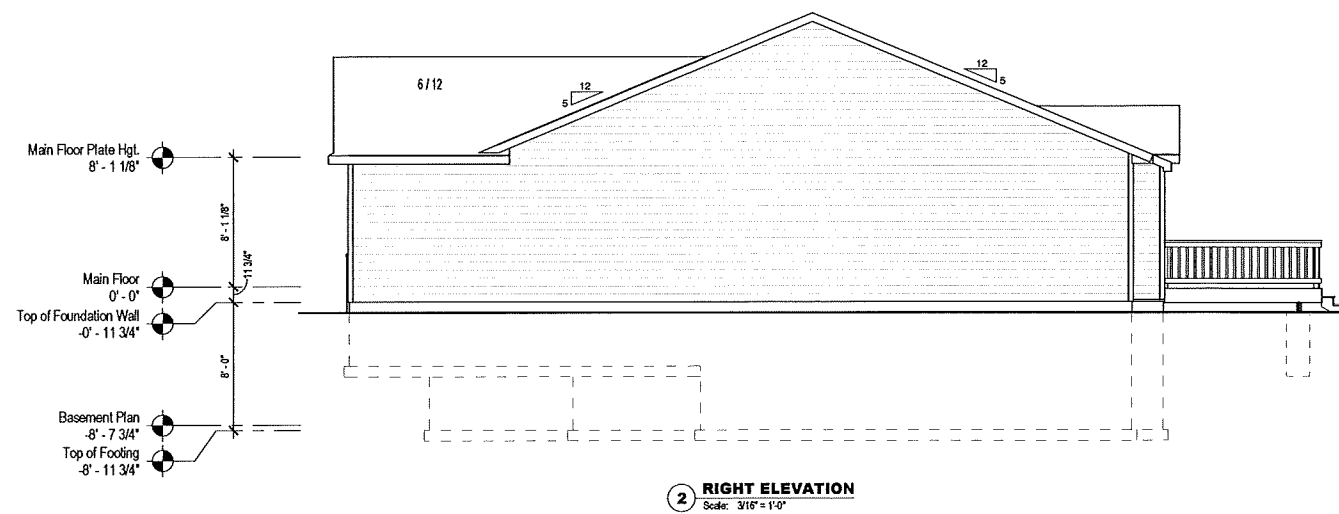
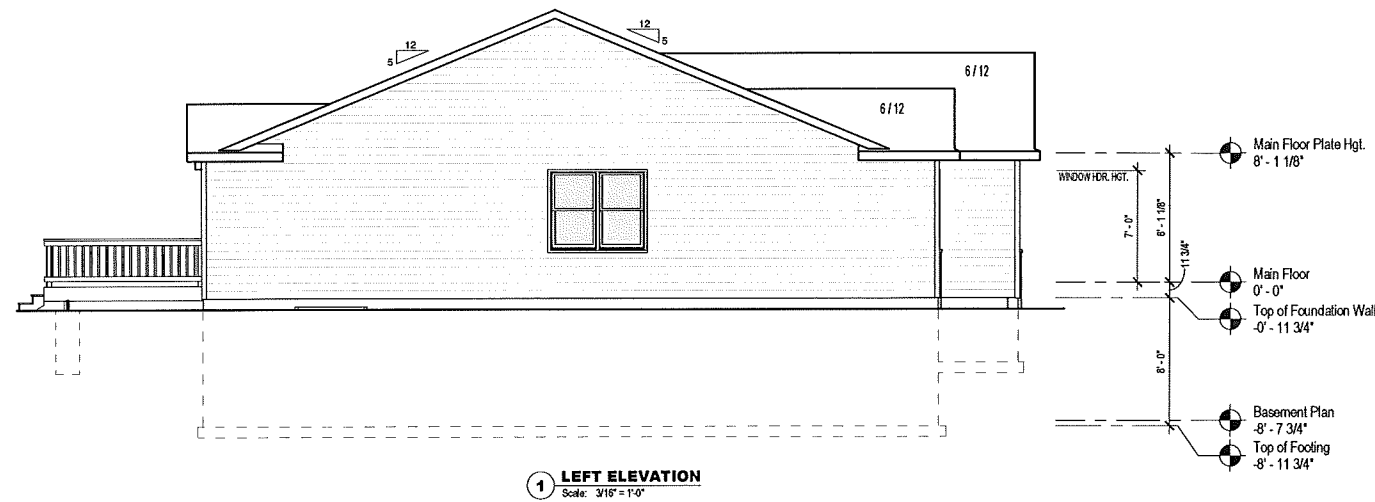
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Elevations  
As indicated

## A.2



<b>ESTIMATED ROOF SF</b>
2409 SF

- SQUARE FOOTAGE OF ROOF IS TAKEN FROM THE EXPOSED SURFACE OF THE ROOF. THE AREA EXCLUDED WHEN THE ROOF HAS A VALLEY, IS IN PROPORTION TO THE FACTOR HAS BEEN IT ALLOWED

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	5/12	1'-4"	8 5/16"
ALL RAISE OVERHANGS ARE 12" UNLESS NOTED				

ALL RAKE OVERHANGS ARE 12' UNLESS NOTED

ALL RAKE OVERHANGS ARE 12" UNLESS NOTED

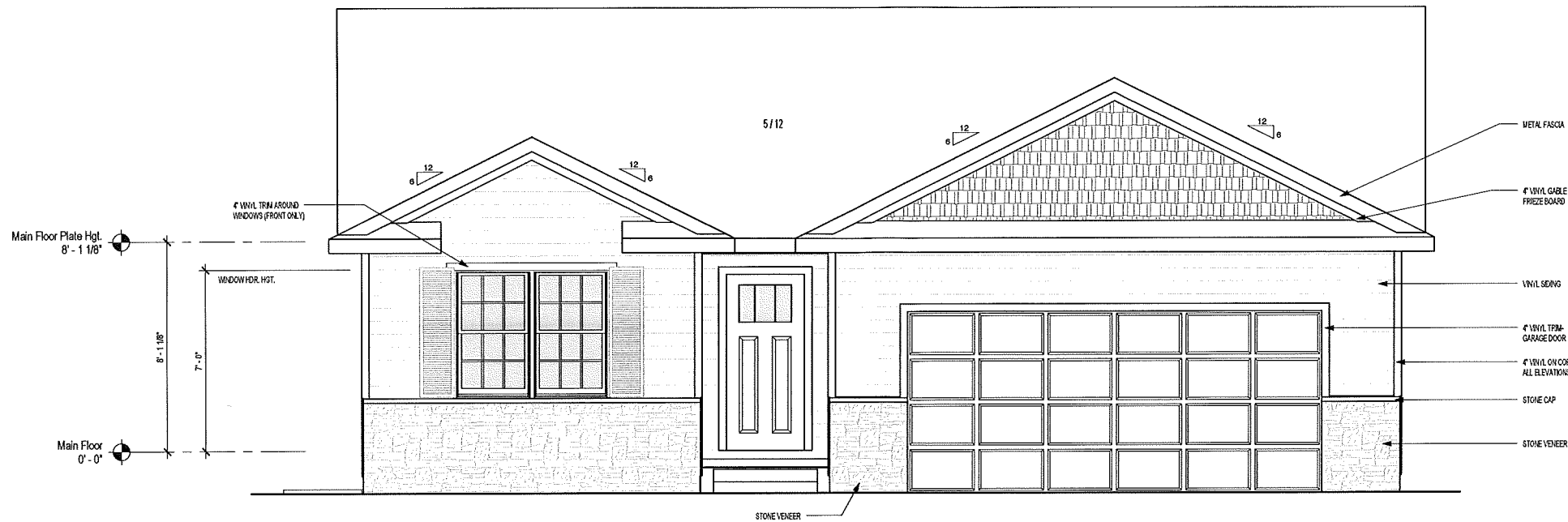






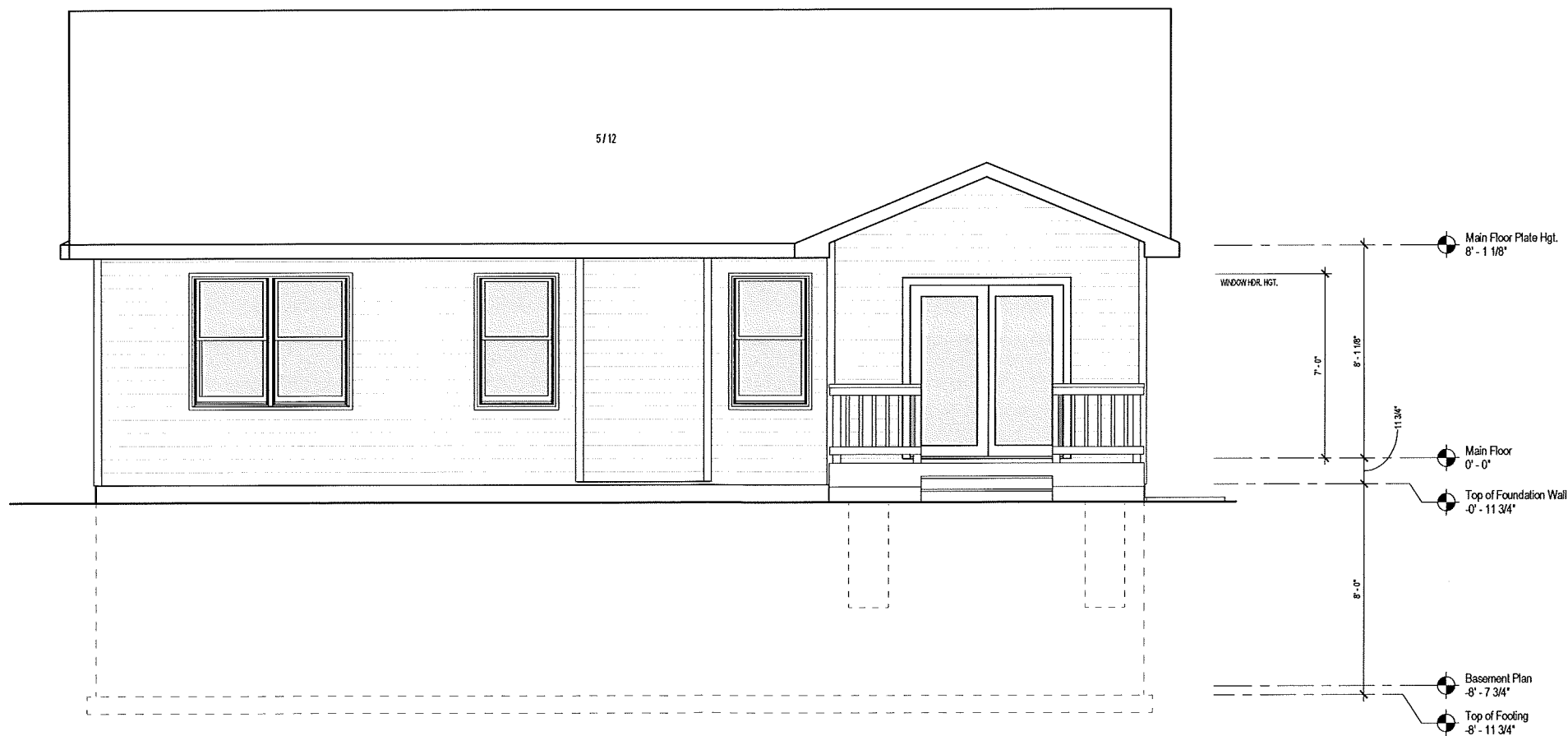
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1 FRONT ELEVATION  
Scale: 3/8" = 1'-0"

ESTIMATED WALL...	
Lap Siding	1683 SF
Stone Veneer	75 SF
Stone Veneer -	59 SF
1. THE FINISHES SHOWN ARE FOR INFORMATION ONLY. THE FINISHES TO BE USED SHALL BE DETERMINED BY THE OWNER AND CONTRACTOR. 2. THE FINISHES SHOWN ARE FOR INFORMATION ONLY.	



2 REAR ELEVATION  
Scale: 3/8" = 1'-0"

Classic Builders  
Jackson Base Plan-C  
Villas @ Stonehaven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-07-15

DATE: 11-13-15

DATE:

DATE:

REVISIONS:

DATE:

DATE:

DATE:

Elevations

3/8" = 1'-0"

A.1



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Classic Builders  
Jackson Base Plan-C  
Villas @ Stonehaven

PROJECT ID: PDS 3005

ISSUE DATE:  
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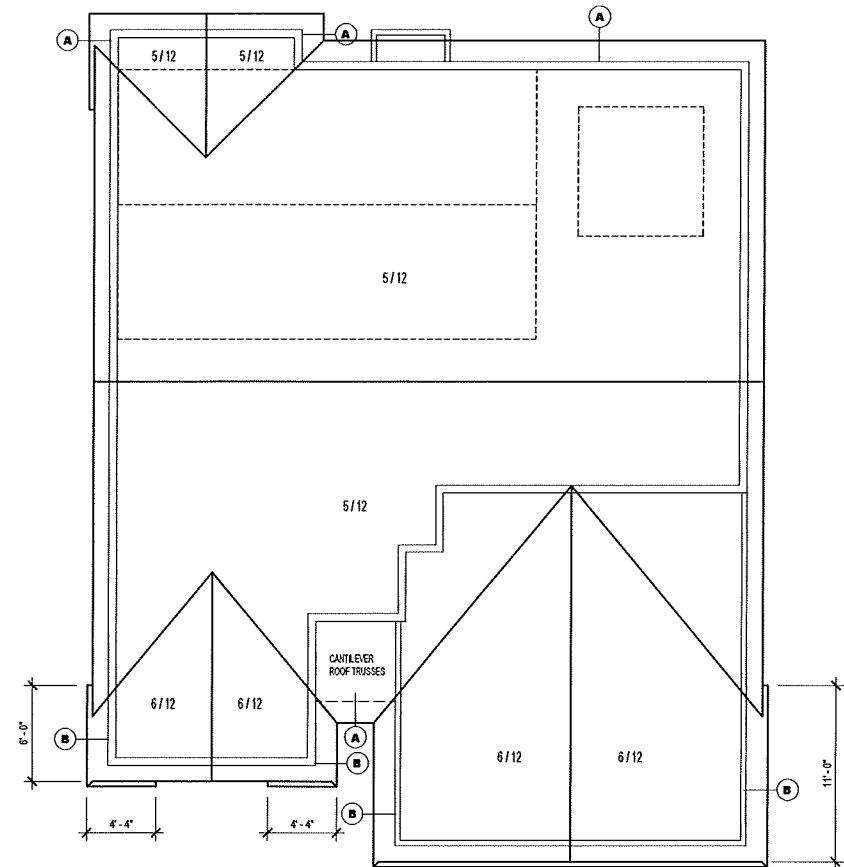
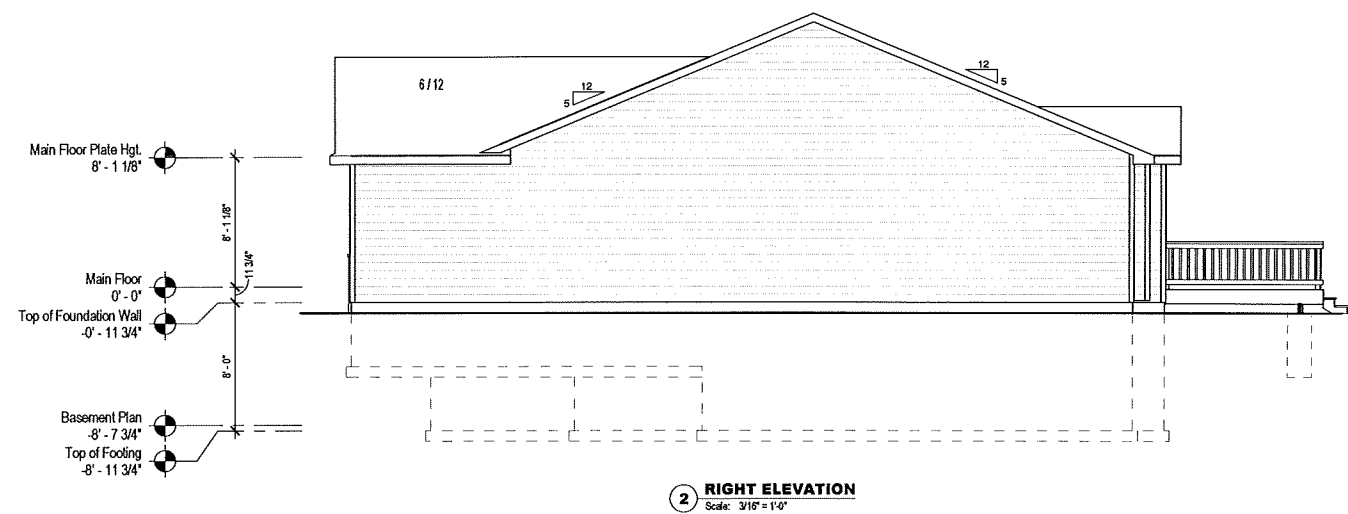
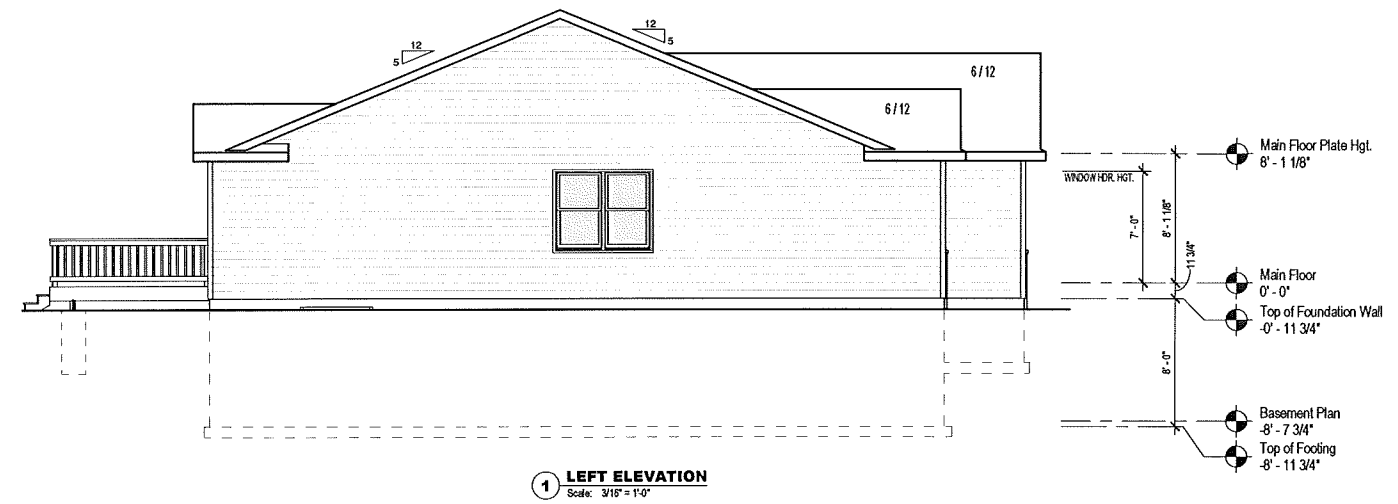
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Elevations  
As indicated

## A.2



**3 ROOF PLAN**  
Scale:  $\frac{3}{16}" = 1'-0"$

**ESTIMATED ROOF SF**

2401 SF

- SQUARE FOOTAGE OF ROOF IS TAKEN FROM THE EXPOSED SURFACE OF THE ROOF.  
1. THE AREA EXCLUDES SHARDED SURFACES BELOW VALLEY.  
2. IF A WIND FACTOR HAS BEEN APPLIED

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	5/12	1'-4"	8 5/16"
ALL RAKE OVERHANGS ARE 12" UNLESS NOTED				





[www.ClassicBuildersIowa.com](http://www.ClassicBuildersIowa.com)



ROLL CALL				
Plan & Zoning Commission				
Ankeny, IA				
Date	June 20, 2017			
Anderson	Aye	Nay	Pass	Absent
Ender	Aye	Nay	Pass	Absent
Flack	Aye	Nay	Pass	Absent
Houlihan	Aye	Nay	Pass	Absent
Hunter	Aye	Nay	Pass	Absent
Odson	Aye	Nay	Pass	Absent
Ripper	Aye	Nay	Pass	Absent
West	Aye	Nay	Pass	Absent
Whiting	Aye	Nay	Pass	Absent
Ayes	9	Nays	0	Pass
APPROVED				
T. Ripper				Chairperson
B. Englsang				Secretary

## EXTERIOR COLOR PACKAGE

- Royal White
- Graphite
- Slate
- Greystone

# MADISON



ABBREVIATIONS

ADJ	ADJUSTABLE
AWL	AWNING
BTM	BOTTOM
BSMT	BASEMENT
BTW	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
CHBRT	CHIMNEY
C	CENTER LINE
CLG	CEILING
C.O.	CASED OPENING
COL	COLUMN
CONC.	CONCRETE
D	DRYER
DIA	DIAMETER
DN	DOWN
DH	DOUBLE HUNG
DW	DISHWASHER
FD.	FLOOR DRAIN
FLR	FLOOR
FT.	FEET
FURN	FURNACE
HR	HEADER
HWD	HARDWOOD
INSUL	INSULATION
JST	JOIST
LVL	LAMINATED VENEER LUMBER
LVL	LINEN
MAX	MAXIMUM
MIN	MINIMUM
OC	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG	OPENING
PED.	PEDISTAL
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQ.	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S.B.R.	SHED AND ROOF
S.F.	SQUARE FEET
S.P.	SKIMP PIT
STL	STEEL
TRYP	TYPICAL
TRANS.	TRANSOM
UNEX.	UNEXCAVATED
VAL	VALVE
W	WASHER
W	WITH
W.H.	WATER HEATER

ELECTRIC SYMBOLS

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH E. FAN
	SMOKE/HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	WALL MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

MISC. SYMBOLS

	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAM/HEADER OR GIRDER TRUSS

DRAWING LIST

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering



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GENERAL CONSTRUCTION NOTES

1. GENERAL
- A. ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2008, LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IRC2008. THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IRC 2008. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
- B. CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE SIZED BY OWNER/CONTRACTOR.
- C. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURES OF THE BUILD UP OF MOISTURE OR MOLD.
- D. ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- E. ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.
2. DESIGN CRITERIA
- A. BUILDINGS AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (R301.1).
- B. TABLE 301.2(1) IRC 2008, VALUES BASED FROM THE CITY OF DES MOINES, IOWA.
- | UNIFORM | DEAD | ROOF | SNOW | WIND | SEISMIC |
|---------|------|------|------|------|---------|
| LOAD    | LOAD | LOAD | LOAD | LOAD | LOAD    |
| TYPE    | TYPE | TYPE | TYPE | TYPE | TYPE    |
| 10      | 10   | 10   | 10   | 10   | 10      |
- C. MINIMUM LIVE LOADS, (R301.1.5) IRC 2008
- | AREA                           | LOAD   |
|--------------------------------|--------|
| ATTIC WITH LIMITED STORAGE     | 20 PSF |
| ATTIC WITHOUT STORAGE          | 10 PSF |
| DECKS                          | 40 PSF |
| EXTERIOR BALCONIES             | 60 PSF |
| GUARDRAIL AND HANDRAILS        | 20 PSF |
| ROOM OTHER THAN SLEEPING ROOMS | 40 PSF |
| SLEEPING ROOMS                 | 30 PSF |
| STAIRS                         | 40 PSF |
- D. DEFLECTION CRITERIA
- | MEMBER           | DEFLECTION |
|------------------|------------|
| FLOOR LIVE LOAD  | L/360      |
| FLOOR TOTAL LOAD | L/600      |
| ROOF LIVE LOAD   | L/360      |
| ROOF TOTAL LOAD  | L/240      |
- E. ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA.
- F. DEAD LOADS, ANY ADDITIONAL OR CHANGES TO MATERIAL, NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.
- | MEMBER                             | LOAD    |
|------------------------------------|---------|
| FLOOR TOP CHORD                    | 1.5 PSF |
| CARPET AND PAD                     | 10 PSF  |
| 3/4" CERAMIC TILE, 1/2" BACKER BD. | 4.0 PSF |
| 3/4" HARDWOOD FLOOR                | 1.0 PSF |
| SUBFLOOR 3/4" OSB OR COMPLYWOOD    | 2.0 PSF |
| 1/2" FLOOR TRUSS-JOIST SYSTEM      | 1.5 PSF |
- G. TOTAL WITH CARPET/PAD
- | MEMBER                     | LOAD     |
|----------------------------|----------|
| TOTAL WITH CARPET/PAD      | 5.5 PSF  |
| TOTAL WITH TILE/BACKER BD. | 13.5 PSF |
| TOTAL WITH HARDWOOD FLOOR  | 7.5 PSF  |
- H. FLOOR BOTTOM CHORD
- | MEMBER                           | LOAD    |
|----------------------------------|---------|
| 1/2" FLOOR TRUSS-JOIST SYSTEM    | 1.5 PSF |
| 5/8" GYPSUM BOARD                | 2.0 PSF |
| MINIMUM FOR MISC MECHANICAL E.C. | 0.7 PSF |
- I. TOTAL
- | MEMBER | LOAD    |
|--------|---------|
| TOTAL  | 5.0 PSF |
3. ROOM REQUIREMENTS
- A. CEILING HEIGHT (R301.1) IN HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
- B. EXCEPTION 1: BEAMS AND GIRDERS SPACED LESS THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.
- C. CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN 6 FEET 8 INCHES OF FINISHED FLOOR.
- D. FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET.
- E. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 8 INCHES OVER THE FRONT OF THE FIXTURE.
- F. ROOM DIMENSIONS (R301.1) THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7' 0" CLEAR IN ANY HORIZONTAL DIMENSION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 70 SQUARE FEET, EXCEPT KITCHENS (R301.2).
- G. LIGHT AND VENTILATION (R301.1) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 3 S.F. IN AREA WITH HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT.
- H. EMERGENCY ESCAPE WINDOWS (R310) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 24" IN HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR. EGRESS WINDOW WELLS MUST PROJECT A MINIMUM OF 36" AND PROVIDED OVER 8 SQ. FT. OF NET CLEAR AREA. LADDERS ARE REQUIRED IF THE WELLS IS OVER 44" DEEP. LADDERS SHALL BE A MIN. OF 12" WIDE.
4. BUILDING REQUIREMENTS
- A. ATTIC ACCESS (R310) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 30" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.
- B. ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.0 S.F. (NET) FOR EACH 150 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (R310.2).
- C. SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT. SEE BUILDING DEPARTMENT. SMOKE ALARMS SHALL BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK UP (R310.3).
- D. STAIRWAY ARE TO BE A MINIMUM OF 36" WIDE (FINISHED) (R311.1.1) WITH A MINIMUM HEADROOM OF 6 FEET 8 INCHES (R311.1.2). THE MINIMUM RISE IS 7 1/4" (R311.1.3.1) WITH A MINIMUM RUN OF 10" (R311.1.3.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHTS WITH 4 OR MORE RISERS (R311.1.5.1). A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 10 FEET BETWEEN FLOORS OR LANDINGS (R311.1.5.4). PROVIDE GL GUARDS, DOWN SPOUTS, AND SPLASH BLOCKS AS NECESSARY.
5. FOUNDATION/CONCRETE
- A. IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNUSUAL SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. (R401.1) A SOIL CAPACITY OF 2000 PSF IS ASSUMED.
- B. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CURABLE CONCRETE SHALL BE 3500 PSI AT 28 DAYS. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3500 PSI AT 28 DAYS (R402.2). CONCRETE SHALL BE AIR ENTRAINMENT WITH 5%-% TOTAL AIR CONTENT.
- C. ALL FOOTING SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED/COMPACTED FILL. MINIMUM FOOTING TO BE 18" WIDE X 18" DEEP FOR A 1.5 STORY BUILDING AND 18" WIDE X 18" DEEP FOR A 1.5 STORY BUILDING (TABLE 402.1.1) BOTH WITH 2 CONTINUOUS HORIZONTAL #4 REBAR.
- D. ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS PER ALL PLATE WITH BOLTS SPACED AT A MAXIMUM OF 4 FEET ON CENTER WITH A MINIMUM OF ONE BOLT NOT MORE THAN 12 INCHES FROM THE END BUT AT LEAST 12 INCHES FROM END OF ALL PLATE (R403.1.5). ALL TYPICAL FOUNDATION STRAPS MAY BE USED. SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 1/2" DIAMETER ANCHOR BOLTS.
- F. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE R401.1(1). REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

NOT FOR CONSTRUCTION

THESE ARE PLANS ARE CONCEPTUAL PLANS AND HAVE NOT BEEN APPROVED AS A BID SET OR FOR CONSTRUCTION

Classic Builders  
Madison Base Plan  
Villas at Stonehaven

PROJECT ID: PDS 1904

ISSUE DATE:

DATE: 05-12-15

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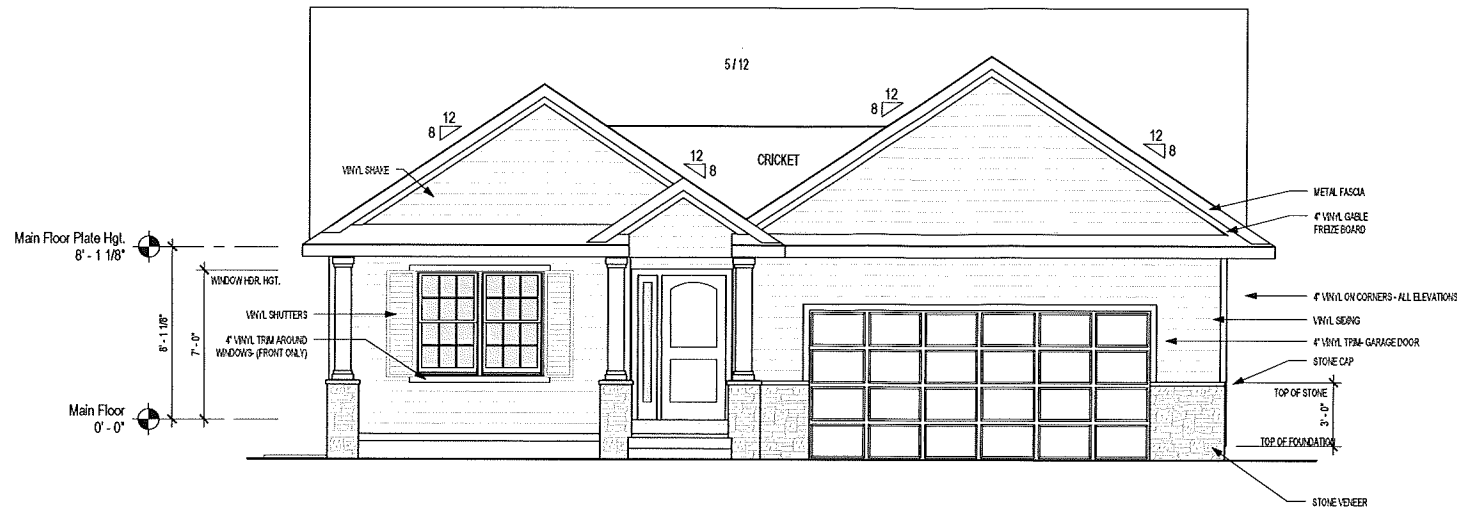
Cover Page

As indicated

A.0



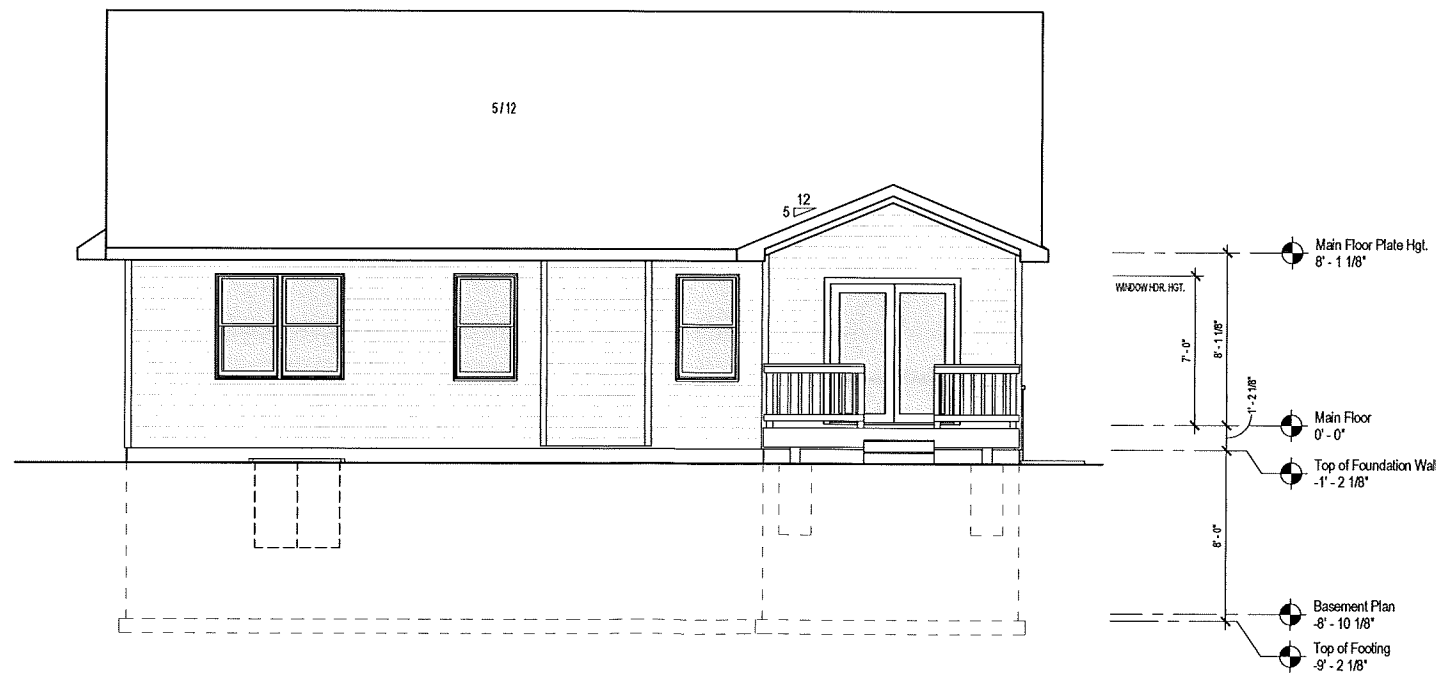
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1 FRONT ELEVATION  
Scale: 1/4" = 1'-0"

ESTIMATED WALL CLADDING SF	
Stone Veneer	70 SF
Vinyl Siding	2323 SF

\* SQUARE FOOTAGE OF CLADDING IS BASED ON THE EXPOSED SURFACE OF THE WALL.  
1. THE AREA EXCLUDED IS BASED ON THE EXPOSED SURFACE OF THE WALL.  
2. THE AREA EXCLUDED IS BASED ON THE EXPOSED SURFACE OF THE WALL.



2 REAR ELEVATION  
Scale: 1/4" = 1'-0"

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Villas at Stonehaven

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DATE:

DATE:

Elevations

1/4" = 1'-0"

A.1



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Classic Builders  
Madison Base Plan  
Villas at Stonehaven

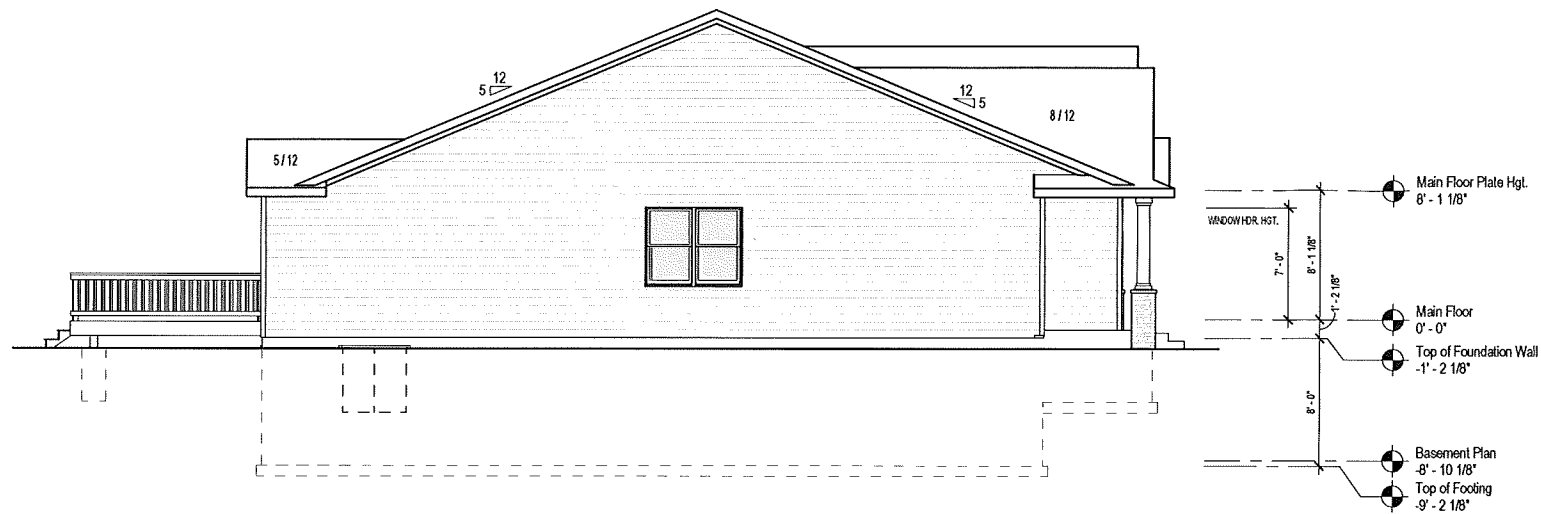
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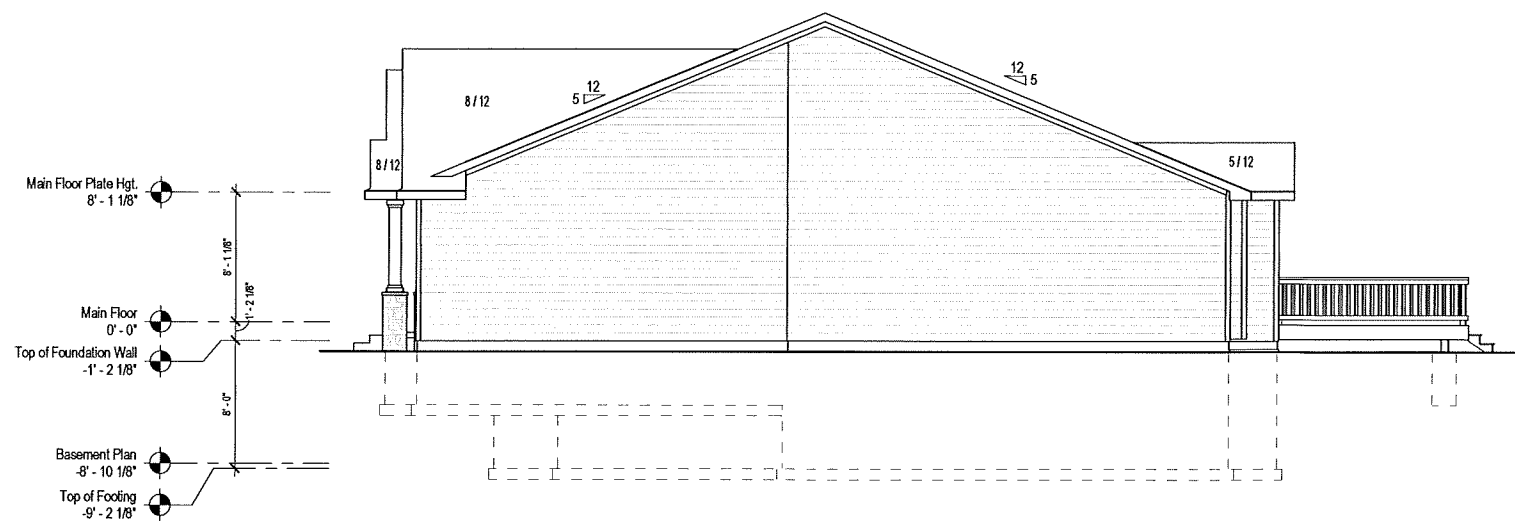
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Elevations  
As indicated

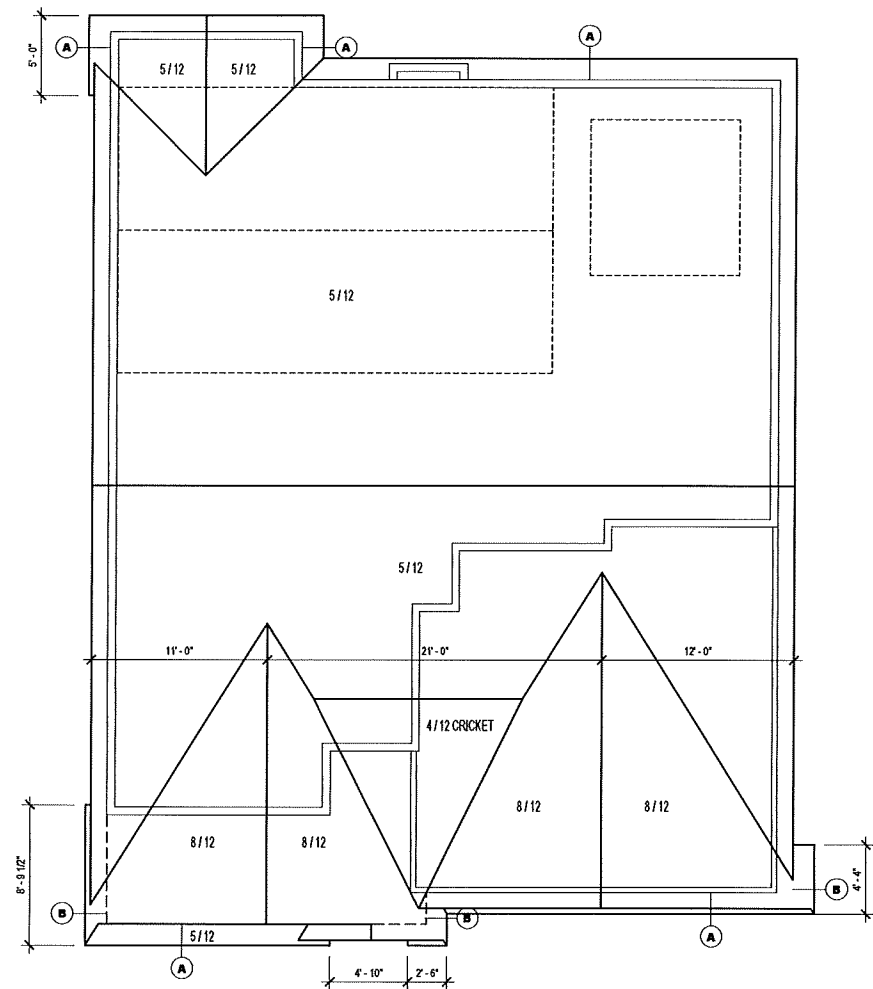
A.2



1 LEFT ELEVATION  
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION  
Scale: 3/16" = 1'-0"



3 ROOF PLAN  
Scale: 3/16" = 1'-0"

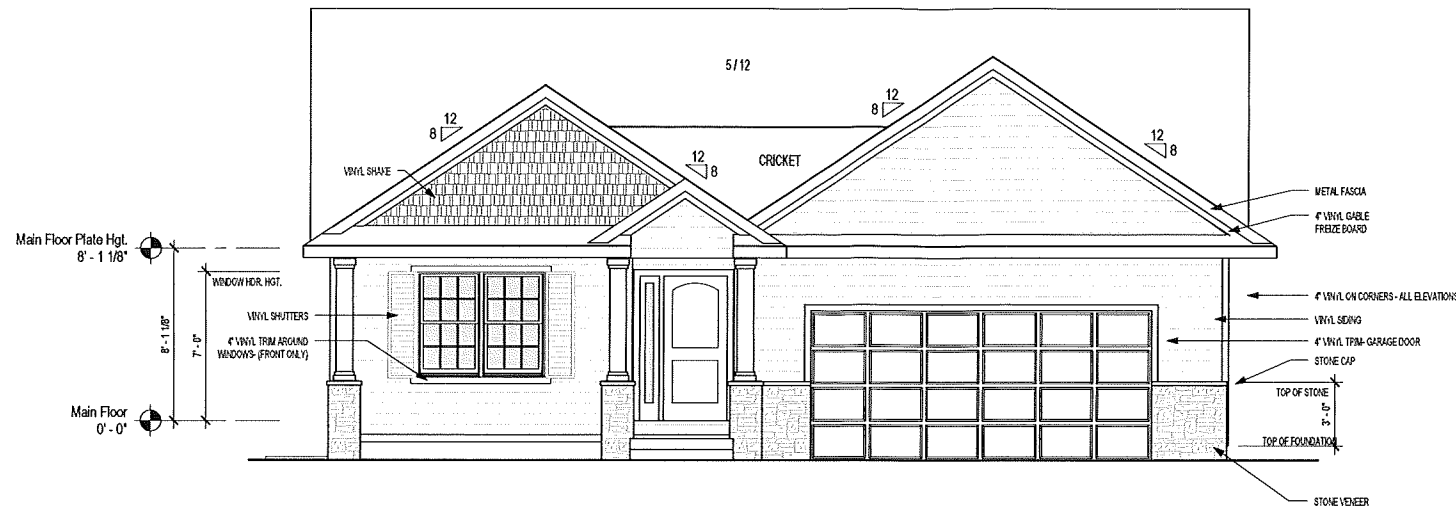
ROOF PLAN LEGEND				
SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	8/12	1'-4"	11"

ESTIMATED ROOF SF	
2820 SF	

1. DATE FOOTING OF ROOF IS TAKEN FROM THE EXISTING SURFACE OF THE ROOF.  
2. THE WORK OF SUBSIDIARY WORK IS NOT INCLUDED.  
3. NO WIND UPLIFT OR WINDS ARE INCLUDED.



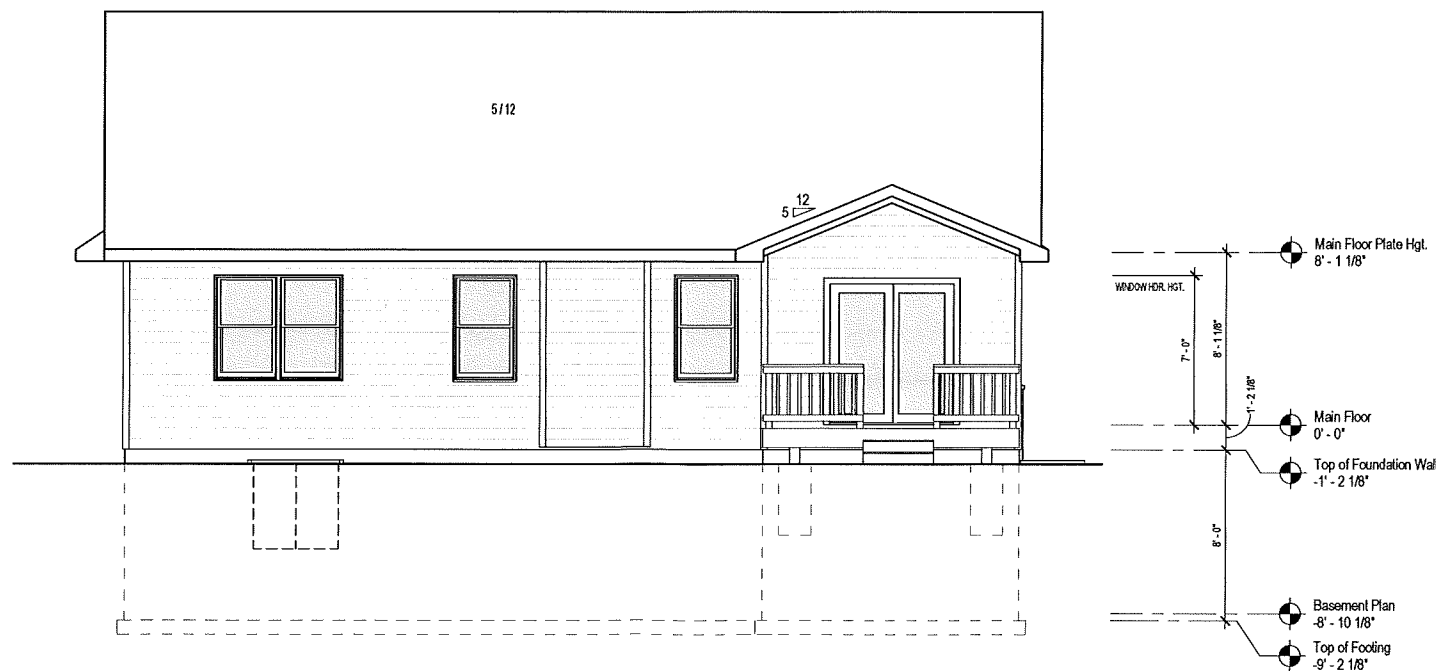
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1 FRONT ELEVATION  
Scale: 1/4" = 1'-0"

ESTIMATED WALL CLADDING SF	
Stone Veneer	70 SF
Vinyl Shake Material	61 SF
Vinyl Siding	2282 SF

1. COARSE FINISH OF CLADDING MATERIALS IS TO BE USED ON THE EXPOSED SURFACE OF THE WALL.  
2. THE AREA INCLUDES SURFACES BELOW DECK AND PORCH LEVELS.  
3. THE AREA EXCLUDES AREAS IN ROOMS AND KITCHENS.



2 REAR ELEVATION  
Scale: 1/4" = 1'-0"

Classic Builders  
Madison Base Plan-B  
Villas at Stonehaven

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Elevations

1/4" = 1'-0"

A.1



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Classic Builders  
Madison Base Plan-B  
Villas at Stonehaven

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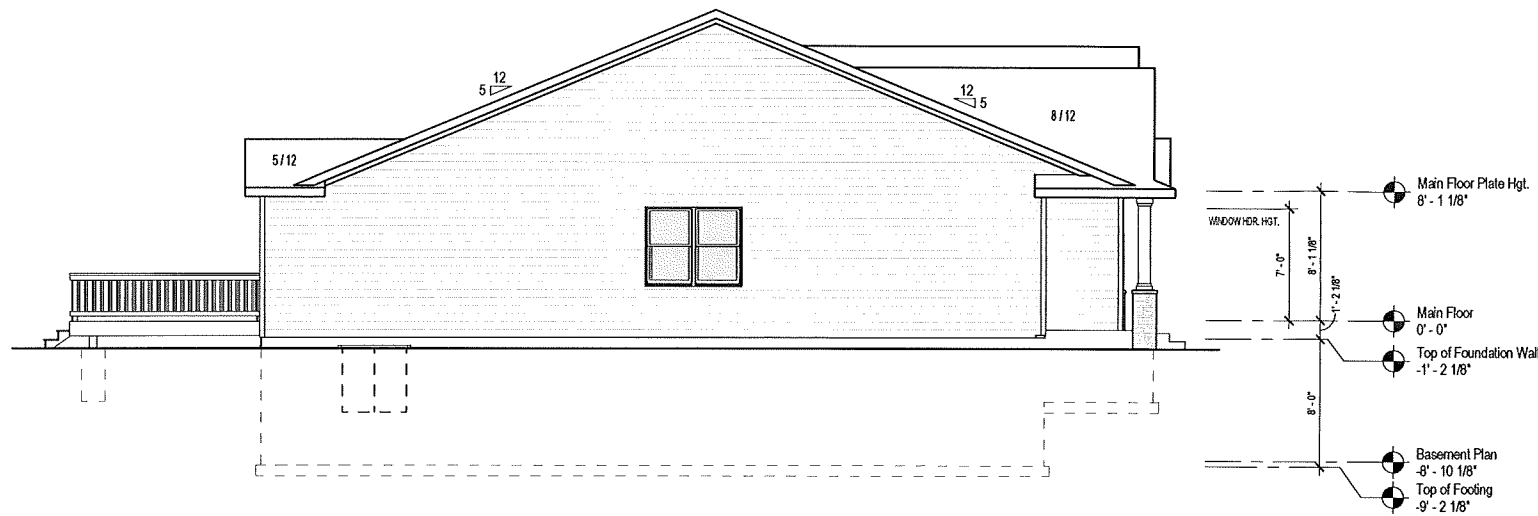
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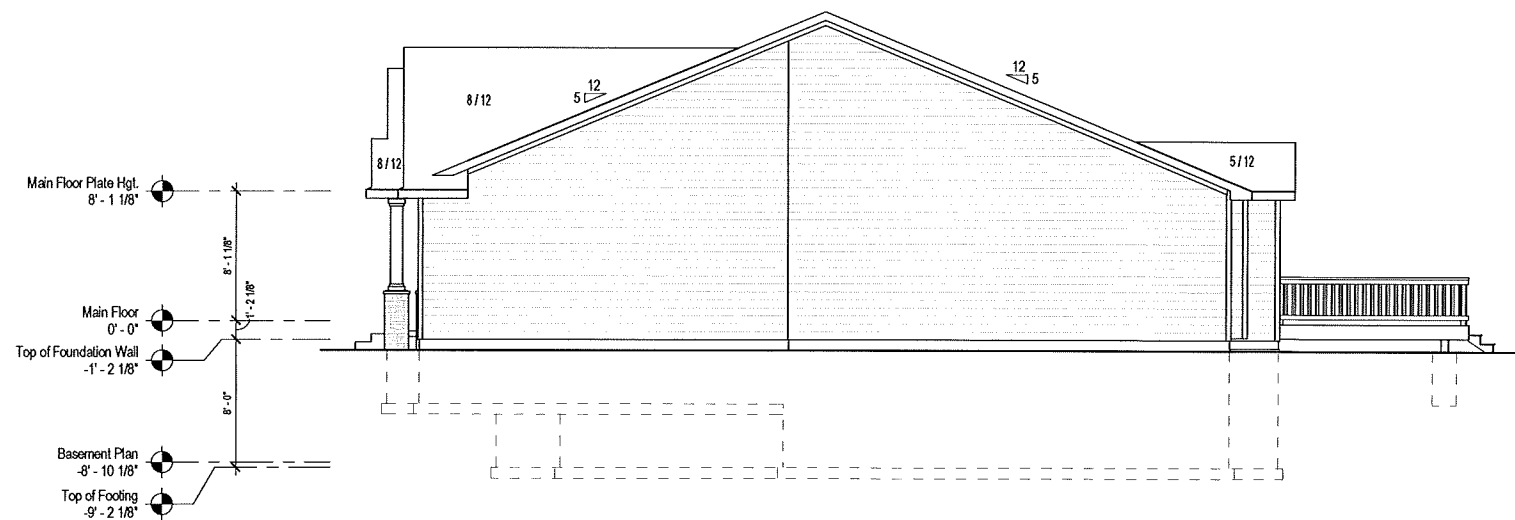
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Elevations  
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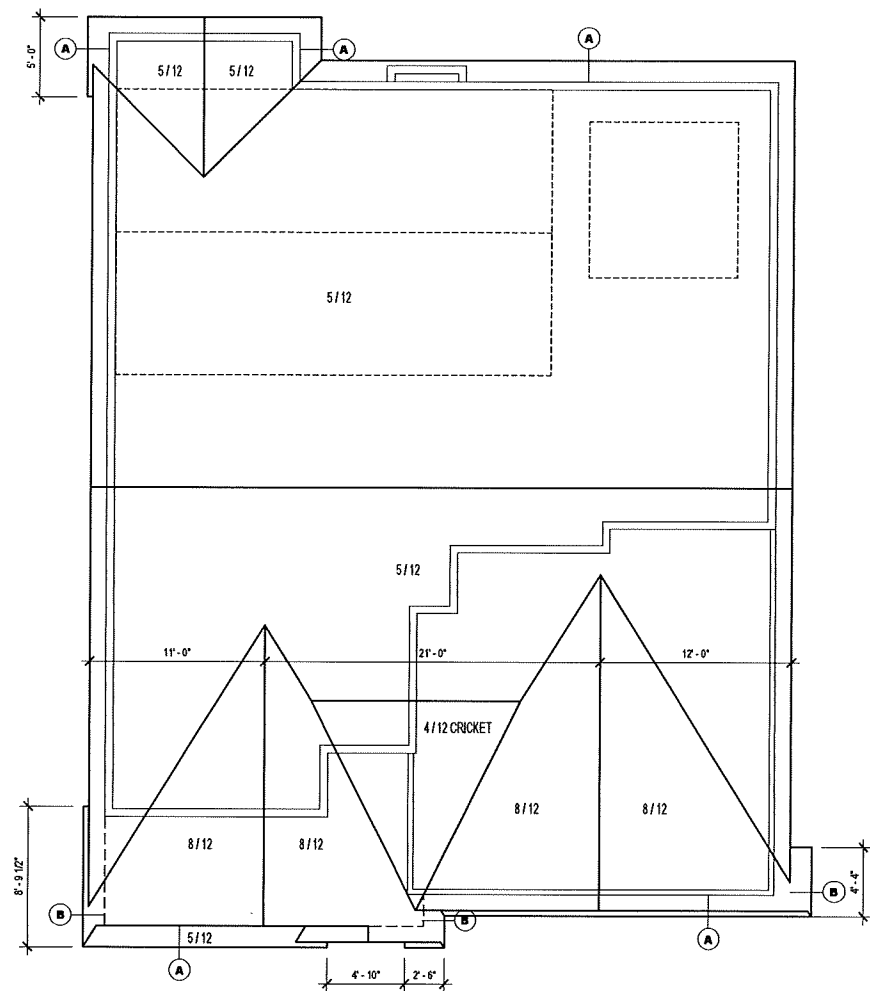
A.2



1 LEFT ELEVATION  
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION  
Scale: 3/16" = 1'-0"



3 ROOF PLAN  
Scale: 3/16" = 1'-0"

ROOF PLAN LEGEND				
SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	8/12	1'-4"	11"
ALL RAVE OVERHANGS ARE 12" UNLESS NOTED				

ESTIMATED ROOF SF	
2820 SF	
* TO APPROXIMATE ROOF AREA FROM THE EXPOSED SURFACE OF THE ROOF. 1. THE AREA IS BASED ON THE SURFACE AREA OF THE ROOF. 2. THE AREA IS NOT TO BE USED FOR ANY OTHER PURPOSE.	

ABBREVIATIONS

ADJ	ADJUSTABLE
AIN	AINING
BTM	BOTTOM
BSMT	BASMENT
BTW	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
CAB.	CABINET
C	CENTERLINE
CLG	CEILING
C.O.	CASED OPENING
COL.	COLUMN
CONC.	CONCRETE
D	DRIVER
DA	DIAMETER
DN	DOWN
SH	DOUBLE HUNG
DW	DISHWASHER
FD.	FLOOR DRAIN
FLR.	FLOOR
FT.	FEET
FURN.	FURNACE
HDR.	HEADER
HWD	HARDWOOD
INSUL.	INSULATION
JST.	JOIST
LVL.	LAMINATED VENEER LUMBER
LIN.	LINEN
MJC.	MINIMUM
MRL	MINIMUM
OC	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG.	OPENING
PED.	PEDISTAL
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQ.	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S.H.R.	SHIELD AND ROD
S.F.	SQUARE FEET
S.P.	SUMP PIT
STL.	STEEL
TYP.	TYPICAL
TRANS.	TRANSOM
UNEX.	UNEXCAVATED
VAL.	VANITY
W	WASHER
W	WITH
WH.	WATER HEATER

ELECTRIC SYMBOLS

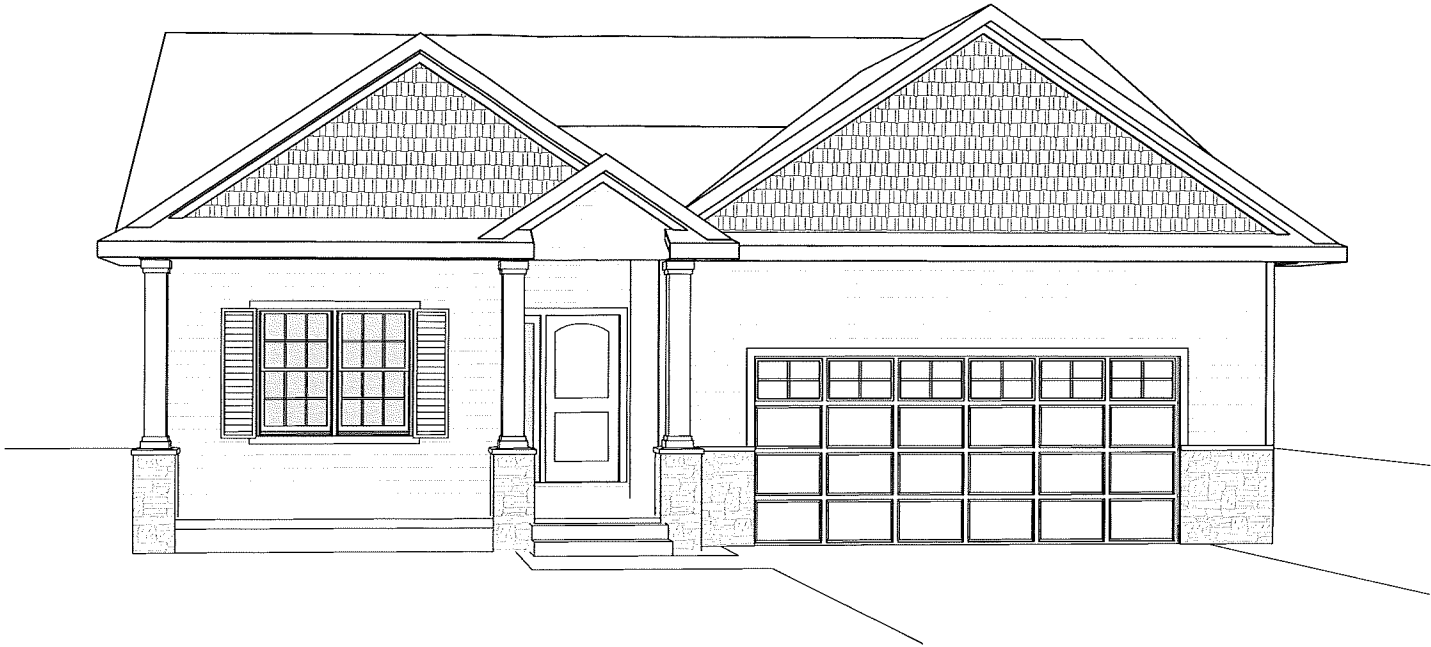
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH EXHAUST FAN
	SMOKE/HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	W.M. MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

MISC. SYMBOLS

	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAM/HEADER OR GIRDER TRUSS

DRAWING LIST

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering



PLUM DESIGN SERVICES  
1100 ALICE S ROAD, WAUKEE, IOWA 50263-1100  
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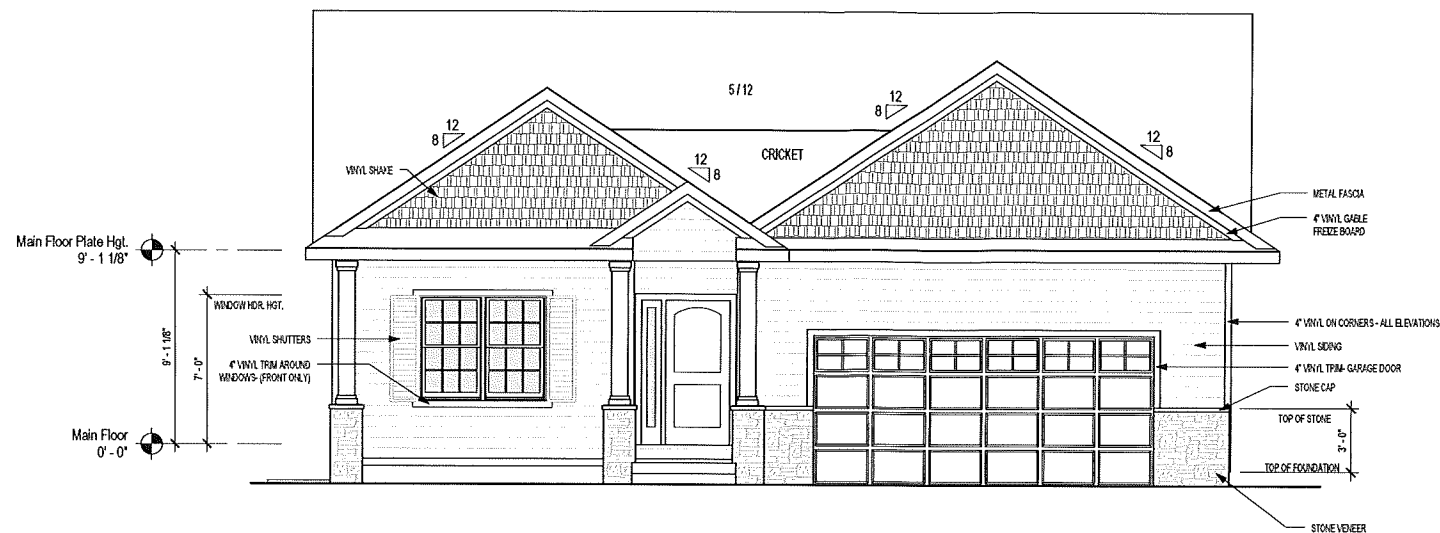
GENERAL CONSTRUCTION NOTES

1. GENERAL
- A. ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2018, LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE NOTES. THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IRC 2018. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
- B. CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE SIZED BY COMMERCIAL CONTRACTOR.
- C. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURE OF THE BUILD UP OF MOISTURE OR MOLD.
- D. ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- E. ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.
2. DESIGN CRITERIA
- A. BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (R301.1).
- B. TABLE 301.2(1) IRC 2018, VALUES BASED FROM THE CITY OF DES MOINES, IOWA.
- | DESIGN LOAD | DESIGN TYPE | DESIGN VALUE | SUBJECT TO WIND SPEED |                  |                  |                  | WIND SPEED (MPH) | DESIGN WIND SPEED (MPH) | DESIGN WIND SPEED (MPH) | DESIGN WIND SPEED (MPH) | DESIGN WIND SPEED (MPH) | DESIGN WIND SPEED (MPH) |
|-------------|-------------|--------------|-----------------------|------------------|------------------|------------------|------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|
|             |             |              | WIND SPEED (MPH)      | WIND SPEED (MPH) | WIND SPEED (MPH) | WIND SPEED (MPH) |                  |                         |                         |                         |                         |                         |
| DEAD        | 1           | 10           | 10                    | 10               | 10               | 10               | 10               | 10                      | 10                      | 10                      | 10                      | 10                      |
| LIVE        | 2           | 20           | 20                    | 20               | 20               | 20               | 20               | 20                      | 20                      | 20                      | 20                      | 20                      |
| ROOF        | 3           | 20           | 20                    | 20               | 20               | 20               | 20               | 20                      | 20                      | 20                      | 20                      | 20                      |
| SNOW        | 4           | 20           | 20                    | 20               | 20               | 20               | 20               | 20                      | 20                      | 20                      | 20                      | 20                      |
| WIND        | 5           | 100          | 100                   | 100              | 100              | 100              | 100              | 100                     | 100                     | 100                     | 100                     | 100                     |
| SEISMIC     | 6           | 0.2          | 0.2                   | 0.2              | 0.2              | 0.2              | 0.2              | 0.2                     | 0.2                     | 0.2                     | 0.2                     | 0.2                     |
- C. MINIMUM LIVE LOADS (R301.5) IRC 2018
- | AREA                           | LOAD   |
|--------------------------------|--------|
| ATTIC WITH LIMITED STORAGE     | 20 PSF |
| ATTIC WITHOUT STORAGE          | 10 PSF |
| DECKS                          | 40 PSF |
| EXTERIOR BALCONIES             | 60 PSF |
| COURTARDS AND TERRACES         | 20 PSF |
| ROOM OTHER THAN SLEEPING ROOMS | 40 PSF |
| SLEEPING ROOMS                 | 30 PSF |
| STAIRS                         | 40 PSF |
- DEFLECTION CRITERIA
- | LOAD             | CRITERIA |
|------------------|----------|
| FLOOR LIVE LOAD  | L/480    |
| FLOOR TOTAL LOAD | L/500    |
| ROOF LIVE LOAD   | L/500    |
| ROOF TOTAL LOAD  | L/400    |
- ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA.
- D. DEAD LOADS, ANY ADDITIONAL OR CHANGES TO MATERIAL, NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.
- | LOAD                              | VALUE    |
|-----------------------------------|----------|
| FLOOR TOP CHORD                   | 4.40 PSF |
| CARPET AND PAD                    | 1.5 PSF  |
| 3/4" GYPSUM TLEBAZ BAUER ED.      | 10 PSF   |
| 3/4" HARDWOOD FLOOR               | 40 PSF   |
| SUBFLOOR 3/4" OSB OR COM PLYWOOD  | 20 PSF   |
| 1/2" FLOOR TRUSS JOIST SYSTEM     | 1.5 PSF  |
| TOTAL WITH CARPET/PAD             | 5.5 PSF  |
| TOTAL WITH TLEBAZ BAUER ED.       | 11.5 PSF |
| TOTAL WITH HARDWOOD FLOOR         | 7.5 PSF  |
| ROOF BOTTOM CHORD                 | 1.10 PSF |
| 1/2" ROOF TRUSS 2X4               | 2.8 PSF  |
| 6" GYPSUM BOARD                   | 1.5 PSF  |
| MINIMUM FOR MISC MECHANICAL/ELEC. | 1.5 PSF  |
| 18" BATTLEDOWN INSULATION         | 1.60 PSF |
| TOTAL                             | 7.00 PSF |

3. ROOM REQUIREMENTS
- A. CEILING HEIGHT (R305.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
- B. EXCEPT 1. BEAMS AND GIRDERS SPACED LESS THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.
- C. CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN 4 FEET 8 INCHES OF FINISHED FLOOR.
- D. FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 6 FEET.
- E. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 7 FEET 8 INCHES OVER THE FRONT OF THE FEATURE.
- F. ROOM DIMENSIONS (R304.1) THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7'-4" IN ANY HORIZONTAL DIMENSION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 50 SQ. FEET, EXCEPT ATTIC (R304.2).
- G. LIGHT AND VENTILATION (R303) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 10% OF THE FLOOR AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 3 SF. IN AREA NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT. EMERGENCY ESCAPE WINDOWS (R310) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 24" IN HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A GILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR. EGRESS WINDOW WELLS MUST PROJECT A MINIMUM OF 3" AND PROVIDED OVER 4 SQ. FT. OF NET CLEAR AREA. LOADERS ARE REQUIRED IF THE WELL IS OVER 44" DEEP. LOADERS SHALL BE A MIN. OF 12" WIDE.
4. BUILDING REQUIREMENTS
- A. ACCESS (R307) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 30" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.
- B. ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.5 S.F. (NET) FOR EACH 150 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (R308.2).
- C. SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT. SEE BUILDING DEPARTMENT. SMOKE ALARMS SHALL BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK UP (R310).
- D. STAIRWAY ARE TO BE A MINIMUM OF 36" WIDE (FINISHED) (R311.5.2) WITH A MINIMUM HEADROOM OF 6 FEET 8 INCHES (R311.5.2). THE MAXIMUM RISER IS 7 3/4" (R311.5.3.1) WITH A MINIMUM RUN OF 10" (R311.5.3.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS (R311.5.3). A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 11 FEET BETWEEN FLOORS OR LANDINGS (R311.5.4).
- E. PROVIDE G.I. GUTTERS, DOWN SPOUTS, AND SPLASH BLOCKS AS NECESSARY.
5. FOUNDATION/CONCRETE
- A. IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. R401.4 A SOIL CAPACITY OF 2000 PSF IS ASSUMED.
- B. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 psi AT 28 DAYS. GARAGE FLOOR SLABS SHALL BE 3.50 AT 28 DAYS. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3.50 psi AT 28 DAYS (R402.2). CONCRETE SHALL BE AIR ENTRAINED WITH 5%-% TOTAL AIR CONTENT.
- C. ALL FOOTING SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL. MINIMUM FOOTING TO BE 16" WIDE X 8" DEEP FOR A 2 STORY BUILDING AND 16" WIDE X 8" DEEP FOR A 1 STORY BUILDING (TABLE 403.1) BOTH WITH 2 CONTINUOUS HORIZONTAL REBAR.
- D. ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS PER SLAB WITH BOLTS SPACED AT A MAXIMUM OF 4 FEET ON CENTER WITH A MINIMUM OF ONE BOLT NOT MORE THAN 10 INCHES FROM THE END BUT AT LEAST 10 INCHES FROM END OF ALL PLATE (R403.1.6). ALTERNATE FOUNDATION STRIPS MAY BE USED. SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 1/2" DIAMETER ANCHOR BOLT.
- F. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE R401.1(1). REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

6. WOOD FRAMING
- A. ROOF, FLOOR, AND WALL SHEATHING: APA RATED SHEATHING.
- B. WALL STUDS: MINIMUM SPF STUD OR DOUGLAS FIR LARCH STUD.
- C. WALL PLATES: MINIMUM SPF #2 OR BETTER.
- D. DIMENSIONAL HEADERS: #2 DOUGLAS FIR OR BETTER.
- E. LIVE HEADERS: 3000 PSI MINIMUM.
- F. JOIST UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD (R502.4).
- G. THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON CONCRETE (R502.4).
- H. WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH AISI/TPI-1. REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR WEB BRACING AND MULTICONNECTION OF GIRDERS. E303 (43) SHOULD BE REFER TO FOR HANDLING INSTALLATION AND BRACING OF METAL PLATE TRUSSES.
- I. NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES. STRUCTURAL COMPOSITE LUMBER, GLUE LAMINATED MEMBERS, OR A JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN BY PROFESSIONAL (R503.2.2).
- J. FREE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND ROOF SPACE (R502.4).
- K. ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R502.12, MINIMUM 3/4" PLYWOOD SHEATHING.
- L. THE ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R502.4(1).
- TABLE R502.4(1) ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS
- | MEMBER SIZE | SUPPORTED BY STUDS OR JOISTS |             |       |         | SUPPORTED BY PLATE OR GIRDERS |             |       |         |
|-------------|------------------------------|-------------|-------|---------|-------------------------------|-------------|-------|---------|
|             | SPF                          | DOUGLAS FIR | LARCH | REDWOOD | SPF                           | DOUGLAS FIR | LARCH | REDWOOD |
| 2x4         | 10'                          | 10'         | 10'   | 10'     | 10'                           | 10'         | 10'   | 10'     |
| 2x6         | 12'                          | 12'         | 12'   | 12'     | 12'                           | 12'         | 12'   | 12'     |
| 2x8         | 14'                          | 14'         | 14'   | 14'     | 14'                           | 14'         | 14'   | 14'     |
| 2x10        | 16'                          | 16'         | 16'   | 16'     | 16'                           | 16'         | 16'   | 16'     |
| 2x12        | 18'                          | 18'         | 18'   | 18'     | 18'                           | 18'         | 18'   | 18'     |
| 2x14        | 20'                          | 20'         | 20'   | 20'     | 20'                           | 20'         | 20'   | 20'     |
| 2x16        | 22'                          | 22'         | 22'   | 22'     | 22'                           | 22'         | 22'   | 22'     |
| 2x18        | 24'                          | 24'         | 24'   | 24'     | 24'                           | 24'         | 24'   | 24'     |
| 2x20        | 26'                          | 26'         | 26'   | 26'     | 26'                           | 26'         | 26'   | 26'     |
| 2x22        | 28'                          | 28'         | 28'   | 28'     | 28'                           | 28'         | 28'   | 28'     |
| 2x24        | 30'                          | 30'         | 30'   | 30'     | 30'                           | 30'         | 30'   | 30'     |
| 2x26        | 32'                          | 32'         | 32'   | 32'     | 32'                           | 32'         | 32'   | 32'     |
| 2x28        | 34'                          | 34'         | 34'   | 34'     | 34'                           | 34'         | 34'   | 34'     |
| 2x30        | 36'                          | 36'         | 36'   | 36'     | 36'                           | 36'         | 36'   | 36'     |
| 2x32        | 38'                          | 38'         | 38'   | 38'     | 38'                           | 38'         | 38'   | 38'     |
| 2x34        | 40'                          | 40'         | 40'   | 40'     | 40'                           | 40'         | 40'   | 40'     |
| 2x36        | 42'                          | 42'         | 42'   | 42'     | 42'                           | 42'         | 42'   | 42'     |
| 2x38        | 44'                          | 44'         | 44'   | 44'     | 44'                           | 44'         | 44'   | 44'     |
| 2x40        | 46'                          | 46'         | 46'   | 46'     | 46'                           | 46'         | 46'   | 46'     |
| 2x42        | 48'                          | 48'         | 48'   | 48'     | 48'                           | 48'         | 48'   | 48'     |
| 2x44        | 50'                          | 50'         | 50'   | 50'     | 50'                           | 50'         | 50'   | 50'     |
| 2x46        | 52'                          | 52'         | 52'   | 52'     | 52'                           | 52'         | 52'   | 52'     |
| 2x48        | 54'                          | 54'         | 54'   | 54'     | 54'                           | 54'         | 54'   | 54'     |
| 2x50        | 56'                          | 56'         | 56'   | 56'     | 56'                           | 56'         | 56'   | 56'     |
| 2x52        | 58'                          | 58'         | 58'   | 58'     | 58'                           | 58'         | 58'   | 58'     |
| 2x54        | 60'                          | 60'         | 60'   | 60'     | 60'                           | 60'         | 60'   | 60'     |
| 2x56        | 62'                          | 62'         | 62'   | 62'     | 62'                           | 62'         | 62'   | 62'     |
| 2x58        | 64'                          | 64'         | 64'   | 64'     | 64'                           | 64'         | 64'   | 64'     |
| 2x60        | 66'                          | 66'         | 66'   | 66'     | 66'                           | 66'         | 66'   | 66'     |
| 2x62        | 68'                          | 68'         | 68'   | 68'     | 68'                           | 68'         | 68'   | 68'     |
| 2x64        | 70'                          | 70'         | 70'   | 70'     | 70'                           | 70'         | 70'   | 70'     |
| 2x66        | 72'                          | 72'         | 72'   | 72'     | 72'                           | 72'         | 72'   | 72'     |
| 2x68        | 74'                          | 74'         | 74'   | 74'     | 74'                           | 74'         | 74'   | 74'     |
| 2x70        | 76'                          | 76'         | 76'   | 76'     | 76'                           | 76'         | 76'   | 76'     |
| 2x72        | 78'                          | 78'         | 78'   | 78'     | 78'                           | 78'         | 78'   | 78'     |
| 2x74        | 80'                          | 80'         | 80'   | 80'     | 80'                           | 80'         | 80'   | 80'     |
| 2x76        | 82'                          | 82'         | 82'   | 82'     | 82'                           | 82'         | 82'   | 82'     |
| 2x78        | 84'                          | 84'         | 84'   | 84'     | 84'                           | 84'         | 84'   | 84'     |
| 2x80        | 86'                          | 86'         | 86'   | 86'     | 86'                           | 86'         | 86'   | 86'     |
| 2x82        | 88'                          | 88'         | 88'   | 88'     | 88'                           | 88'         | 88'   | 88'     |
| 2x84        | 90'                          | 90'         | 90'   | 90'     | 90'                           | 90'         | 90'   | 90'     |
| 2x86        | 92'                          | 92'         | 92'   | 92'     | 92'                           | 92'         | 92'   | 92'     |
| 2x88        | 94'                          | 94'         | 94'   | 94'     | 94'                           | 94'         | 94'   | 94'     |
| 2x90        | 96'                          | 96'         | 96'   | 96'     | 96'                           | 96'         | 96'   | 96'     |
| 2x92        | 98'                          | 98'         | 98'   | 98'     | 98'                           | 98'         | 98'   | 98'     |
| 2x94        | 100'                         | 100'        | 100'  | 100'    | 100'                          | 100'        | 100'  | 100'    |
| 2x96        | 102'                         | 102'        | 102'  | 102'    | 102'                          | 102'        | 102'  | 102'    |
| 2x98        | 104'                         | 104'        | 104'  | 104'    | 104'                          | 104'        | 104'  | 104'    |
| 2x100       | 106'                         | 106'        | 106'  | 106'    | 106'                          | 106'        | 106'  | 106'    |
| 2x102       | 108'                         | 108'        | 108'  | 108'    | 108'                          | 108'        | 108'  | 108'    |
| 2x104       | 110'                         | 110'        | 110'  | 110'    | 110'                          | 110'        | 110'  | 110'    |
| 2x106       | 112'                         | 112'        | 112'  | 112'    | 112'                          | 112'        | 112'  | 112'    |
| 2x108       | 114'                         | 114'        | 114'  | 114'    | 114'                          | 114'        | 114'  | 114'    |
| 2x110       | 116'                         | 116'        | 116'  | 116'    | 116'                          | 116'        | 116'  | 116'    |
| 2x112       | 118'                         | 118'        | 118'  | 118'    | 118'                          | 118'        | 118'  | 118'    |
| 2x114       | 120'                         | 120'        | 120'  | 120'    | 120'                          | 120'        | 120'  | 120'    |
| 2x116       | 122'                         | 122'        | 122'  | 122'    | 122'                          | 122'        | 122'  | 122'    |
| 2x118       | 124'                         | 124'        | 124'  | 124'    | 124'                          | 124'        | 124'  | 124'    |
| 2x120       | 126'                         | 126'        | 126'  | 126'    | 126'                          | 126'        | 126'  | 126'    |
| 2x122       | 128'                         | 128'        | 128'  | 128'    | 128'                          | 128'        | 128'  | 128'    |
| 2x124       | 130'                         | 130'        | 130'  | 130'    | 130'                          | 130'        | 130'  | 130'    |
| 2x126       | 132'                         | 132'        | 132'  | 132'    | 132'                          | 132'        | 132'  | 132'    |
| 2x128       | 134'                         | 134'        | 134'  | 134'    | 134'                          | 134'        | 134'  | 134'    |
| 2x130       | 136'                         | 136'        | 136'  | 136'    | 136'                          | 136'        | 136'  | 136'    |
| 2x132       | 138'                         | 138'        | 138'  | 138'    | 138'                          | 138'        | 138'  | 138'    |
| 2x134       | 140'                         | 140'        | 140'  | 140'    | 140'                          | 140'        | 140'  | 140'    |
| 2x136       | 142'                         | 142'        | 142'  | 142'    | 142'                          | 142'        | 142'  | 142'    |
| 2x138       | 144'                         | 144'        | 144'  | 144'    | 144'                          | 144'        | 144'  | 144'    |
| 2x140       | 146'                         | 146'        | 146'  | 146'    | 146'                          | 146'        | 146'  | 146'    |
| 2x142       | 148'                         | 148'        | 148'  | 148'    | 148'                          | 148'        | 148'  | 148'    |
| 2x144       | 150'                         | 150'        | 150'  | 150'    | 150'                          | 150'        | 150'  | 150'    |
| 2x146       | 152'                         | 152'        | 152'  | 152'    | 152'                          | 152'        | 152'  | 152'    |
| 2x148       | 154'                         | 154'        | 154'  | 154'    | 154'                          | 154'        | 154'  | 154'    |
| 2x150       | 156'                         | 156'        | 156'  | 156'    | 156'                          | 156'        | 156'  | 156'    |
| 2x152       | 158'                         | 158'        | 158'  | 158'    | 158'                          | 158'        | 158'  | 158'    |
| 2x154       | 160'                         | 160'        | 160'  | 160'    | 160'                          | 160'        | 160'  | 160'    |
| 2x156       | 162'                         | 162'        | 162'  | 162'    | 1                             |             |       |         |

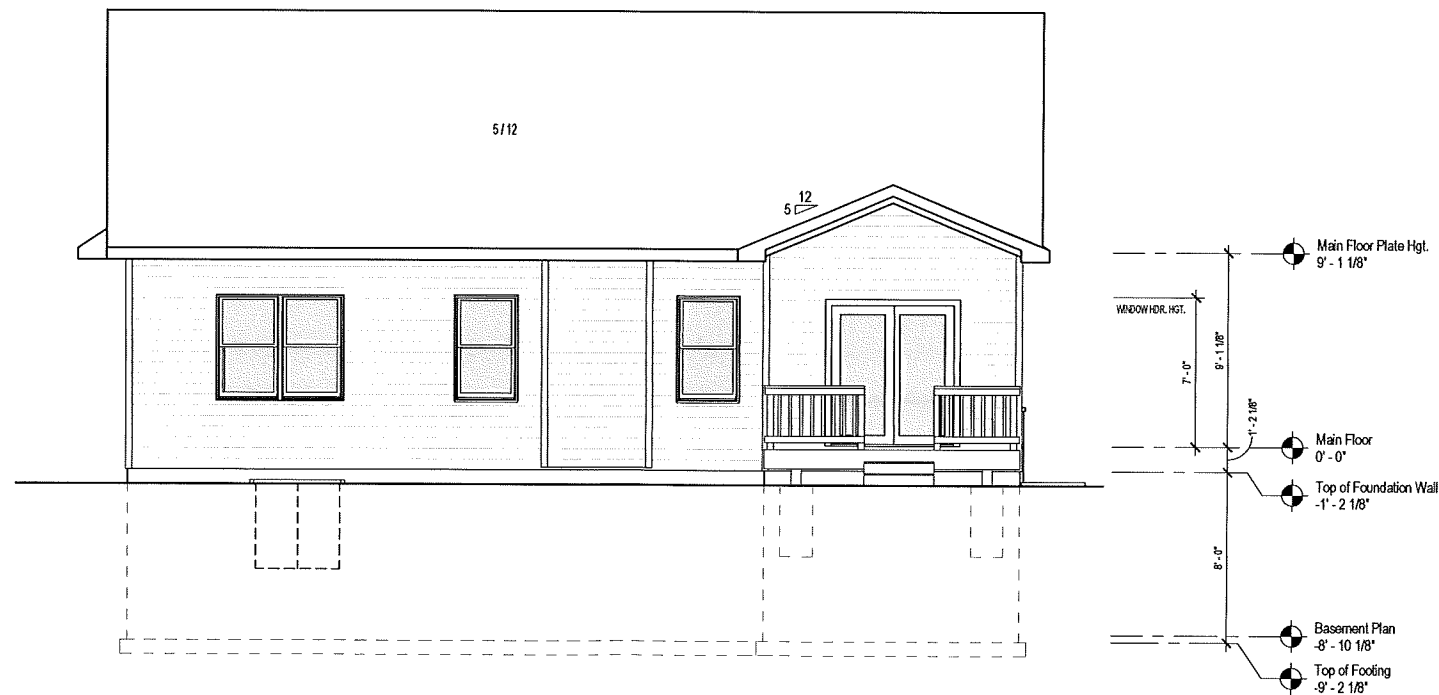
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1 FRONT ELEVATION  
Scale: 1/4\" = 1'-0"

ESTIMATED WALL CLADDING SF	
Stone Veneer	70 SF
Vinyl Shake Material	168 SF
Vinyl Siding	2352 SF

\* SQUARE FOOTAGE OF CLADDING MATERIALS IS BASED ON THE EXISTING SURFACE OF THE WALL.  
1. THE AREA INCLUDES SURFACES BELOW DECK LEVELS PER SPECIFICATIONS.  
2. THE AREA EXCLUDES 48\"/>



2 REAR ELEVATION  
Scale: 1/4\" = 1'-0"

Classic Builders  
Madison Base Plan  
Villas at Stonehaven

PROJECT ID: PDS 1904

ISSUE DATE:

DATE: 05-12-15

DATE:

DATE:

DATE:

REVISIONS:

DATE:

DATE:

DATE:

DATE:

Elevations

1/4\" = 1'-0"

A.1

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Classic Builders  
Madison Base Plan  
Villas at Stonehaven

PROJECT ID: PDS 1904

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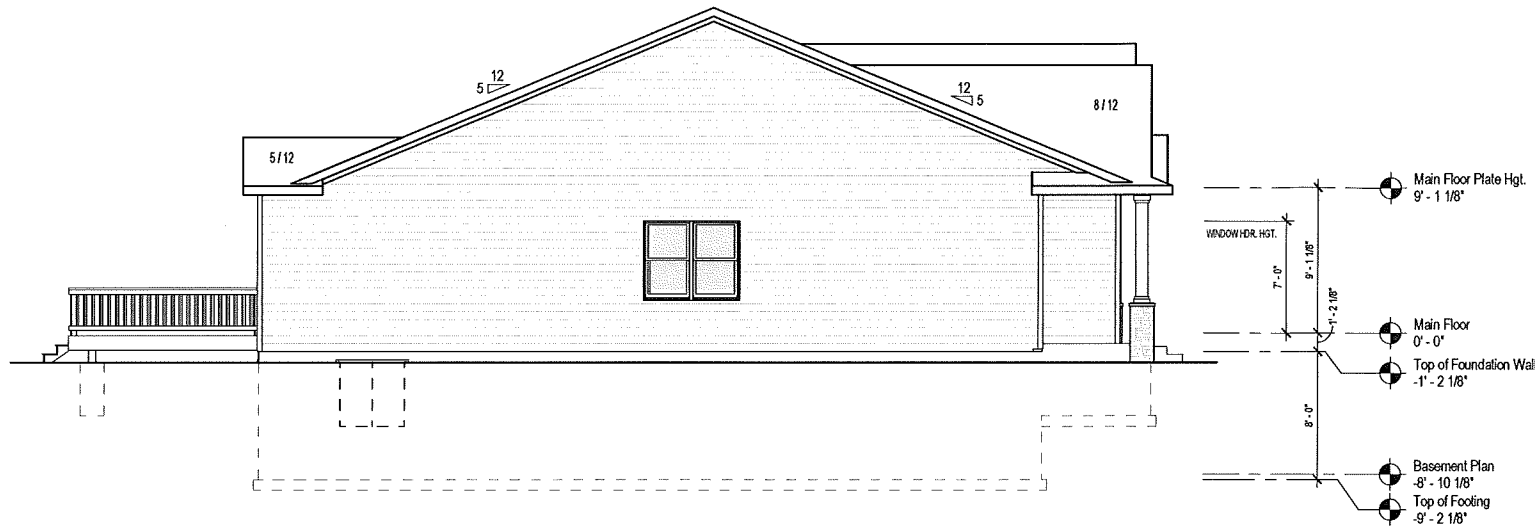
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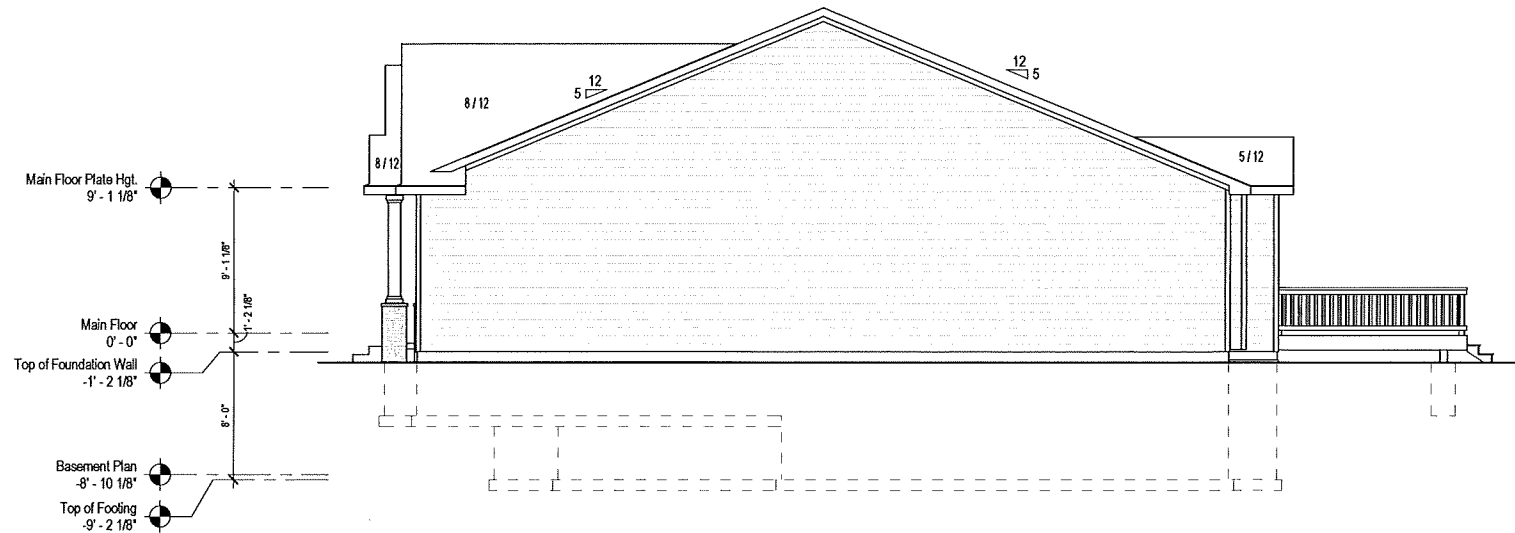
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Elevations  
As indicated

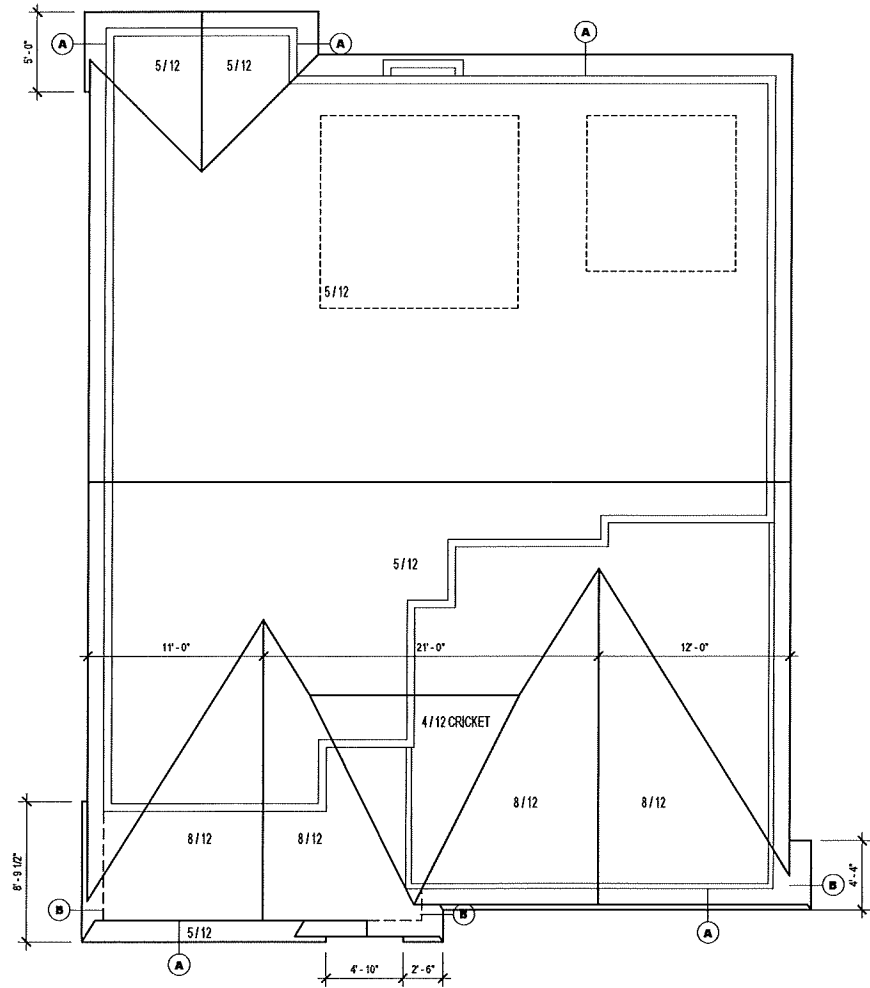
A.2



1 LEFT ELEVATION  
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION  
Scale: 3/16" = 1'-0"



3 ROOF PLAN  
Scale: 3/16" = 1'-0"

ROOF PLAN LEGEND				
SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	5/12	1'-4"	11"

ALL HAVE OVERHANGS ARE 12" UNLESS NOTED

ESTIMATED ROOF SF	
2820 SF	

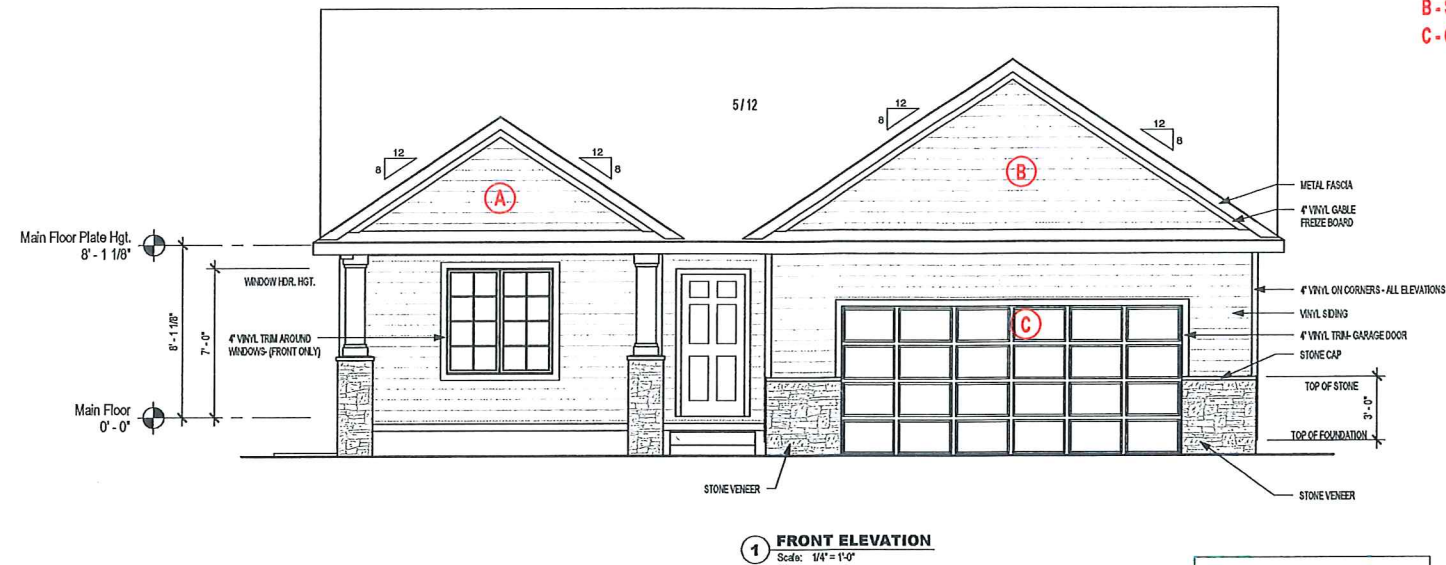
1. TO AVOID POOR USE OF ROOF IN TYPICAL THE EXPOSED SURFACE OF THE ROOF.  
2. THE ROOF IS INCLUDED OVER THE EXPOSED SURFACE OF THE ROOF.  
3. THE ROOF IS INCLUDED OVER THE EXPOSED SURFACE OF THE ROOF.





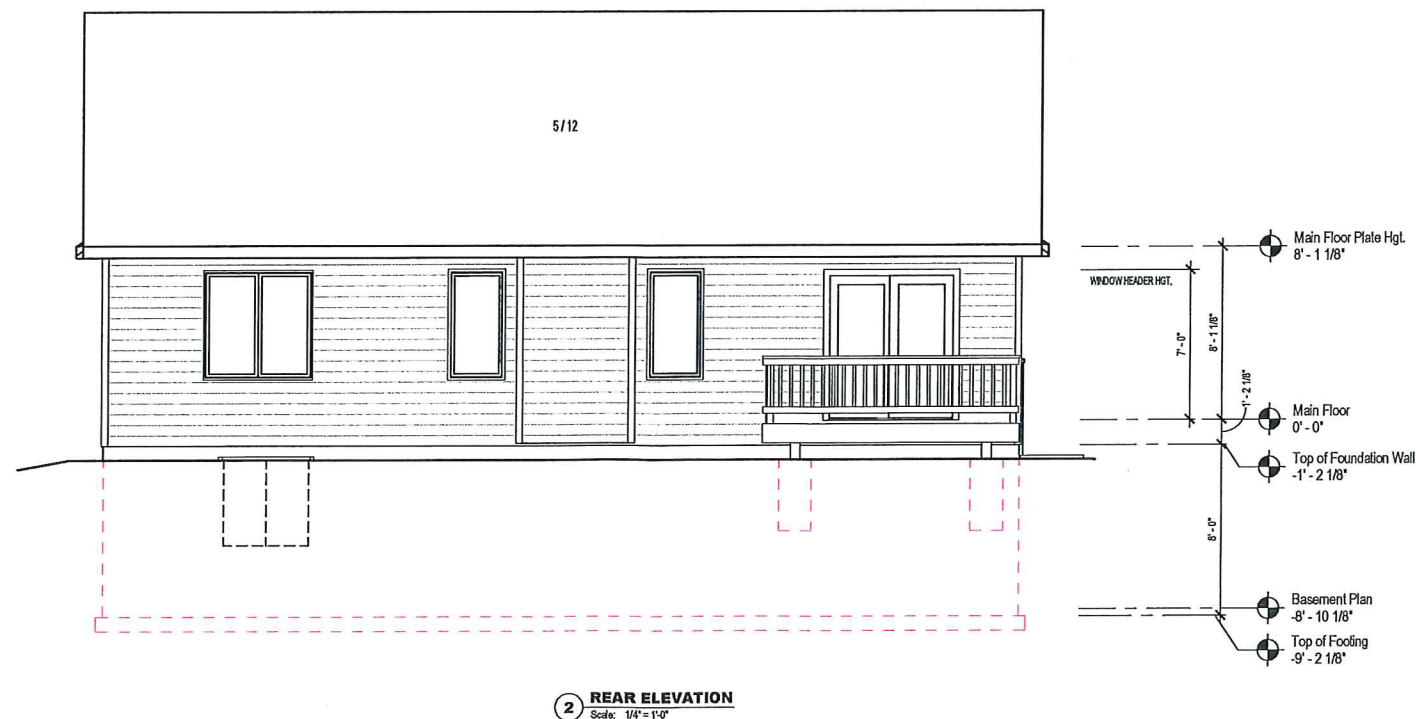


**FRONT ELEVATION OPTIONS**  
**A - SHAKE ABOVE PORCH**  
**B - SHAKE ABOVE GARAGE**  
**C - GARAGE DOOR WINDOWS**



ESTIMATED WALL...	
Lap Siding	2202 SF
Stone Veneer	66 SF

\* STAFF PRICING OF QUOTE GIVEN IS BASED ON THE SUPPOSED SURFACE OF THE WALL.  
1. THE AREA INCLUDES SYPHONING ON DISCOUNT PRICES.  
2. THE AREA INCLUDES TRIM AND DOOR SIZES.



**Classic Builders**  
**Stonehaven Hamilton II -**  
**Porch**

PROJECT ID: PDS 3301

ISSUE DATE:  
DATE: 06-30-16  
DATE: 08-08-16  
DATE: 08-25-16  
DATE: 11-17-16

REVISIONS:  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

**Elevations**  
1/4" = 1'-0"

**A.1**



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Classic Builders  
Stonehaven Hamilton II -  
Porch

PROJECT ID: PDS 3301

ISSUE DATE:

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DATE: 08-08-16

DATE: 08-25-16

DATE: 11-17-16

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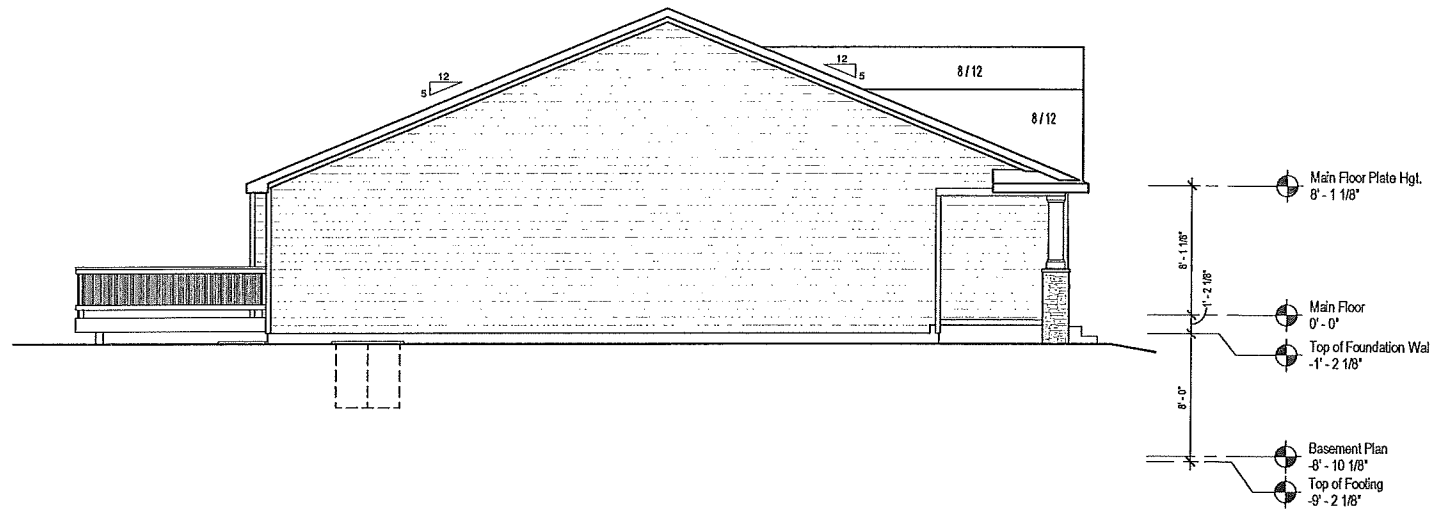
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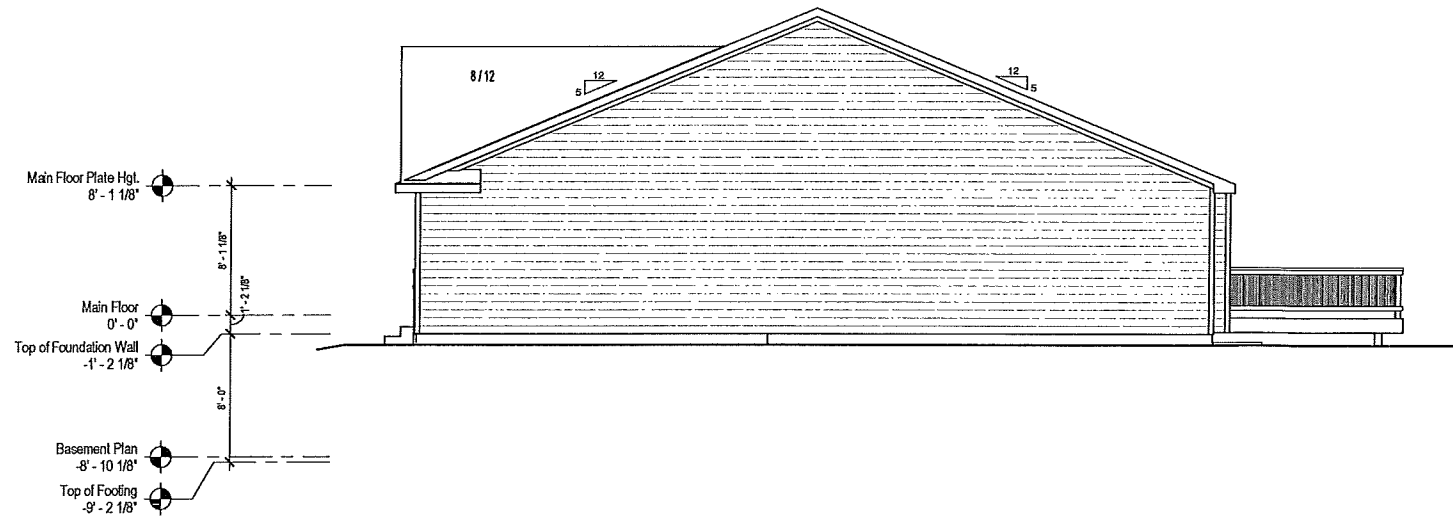
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Elevations  
As indicated

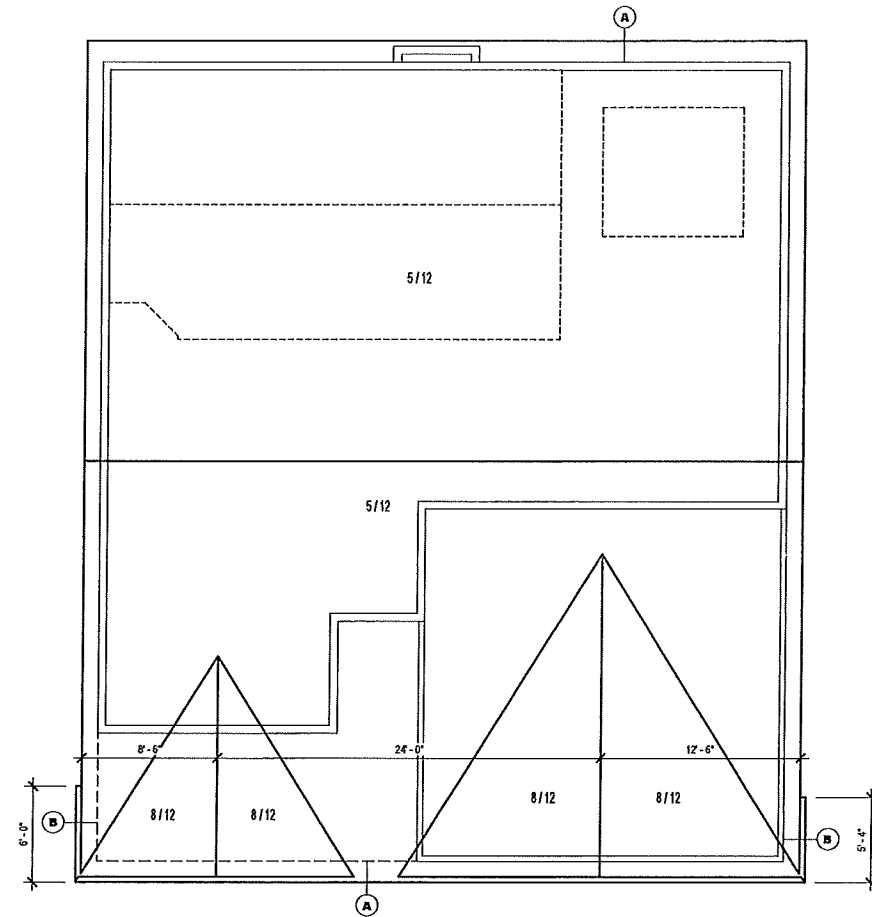
A.2



1 LEFT ELEVATION  
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION  
Scale: 3/16" = 1'-0"



3 ROOF PLAN  
Scale: 3/16" = 1'-0"

ESTIMATED ROOF SF

2875 SF

INCLUDES PORCHES AND PATIOS WITHIN THE EXPOSED SURFACE OF THE ROOF.  
1. THE AREA EXCLUDED BY THE ROOF IS NOT INCLUDED IN THE TOTAL AREA.  
2. THE AREA EXCLUDED BY THE ROOF IS NOT INCLUDED IN THE TOTAL AREA.

ROOF PLAN LEGEND

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	12/5	1'-4"	7"
B	8'-1 1/8"	12/5	1'-4"	7"

ALL ROOF OVERHANGS ARE 12" UNLESS NOTED









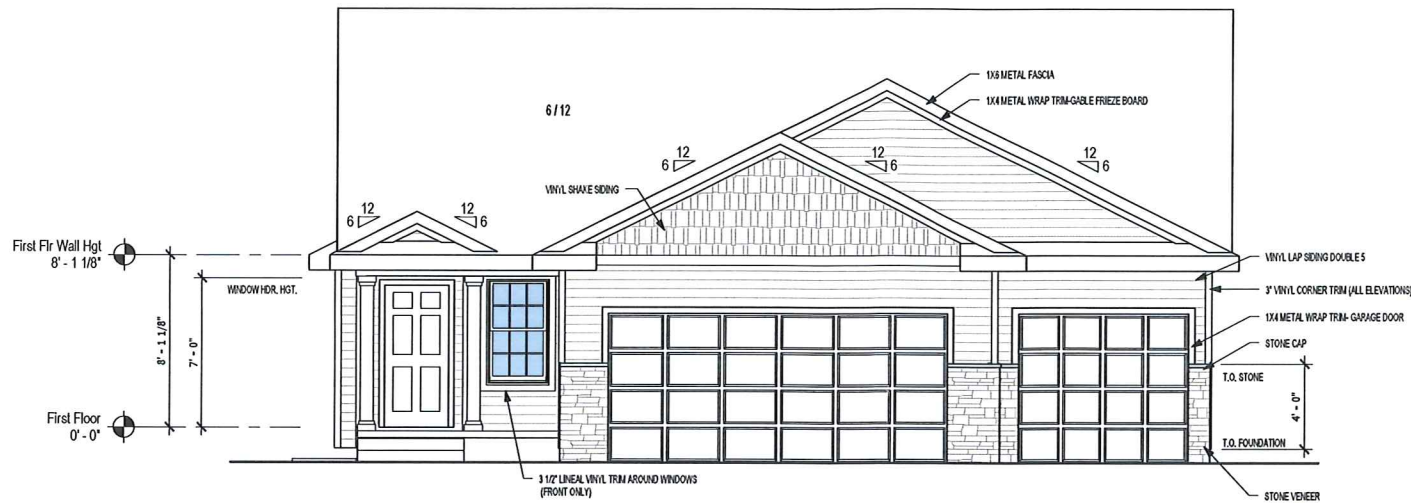
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1100 SE ALICE'S ROAD, WAUKEE, WY 80363  
TELEPHONE 515 978 6260 FAX 515 978 6261

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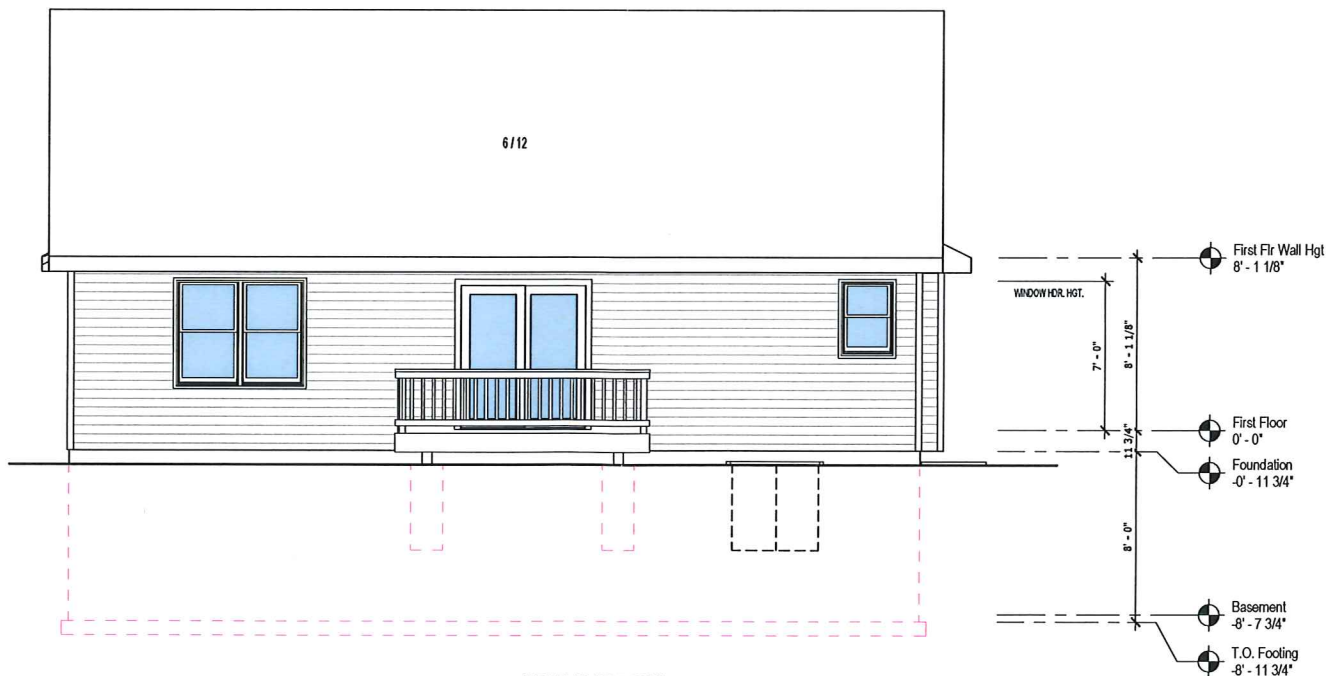
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BUILDING DESIGN  
Creating where people live



1 FRONT ELEVATION  
Scale: 1/4" = 1'-0"

ESTIMATED AREA - WALL CLADDING			
MATERIAL TYPE	MATERIAL SF	MATERIAL %	MATERIAL ELEVATION
Lap Siding - 6"	1966 SF	100.0%	
Lap Siding - 6"	109 SF	5.6%	Front
Shake Material - Staggered	57 SF	3.4%	Front

\* SQUARE FOOTAGE OF CLADDING IS TO BE APPLIED TO THE EXPOSED SURFACE OF THE WALL.  
1. THE AREA INCLUDES SUPPLY AND INSTALLATION OF THE CLADDING.  
2. THE AREA INCLUDES WASTE AND OVERLAP.



2 REAR ELEVATION  
Scale: 1/4" = 1'-0"

Classic Builders  
U.S. Grant Plan

PROJECT ID:  
PDS 3523

ISSUE DATE:

DATE: 10-10-16

DATE: 10-21-16

DATE: 10-25-16

DATE:

DATE:

DATE:

DATE:

DATE:

Elevations

1/4" = 1'-0"

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A.1



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Classic Builders  
U.S. Grant Plan

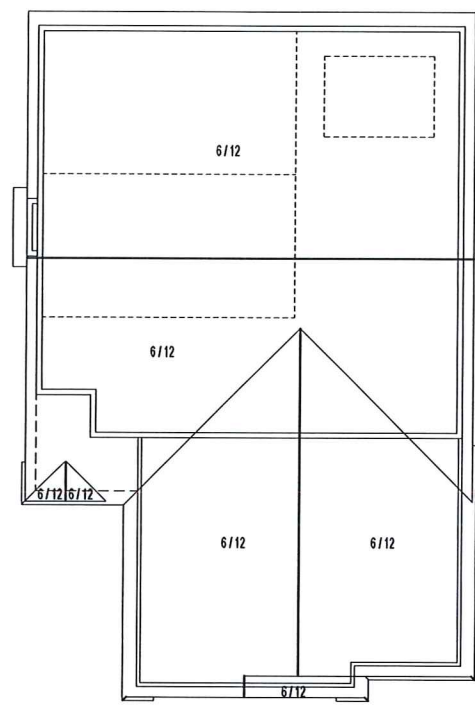
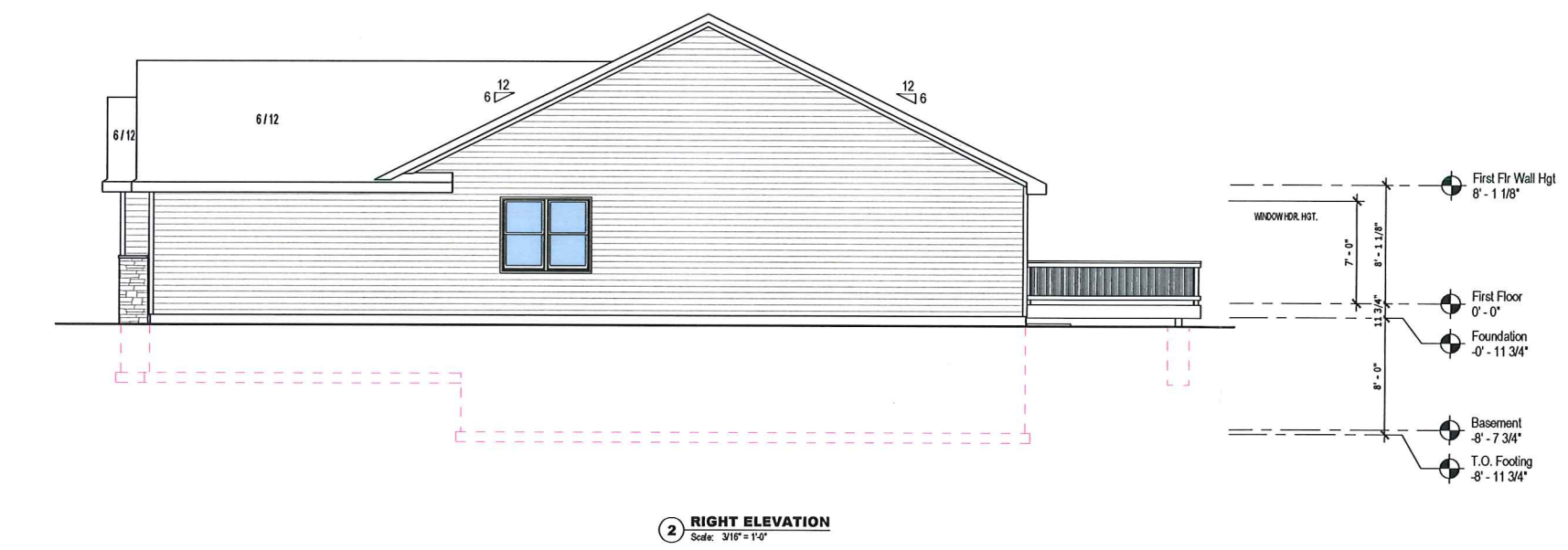
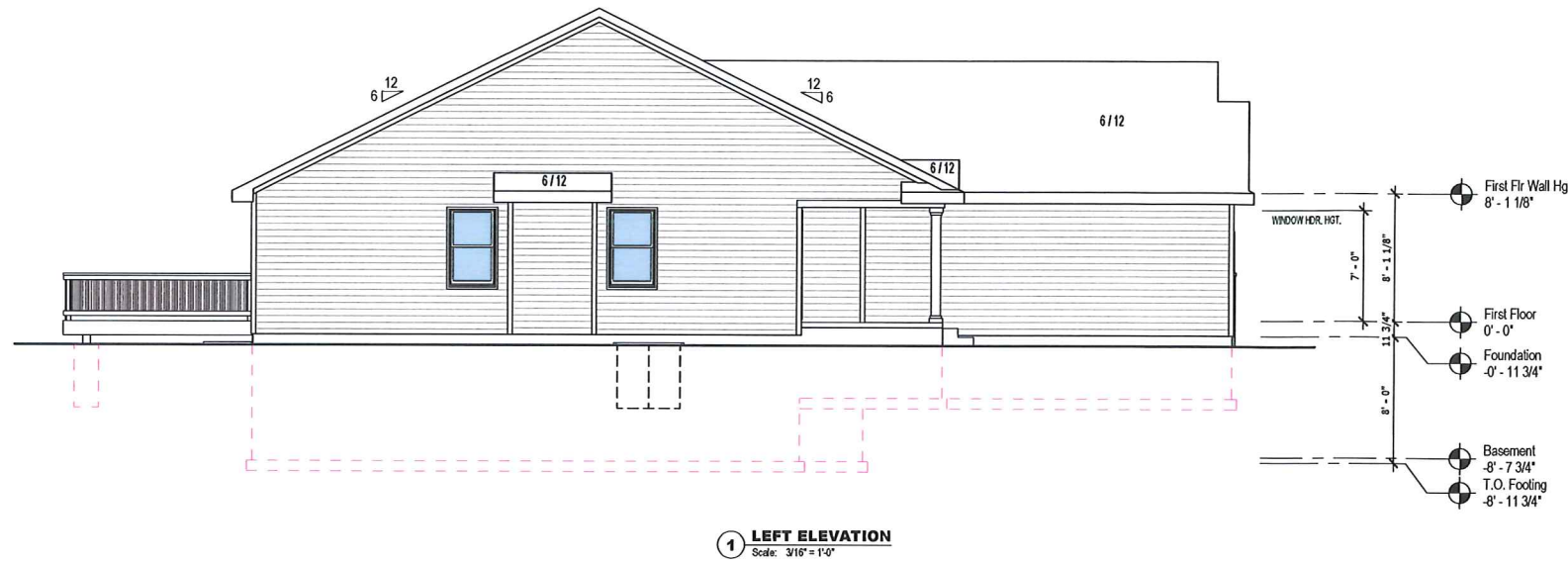
PROJECT ID:  
PDS 3523

ISSUE DATE:  
DATE: 10-10-16  
DATE: 10-21-16  
DATE: 10-25-16  
DATE:  
DATE:  
DATE:  
DATE:

Elevations  
As indicated

THIS PAGE IS INTENDED TO BE PRINTED ON  
24"x36" PAPER TO BE TO SCALE

A.2



ROOF PLAN LEGEND				
SYMBOL	PLATE HGT.	PITCH	OVERHANG	HEEL HGT.
ALL	6'-1 1/8"	6/12	1'-4"	7"
ALL RAISE OVERHANGS ARE 12" UNLESS NOTED				

ESTIMATED AREA - ROOF  
2921 SF

\* SQUARE FOOTAGE OF ROOF IS THREE TIMES THE EXPOSED SURFACE OF THE ROOF.  
1. THE AREA INCLUDES PARAPETS, SUPPORTS, BELLS, VALLES.  
2. 1/2 INCHES FACTOR HAS BEEN INCLUDED