

1 inch = 100 feet

Date: 9/8/2017

**501 NW 5th St**  
**Parkview Terrace Apartments Garages**





*Plan and Zoning Commission  
Staff Report*

*Meeting Date: October 17, 2017*

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**Agenda Item:** 501 NW 5<sup>th</sup> Street – Parkview Terrace Apartment Garages

**Report Date:** October 12, 2017

**Prepared by:** Eric Carstens, AICP  
Planning Administrator

**Staff Request:**

That the Plan and Zoning Commission approve the Site Plan for the Parkview Terrace Apartment Garages at 501 NW 5<sup>th</sup> Street.

**Project Summary:**

The owner of the Parkview Terrace Apartments is proposing to replace the swimming pool on that site with a 12 stall garage structure. The property is located at 501 NW 5<sup>th</sup> Street, at the southwest intersection of NW 5<sup>th</sup> Street and NW School Street, in Parkview Terrace Plat 3.

The owner has recently removed the swimming pool. He is wanting to replace the pool, and a couple of accessory structures associated with the pool, with a 12 stall garage structure. The structure is proposed to be approximately 148'-6" long and 22' deep. The roof is proposed to be sloped with a wall height of 12' along the south and 8' along the north. The structure is proposed as fiber cement siding, painted to match the apartment buildings with 3' brick along the base on the south side of the building, and a shingled roof, both also to match the existing buildings. Existing pavement will be used to provide access to the garage structure and no significant grading is expected. No landscaping is proposed to be removed as part of the project and there are three large existing evergreen trees that will help screen the back (north) side of the building.



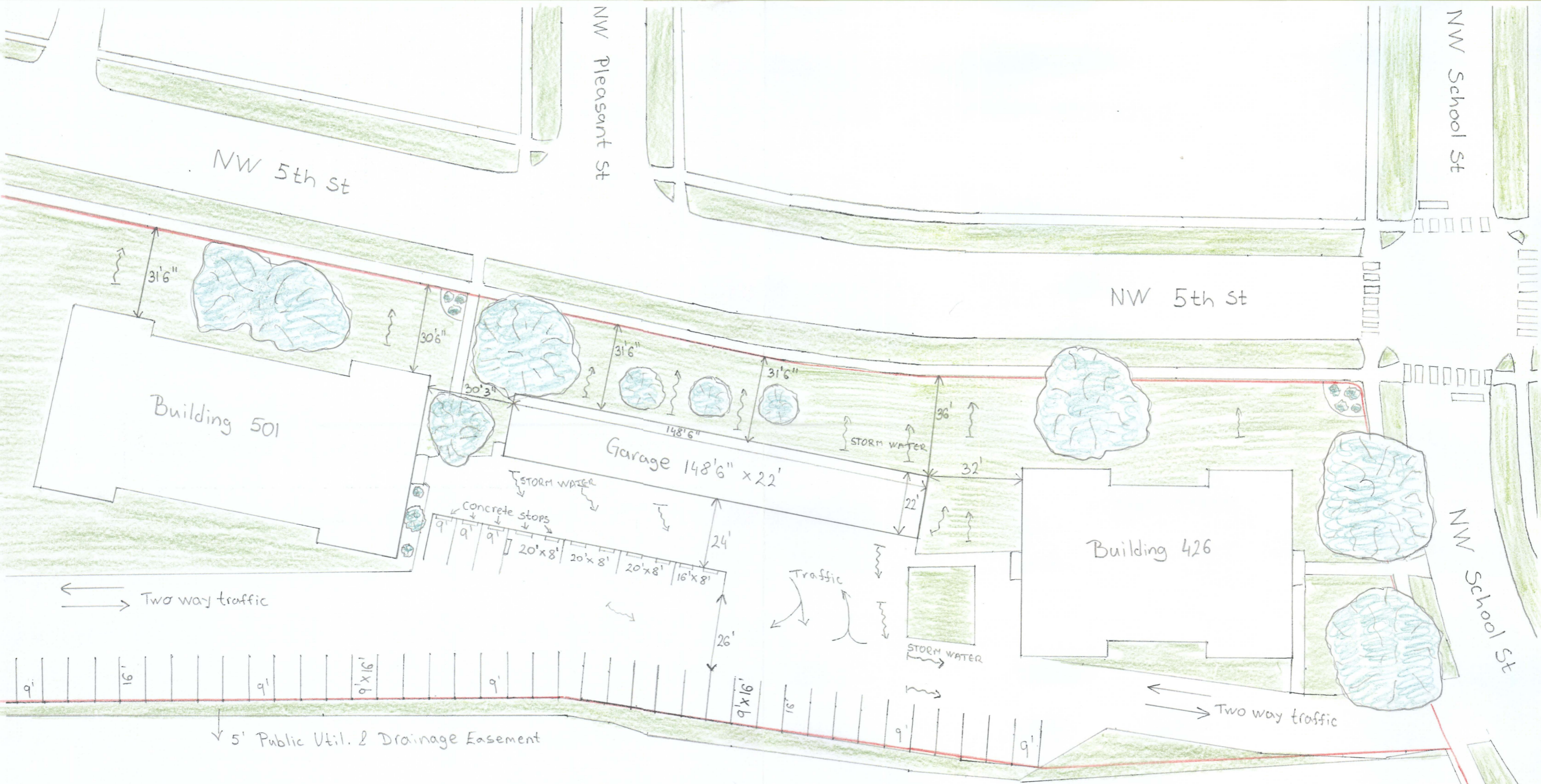
ADDRESS: 501 NW 5TH ST ANKENY IA 50023

SITE PLAN FOR 12 CAR GARAGE     SIZE:148F 5IN WIDE X 22F DEEP  
TOTAL:3267 SF

- No water main or sanitary sewer service to building will be done
- Downspouts from the building will dump onto the surface and runoff from building will drain on the surface to NW 5th St North of building.
- No changes to elevation will be done
- Iowa one call system located all utility lines ( they found just electric line)
- No trees will be removed due to construction

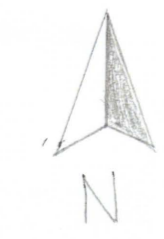
Materials:

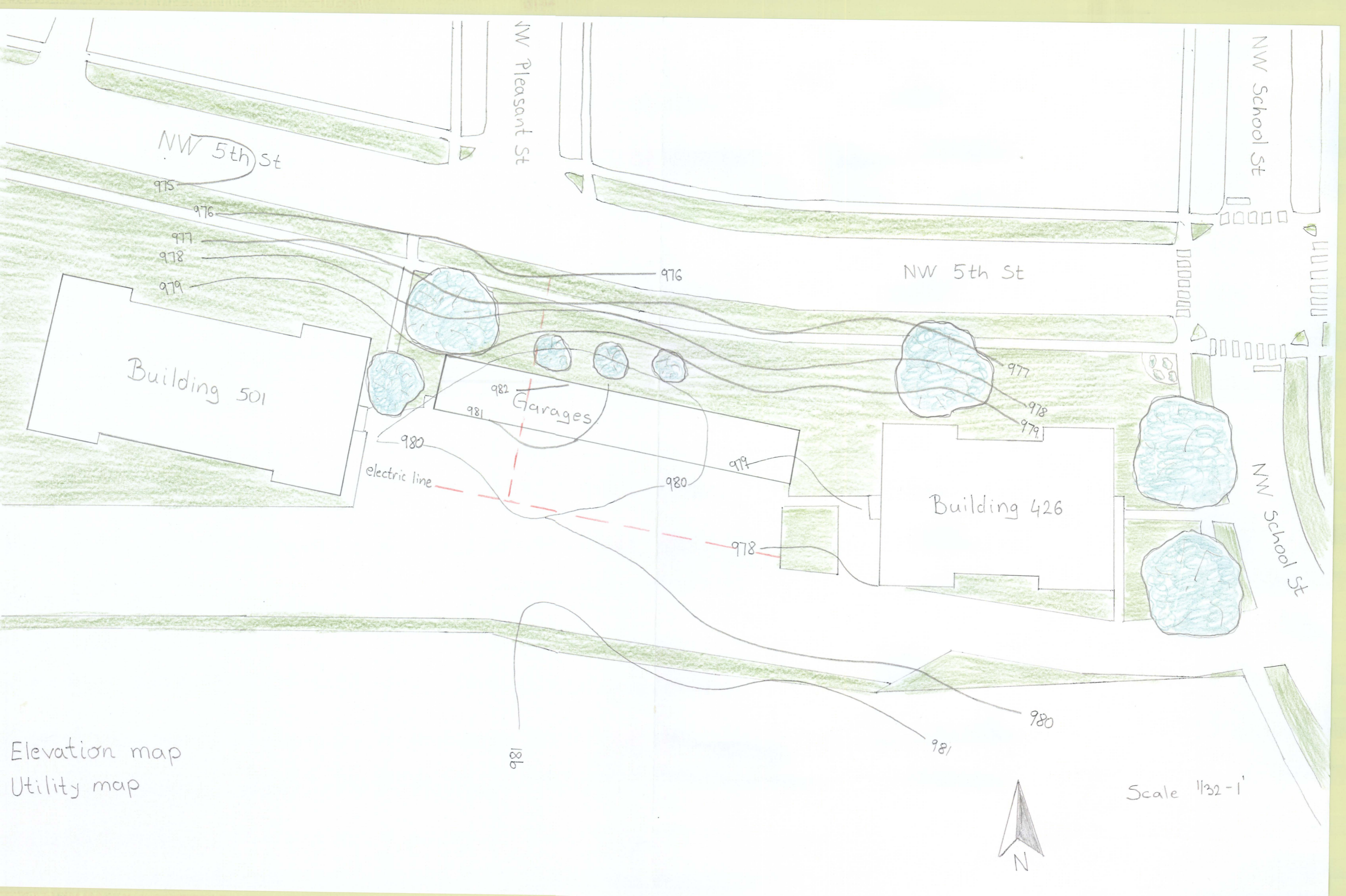
- 2"x4" construction lumber
- 25 year shingles matching existing buildings
- Fiber cement siding painted in same color as other buildings
- 3' high (Old Chicago) brick on front of garage -matching existing buildings
- 9'w 7'h garage doors
- 8"wide 48' high concrete footings
- 5" concrete slab in garages
- 6" concrete front of garages



Scale 1/32" = 1'

~~~~~ Storm water  
— property line





NW 5th St

NW Pleasant St

NW School St

NW 5th St

NW School St

Building 501

Garages

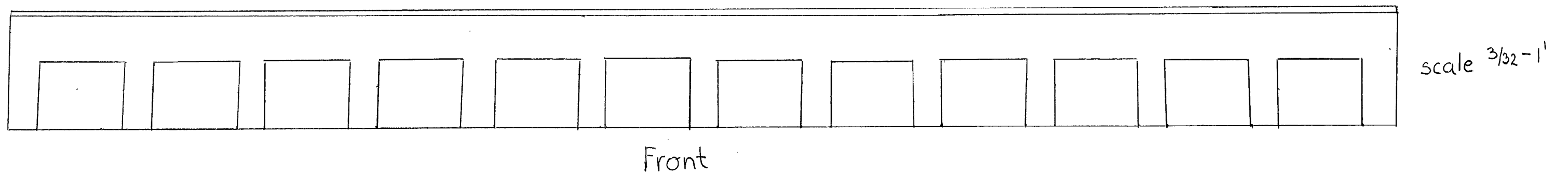
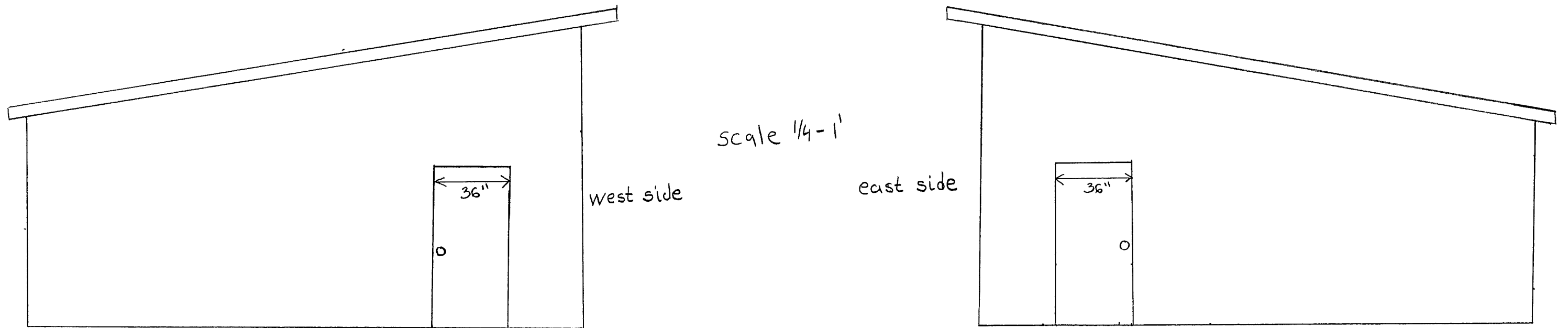
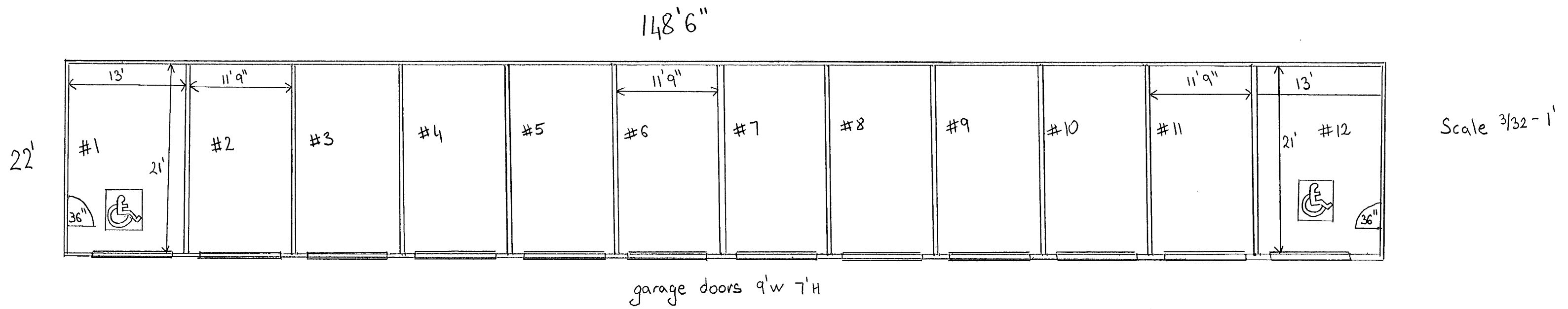
Building 426

electric line

Scale 1/32" = 1'



Elevation map  
Utility map



Note:- Colors will match existing buildings

- 3' high brick on front will be installed

- No glass windows will be installed

