



1 inch = 441 feet

Date: 6/15/2017

Willow Run PUD



*Plan and Zoning Commission
Staff Report*

Meeting Date: September 19, 2017

Agenda Item: Willow Run Plat 1– Final Plat
Report Date: September 14, 2017 *ETC*
Prepared By: Deb Gervais, AICP
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of Willow Run Plat 1 – Final Plat, and Final PUD Site Plan, and recommend City Council approval of a development agreement for the City cost share of the contractor's bid price of \$30,525.00 for storm sewer improvements, and approval of the private street name SE Willow Run Lane.

Project Summary:

The Willow Run Plat 1 is 25.7 acres of land located in the southeast quadrant of Ankeny, generally located east of S. Ankeny Boulevard, south of SE 33rd Street and SE Primrose Drive. The area was recently annexed into the City of Ankeny. The ordinance rezoning to Willow Run PUD was approved by City Council on September 5, 2017.

PAR Partners is the developer of the property, however the current ownership includes those owners A-G listed on the final plat. The land to the north of the subject property is zoned R-3 restricted to single family. The property to the west and south of the subject area is located within the County and is zoned LDR, Low Density Residential District. The Carney Marsh is located to the east of the subject property.

This final plat is consistent with the PUD concept plan. This phase of the development consists of 11 single-family lots, 28 single-family attached or detached townhomes, a clubhouse, Outlot Z for private street development and townhome common area, Outlot X for stormwater management and detention, and Outlot Y for future development.

The townhome area bulk regulations list a 30-foot setback from S Ankeny Boulevard, 10-foot building separation, and a 20-foot rear yard setback requirement around the perimeter boundary of the development.

Public street development includes a cul-de-sac extension from the existing SE Primrose Drive to serve the single-family area shown on Sheet 3. Private street development includes the extension of SE Willow Run Lane east from a full access point on S Ankeny Boulevard. The future private street will loop around and connect with itself near Lot 40. SE Willow Run Lane will be privately owned and maintained by the homeowners association.

Public 8-inch sanitary sewer will be extended south from the existing sewer along SE Primrose Drive. The townhome area will own and maintain private sanitary starting on the west side near S Ankeny Boulevard and falling as it runs east in the center of SE Willow Run Lane. At the end of the Lane shown will be an access drive to a private sanitary pump station. Private sewer will connect the pump to the public sanitary sewer by extending a private sanitary sewer through Outlot X and through a Sanitary Sewer Easement between Lot 7 and Lot 8.

The developer will connect the existing water main located at the south end of SE Primrose Drive and extend it through the single-family detached area. The water main for the townhome area will be extended by boring under S Ankeny Boulevard to connect to 8-inch water installed with Willow Run West.

City staff is working with the Developer on a development agreement for the proposed solution to alleviate some of the existing storm water within the development to the north of the proposed final plat area. Currently the Springwood Terrace area storm sewer drains east between two lots then flows over land to eventually reach the channel leading to Carney Marsh. During the public hearing on the rezoning for this project, several homeowners stated that the water backs up onto their property. The improvements shown in the construction plans for this project include extending storm sewer further south along SE Primrose Drive then south east between two lots before opening up into the delineated wetland area generally contained within Outlot X. The improvements proposed should provide some relief for stormwater backup that currently occurs in Springwood Terrace. A development agreement regarding the storm sewer project, which will exceed the typical work required of the developer, is proposed. The contractor's bid price of the project is \$30,525.00. The agreement will include terms under which the city would contribute \$30,525 to the project for that additional work.

The subject site generally drains east towards Carney Marsh. Stormwater will flow to Outlot X detained under private ownership.

The developer has proposed to provide payment in lieu of park site dedication.

**CITY OF ANKENY
SUBDIVISION DATA**

NAME OF PLAT: Willow Run Plat 1 – Final Plat
NAME OF OWNER: Jordan, Origer, Brown, Nello Medici Life Estate, Medici, Schmitt
NAME OF DEVELOPER: PAR, Partners, LLC

GENERAL INFORMATION:

PLAT LOCATION: Recent annexation area east of S Ankeny Boulevard.
SIZE OF PLAT: 25.7-acres
ZONING: Willow Run PUD

LOTS:

NUMBER: 11 single-family lots, 28 single-family townhome lots and 1 clubhouse lot
SIZE/DENSITY: 1.52 units per acre
USE: Single-family and single-family attached
BUILDING LINES: 30' front, 20' rear, and 10' building separation

PARK SITE DEDICATION:

The developer will make payment in lieu of park site dedication.
NEAREST DEVELOPED PARK LOCATION: Springwood Park

ADJACENT LANDS:

NORTH: Springwood Terrace Plats 1-3
SOUTH: Low Density Residential (County)
EAST: Carney Marsh
WEST: Low Density Residential

STREET DEVELOPMENT:

NAME: SE Primrose Drive
LENGTH: 237'
CLASSIFICATION: Cul-de-sac
R.O.W. (REQ'D. /PROV.) 60'/60'
PAVEMENT WIDTH: 27' B/B

PROJECTED TRAFFIC FLOW FROM AREA: 39 units X 9.57 vehicles per day = 373 VPD
NEAREST ARTERIAL: S Ankeny Boulevard

WASTE WATER:

PROJECTED FLOWS: 39 units x 3 persons/unit x 300 gallons/day/person = 35,100 GPD
TREATMENT PLANT CAPACITY: Design 134 MGD; current daily average 132 MGD
NEAREST DOWNSTREAM INTERCEPTOR/TRUNK LINE: Southern Interceptor

STORM WATER:

BASIN FLOWS: This plat lies in the Carney Marsh Drainage Area.

WATER SYSTEM:

PROJECTED USAGE: 39 units x 3 persons/house x 100 gallons/day/person = 11,700 GPD
SUPPLY CAPACITY: 12.38 MGD; Current daily avg. 5 MGD.

FINAL PLAT DRAWING: Staff recommends approval.

CONSTRUCTION PLANS: To be approved by staff.



September 8, 2017

Honorable Mayor and City Council
Plan and Zoning Commission
City of Ankeny
410 West 1st Street
Ankeny, Iowa 50023

RECEIVED

SEP 8 2017

CITY OF ANKENY

RE: FINAL PLAT AND CONSTRUCTION PLANS
WILLOW RUN PLAT 1
PART OF THE SW ¼ OF SEC. 36, T80N, R24W
S&A Project No. 116.0394.01

Dear Honorable Mayor, City Council and Plan and Zoning Commission:

On behalf of PAR Partners, LLC, as developer, please find accompanying the revised Final Plat, Construction Plans and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications and we respectfully request the City's approval. The construction documents illustrate development for 11 single family lots, 28 single family attached/detached townhomes and 1 clubhouse lot on approximately 25.7 acres.

As requested, we have addressed all items of the Tech Review through plan modifications and discussions with Staff.

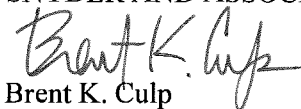
Please find accompanying the following items:

- Response Letter indicating how each comment was addressed,
- 6 folded copies of the Final Plat,
- 2 half copies of the Construction Plans,
- Iowa DOT Access Permit Receipt and Utility Accommodation Permit,
- Street Lighting Plan for SE Primrose Drive,
- 1 copy of the COSESCO Permit and COSESCO Fee of \$560.00,
- IDNR Permits and Schedules for signature (Waste Water and Water Supply), and
- 1 copy of the NPDES Authorization Notice and SWPPP.

In keeping with City policy, we respectfully request cost participation in the amount of \$32,025.00 for construction of a storm sewer relief line on SE Primrose Drive to provide drainage improvements for the existing upstream residential properties north of Willow Run.

We are anticipating this project being placed on the September 19, 2017 Plan and Zoning Commission agenda in route to a final approval of the above mentioned items on the October 2, 2017 City Council agenda. If there are additional questions or comments on this project, please contact me at your convenience. Thank you.

Sincerely,
SNYDER AND ASSOCIATES, INC.


Brent K. Culp

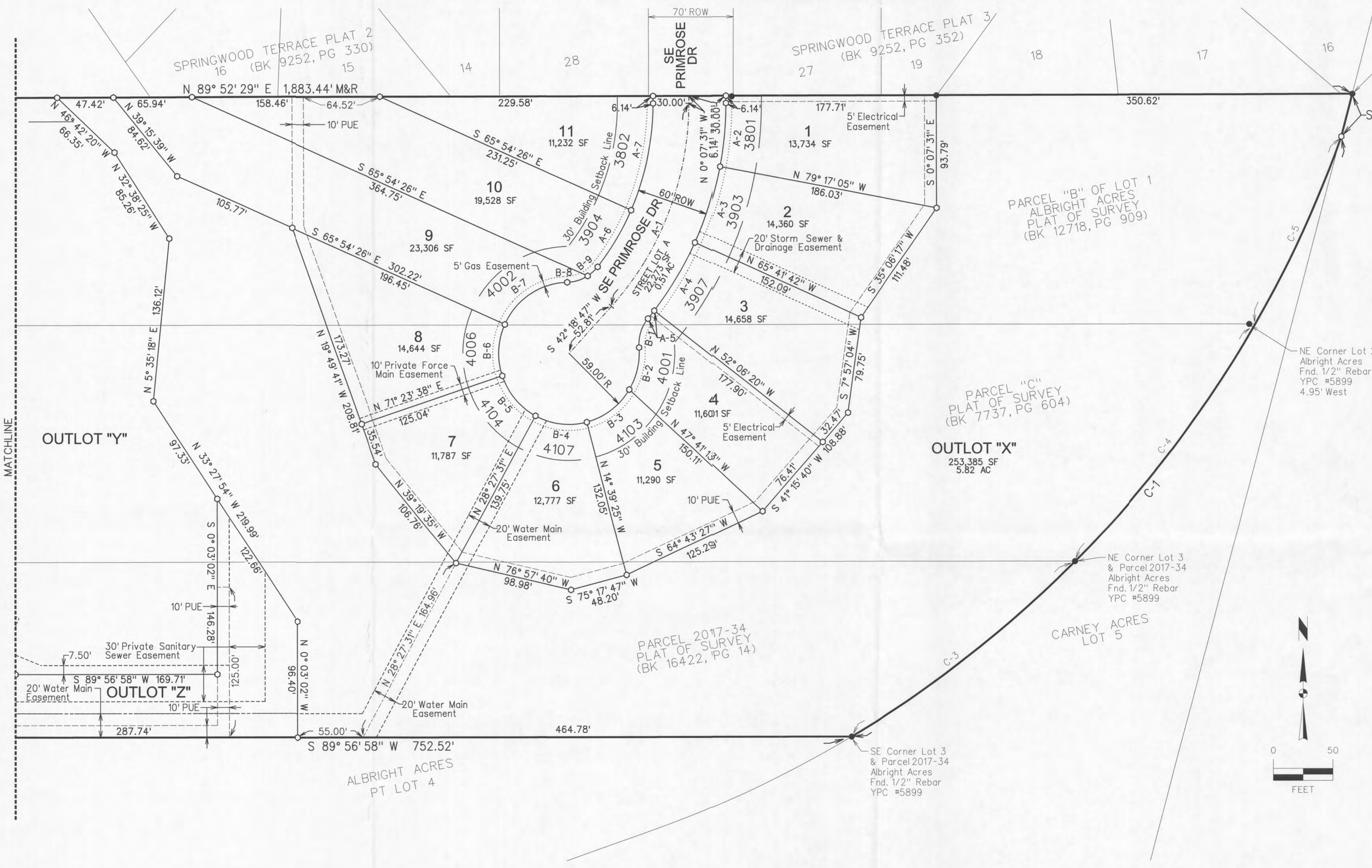
Enclosures

cc: Tom Davies, PAR Partners, LLC w/ Encl.
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WILLOW RUN PLAT 1

FINAL PLAT



AREA ABOVE RESERVED FOR RECORDER'S STAMP

INDEX LEGEND
SURVEYOR'S NAME:
ERIN D. GRIFFIN
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BOULEVARD
ANKENY, IOWA 50023
515-964-2020
EGRIFIN@SNYDER-ASSOCIATES.COM
SERVICE PROVIDED FOR:
PAR PARTNERS, LLC.
SURVEY LOCATED:
LOTS 1-4, ALBRIGHT ACRES
PT. 1/2 SW1/4
SECTION 36-80N-24W
REQUESTED BY:
PAR PARTNERS, LLC.
RETURN TO:
ERIN D. GRIFFIN
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BOULEVARD
ANKENY, IOWA 50023

PROPERTY DESCRIPTION
LOT 1, EXCEPT THE WEST 478.00 FEET, ALBRIGHT ACRES, AN OFFICIAL PLAT, IN THE CITY OF ANKENY, POLK COUNTY, IOWA.

AND
PARCEL "C" AS FILED IN BOOK 7737, PAGE 604 OF THE POLK COUNTY RECORDER'S OFFICE BEING A PART OF LOT 2, ALBRIGHT ACRES, AN OFFICIAL PLAT, IN THE CITY OF ANKENY, POLK COUNTY, IOWA.

AND
THE EAST 104.00 FEET OF THE WEST 666.00 FEET OF PARCEL "A" OF THE PLAT OF SURVEY FILED IN BOOK 7737, PAGE 604 OF THE POLK COUNTY RECORDER'S OFFICE BEING IN THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE 5TH P.M., CITY OF ANKENY, POLK COUNTY, IOWA.

AND
THE WEST 2 ACRES OF LOT 4, ALBRIGHT ACRES, AN OFFICIAL PLAT, IN THE CITY OF ANKENY, POLK COUNTY, IOWA.

AND
PARCELS 2017-32, 2017-33, 2017-34, AND 2017-35 OF THE PLAT OF SURVEY RECORDED IN BOOK 16422, PAGE 14 OF THE POLK COUNTY RECORDER'S OFFICE ALL BEING IN THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 79 NORTH, RANGE 24 WEST OF THE 5TH P.M., CITY OF ANKENY, POLK COUNTY, IOWA.

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

OWNER/DEVELOPER
PAR PARTNERS, LLC.
317 S. ANKENY BLVD
ANKENY, IOWA 50023
TOM DAVIES
515-964-2814

ZONING
WILLOW RUN PUD: PLANNED UNIT DEVELOPMENT

Survey	Found	Set
Section Corner	▲	△
1/2" Rebar Yellow Plastic (Cap #19710 (Unless Otherwise Noted))	●	○
ROW Marker	■	□
Control Point	■	□
Bench Mark	●	○
Calculated Point	●	○
Platted Distance	P	
Measured Bearing & Distance	M	
Recorded As	R	
Deed Distance	D	
Calculated Distance	C	
Minimum Protection Elevation	MPE	
Public Utility Easement	PUE	
Centerline	-----	-----
Section Line	-----	-----
1/4 Section Line	-----	-----
1/4 1/4 Section Line	-----	-----
Easement Line	-----	-----



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Iowa.

Erin D. Griffin, PLS Date
License Number 19710
My License Renewal Date is December 31, 2017
Pages or sheets covered by this seal:
Sheet 3 & 4

NOTES

- THE DEVELOPER IS RESPONSIBLE FOR STREETLIGHT INSTALLATION ON SE PRIMROSE DRIVE.
- THE WILLOW RUN HOMEOWNER'S ASSOCIATION WILL OWN AND MAINTAIN OUTLOT "X".
- OUTLOTS "Y" AND "Z" WILL BE OWNED AND MAINTAINED BY PAR PARTNERS, LLC. UPON COMPLETION OF THE CONSTRUCTION OF ALL UNITS ALONG SE WILLOW RUN DRIVE, THESE OUTLOTS WILL BE TRANSFERRED TO THE WILLOW RUN HOMEOWNER'S ASSOCIATION.
- ALL SIDEWALKS ALONG SE PRIMROSE DRIVE SHALL BE 5' WIDE.
- REFER TO THE APPROVED WILLOW RUN PLAT 1 CONSTRUCTION DOCUMENTS FOR MINIMUM PROTECTION ELEVATIONS.
- SANITARY SEWER SERVICE IS AVAILABLE ON LOTS 3-10 BY CONVENTIONAL GRAVITY FLOW TO MAIN FLOOR OR ABOVE ONLY. ALTERNATE METHODS ARE REQUIRED FOR SANITARY SEWER SERVICE FOR LOWER LEVELS (I.E. PRIVATE EJECTOR/GRINDER PUMPS).
- LOTS 1-2 AND 11 SHALL PAY SPECIAL ATTENTION TO "SANITARY SEWER ELEVATION" AS IT PERTAINS TO SERVING THEIR BUILDING.
- REFER TO APPROVED WILLOW RUN PLAT 1 CONSTRUCTION DOCUMENTS FOR MINIMUM PROTECTION ELEVATIONS.

CURVE TABLE

CURVE NO.	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/DISTANCE
A-1	42° 26' 18" LT	250.00'	185.17'	97.06'	N 21° 05' 38" E 180.97'
A-2	10° 50' 26" RT	280.00'	52.98'	26.57'	S 5° 17' 42" W 52.90'
A-3	13° 35' 23" RT	280.00'	66.41'	33.36'	S 17° 30' 36" W 66.26'
A-4	13° 35' 23" RT	280.00'	66.41'	33.36'	S 31° 05' 59" W 66.26'
A-5	1° 42' 56" RT	280.00'	8.38'	4.19'	S 38° 45' 09" W 8.38'
A-6	14° 21' 52" RT	220.00'	55.16'	27.72'	S 30° 50' 19" W 55.01'
A-7	23° 46' 55" RT	220.00'	91.32'	46.32'	S 11° 45' 56" W 90.66'
B-1	44° 14' 27" RT	33.50'	25.87'	13.62'	N 17° 29' 23" E 25.23'
B-2	35° 31' 06" RT	59.00'	36.57'	18.90'	S 13° 07' 42" W 35.99'
B-3	44° 27' 20" RT	59.00'	45.78'	24.11'	S 53° 06' 55" W 44.64'
B-4	43° 06' 56" RT	59.00'	44.40'	23.31'	N 83° 05' 57" W 43.36'
B-5	42° 56' 07" RT	59.00'	44.21'	23.20'	N 40° 04' 25" W 43.19'
B-6	42° 41' 55" RT	59.00'	43.97'	23.06'	N 2° 44' 36" E 42.96'
B-7	64° 25' 14" RT	59.00'	66.34'	37.17'	N 56° 18' 11" E 62.90'
B-8	31° 02' 08" RT	33.50'	18.15'	9.30'	S 72° 59' 44" W 17.92'
B-9	19° 27' 25" RT	33.50'	11.38'	5.74'	S 47° 44' 58" W 11.32'
C-1	39° 39' 18" RT	955.37'	661.22'	344.47'	S 39° 36' 56" W 648.10'
C-2 (R)	14° 20' 05" RT	955.37'	239.02'	120.14'	S 52° 16' 33" W 238.40'
C-3 (M)	15° 00' 01" RT	955.37'	250.12'	125.78'	S 37° 36' 30" W 249.40'
C-4 (M)	10° 19' 13" RT	955.37'	172.08'	86.27'	S 24° 56' 53" W 171.85'

WILLOW RUN PLAT 1

FINAL PLAT (PAGE 1 OF 2)

SNYDER & ASSOCIATES, INC.



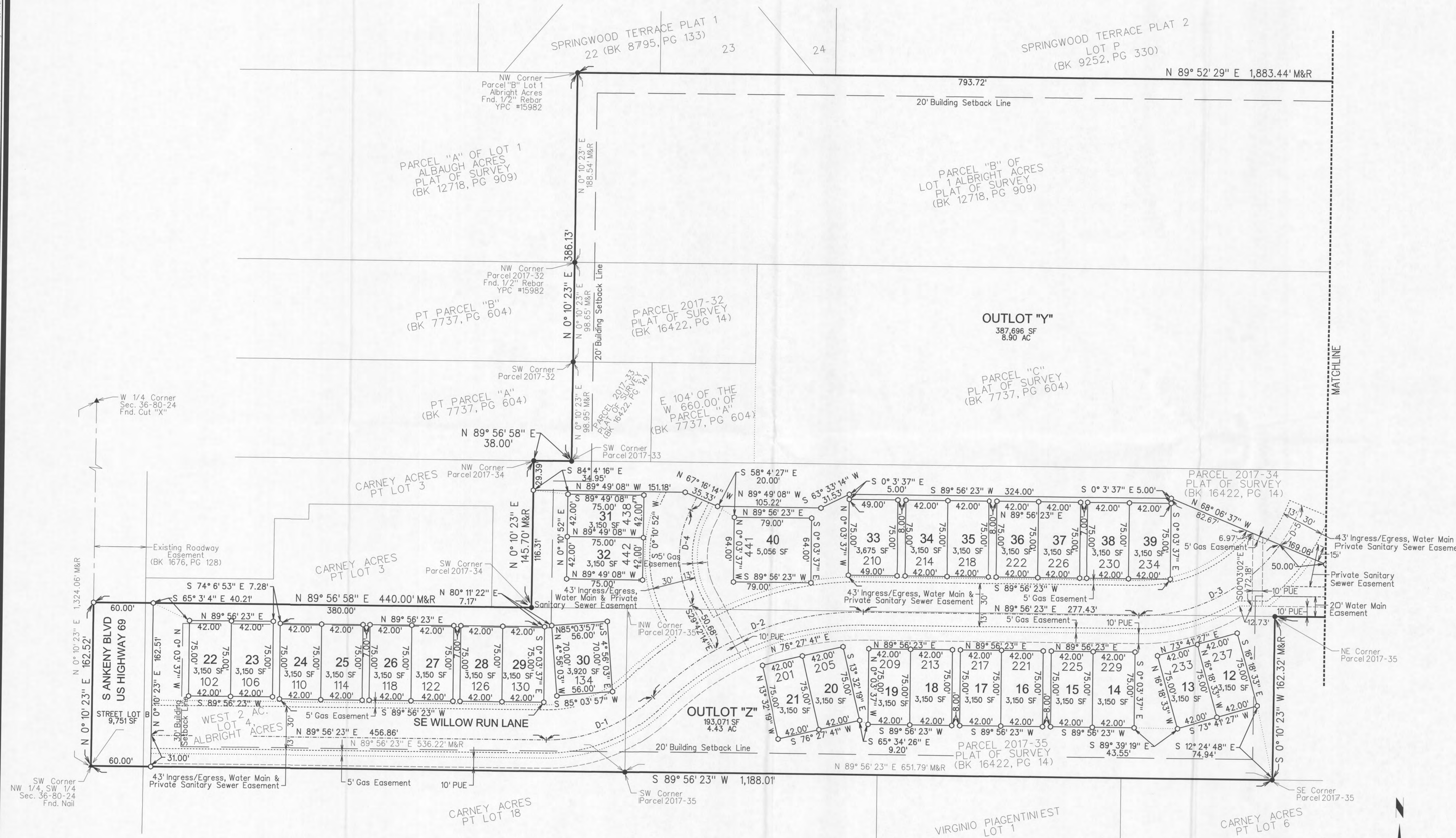
Project No: 1160394
Sheet 3 of 17

ANKENY, IOWA

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Sheet 3 of 17
Project No: 1160394
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CURVE TABLE

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D-1	44° 45' 54" LT	150.00'	117.19'	61.77'	N 67° 33' 26" E 114.24'
D-2	44° 45' 54" RT	300.00'	234.39'	123.54'	N 67° 33' 26" E 228.47'
D-3	53° 56' 43" RT	175.00'	164.77'	89.06'	S 62° 58' 02" W 158.75'
D-4	56° 11' 46" LT	100.00'	98.08'	53.39'	S 36° 23" E 94.20'
D-5	14° 44' 00" LT	175.00'	45.00'	22.62'	N 28° 37' 40" E 44.88'



WILLOW RUN PLAT 1

FINAL PLAT (PAGE 2 OF 2)



Project No: 1160394
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ANKENY, IOWA

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Project No:	1160394			
				Sheet 4 of 17

SITE PLAN
FOR
WILLOW RUN PLAT 1
CITY OF ANKENY, POLK COUNTY, IOWA

DEVELOPER

PAR PARTNERS, LLC
317 S. ANKENY BLVD
ANKENY, IOWA 50023
TOM DAVIES
(515) 964-2814

OWNER/APPLICANT

A. DENNIS E. JORDAN
211 SE WANDA DR
ANKENY, IA 50021

B. JOSEPH & ELIZABETH ORIGER
7275 NE 14TH ST
ANKENY, IA 50023

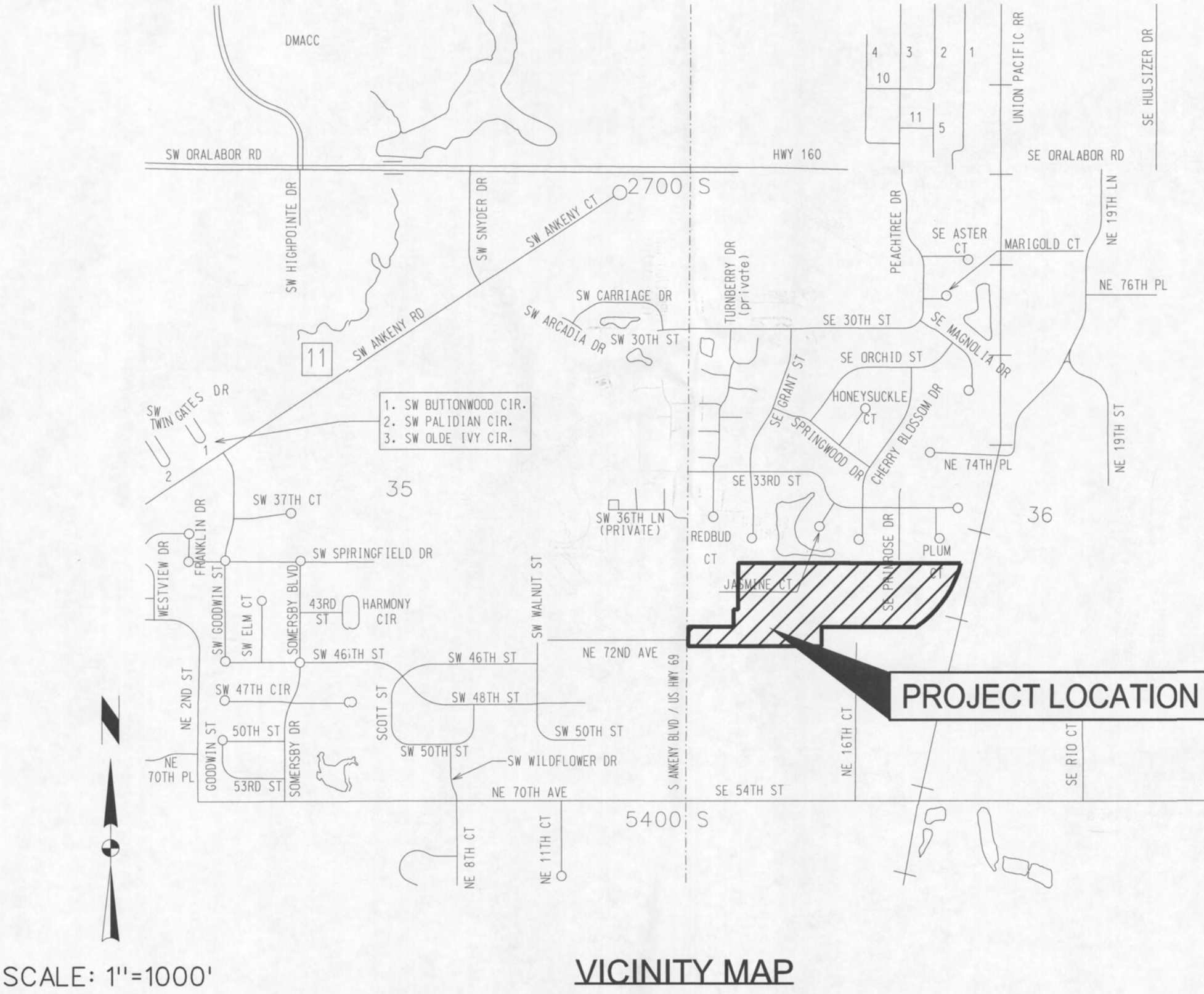
C. LEROY BROWN III
751 HIGH RD
NORWALK, IA 50211

D. NELLO MEDICI LIFE ESTATE (NORTH)
4315 NE 8TH ST
DES MOINES, IA 50313

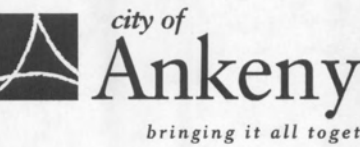
E. NELLO MEDICI LIFE ESTATE (SOUTH)
4315 NE 8TH ST
DES MOINES, IA 50313

F. SANTE & NELLO MEDICI
7225 NE 14TH ST
ANKENY, IA 50023

G. JEROME & JOSEPHINE SCHMITT
7208 NE 16TH CT
ANKENY, IA 50021



VICINITY MAP



INDEX OF SHEETS

1. TITLE SHEET
2. PROJECT INFORMATION
- 3-5. DIMENSION AND UTILITY PLAN
- 6-8. GRADING AND EROSION CONTROL PLAN
- 9-10. PLANTING PLAN

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CITY OF ANKENY

WILLOW RUN PLAT 1

TITLE SHEET

SNYDER & ASSOCIATES, INC.

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Project No: 1160394

Sheet 1 of 10

Project No: 1160394

Sheet 1 of 10

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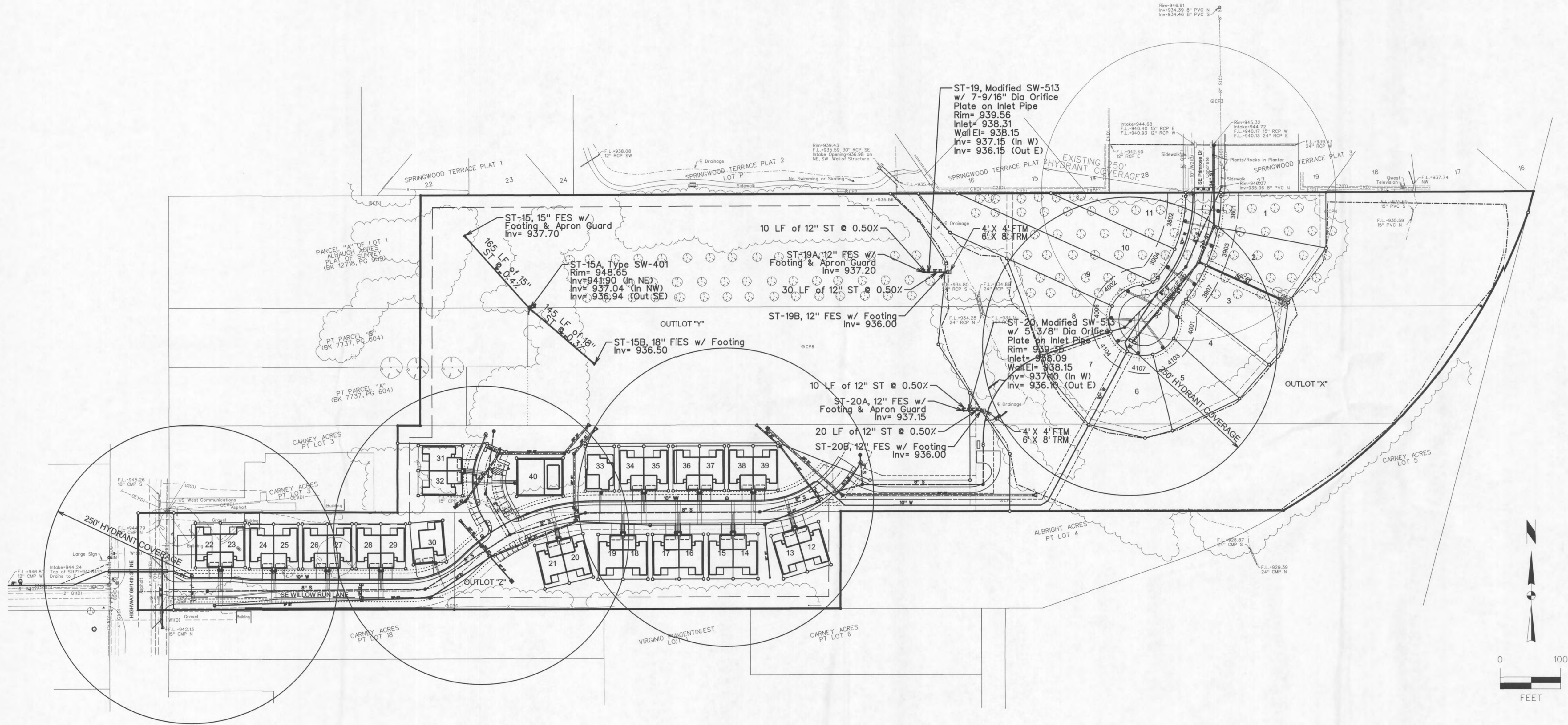
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Sheet 1 of 10

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Sheet 1 of 10

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WILLOW RUN PLAT 1

DIMENSION AND UTILITY PLAN



Project No: 1160394

Sheet 3 of 10

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SNYDER & ASSOCIATES, INC.

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ANKENY, IOWA 50023
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PT PARCEL "A"
(BK 7737, PG 604)

CARNEY ACRES
PT LOT 3

CARNEY ACRES
PT LOT 3

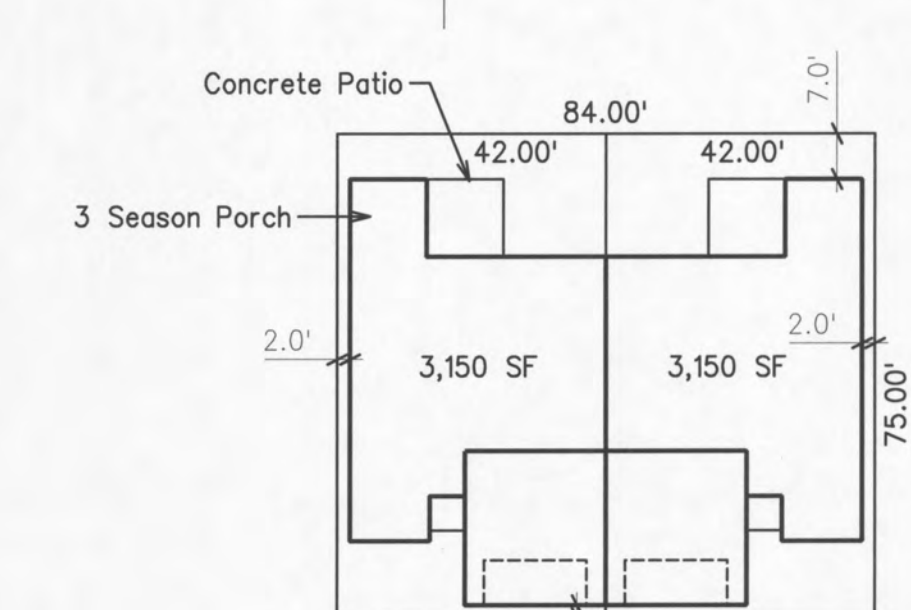
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PT LOT 18

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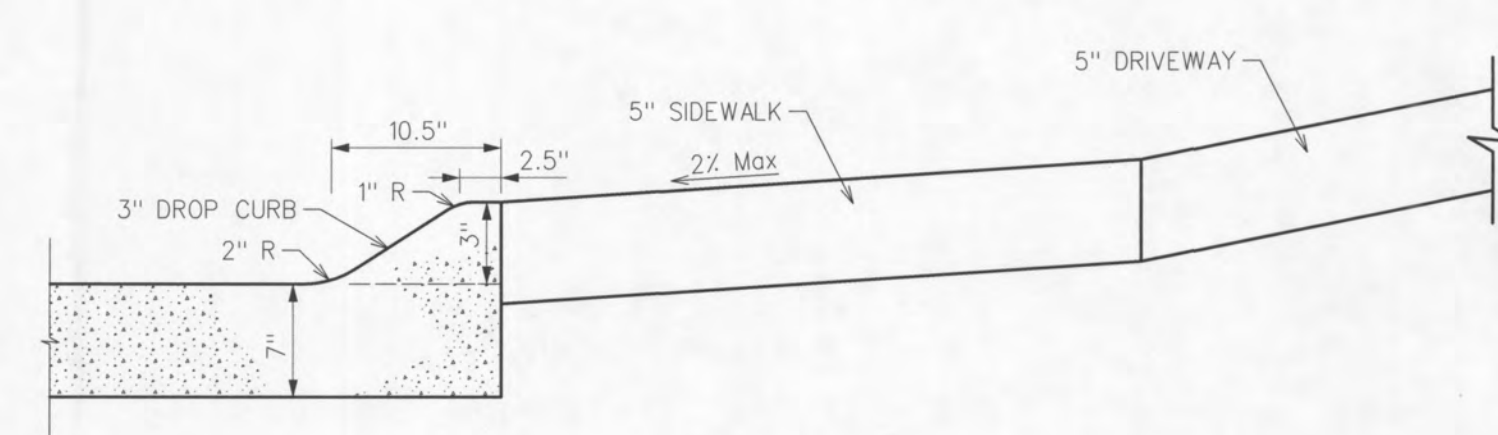
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OUTLOT "Z"

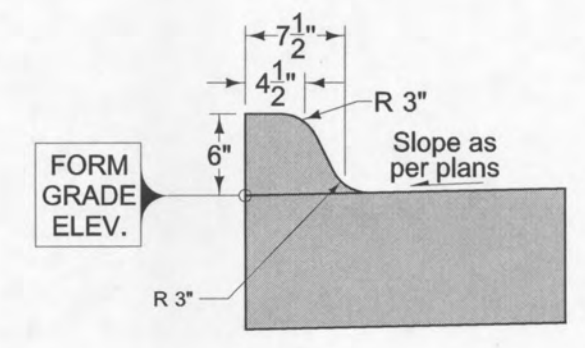
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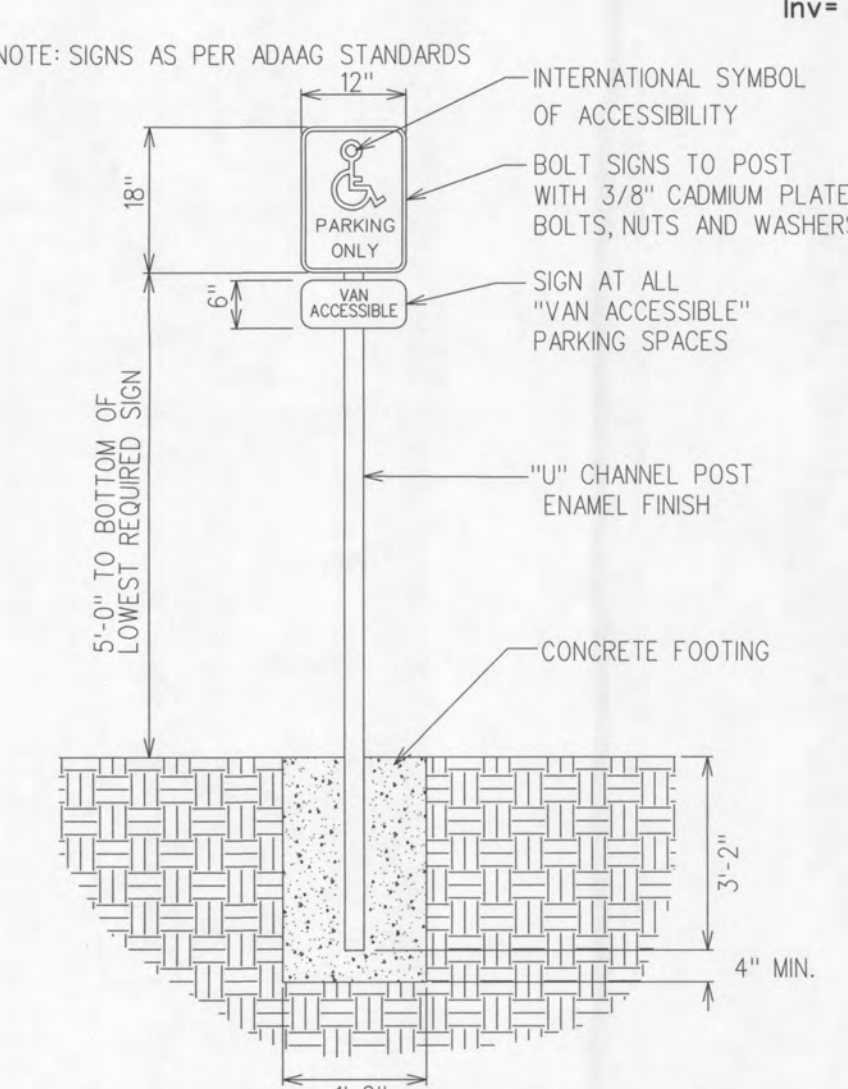
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TYPICAL LOT CONFIGURATION
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ADDITIONAL DETAIL ON THE BUILDING



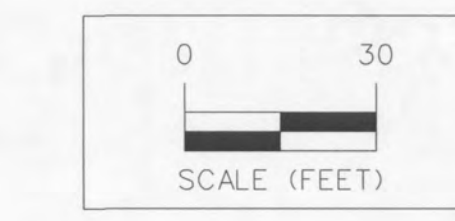
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3" ROLLED CURB
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6-INCH STANDARD CURB
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WILLOW RUN PLAT 1
DIMENSION AND UTILITY PLAN

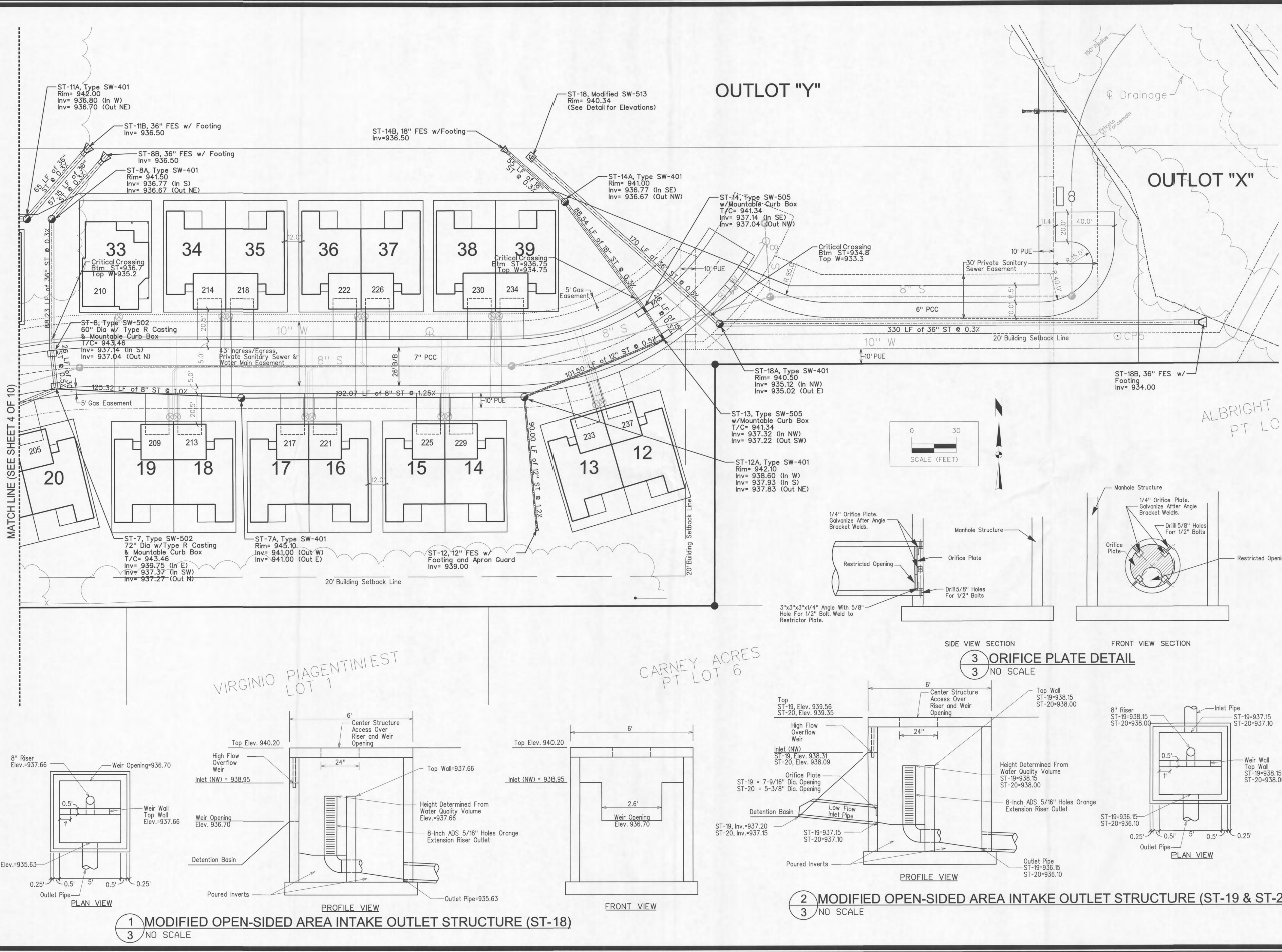


Project No: 1160394
Sheet 4 of 10

SNYDER & ASSOCIATES, INC.
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Sheet 5 of 10



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Project No: 1160394

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WILLOW RUN PLAT 1

DIMENSION AND UTILITY PLAN

SNYDER & ASSOCIATES, INC.

ANKENY, IOWA

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CONTROL PLAN

CIATES, INC.

- WILLOW RUN PLAT 1**
GRADING AND EROSION CONTROL
SNYDER & ASSOCIATES





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SNYDER & ASSOCIATES, INC.

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A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

C. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI) Z60.1-LATEST EDITION. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING PLANTING AND GROWING CONDITIONS. PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS IS NOT PERMITTED UNLESS AUTHORIZED IN WRITING BY THE ENGINEER.

SEEDING PLAN CONSTRUCTION NOTES

-

ECO FRIENDLY GOLF COURSE MIX

WILLOW RUN PLAT 1

PLANTING PLAN



SNYDER
& ASSOCIATES

Project No: 1160394

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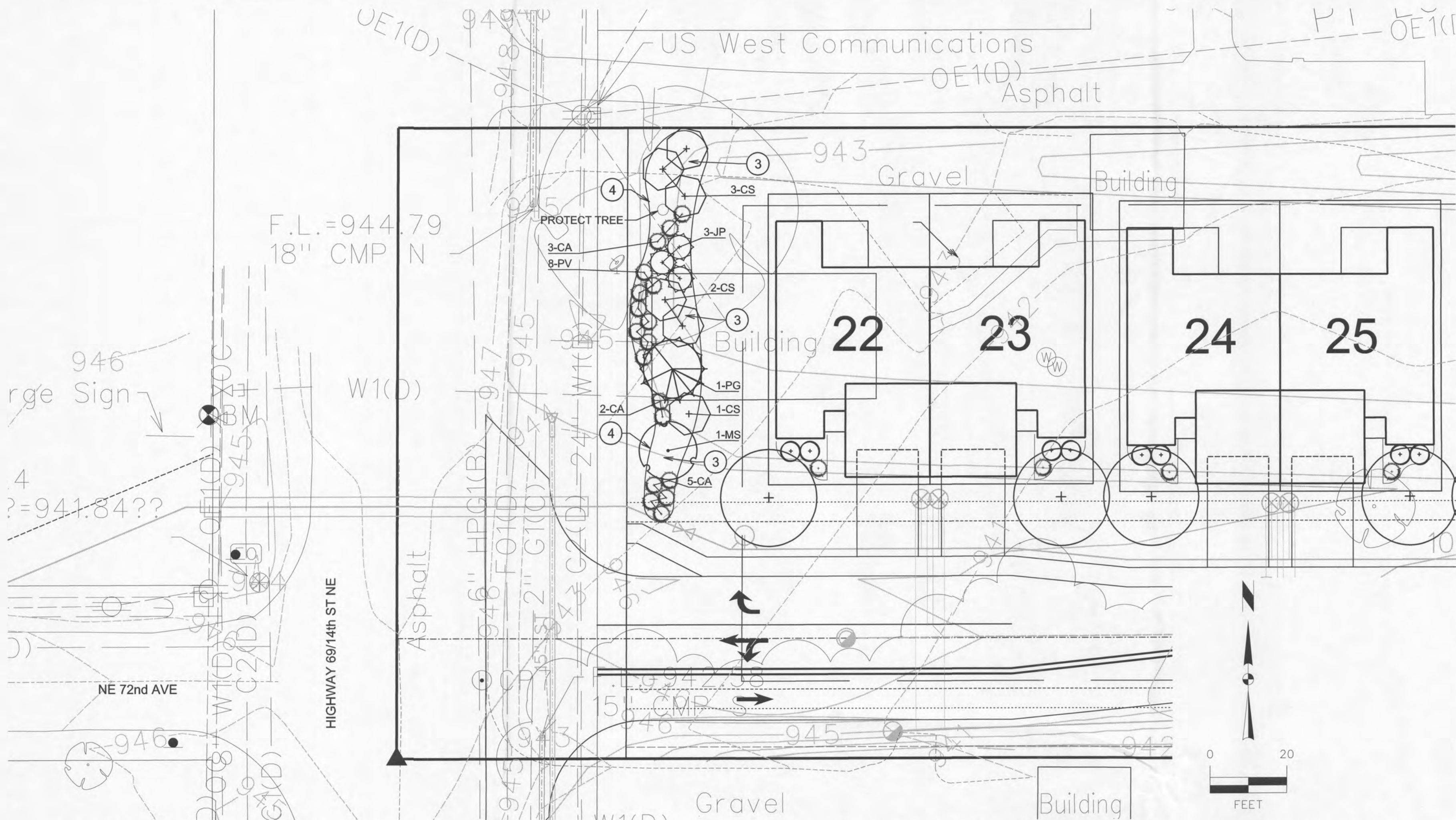
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PLANT SCHEDULE - 14TH STREET BUFFER PLANTINGS

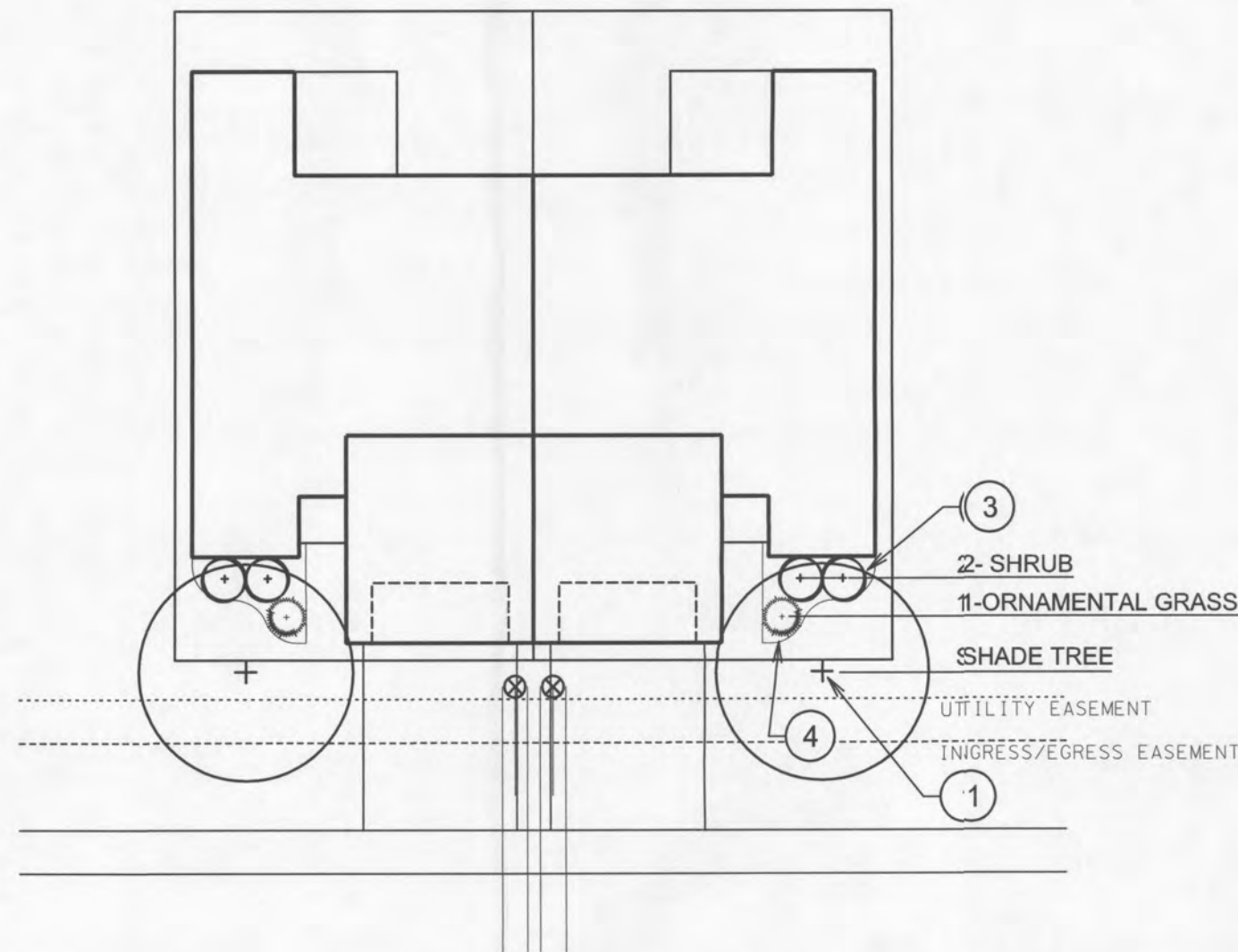
KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
CO	Celtis occidentalis	COMMON HACKBERRY	1-1/2" Cal.	Cont.
MS	Malus 'Spring Snow'	SPRING SNOW CRABAPPLE	1-1/2" Cal.	Cont.
PG	Picea glauca var. densata	BLACK HILLS SPRUCE	6' HT. Cal.	B&B
CA	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER GRASS	1 GAL.	Cont., 4'-0.C.
CS	Cornus sericea 'Cardinal'	RED TWIG DOGWOOD	30" HT.	Cont., 8'-0.C.
JP	Juniperus pfitzeriana 'Sea Green'	SEA GREEN JUNIPER	30" HT.	Cont., 6'-0.C.
PV	Panicum virgatum 'Shenandoah'	SHENANDOAH SWITCHGRASS	1 GAL.	Cont., 4'-0.C.

PLANTING PLAN CONSTRUCTION NOTES - 14TH STRET BUFFER PLANTINGS

- PROVIDE 3" MIN. DEPTH SHREDDED HARDWOOD MULCH ON ALL INDIVIDUAL TREES WITH A 5' DIAMETER MINIMUM MULCH RING.
- SEED AREAS AS INDICATED ON PLANS WITH TYPE 1 PERMANENT LAWN MIXTURE AS PER SUDAS SPECIFICATIONS SECTION 9010. INSTALL AND MAINTAIN PER OWNER'S REQUIREMENTS.
- CONTRACTOR TO INSTALL SHREDDED HARDWOOD BARK MULCH, TO A DEPTH OF 3 INCHES. APPLY GRANULAR PRE-EMERGENT HERBICIDE SUCH AS PREEN OR APPROVED EQUAL AS PER MANUFACTURER'S INSTRUCTIONS. DO NOT APPLY TO ANY AREAS INTENDED FOR SEED. PROVIDE SAMPLE OF BARK MULCH TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL RECEIVE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4 INCHES IN ALL BED AREAS ADJACENT TO LAWN, UNLESS OTHERWISE DIRECTED BY OWNER.

PLANT SCHEDULE - TYPICAL UNIT PLANTINGS

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	EXPOSURE
TREES	Acer saccharum subsp. nigrum 'Green Column'	BLACK MAPLE	1-1/2" Cal.		
	Betula platyphlla 'Fargo'	DAKOTA PINNACLE BIRCH	1-1/2" Cal.		
	Ginkgo biloba 'Princeton Sentry'	PRINCETON SENTRY GINKGO	1-1/2" Cal.	MALE ONLY	
	Ostrya virginiana	EASTERN HOP HORNBREAM	1-1/2" Cal.		
	Quercus x bimundorum 'Midwest'	PRAIRIE STATURE OAK	1-1/2" Cal.		
	Tilia cordata 'Greenspire'	GREENSPIRE LITTLE LEAF LINDEN	1-1/2" Cal.		
SHRUBS	Hydrangea paniculata 'Jane'	LITTLE LIME HYDRANGEA	30" HT.	Cont., 5'-0.C.	NORTH/SOUTH
	Physocarpus opulifolius 'Donna May'	LITTLE DEVIL NINEBARK	30" HT.	Cont., 5'-0.C.	SOUTH
	Spiraea betulifolia 'Tor'	TOR BIRCHLEAF SPIREA	30" HT.	Cont., 5'-0.C.	SOUTH
	Taxus media 'Tautan'	TAUNTAN YEWE	24" HT.	Cont., 5'-0.C.	NORTH/SOUTH
ORNAMENTAL GRASSES	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER GRASS	1 GAL.	Cont., 4'-0.C.	
	Panicum virgatum 'Shenandoah'	SHENANDOAH SWITCHGRASS	1 GAL.	Cont., 4'-0.C.	
	Schizocorymbium scoparium 'Mmblue A'	BLUE HEAVEN LITTLE BLUESTEM	1 GAL.	Cont., 4'-0.C.	
	Sporobolus heterolepis	PRAIRIE DROPSEED	1 GAL.	Cont., 4'-0.C.	

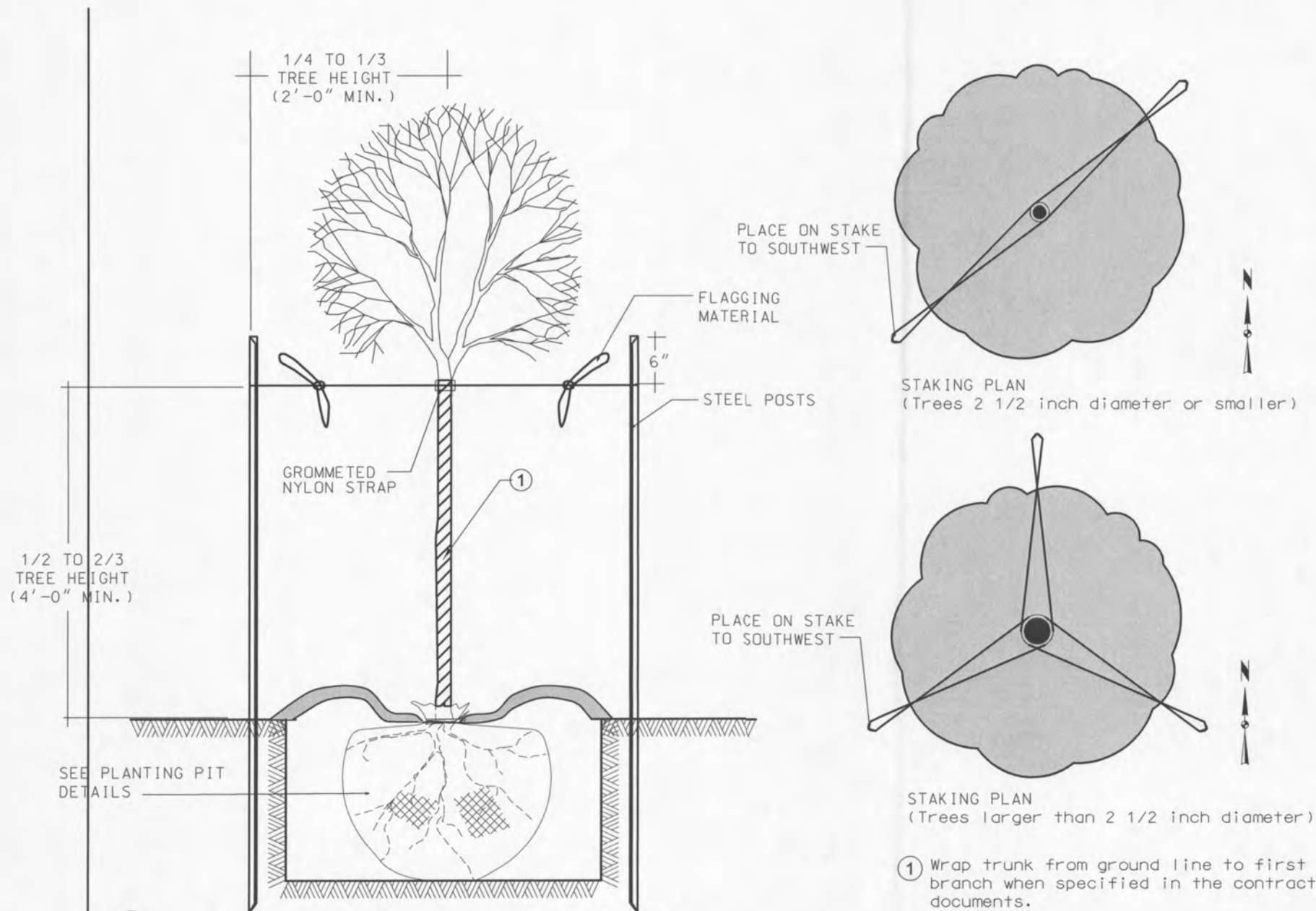


- PROVIDE 3" MIN. DEPTH SHREDDED HARDWOOD MULCH ON ALL INDIVIDUAL TREES WITH A 5' DIAMETER MINIMUM MULCH RING.
- SEED AREAS AS INDICATED ON PLANS WITH TYPE 1 PERMANENT LAWN MIXTURE AS PER SUDAS SPECIFICATIONS SECTION 9010. INSTALL AND MAINTAIN PER OWNER'S REQUIREMENTS.
- CONTRACTOR TO INSTALL 2 INCH WASHED RIVER ROCK MULCH, TO A DEPTH OF 3 INCHES WITH WEED BARRIER FABRIC UNDERLAYMENT IN ALL BEDS. PROVIDE SAMPLE OF ROCK MULCH TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- BEDS SHALL BE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4 INCHES IN ALL BED AREAS ADJACENT TO LAWN, UNLESS OTHERWISE DIRECTED BY OWNER.

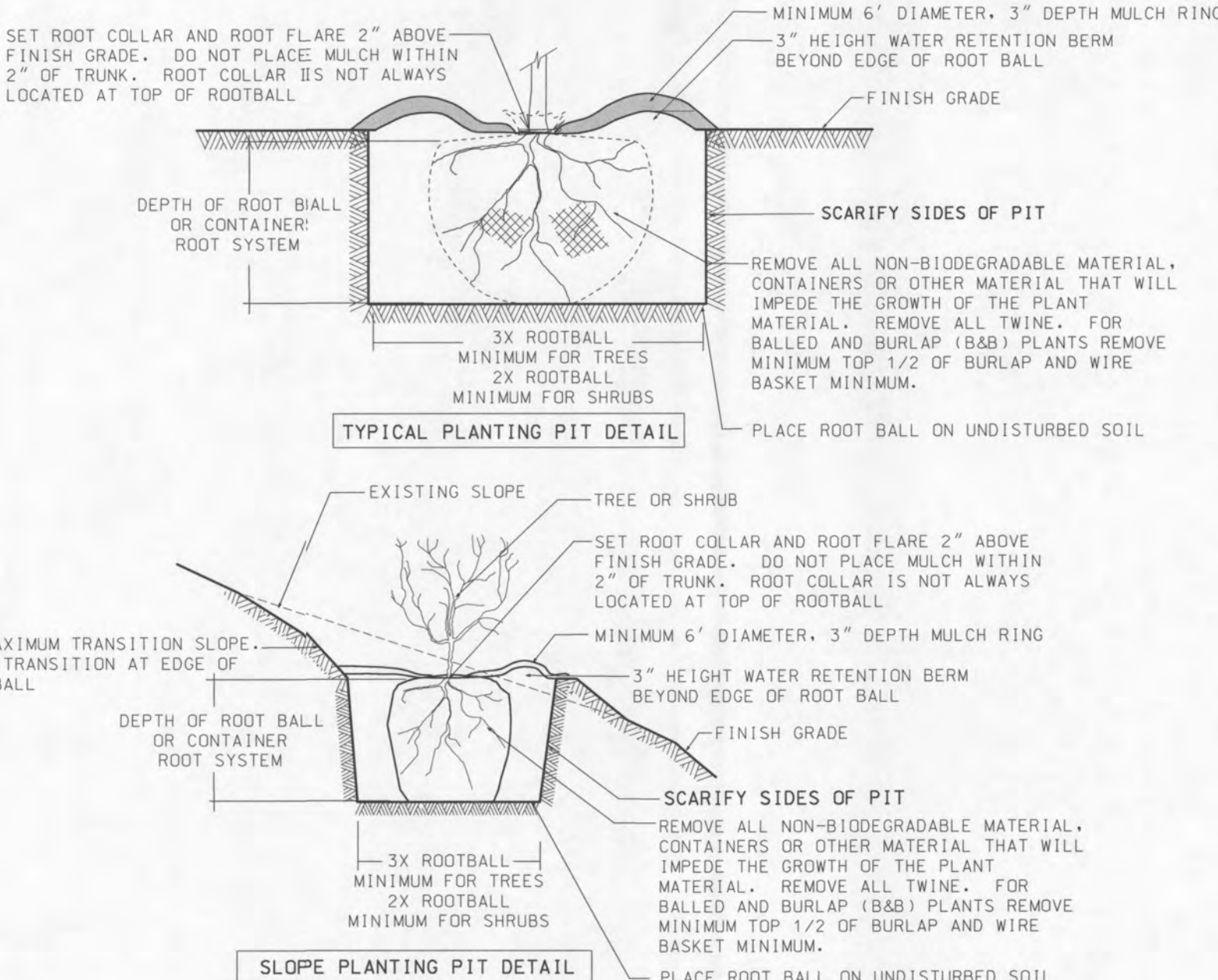
3 TYPICAL UNIT PLANTINGS
10 NO SCALE

PLANTING PLAN GENERAL NOTES

- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION). ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS. PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS IS NOT PERMITTED UNLESS AUTHORIZED IN WRITING BY THE ENGINEER.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR THE DURATION OF THE ESTABLISHMENT AND WARRANTY PERIOD AS SPECIFIED. THE ESTABLISHMENT AND WARRANTY PERIOD IS ONE-YEAR FROM DATE OF PROJECT ACCEPTANCE. A PLANT INSPECTION SHALL BE MADE PRIOR TO THE END OF THE ESTABLISHMENT AND WARRANTY PERIOD. REPLACEMENTS OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED LANDSCAPING ON SITE FOR THE DURATION OF THE PROJECT, ESTABLISHMENT AND WARRANTY PERIOD. ONCE THE WARRANTY PERIOD HAS EXPIRED THE OWNER SHALL MAINTAIN THE REQUIRED LANDSCAPING FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- PROVIDE CONTINUOUS MULCH BEDS AROUND ADJACENT SHRUB PLANTINGS AND ALL AREAS INDICATED ON THE PLAN. MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.



1 DECIDUOUS TREE STAKING DETAIL
10 NO SCALE



2 PLANTING PIT DETAILS
10 NO SCALE

WILLOW RUN PLAT 1

PLANTING PLAN



Project No: 1160394

Sheet 10 of 10

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SNYDER & ASSOCIATES, INC.

Engineer: KMM Checked By: BKC Date: 08/18/17

Technician: AWS Date: 11/03/19

Project No: 1160394

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Villas at Willow Run



Vinyl Siding

Left Elevation

*Stand alone villa
1,416sqft finished on
main level*



Right Elevation



Vinyl Windows

Rear Elevation

Asphalt Shingle



Stone Veneer

Front Elevation

Villas at Willow Run



Front Elevation

2-Plex Townhome

*1,345 sqft on Main and
1,416sqft on Main
2 plans, same elevations*



Left Elevation



Rear Elevation



Right Elevation

Villas at Willow Run



Rear Elevation

*The Willow Plan
1,664 sqft finished
on main level*

Vinyl Windows

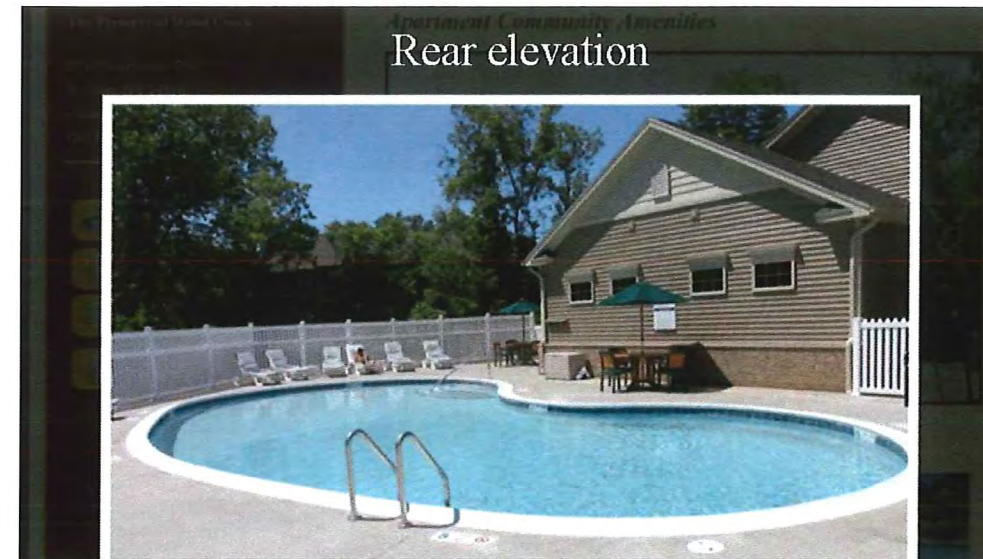
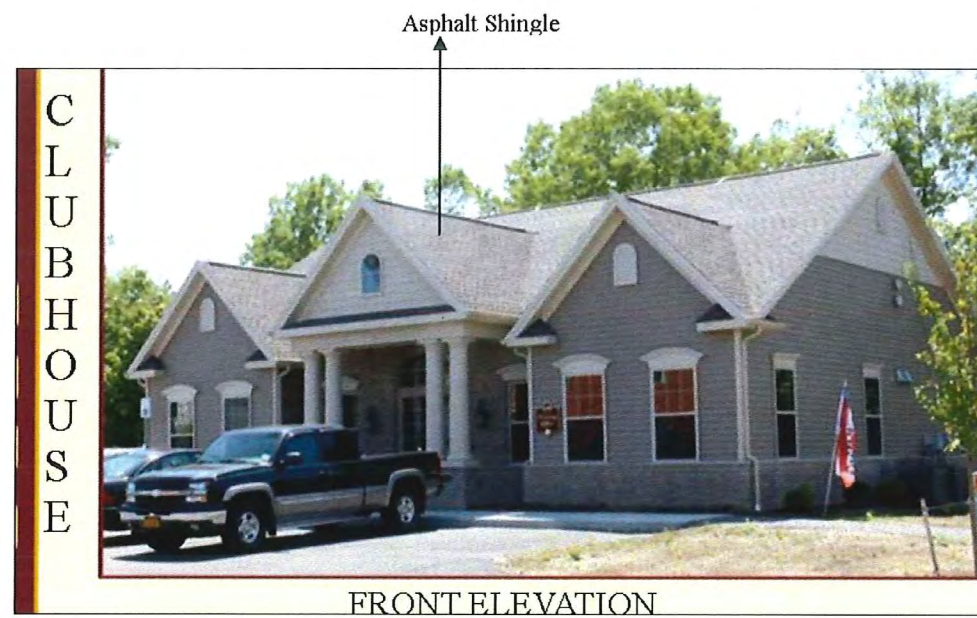


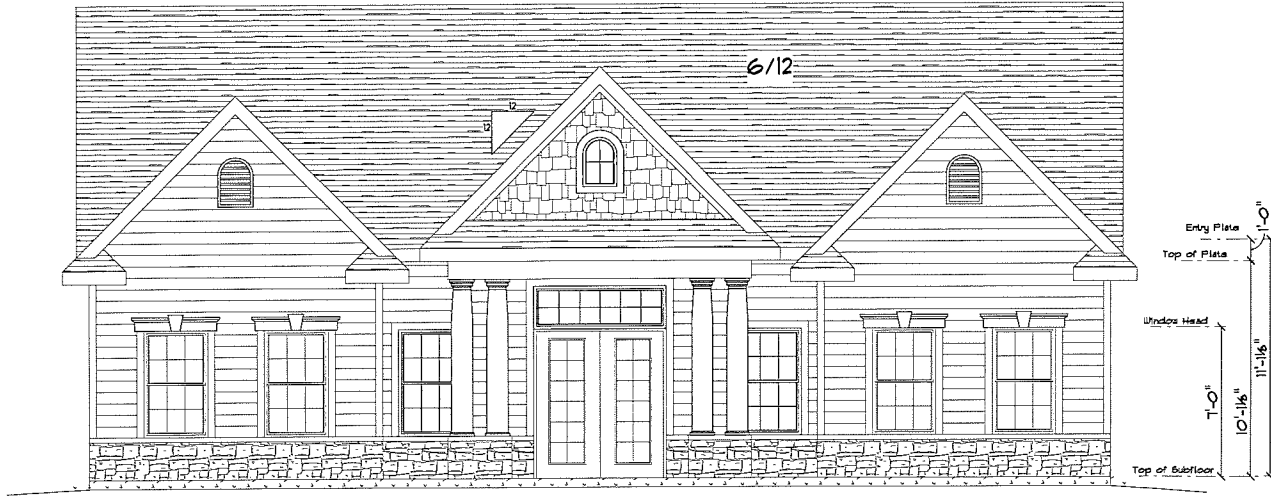
Front Elevation

Cultured Stone

Villas at Willow Run

*Clubhouse finished floor area of 2,000sqft
Amenities to include: Exercise Room, Office, Bathrooms,
Great Room with Full Kitchen*





FRONT ELEVATION



REAR ELEVATION

Tom Davies

Clubhouse

VP Design & Drafting, Inc.
515-249-1134

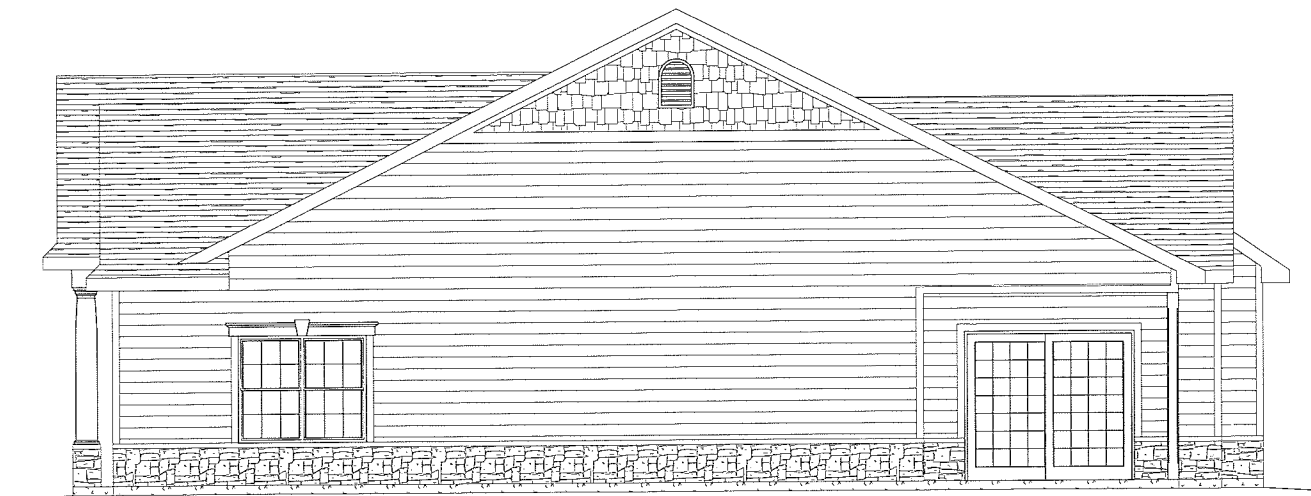
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SCALE 1/4" = 1'
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APPROVED

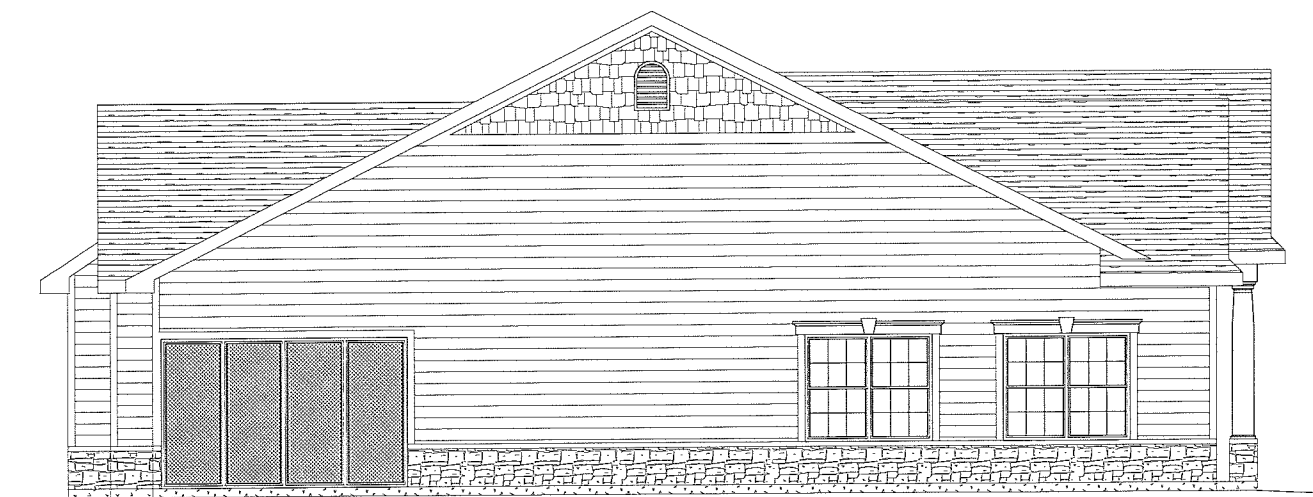
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5-12-2011

PLAN #
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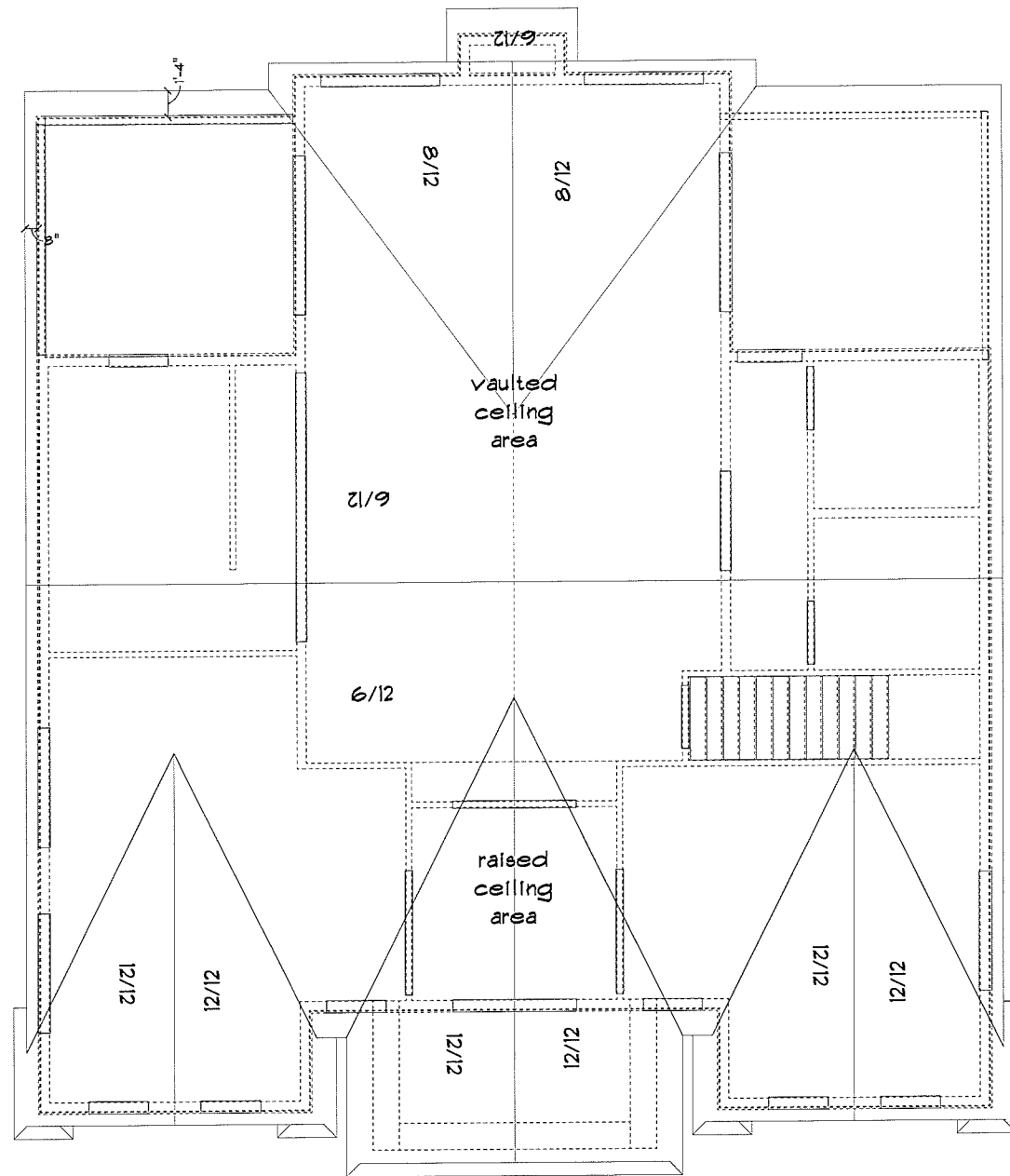
SHEET
1 of 4



RIGHT ELEVATION



LEFT ELEVATION



BIRD'S EYE PLAN

Tom Davies	Clubhouse	VP Design & Drafting, Inc. 515-249-1134	SCALE 1/4" = 1'	DATE 5-12-2011	PLAN # 11016
			DRAWN BY TVP	REVISED	SHEET 4 of 4

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