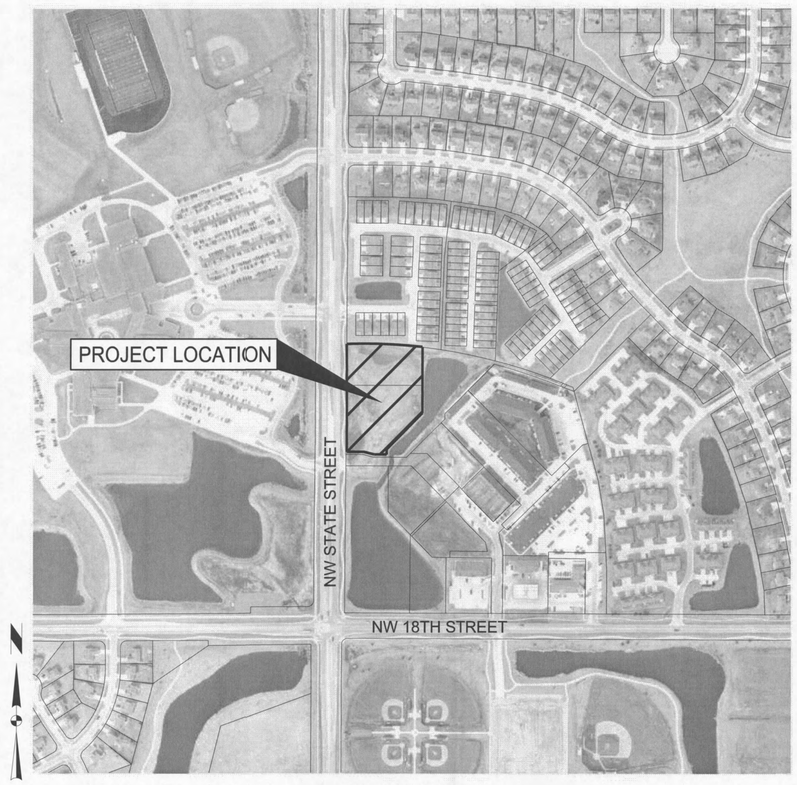
SITE PLANS FOR

SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

2055/2125 NW STATE STREET
ANKENY, POLK COUNTY, IOWA



NOT TO SCALE

VICINITY MAP

city of Ankeny
bringing it all together

INDEX OF SHEETS

1. TITLE SHEET
2. PROJECT INFORMATION
3. DIMENSION PLAN
4. UTILITY PLAN
5. GRADING AND EROSION CONTROL PLAN
6. PLANTING PLAN
7. SITE DETAILS

OWNER/APPLICANT

HARVESTER LAND HOLDINGS LC
4611 MORTENSEN ROAD
AMES, IOWA 50014
PHONE: (515) 233-2752
CONTACT: DICKSON JENSEN

RECEIVED
OCT - 6 2017
CITY OF ANKENY

STATE OF IOWA
LARA F. GULDENPFENNIG
LANDSCAPE ARCHITECT
NO. 668
PROFESSIONAL LANDSCAPE ARCHITECT

License Expires:
June 30, 2018

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa.

Lara F. Guldenpfennig, ASLA Date

License Number 668

Pages or sheets covered by this seal:
Page 6

LICENSED PROFESSIONAL ENGINEER
ERIC D. CANNON
18954
IOWA

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Eric D. Cannon, P.E. Date

License Number 18954

My License Renewal Date is December 31, 2017

Pages or sheets covered by this seal:
Pages 1-5, 7

MARK	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	10/06/17	KSS

Engineer: KSS | Checked By: EDC | Scale: 1" = 300'
Technician: RMM | Date: 09/15/17 | Field Bk: | Pg:

Project No: 117.0777 | Sheet 1 of 7

SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

ANKENY, IOWA

TITLE SHEET

SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 117.0777

Sheet 1 of 7

Snyder 1"=300'
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LEGEND

Features	Existing	Proposed
Spot Elevation	93.0	×93.0
Contour Elevation	93	93
Fence (Barbed, Field, Hog)	—x——x—	
Fence (Chain Link)	—//——//—	
Fence (Wood)	——•——	
Fence (Silt)		
Tree Line		
Tree Stump		
Deciduous Tree \ Shrub		
Coniferous Tree \ Shrub		
Communication	C(*)	C
Overhead Communication	OC(*)	OC
Fiber Optic	FO(*)	FO
Underground Electric	E(*)	E
Overhead Electric	OE(*)	OE
Gas Main with Size	4" G(*)	4" G
High Pressure Gas Main with Size	4" HPG(*)	4" HPG
Water Main with Size	8" W(*)	8" W
Sanitary Sewer with Size	8" S(*)	8" S
Duct Bank	DUCT(*)	
Test Hole Location for SUE w/ID	1	

(*) Denotes the survey quality service level for utilities

Features	Existing	Proposed
Sanitary Manhole		
Storm Sewer with Size	12" ST	12" ST
Storm Manhole		
Single Storm Sewer Intake		
Double Storm Sewer Intake		
Fire Hydrant		
Fire Hydrant on Building		
Water Main Valve		
Water Service Valve		
Well	W	
Utility Pole		
Guy Anchor		
Utility Pole with Light		
Utility Pole with Transformer		
Street Light		
Yard Light		
Electric Box	EB	
Electric Transformer	E	
Traffic Sign		
Communication Pedestal	C	
Communication Manhole	C	
Communication Handhole	C	
Fiber Optic Manhole	FO	
Fiber Optic Handhole	FO	
Gas Valve	G	
Gas Manhole	G	
Gas Apparatus	G	
Fence Post or Guard Post		
Underground Storage Tank	UST	
Above Ground Storage Tank	AST	
Sign		
Satellite Dish		
Mailbox		
Soil Boring		

GENERAL NOTES

A. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.

B. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE 2017 URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOILS REPORTS PREPARED BY OTHERS.

C. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.

D. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.

E. NOTIFY OWNER, ENGINEER, AND CITY OF ANKENY AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.

F. CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.

G. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.

H. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.

I. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.

J. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.

K. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.

L. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.

M. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.

N. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTANENCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.

O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.

P. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, CITY ANKENY, AND THE OWNER PRIOR TO CONSTRUCTION.

Q. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.

GENERAL USE

TOWNHOMES/APARTMENTS

ZONING

ASHLAND MEADOWS P.U.D.

PROPERTY DESCRIPTION

LOT 15 AND 16, SIGNATURE VILLAGE PLAT 3 BEING AN OFFICIAL PLAT IN THE CITY OF ANKENY, POLK COUNTY, IOWA.
PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

BULK REGULATIONS

YARD REQUIREMENTS:
FRONT: 35 FEET
SIDE: 25 FEET
REAR: 35 FEET
MAXIMUM HEIGHT: 45 FEET
UNDERLYING ZONING: C-1 RESTRICTED

PARKING SUMMARY:

LOT 15:

PARKING REQUIRED:
1 STALL PER BEDROOM
54 BEDROOMS = 54 STALLS
1 STALL PER 4 UNITS = 53/4 = 14 STALLS
TOTAL STALLS REQUIRED = 68 STALLS
TOTAL STALLS PROVIDED: = 72 (INCLUDING 3 HANDICAP ACCESSIBLE STALLS)

LOT 16:

PARKING REQUIRED:
1 STALL PER BEDROOM
54 BEDROOMS = 54 STALLS
1 STALL PER 4 UNITS = 53/4 = 14 STALLS
TOTAL STALLS REQUIRED = 68 STALLS
TOTAL STALLS PROVIDED: = 71 (INCLUDING 3 HANDICAP ACCESSIBLE STALLS)

ERU CALCULATION (LOT 15)

39,905 SF IMPERVIOUS SURFACE
/ 4,000 SF PER ERU
10 ERU

ERU CALCULATION (LOT 16)

45,400 SF IMPERVIOUS SURFACE
/ 4,000 SF PER ERU
12 ERU

PROPERTY ADDRESS

2055/2125 NW STATE STREET

BUILDING DESCRIPTION

BUILDING HEIGHT = 43'
FLOOR SF = 14,041 SF

POLLUTION PREVENTION NOTES

A. POLLUTION PREVENTION AND EROSION PROTECTION

1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.

2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER. FURTHER, IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.

B. STORM WATER DISCHARGE PERMIT

1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 INCLUDING CREATING OR MAINTAINING THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND POSSIBLY OBTAINING THE GENERAL PERMIT COVERAGE FROM THE IDNR.

2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.

3. A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

C. POLLUTION PREVENTION PLAN:

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.

2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.

3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.

4. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:

   a. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.

   b. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.

   c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.

   d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.

   e. INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.

   f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.

   g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.

   h. RESPREAD A MINIMUM OF 6 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.

   i. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, OR SOD AS SOON AS PRACTICAL UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES NO LATER THAN 14 CALENDAR DAYS AFTER CONSTRUCTION ACTIVITY HAS FINISHED OR IS PLANNED TO BE DELAYED MORE THAN 21 CALENDAR DAYS.

   j. COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.

   k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI/ ASCE 38-02 STANDARD.

QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.

QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 551303265

W1-WATER	CITY OF ANKENY KEN PLAGER 515-965-6484 kplager@ankenyiowa.gov	CLEAR PER MAP	AUREON NETWORK SERVICES JEFF KLOCKO 515-830-0445 jeff@netins.com
E1-ELECTRIC	MIDAMERICAN ENERGY THERESA MCGUIRE 515-252-6632 MECDSMDesignLocates@midamerican.com	NO RESPONSE	BLACK HILLS ENERGY ANKENY JOE MCAREAVY 515-343-2030 joe.mcareavy@blackhillscorp.com
C1-COMMUNICATION	CENTURYLINK RAY MONTOYA 720-578-8090 ray.montoya@centurylink.com	NO RESPONSE	ANKENY COMMUNITY SCHOOLS DARCY COWAN 515-289-8691
C2-COMMUNICATION	MEDIACOM COMMUNICATIONS PAUL MAY 515-246-2252 pmay@mediacomcc.com		

IOWA ONE CALL
1-800-292-8989 | 811
www.iowaonecall.com
Know what's below. Call before you dig.

CONTROL POINTS

LOCAL COORDINATE SYSTEM
NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

CP1 N=10627.33 E=10061.40
CUT "X" IN CONCRETE ON SOUTH SIDE OF ENTRANCE ON EAST SIDE OF NW STATE STREET, SOUTHWEST OF SITE.

CP2 N=11075.36 E=10052.26
CUT "X" IN WEST EDGE OF CONCRETE SIDEWALK ON EAST SIDE OF NW STATE STREET AT LIGHT POLE, NORTHWEST CORNER OF SITE.

CP3 N=11119.20 E=10335.75
CUT "X" ON BACK OF CURB AT SOUTHEAST END OF NW CHAPEL LANE, NORTH CENTER OF SITE.

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

BM1 ELEV=970.33
ARROW ON HYDRANT ON EAST SIDE OF NW STATE STREET, NORTHWEST CORNER OF SITE.

BM2 ELEV=974.36
ARROW ON HYDRANT AT SOUTHEAST END OF NW CHAPEL LANE, NORTH CENTER OF SITE.

MARK	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	10/06/17	KSS

Engineer: KSS | Checked By: EDC | Scale: 1"= 1'
Technician: RMM | Date: 09/15/17 | Field Bk: | Pg:
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SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16
PROJECT INFORMATION
ANKENY, IOWA

SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD.
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SNYDER & ASSOCIATES

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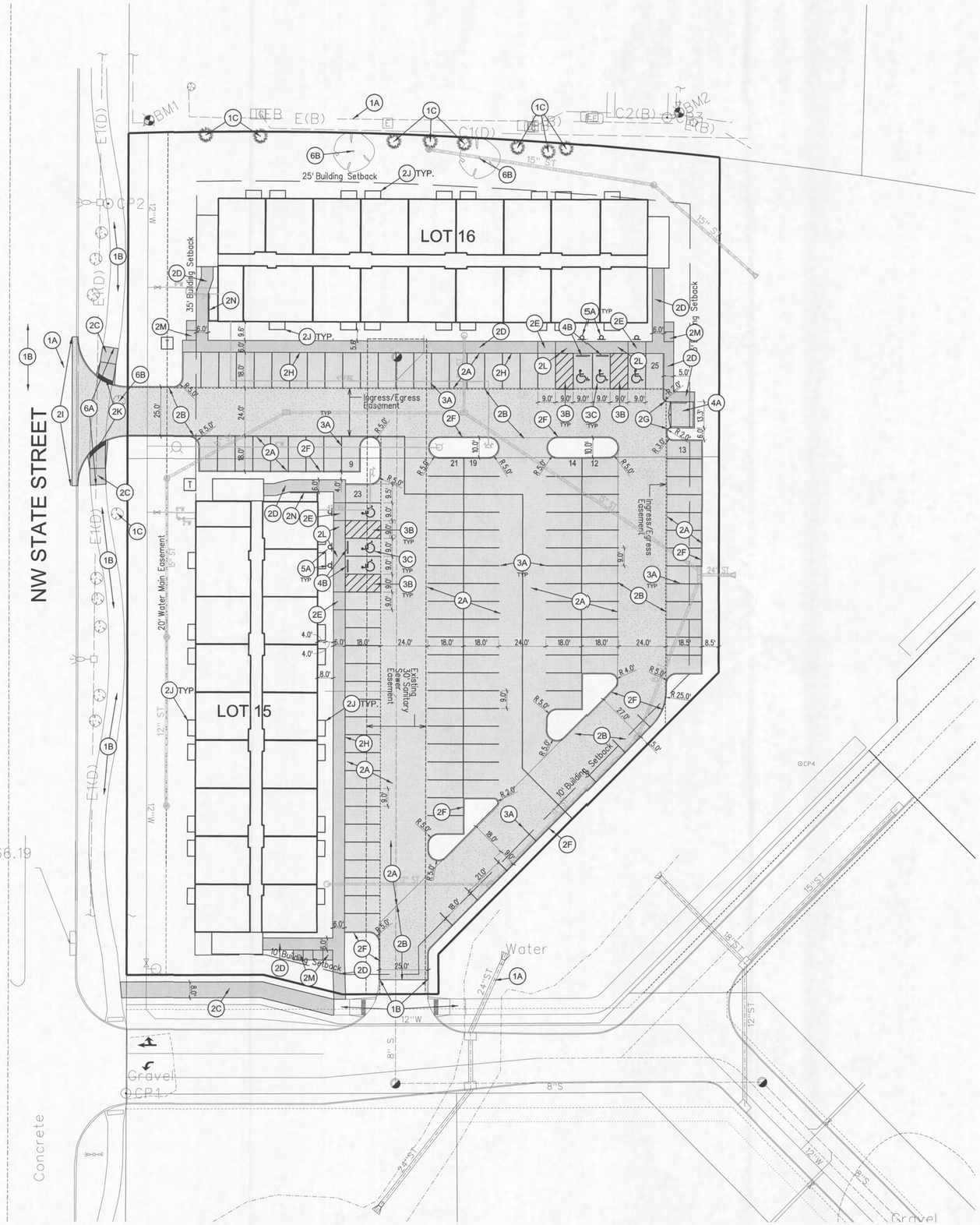
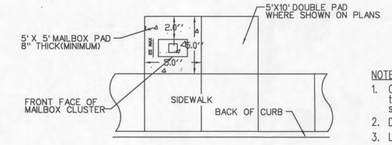


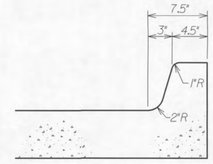
DIMENSION PLAN CONSTRUCTION NOTES

1. PROTECT THE FOLLOWING SITE FEATURES:
   - A. EXISTING UTILITY. ADJUST AS NECESSARY TO ALLOW FOR CONSTRUCTION. VERIFY LOCATION, ELEVATION AND MINIMUM COVER REQUIREMENTS PRIOR TO CONSTRUCTION..
   - B. EXISTING PAVEMENT.
   - C. EXISTING TREES
2. PAVEMENTS, PROVIDE THE FOLLOWING:
   - A. 6" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
   - B. 7" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTEID TO 95% STANDARD PROCTOR DENSITY.
   - C. 5" DEPTH PCC TRAIL ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
   - D. 4" MINIMUM DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
   - E. PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33%.
   - F. 6" PCC STANDARD CURB.
   - G. TAPER FROM FULL 6" CURB TO NO CURB WHERE NOTED.
   - H. 6" PCC INTEGRAL CURB AND SIDEWALK.
   - I. CONNECT TO EXISTING PAVEMENT WITH A SUDAS TYPE "B" CONNECTION (7030.101). MATCH EXISTING ELEVATION.
   - J. 6'X8' CONCRETE PATIO.
   - K. 6" DEPTH PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33%. PROVIDE CAST IRON DETECTABLE WARNINGS WHERE SHOWN.
   - L. SIDEWALK SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
   - M. 8" PCC, 10'x5' CLUSTER MAIL BOX PAD. SEE DETAIL THIS SHEET.
   - N. SCREEN WALL. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR DETAILS..
3. PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
   - A. PAINTED PARKING STALL LINE, 4" WIDE, PAINTED YELLOW.
   - B. 45° STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
   - C. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
4. SITE AMENITIES PROVIDE THE FOLLOWING
   - A. TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
   - B. WHEEL STOP
5. SIGNS PROVIDE THE FOLLOWING:
   - A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAGG REQUIREMENTS.
6. DEMOLITION REMOVE THE FOLLOWING:
   - A. EXISTING PAVEMENT
   - B. EXISTING TREES AS NECESSARY
7. SEE STRUCTURAL DRAWINGS FOR BUILDING FOUNDATION AND STOOP LOCATIONS.

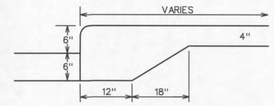


NOTES:
1. Cluster Mailbox to be located on the no parking/sttreet light side of street.
2. Do not locate at iintersection.
3. Locate near shared property line perr approved plan.

1/3 CLUSTER MAILBOX PAD DETAIL
NOT TO SCALE

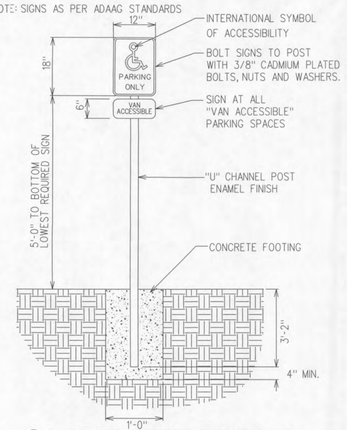


2/3 6" STANDARD CURB
NOT TO SCALE



3/3 PCC INTEGRAL CURB
NOT TO SCALE

NOTE: SIGNS AS PER ADAAG STANDARDS



4/3 ACCESSIBLE PARKING SIGN
NO SCALE

0 30
FEET

MARK	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	10/06/17	KSS

Engineer: KSS | Checked By: EDC | Scale: 1"= 30'
Technician: RMM | Date: 09/15/17 | Field Bk: | Pg:
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ANKENY, IOWA

SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

DIMENSION PLAN

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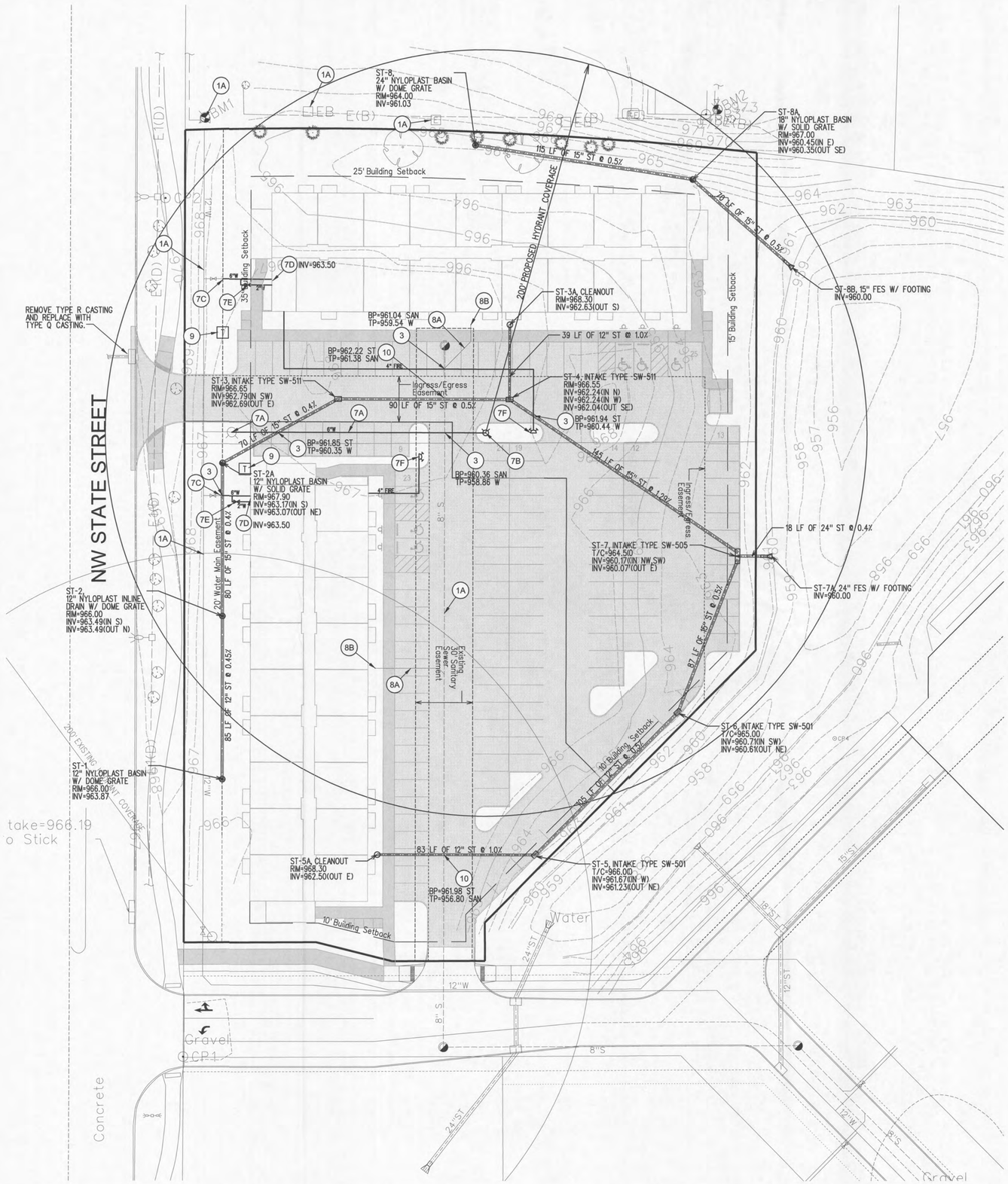

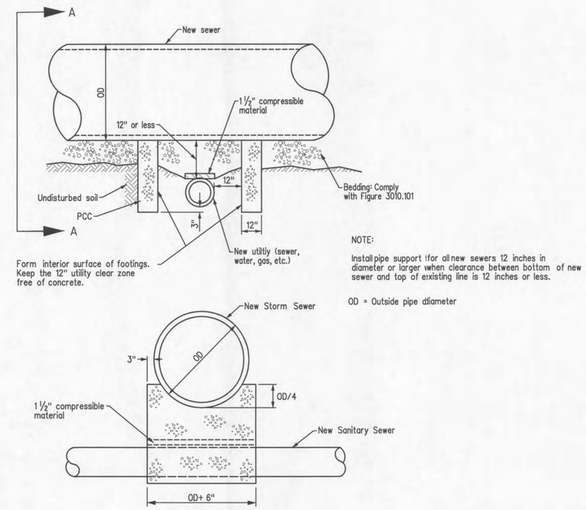

1/4 SUPPORT DETAIL

UTILITY PLAN CONSTRUCTION NOTES

1. EXISTING FEATURES, PROTECT THE FOLLOWING:
   A. EXISTING UTILITIES. ANY DAMAGES TO EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR DEMOLITION SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE WITH THE WORK BEING PERFORMED TO THE UTILITY OWNER'S SPECIFICATIONS.
2. PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN AS PER 2017 URBAN STANDARD SIPECIFICATIONS FOR PUBLIC IMPROVEMENTS, AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS .
3. CRITICAL CROSSING. CONTRACTOR TO VERIFY ALL CROSSINGS AND PROVIDE 18" MINIMUM SEPARATION. SEE CRITICAL CROSSING DETAIL FOR CROSSINGS THAT ARE LESS THAN THE 18" MINIMUM SEPARATION.
4. ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
5. ALL FOOTINGS FOR STORM SEWER STRUCTURES SHALL BE A MINIMUM 42 INCHES BELOW FINISHED GRADE. CONCRETE FILLET INSIDE INTAKES AS NECESSARY TO FLOW LINES.
6. PROVIDE GASKETED RCP STORM SEWER WITHIN 10' OF WATER MAIN CROSSING.
7. WATER SERVICE, PROVIDE THE FOLLOWING.
   A. 6" WATER MAIN. CONNECT TO EXISTING WATER MAIN STUB. REMOVE AND RELOCATE HYDRANT ASSEMBLY.
   B. RELOCATED HYDRANT ASSEMBLY.
   C. CONNECT TO EXISTING WATER SERVICE LINE. VERIFY LOCATION AND ELEVATION WITH BUILDING PUMBING PLANS PRIOR TO CONSTRUCTION.
   D. BUILDING FIRE AND DOMESTIC WATER SERVICE CONNECTIONS. VERIFY LOCATION ANID DEPTH WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
   E. 2" DOMESTIC WATER SERVICE WITH 2" VALVE. PROVIDE CONCRETE COLLAR AROUNID WATER SERVICE CURB STOPS.
   F. PROVIDE REMOTE FIRE CONNECTION PER CITY STANDARDS, STUB 4" DRYLINE TO WITHIN 5' OF BUILDING.
8. SANITARY SEWER SERVICES, PROVIDE THE FOLLOWING.
   A. CONNECT TO EXISTING 6" SANITARY SEWER SERVICE WYE. VERIFY LOCATION AND ELEVATIONS WITH BUILDING PLUMBING PLANS PRIOR TO CONSTRUCTION.
   B. CONNECT TO BUILDING SANITARY SERVICE. VERIFY LOCATION AND ELEVATION WITHI MECHANICAL PLANS PRIOR TO CONSTRUCTION.
9. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, AND TELEPHONE SERVICES WITH UTILITY SERVICES PROVIDER, THE CITY OF ANKENY, AND THE OWNER PRIOR TO CONSTRUCTION.
10. CRITICAL CROSSING, CONTRACTOR TO PROVIDE STRUCTURAL SUPPORT AS SHOWN IN SUDAS FIGURE 3010.901.
11. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTDC). ALL PROPOSED SIGNS SHALL CONFORM TO THE MUTCD MANUAL. CONTRACTOR TO COORDINATE ALL LANE CLOSURES WITH THE CITY OF ANKENY.

0 30 FEET

MARK	REVISION	DATE	BY
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Technician: RMM | Date: 09/15/17 | Field Bk: | Pg:
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SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

UTILITY PLAN

ANKENY, IOWA

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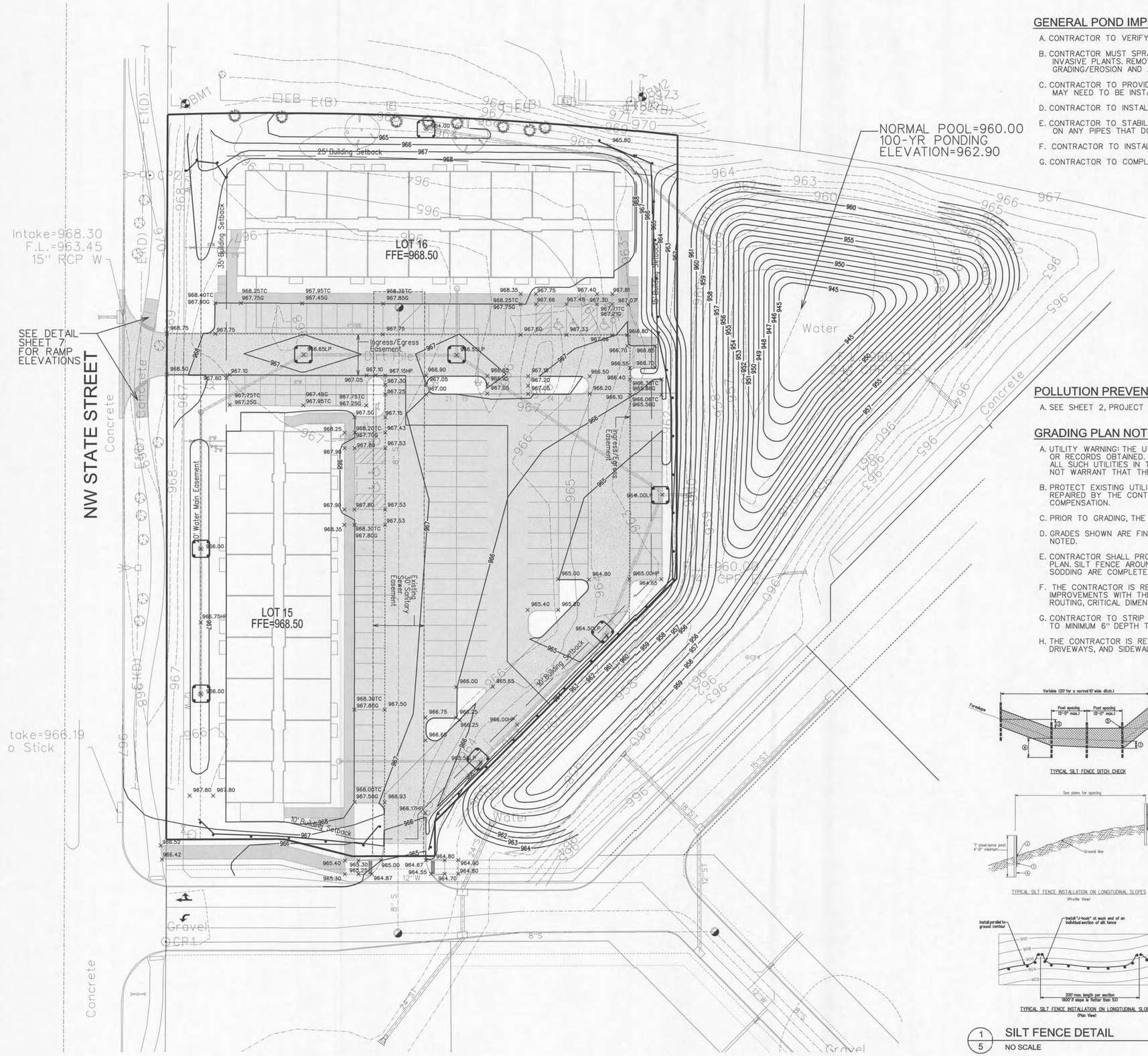


GENERAL POND IMPROVEMENT PLAN NOTES

A. CONTRACTOR TO VERIFY A MINIMUM DEPTH OF 12 FEET.

B. CONTRACTOR MUST SPRAY AND REMOVE EXISTING VEGETATION PRIOR TO GRADING TO REMOVE ANY INVASIVE PLANTS. REMOVE ALL TREES ON EMBANKMENT SURROUNDING THE POND. CLEAN UP GRADING/EROSION AND ANY EXISTING SILT FENCE AROUND THE POND.

C. CONTRACTOR TO PROVIDE NATIVE SEEDING AROUND THE POND. TEMPORARY MATTING AND SEEDING MAY NEED TO BE INSTALLED UNTIL SEEDING IS COMPLETED.

D. CONTRACTOR TO INSTALL ELECTRICAL SOURCE WITH METER AND DIFFUSEIR.

E. CONTRACTOR TO STABILIZE ALL PIPES OUTLETTING IN THE POND. CONTRACTOR TO PROVIDE RIP RAP ON ANY PIPES THAT DO NOT OUTLET AT THE NORMAL POOL ELEVATION.

F. CONTRACTOR TO INSTALL TRASH GUARD ON THE ASHLAND POND OUTLET.

G. CONTRACTOR TO COMPLETE TRAIL CONNECTION TO NW STATE STREET.

POLLUTION PREVENTION NOTES

A. SEE SHEET 2, PROJECT INFORMATION FOR POLLUTION PREVENTION NOTES.

GRADING PLAN NOTES

A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/ OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

B. PROTECT EXISTING UTILITIES FROM CONSTRUCTION DAMAGE. ANY DAMAGE THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS WITHOUT ADDITIONAL COMPENSATION.

C. PRIOR TO GRADING, THE OWNER/ CONTRACTOR SHALL OBTAIN A GRADING PERMIT.

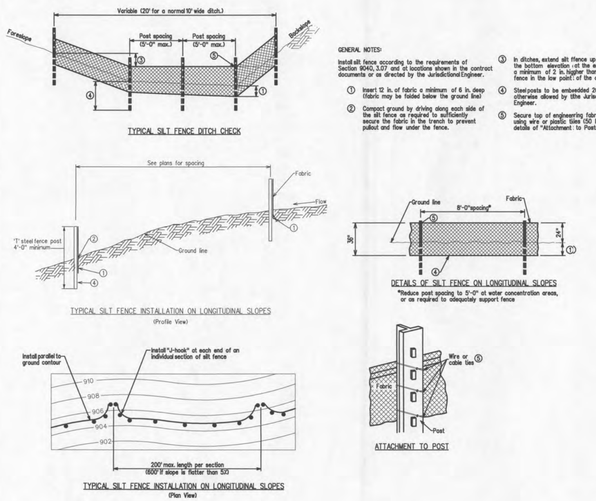
D. GRADES SHOWN ARE FINISHED GRADE AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.

E. CONTRACTOR SHALL PROVIDE SILT FENCE AROUND ALL STORM INTAKES AND WHERE SHOWN ON THE PLAN. SILT FENCE AROUND STORM INTAKES SHALL BE MAINTAINED UNTIL PAVING AND SEEDING/ SODDING ARE COMPLETE.

F. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF ALL SITE UTILITIES AND IMPROVEMENTS WITH THE ARCHITECTURAL MECHANICAL/ ELECTRICAL/ PLUIMBING SYSTEMS INCLUDING ROUTING, CRITICAL DIMENSIONS, CONNECTIONS, AND INVERT ELEVATIONS.

G. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BIE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.

H. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES.



1/5 SILT FENCE DETAIL

NO SCALE

0 30

FEET

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1	REVISED AS PER CITY COMMENTS	10/06/17	KSS

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SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

GRADING AND EROSION CONTROL PLAN

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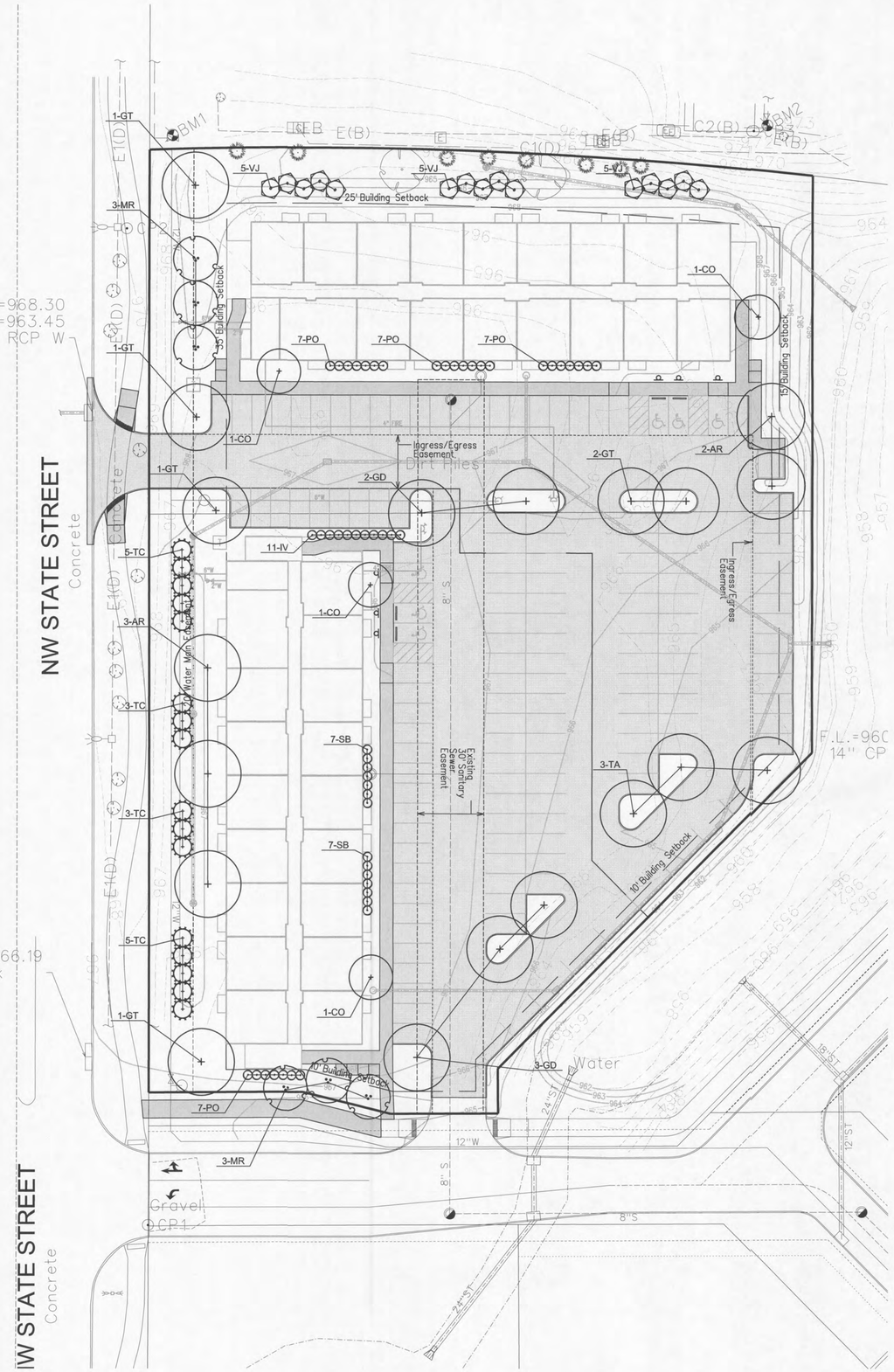
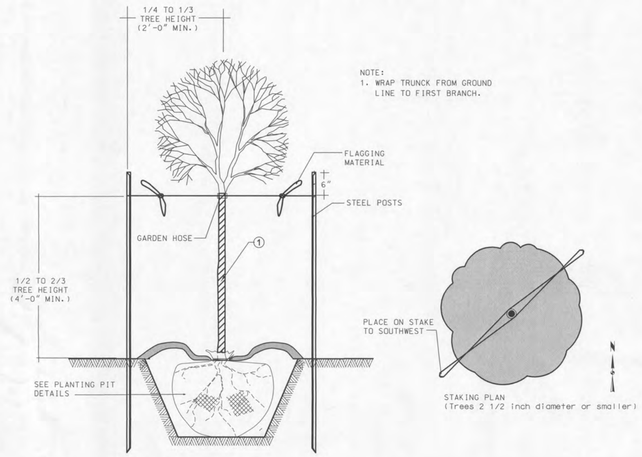


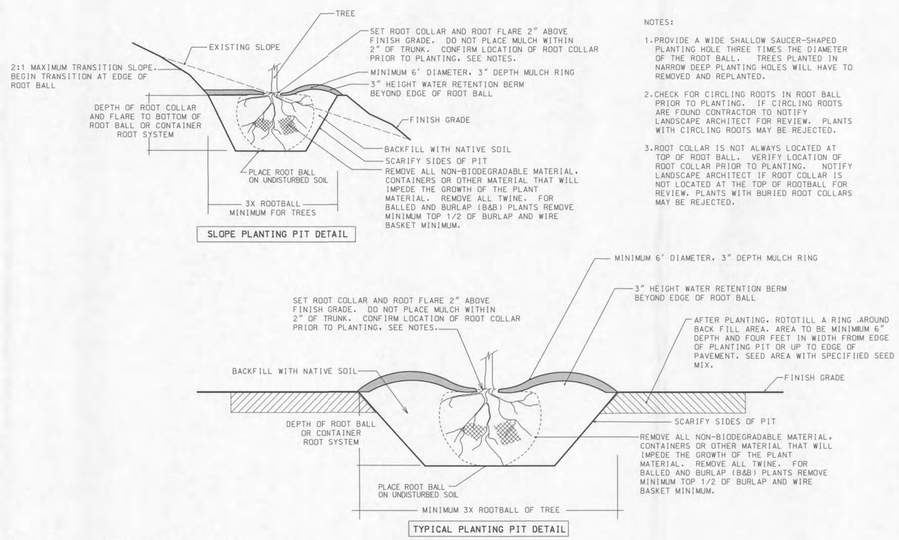
PLANT SCHEDULE

	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES	AR	Acer rubrum 'Frankared'	RED SUNSET MAPLE	1½" CAL.	B&B
	CO	Celtis occidentalis 'Prairie Pride'	PRAIRIE PRIDE HACKBERRY	1½" CAL.	B&B
	GT	Gleditsia triacanthos var inermis 'Draves'	STREET KEEPER HONEYLOCUST	1½" CAL.	B&B
	GD	Gymnocladus dioicus 'Espresso'	ESPRESSO KENTUCKY COFFEETREE	1½" CAL.	B&B
	MR	Malus 'Royal Raindrops'	ROYAL RAINDROPS CRABAPPLE	8' Ht.	B&B
	TA	Tilia americana 'Boulevard'	BOULEVARD AMERICAN LINDEN	1½" CAL.	B&B
SHRUBS	PO	Physocarpus opulifolius 'Little Devil'	LITTLE DEVIL NINEBARK	18" Ht.	CONT. (4' O.C.)
	SB	Spiraea x bumalda 'Anthony Waterer'	ANTHONY WATERER SPIREA	18" Ht.	CONT. (4' O.C.)
	TC	Taxs cuspidata 'Fastigiata'	CAPTAIN YEW	4' Ht.	CONT. (8' O.C.)
	VD	Viburnum X juddi	JUDD VIBURNUM	36" Ht.	CONT. (8' O.C.)



1/6 DECIDUOUS TREE STAKING DETAIL

NO SCALE



NOTES:

1. PROVIDE A WIDE SHALLOW SAUCER-SHAPED PLANTING HOLE THREE TIMES THE DIAMETER OF THE ROOT BALL. TREES PLANTED IN NARROW DEEP PLANTING HOLES WILL HAVE TO REMOVED AND REPLANTED.
2. CHECK FOR CIRCLING ROOTS IN ROOT BALL PRIOR TO PLANTING. IF CIRCLING ROOTS ARE FOUND CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT FOR REVIEW. PLANTS WITH CIRCLING ROOTS MAY BE REJECTED.
3. ROOT COLLAR IS NOT ALWAYS LOCATED AT TOP OF ROOT BALL. VERIFY LOCATION OF ROOT COLLAR PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IF ROOT COLLAR IS NOT LOCATED AT THE TOP OF ROOTBALL FOR REVIEW. PLANTS WITH BURIED ROOT COLLARS MAY BE REJECTED.

2/6 PLANTING PIT DETAILS

NO SCALE

PLANTING PLAN GENERAL NOTES

A. UTILITY WARNING:
THE UTILITIES SHOWN HAVE BEEN LOICATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABIANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DIETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANIY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).

D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

E. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS UNLESS OTHERWISE DIRECTED TO PROVIDE ROCK MULCH. PROVIDED MULCH TO A MIN. 3-FOOT PERIMETER. CONTRACTOR TO PROVIDE A CLEAN VERTICAL CUT EDGE TO 4''' DEPTH INTO FINISH GRADE TO DEFINE THE MULCH BED LIMITS UNLESS DEFIINED BY PAVEMENT OR CURB. VERIFY TYPE OF EDGER WITH OWNER.

F. SEED ALL OTHER AREAS DISTURBED BY CONSTRUCTION WITH TYPE 1 SUDAS LAWN SEED MIX IN ACCORDANCE WITH PROPOSED EROSION CONTROL PLANS UNLESS OTHERWISE NOTED. WARRANTY FOR A PERIOD OF ONE YEAR FROM PROJECT ACCEPTANCE.

LANDSCAPE REQUIREMENTS AND CALCULATIONS

LANDSCAPE REQUIREMENTS AND CALCULATIONS::
(AS PER CITY OF ANKENY SITE PLAN OPEN SPACE AND LANDSCAPING REQUIREMENTS)

OPEN SPACE REQUIREMENTS:
115,582 SF (2.65 AC.) OVERALL PROPERTY X 20% MIN. OPEN SPACE = 23,116.40 SF
OPEN SPACE REQ'D
TOTAL HARDSURFACE (DRIVES, PARKING AND BIUILDINGS) 77,7776 SF
(37,806 SF) = 32.71% TOTAL OPEN SPACE PRIOVIDED

OPEN SPACE LANDSCAPE REQUIREMENTS:
23,116.40 SF/ 3,000 SF = 7.70 PLANT UNITS REQ'D.
7.70 PU X 2 TREES = 15.40 TREES REQ'D (XX PROVIDED)
---- (X) OVERSTORY TREES PROVIDED

7.70 PU X 6 SHRUBS = 46.20 SHRUBS REQ'D (XX PROVIDED)

PAVEMENT SHADING REQUIREMENTS FOR NEW PAVEMENT:
48,595 SF PAVEMENT X 20% = 9,719 SF
9,719/ 706 SF = 13.76 OVERSTORY TREES REQ'D (14 PROVIDED)
---- (14) PAVEMENT OVERSTORY TREES PROVIDED WITHIN 15' OF PAVED AREA ON 2 OR MORE SIDES (COUNTED AT 100%)
---- 9,884 SF PAVEMENT SHADING PROVIIDED

0 30
FEET

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Project No: 117.0777 | Sheet 6 of 7

SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

ANKENY, IOWA

PLANTING PLAN

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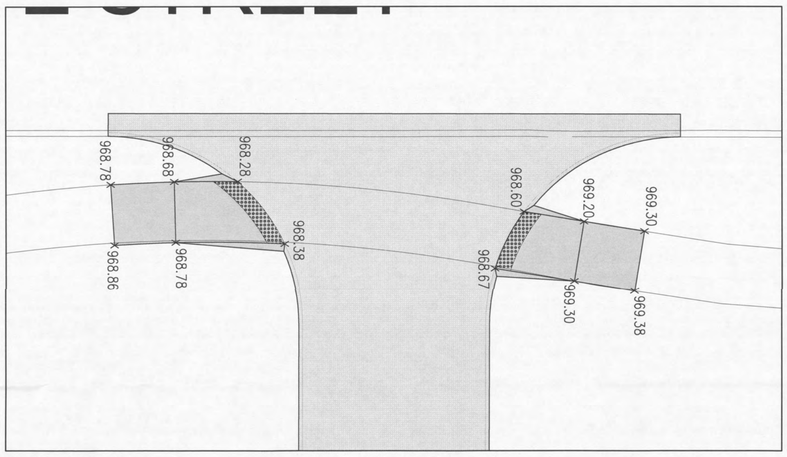
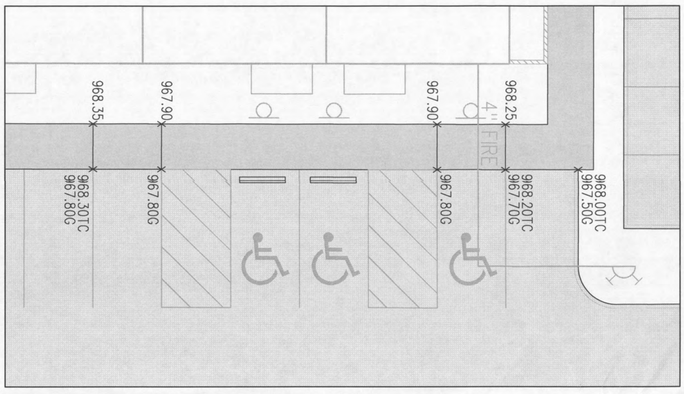
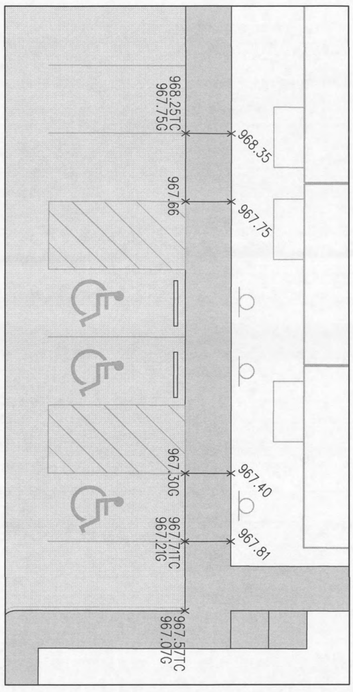


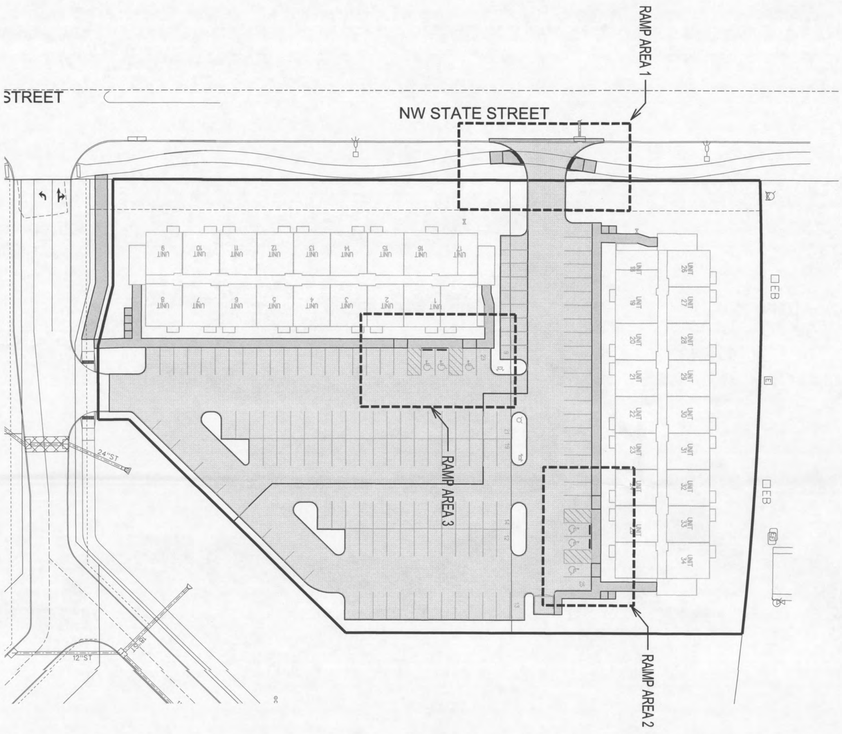
SIDEWALK RAMP AREA 1 DETAIL 1"=10'



SIDEWALK RAMP AREA 3 DETAIL 1"=10'



SIDEWALK RAMP AREA 2 DETAIL 1"=10'



SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

SITE DETAILS

ANKENY, IOWA

MARK	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	10/06/17	KSS

Engineer:	KSS	Checked By:	EDC	Scale:	1" =
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Project No:	117.0777			Sheet 7 of 7	

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