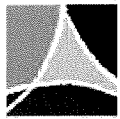


1 inch = 150 feet

Date: 9/29/2017

2055 & 2125 NW State St



Agenda Item: 2055 and 2125 NW State Street – Signature Village Apartments

Report Date: October 12, 2017

Prepared by: Eric Carstens, AICP
Planning Administrator

Staff Request:

That the Plan and Zoning Commission approve the Site Plan for the Signature Village Apartments at 2055 and 2125 NW State Street, subject to City Council approval of the Signature Village Plat 3 final plat.

Project Summary:

The owner, Harvester Land Holdings, LC, is proposing to construct two 53-unit apartment buildings on Lots 15 and 16, Signature Village Plat 3. The property is located east of NW State Street, approximately 600 feet north of NW 18th Street. The site is zoned Ashland Meadows PUD.

The property will be accessed from a full access point just south of the development that provides additional access to the larger, mostly existing development. There will also be a right-in/right-out access added along NW State Street for this specific project.

There are two, three-story buildings proposed, each with 53 units. These two buildings will be constructed of brick and asphalt shingles, and will be nearly identical to the existing Bricktowne apartments to the east, which are also owned by the applicant. There is a dumpster enclosure proposed along the east edge of the development. The enclosure will be constructed of brick to match the apartment buildings.

The proposed development meets the parking requirements of the code. Storm water detention will be provided in the existing pond to the east. The proposed landscaping plan complies with all applicable regulations.



October 6, 2017

Planning and Zoning Commission
City of Ankeny
220 West 1st Street
Ankeny, Iowa 50021

RECEIVED

OCT - 6 2017

CITY OF ANKENY

RE: SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16
SITE PLAN AND FINAL PLAT RESUBMITTAL
S&A PROJECT NO. 117.0777.01

Dear Planning and Zoning Commission:

On behalf of Harvester Land Holdings LC, please find accompanying the revised Site Plan, Final Plat and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications. We respectfully request the City's review and approval of the documents. The development is proposed for two apartment buildings consisting of 53 units with associated utility and site infrastructure. Upon approval, construction is proposed to being immediately weather permitting.

As requested, we have addressed all items on the Tech Review comments through plan modifications and discussions with Staff.

Please find accompanying the following items:

- 6 copies of the Site Plan
- 6 copies of the Final Plat
- 2 copies of the dumpster enclosure detail
- 1 copy of the revised drainage report
- Response letter
- NPDES General Permit #2
- COSESCO application and fee
- 1 copy of the SWPPP

Please feel free to contact me at your convenience should you have any questions or comments. Thanks.

Sincerely,
SNYDER AND ASSOCIATES, INC.

Eric D. Cannon, P.E.

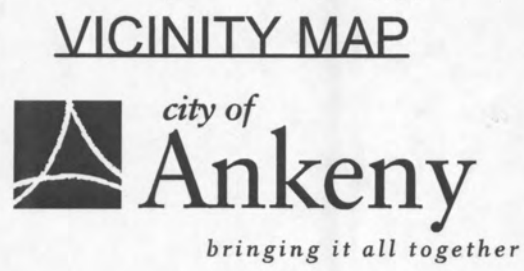
Cc: Dickson Jensen, Harvester Land Holdings LC

SITE PLANS FOR SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

2055/2125 NW STATE STREET
ANKENY, POLK COUNTY, IOWA



NOT TO SCALE



INDEX OF SHEETS

- 1. TITLE SHEET
- 2. PROJECT INFORMATION
- 3. DIMENSION PLAN
- 4. UTILITY PLAN
- 5. GRADING AND EROSION CONTROL PLAN
- 6. PLANTING PLAN
- 7. SITE DETAILS

OWNER/APPLICANT

HARVESTER LAND HOLDINGS LC
4611 MORTENSEN ROAD
AMES, IOWA 50014
PHONE: (515) 233-2752
CONTACT: DICKSON JENSEN

RECEIVED
OCT - 6 2017
CITY OF ANKENY

Eric D. Cannon, P.E. Date
License Number: 18954
My License Renewal Date is December 31, 2017
Pages or sheets covered by this seal:
Pages 1-5, 7

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa.

Lara F. Guldenpfennig, ASLA Date
License Number: 668
Pages or sheets covered by this seal:
Page 6
License Expires: June 30, 2018

SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

TITLE SHEET

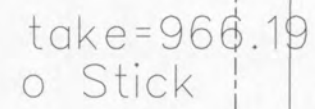
ANKENY, IOWA

SNYDER & ASSOCIATES, INC.

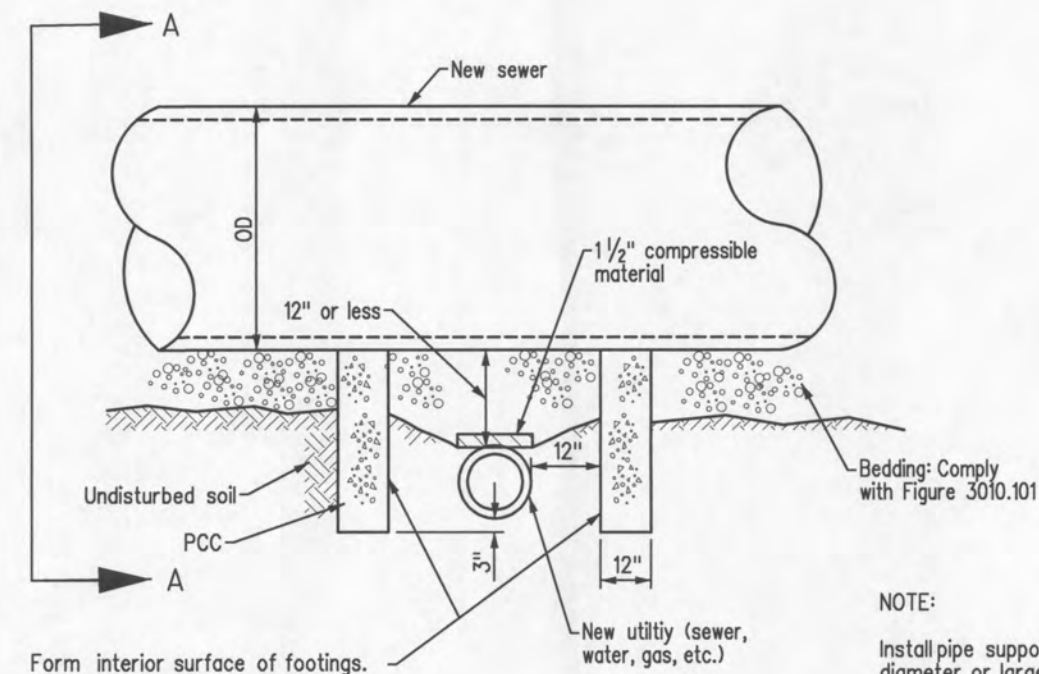
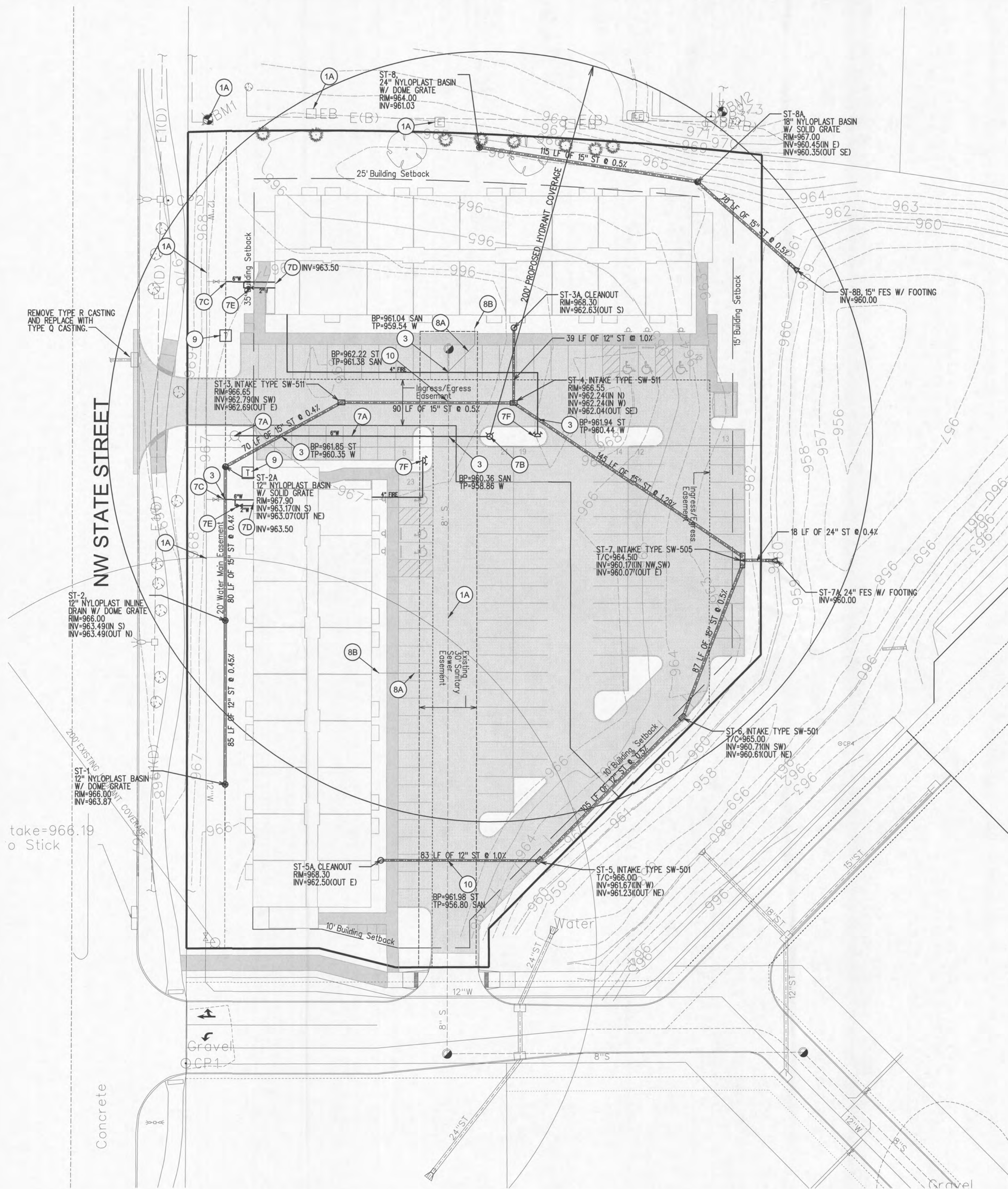
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ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Project No: 117.0777

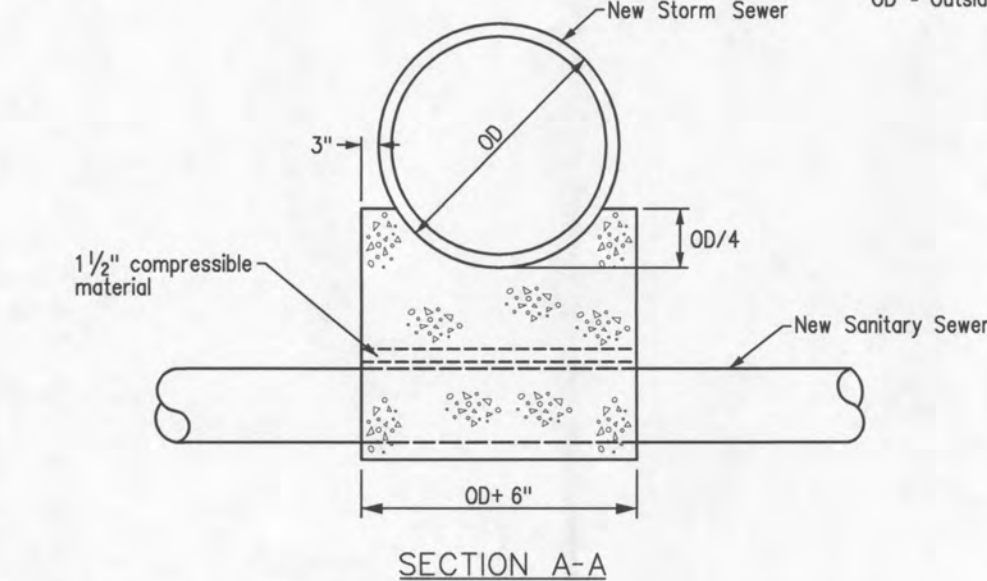
Sheet 1 of 7



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NOTE:
Install pipe support for all new sewers 12 inches in diameter or larger when clearance between bottom of new sewer and top of existing line is 12 inches or less.
OD = Outside pipe diameter



1
4
SUPPORT DETAIL

UTILITY PLAN CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
A. EXISTING UTILITIES. ANY DAMAGES TO EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR DEMOLITION SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE WITH THE WORK BEING PERFORMED TO THE UTILITY OWNER'S SPECIFICATIONS.
- PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN AS PER 2017 URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- CRITICAL CROSSING. CONTRACTOR TO VERIFY ALL CROSSINGS AND PROVIDE 18" MINIMUM SEPARATION. SEE CRITICAL CROSSING DETAIL FOR CROSSINGS THAT ARE LESS THAN THE 18" MINIMUM SEPARATION.
- ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
- ALL FOOTINGS FOR STORM SEWER STRUCTURES SHALL BE A MINIMUM 42 INCHES BELOW FINISHED GRADE. CONCRETE FILLET INSIDE INTAKES AS NECESSARY TO FLOW LINES.
- PROVIDE GASKETED RCP STORM SEWER WITHIN 10' OF WATER MAIN CROSSING.
- WATER SERVICE, PROVIDE THE FOLLOWING.
A. 6" WATER MAIN. CONNECT TO EXISTING WATER MAIN STUB. REMOVE AND RELOCATE HYDRANT ASSEMBLY.
B. RELOCATED HYDRANT ASSEMBLY.
C. CONNECT TO EXISTING WATER SERVICE LINE. VERIFY LOCATION AND ELEVATION WITH BUILDING PUMPING PLANS PRIOR TO CONSTRUCTION.
D. BUILDING FIRE AND DOMESTIC WATER SERVICE CONNECTIONS. VERIFY LOCATION AND DEPTH WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
E. 2" DOMESTIC WATER SERVICE WITH 2" VALVE. PROVIDE CONCRETE COLLAR AROUND WATER SERVICE CURB STOPS.
F. PROVIDE REMOTE FIRE CONNECTION PER CITY STANDARDS, STUB 4" DRYLINE TO WITHIN 5' OF BUILDING.
- SANITARY SEWER SERVICES, PROVIDE THE FOLLOWING.
A. CONNECT TO EXISTING 6" SANITARY SEWER SERVICE WYE. VERIFY LOCATION AND ELEVATIONS WITH BUILDING PUMPING PLANS PRIOR TO CONSTRUCTION.
B. CONNECT TO BUILDING SANITARY SERVICE. VERIFY LOCATION AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, AND TELEPHONE SERVICES WITH UTILITY SERVICES PROVIDER, THE CITY OF ANKENY, AND THE OWNER PRIOR TO CONSTRUCTION.
- CRITICAL CROSSING, CONTRACTOR TO PROVIDE STRUCTURAL SUPPORT AS SHOWN IN SUDAS FIGURE 3010.901.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL PROPOSED SIGNS SHALL CONFORM TO THE MUTCD MANUAL. CONTRACTOR TO COORDINATE ALL LANE CLOSURES WITH THE CITY OF ANKENY.



SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

UTILITY PLAN



Project No: 117.0777

Sheet 4 of 7

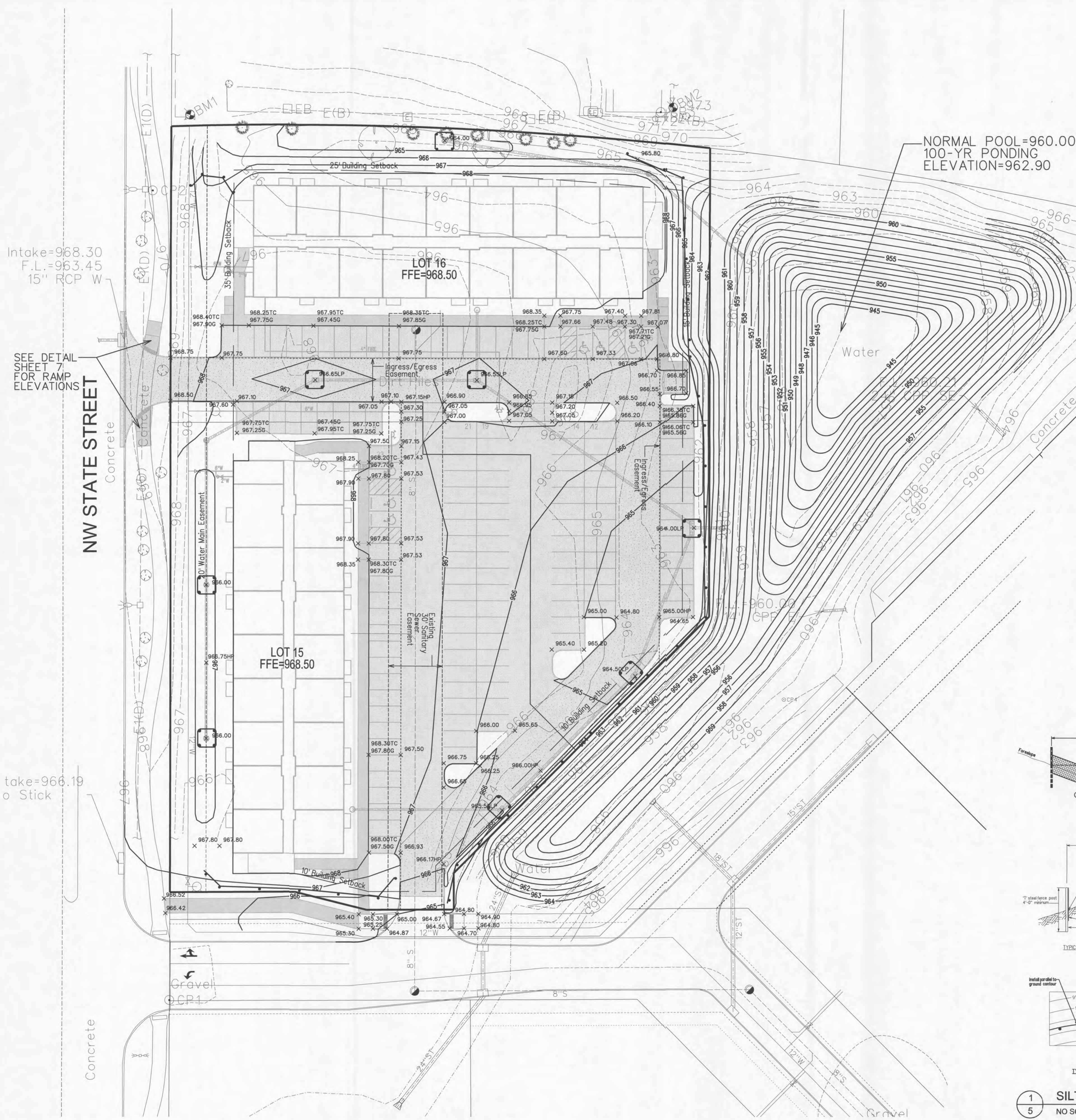
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SNYDER & ASSOCIATES, INC.

MARK	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	10/06/17	KSS
Engineer:	KSS	Checked By:	EDC
Technician:	RMM	Date:	09/15/17
Project No:	117.0777	Field Bk:	
Sheet	4 of 7		

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GENERAL POND IMPROVEMENT PLAN NOTES

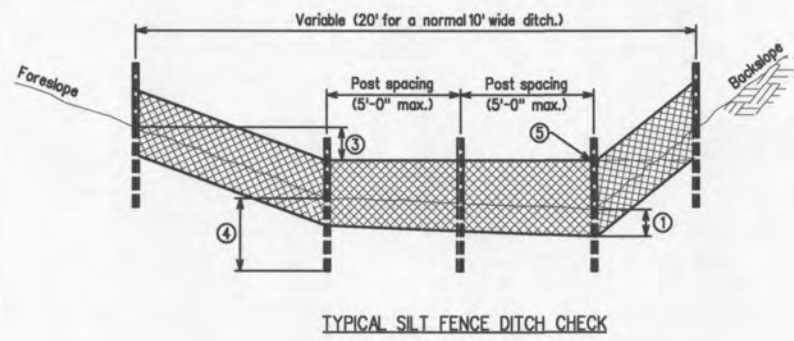
- A. CONTRACTOR TO VERIFY A MINIMUM DEPTH OF 12 FEET.
- B. CONTRACTOR MUST SPRAY AND REMOVE EXISTING VEGETATION PRIOR TO GRADING TO REMOVE ANY INVASIVE PLANTS. REMOVE ALL TREES ON EMBANKMENT SURROUNDING THE POND. CLEAN UP GRADING/EROSION AND ANY EXISTING SILT FENCE AROUND THE POND.
- C. CONTRACTOR TO PROVIDE NATIVE SEEDING AROUND THE POND. TEMPORARY MATTING AND SEEDING MAY NEED TO BE INSTALLED UNTIL SEEDING IS COMPLETED.
- D. CONTRACTOR TO INSTALL ELECTRICAL SOURCE WITH METER AND DIFFUSEIR.
- E. CONTRACTOR TO STABILIZE ALL PIPES OUTLETING IN THE POND. CONTRACTOR TO PROVIDE RIP RAP ON ANY PIPES THAT DO NOT OUTLET AT THE NORMAL POOL ELEVATION.
- F. CONTRACTOR TO INSTALL TRASH GUARD ON THE ASHLAND POND OUTLET.
- G. CONTRACTOR TO COMPLETE TRAIL CONNECTION TO NW STATE STREET.

POLLUTION PREVENTION NOTES

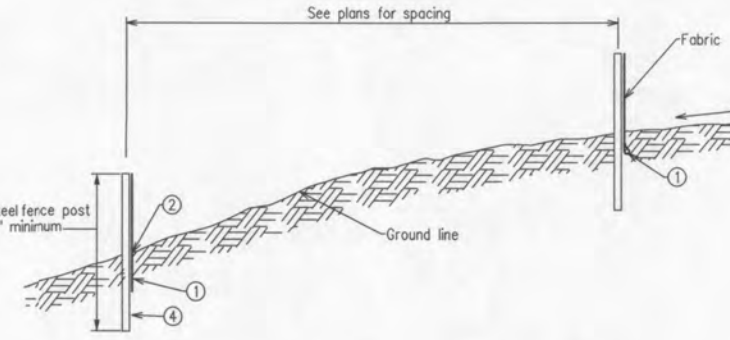
- A. SEE SHEET 2, PROJECT INFORMATION FOR POLLUTION PREVENTION NOTES.

GRADING PLAN NOTES

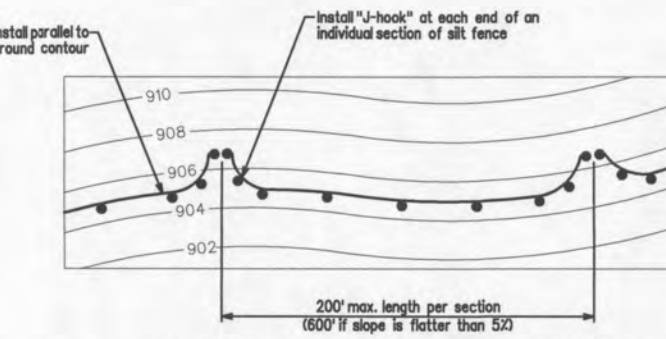
- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. PROTECT EXISTING UTILITIES FROM CONSTRUCTION DAMAGE. ANY DAMAGE THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS WITHOUT ADDITIONAL COMPENSATION.
- C. PRIOR TO GRADING, THE OWNER/ CONTRACTOR SHALL OBTAIN A GRADING PERMIT.
- D. GRADES SHOWN ARE FINISHED GRADE AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- E. CONTRACTOR SHALL PROVIDE SILT FENCE AROUND ALL STORM INTAKES AND WHERE SHOWN ON THE PLAN. SILT FENCE AROUND STORM INTAKES SHALL BE MAINTAINED UNTIL PAVING AND SEEDING/ SODDING ARE COMPLETE.
- F. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF ALL SITE UTILITIES AND IMPROVEMENTS WITH THE ARCHITECTURAL MECHANICAL/ ELECTRICAL/ PLUMBING SYSTEMS INCLUDING ROUTING, CRITICAL DIMENSIONS, CONNECTIONS, AND INVERT ELEVATIONS.
- G. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
- H. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES.



TYPICAL SILT FENCE DITCH CHECK

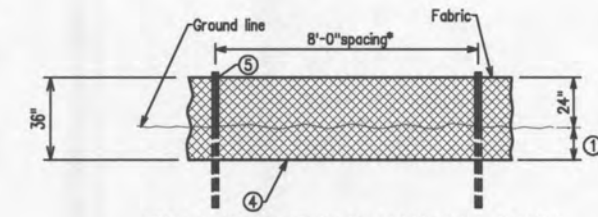


TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (Profile View)



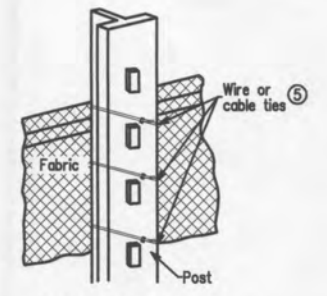
TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (Plan View)

- GENERAL NOTES:
1. Install all fence according to the requirements of Section 9040.3.07 and at locations shown in the contract documents or as directed by the Jurisdictional Engineer.
2. Insert 12 in. of fabric a minimum of 6 in. deep (fabric may be folded below the ground line).
3. Compact ground by driving along each side of the silt fence as required to adequately secure the fabric in the trench to prevent pullout and flow under the fence.
4. In ditches, extend all fence up side slope to the bottom elevation at the end of the fence is a minimum of 2 in. higher from the top of the fence in the low point of the ditch.
5. Steel posts to be embedded 20 in. unless otherwise directed by the Jurisdictional Engineer.
6. Secure top of engineering fabric to steel posts using wire or plastic ties (50 lb. min.). See details of "Attachment to Posts."



DETAILS OF SILT FENCE ON LONGITUDINAL SLOPES

*Reduce post spacing to 5'-0\"/>



ATTACHMENT TO POST



1 SILT FENCE DETAIL
5 NO SCALE

SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

GRADING AND EROSION CONTROL PLAN

SNYDER & ASSOCIATES, INC. I



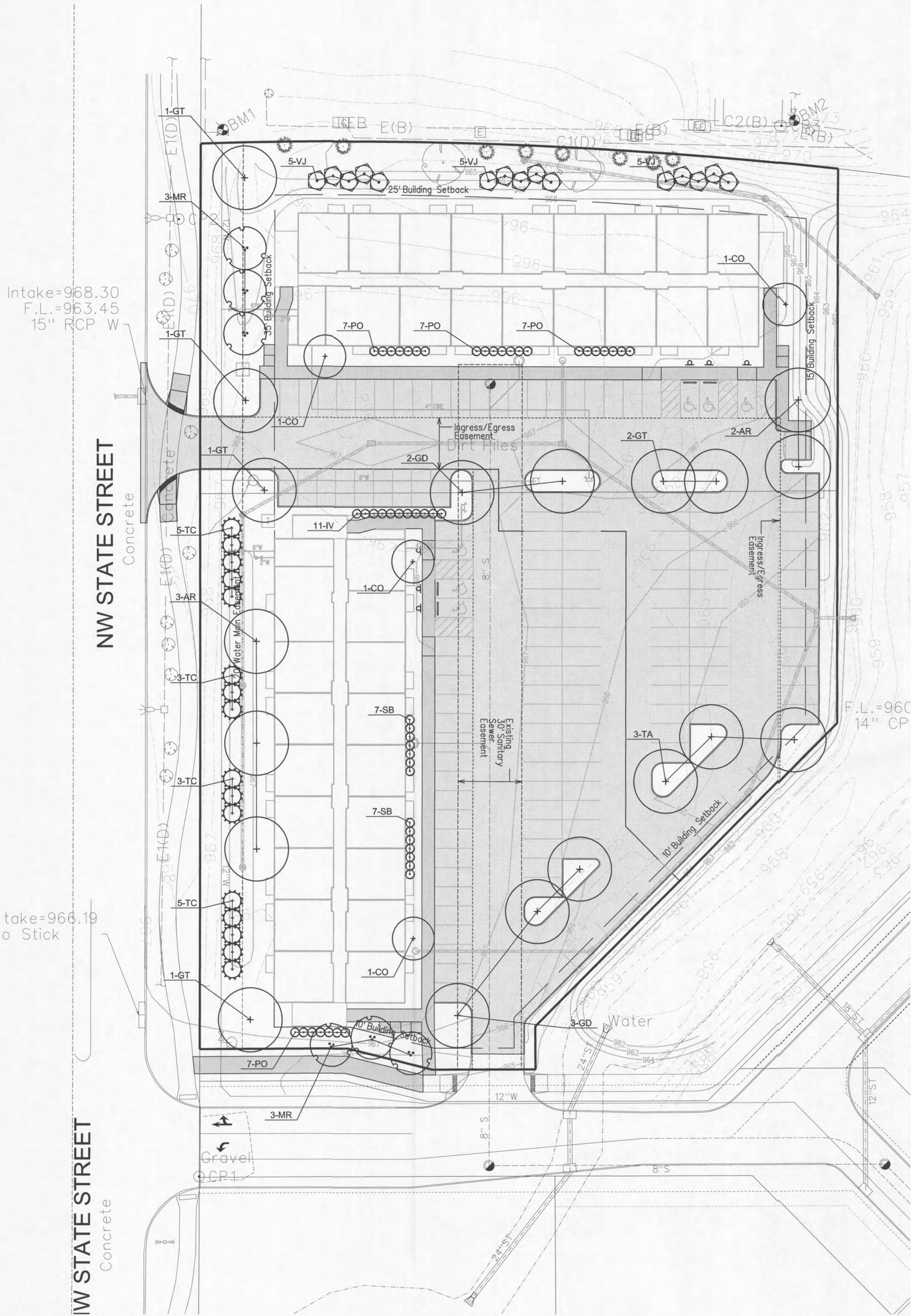
Project No: 117.0777
Sheet 5 of 7

ANKENY, IOWA

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MARK	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	10/06/17	KSS
Engineer:	KSS	Checked By:	EDC
Technician:	RMM	Date:	09/15/17
Project No:	117.0777	Field Bk:	
		Page:	5 of 7

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PLANT SCHEDULE

KEY BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
AR Acer rubrum 'Franksred'	RED SUNSET MAPLE	1 1/2" CAL.	B&B
CO Celtis occidentalis 'Prairie Pride'	PRAIRIE PRIDE HACKBERRY	1 1/2" CAL.	B&B
GT Gleditsia triacanthos var 'Inermis 'Draves'	STREET KEEPER HONEYLOCUST	1 1/2" CAL.	B&B
OD Ostrya virginica 'Laurens'	ESPRESSO KENTUCKY COFFEETREE	1 1/2" CAL.	B&B
MR Malus 'Royal Raintree'	ROYAL RANDOLPHS CRABAPPLE	8" HL.	B&B
TA Tilia americana 'Boulevard'	BOULEVARD AMERICAN LINDEN	1 1/2" CAL.	B&B
PO Physocarpus opulifolius 'Little Devil'	LITTLE DEVIL NINEBARK	18" HL.	CONT. (4' O.C.)
SB Spiraea x bumalda 'Anthony Waterer'	ANTHONY WATERER SPIREA	18" HL.	CONT. (4' O.C.)
TC Taxus cuspidata 'Fastigata'	CAPTAIN YEW	4" HL.	CONT. (8' O.C.)
VI Viburnum X juddi	JUDD VIBURNUM	36" HL.	CONT. (8' O.C.)

PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING:
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- E. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS UNLESS OTHERWISE DIRECTED TO PROVIDE ROCK MULCH. PROVIDED MULCH TO MIN. 3-FOOT PERIMETER. CONTRACTOR TO PROVIDE A VERTICAL CUT EDGE TO 4" DEPTH INTO FINISH GRADE TO DEFINE THE MULCH BED LIMITS UNLESS DEFINED BY PAVEMENT OR CURB. VERIFY TYPE OF EDGER WITH OWNER.
- F. SEED ALL OTHER AREAS DISTURBED BY CONSTRUCTION WITH TYPE 1 SUDAS LAWN SEED MIX IN ACCORDANCE WITH PROPOSED EROSION CONTROL PLANS UNLESS OTHERWISE NOTED. WARRANTY FOR A PERIOD OF ONE YEAR FROM PROJECT ACCEPTANCE.

LANDSCAPE REQUIREMENTS AND CALCULATIONS

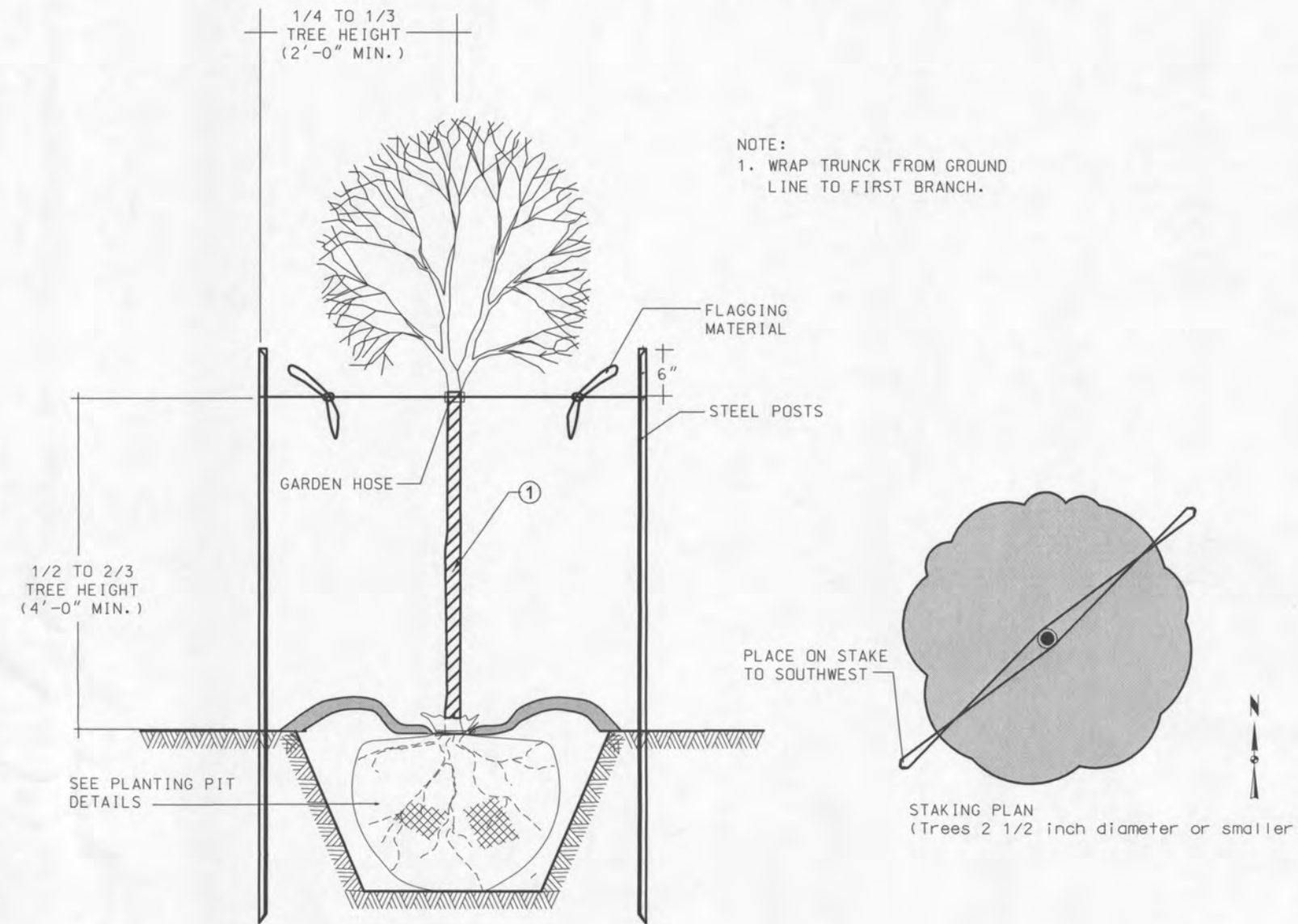
LANDSCAPE REQUIREMENTS AND CALCULATIONS:
(AS PER CITY OF ANKENY SITE PLAN OPEN SPACE AND LANDSCAPING REQUIREMENTS)

OPEN SPACE REQUIREMENTS:
115,582 SF (2.65 AC.) OVERALL PROPERTY X 20% MIN. OPEN SPACE = 23,116.40 SF
OPEN SPACE REQ'D
TOTAL HARDSURFACE (DRIVES, PARKING AND BUILDINGS) 77,776 SF
(37,806 SF) = 32.71% TOTAL OPEN SPACE PROVIDED

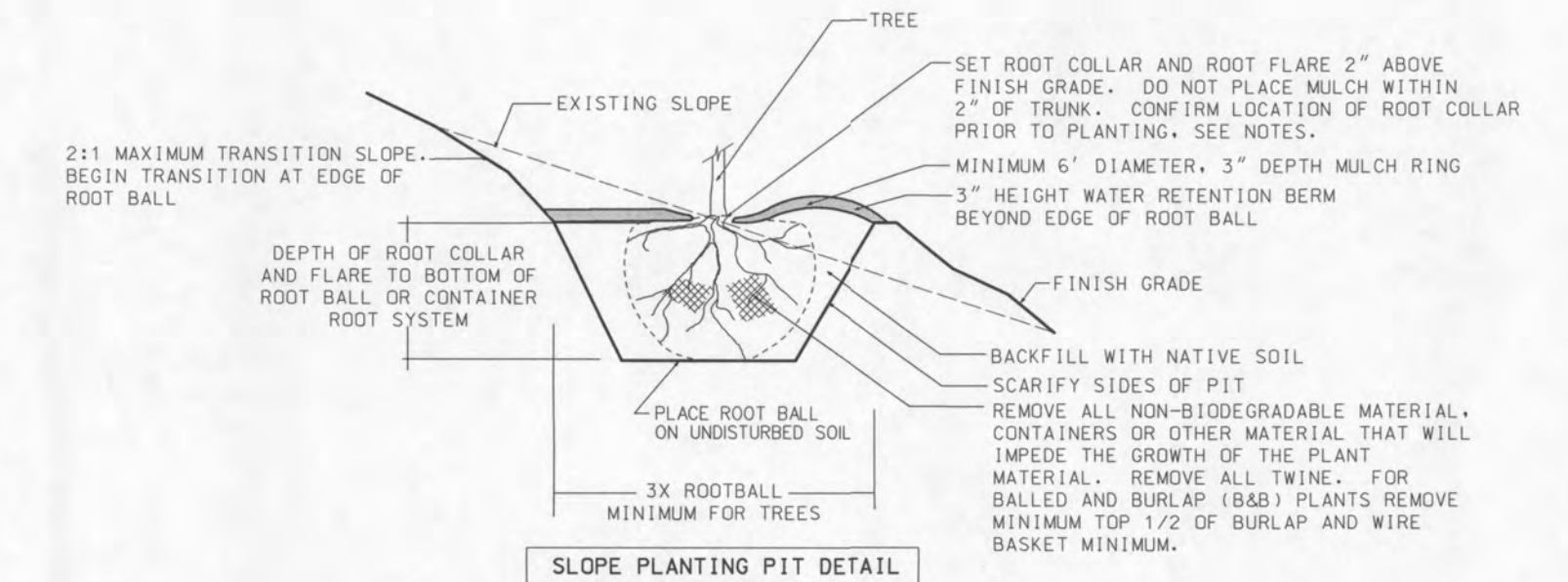
OPEN SPACE LANDSCAPE REQUIREMENTS:
23,116.40 SF / 3,000 SF = 7.70 PLANT UNITS REQ'D.
7.70 PU X 2 TREES = 15.40 TREES REQ'D (XX PROVIDED)
---- (X) OVERSTORY TREES PROVIDED

7.70 PU X 6 SHRUBS = 46.20 SHRUBS REQ'D (XX PROVIDED)

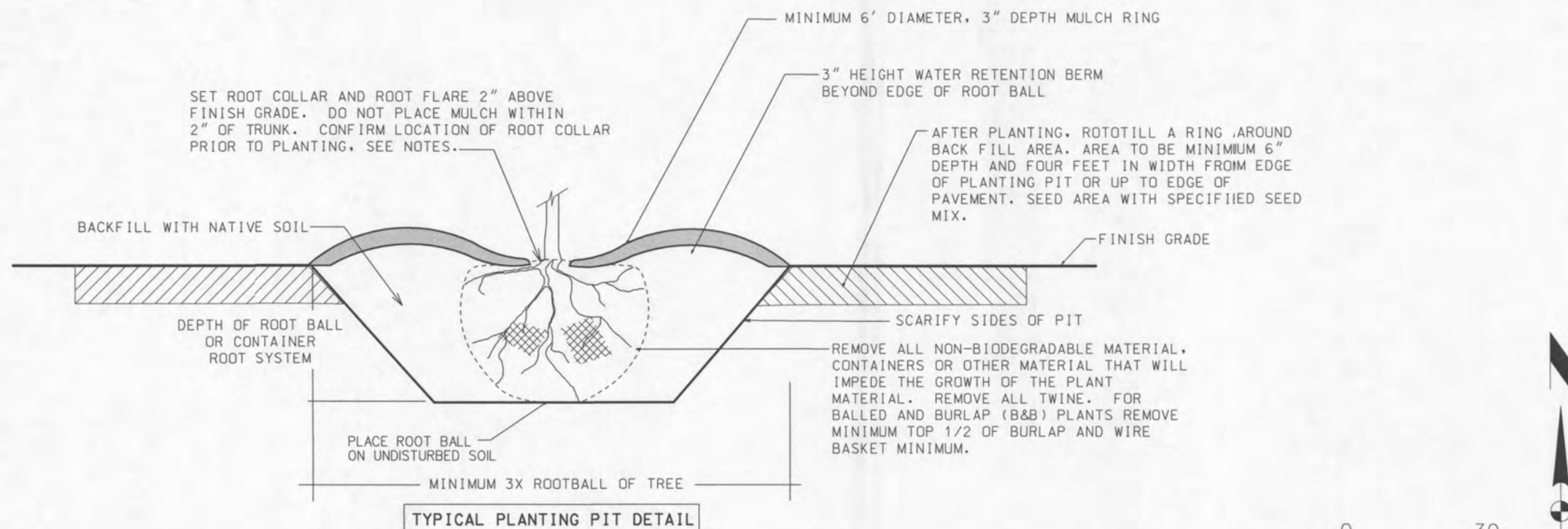
PAVEMENT SHADING REQUIREMENTS FOR NEW PAVEMENT:
48,595 SF PAVEMENT X 20% = 9,719 SF
9,719 / 706 SF = 13.76 OVERSTORY TREES REQ'D (14 PROVIDED)
---- (14) PAVEMENT OVERSTORY TREES PROVIDED WITHIN 15' OF PAVED AREA ON 2 OR MORE SIDES (COUNTED AT 100%)
---- 9,884 SF PAVEMENT SHADING PROVIDED



1 DECIDUOUS TREE STAKING DETAIL
6 NO SCALE



2 PLANTING PIT DETAILS
6 NO SCALE



SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

PLANTING PLAN



Project No: 117.0777

Sheet 6 of 7

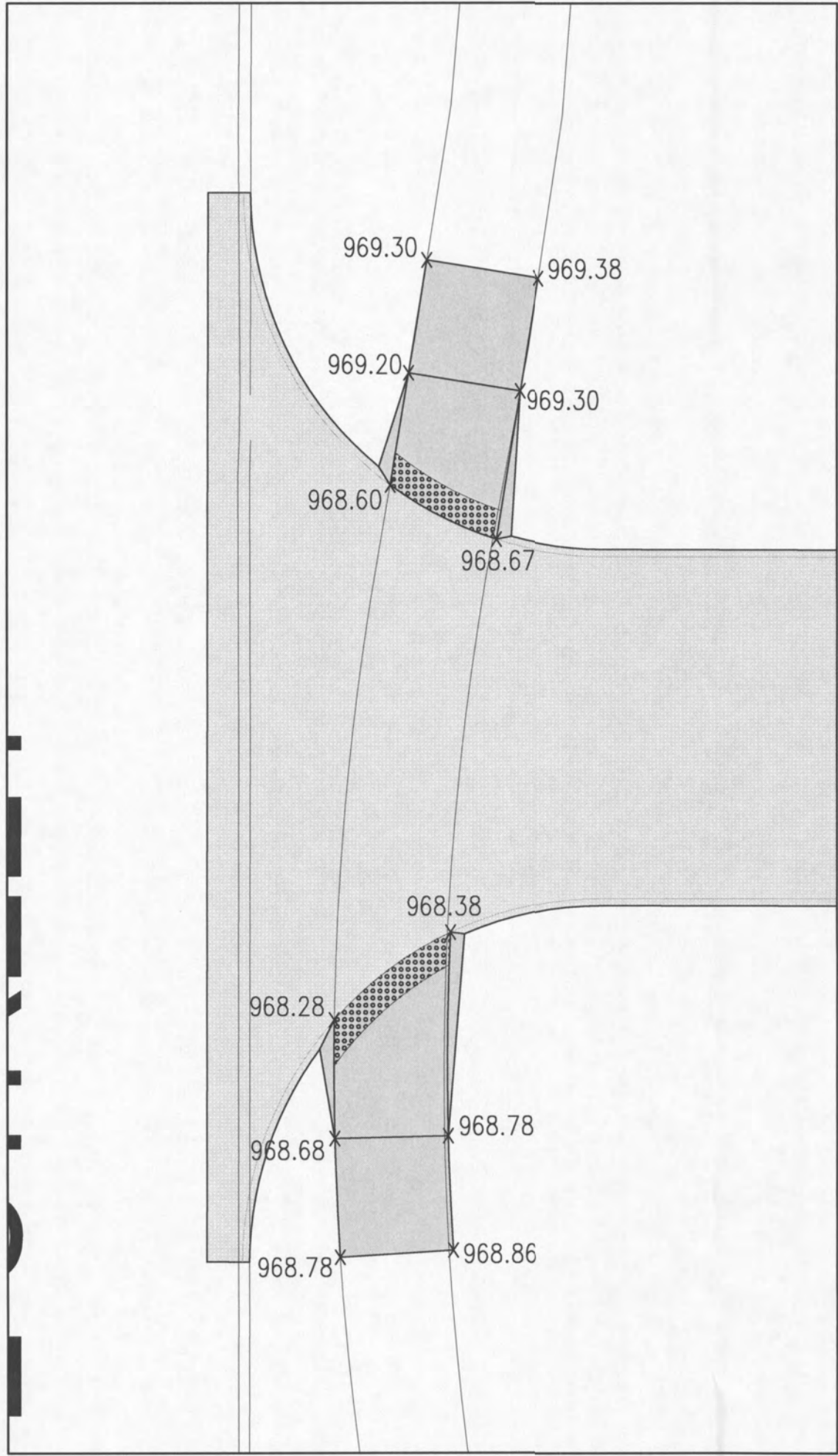
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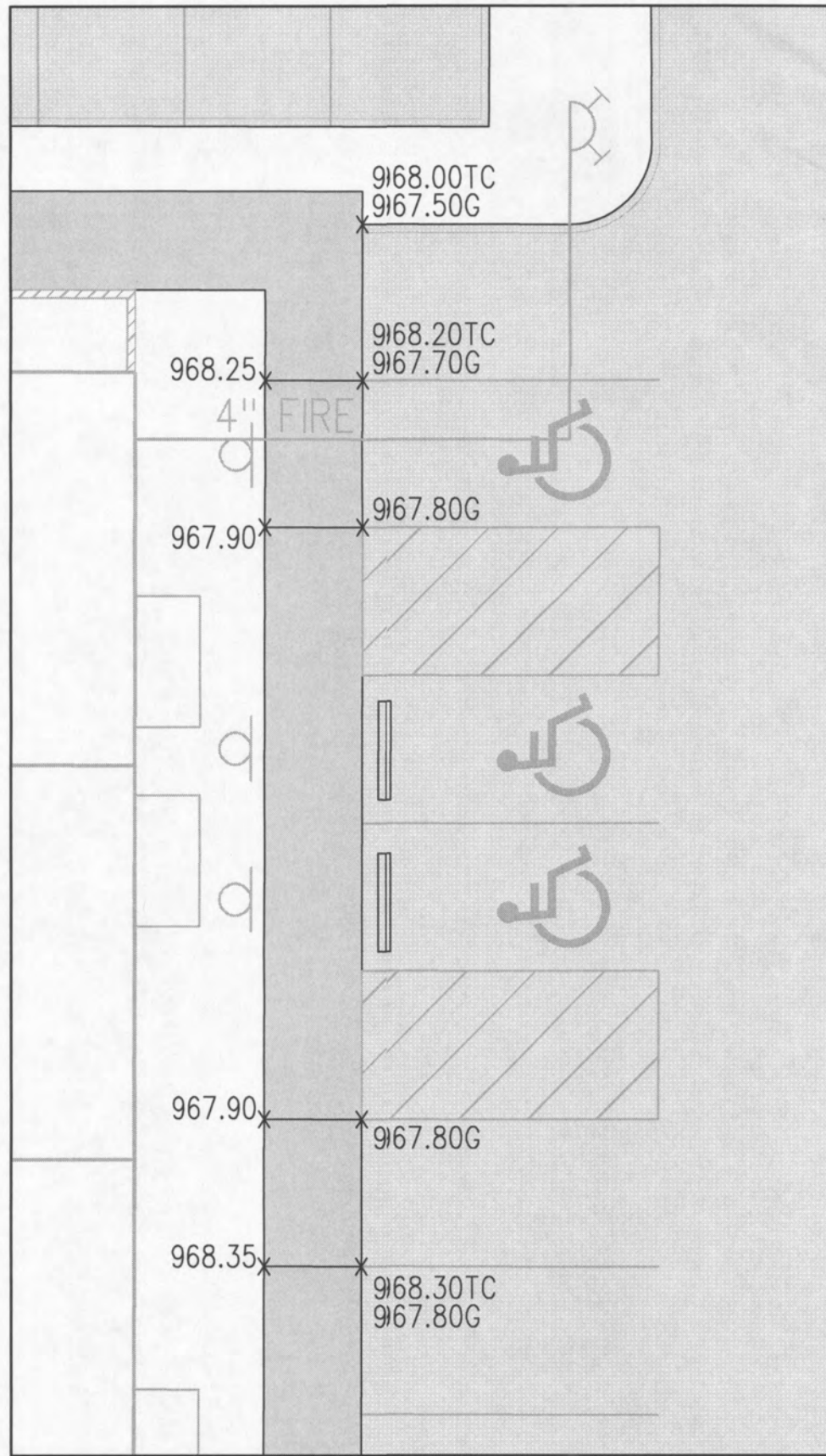
ANKENY, IOWA

MARK	REVISION	DATE	BY
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Engineer:	Checked By:	Scale:	Field Bk:
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Technician:	Date:	Project No:	Sheet
	09/15/17	117.0777	6 of 7

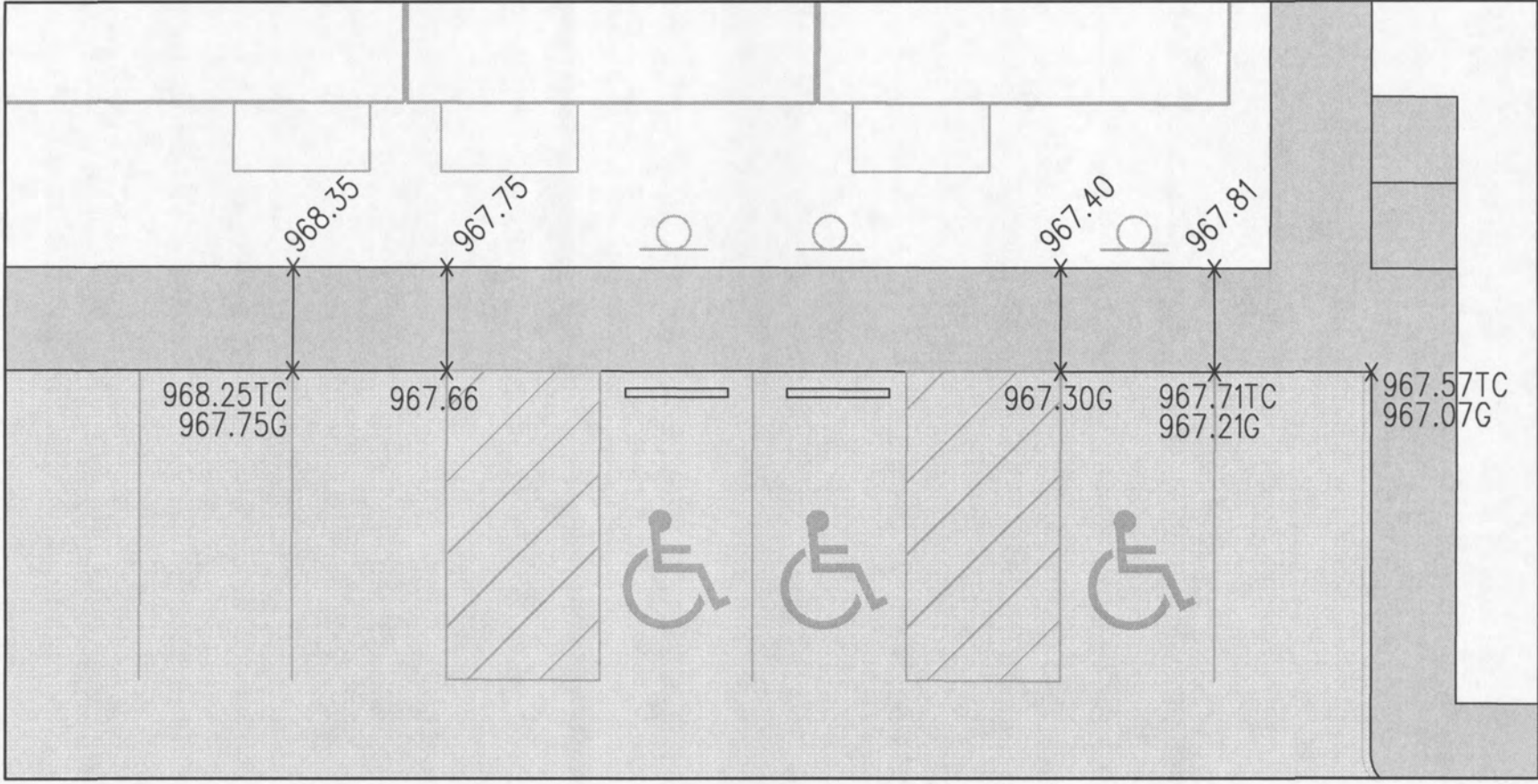
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V:\Projects\2017\117.0777.DWG\ADD.SP_1170777_0701.dgn



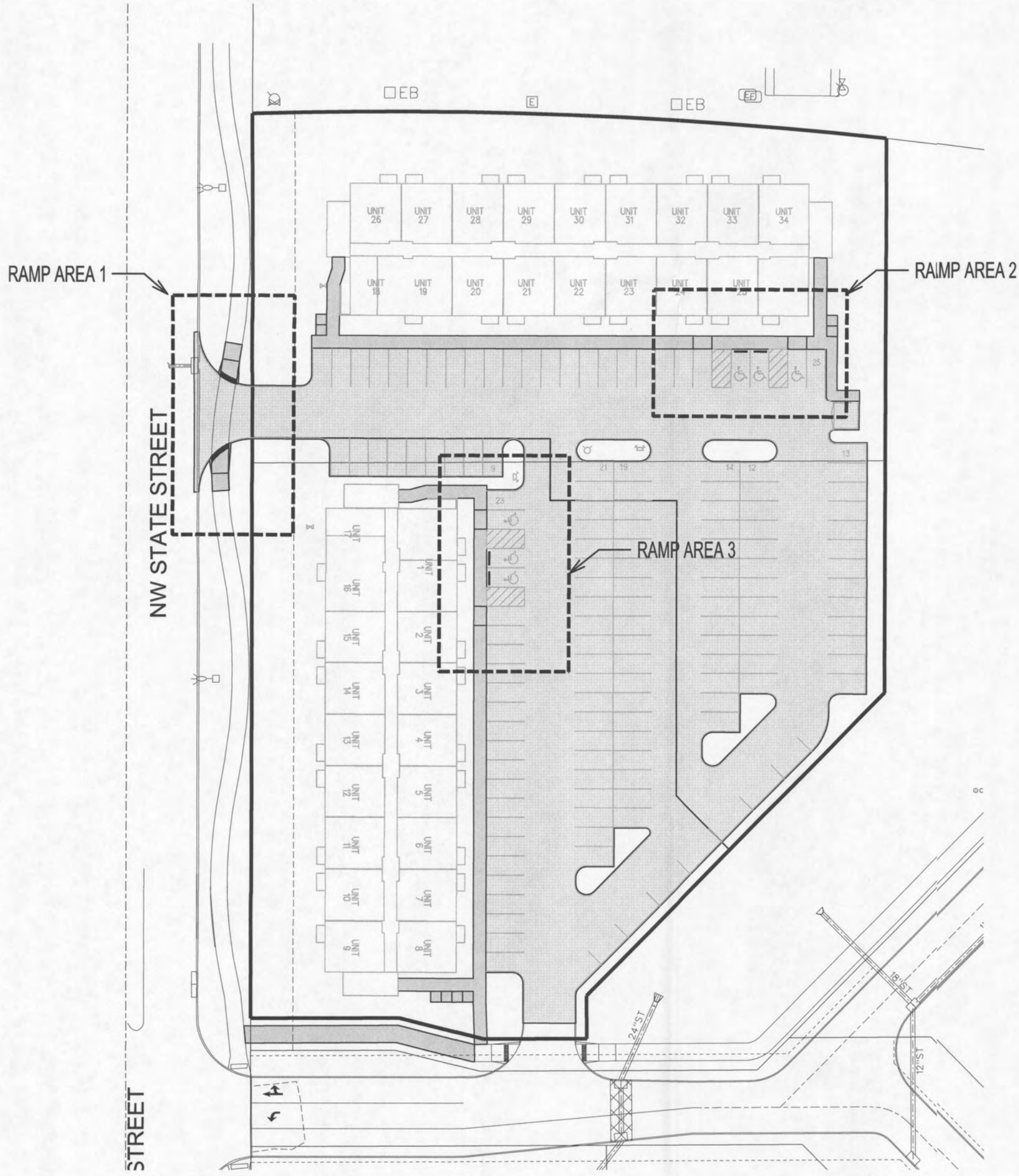
SIDEWALK RAMP AREA 1 DETAIL 1"=10'



SIDEWALK RAMP AREA 3 DETAIL 1"=10'



SIDEWALK RAMP AREA 2 DETAIL 1"=10'



SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

SITE DETAILS

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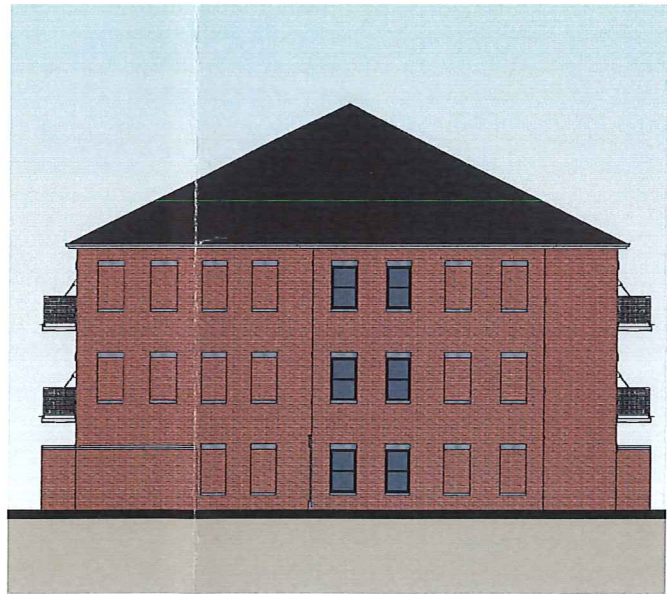
Project No: 117.0777

Sheet 7 of 7

MARK	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	10/06/17	KSS
Engineer:	KSS	Checked By:	EDC
Technician:	RMM	Date:	09/15/17
Field Bk:			
Project No:	117.0777		
			Sheet 7 of 7



1 NORTH/ SOUTH ELEVATION
SCALE: 3/64" = 1'-0"

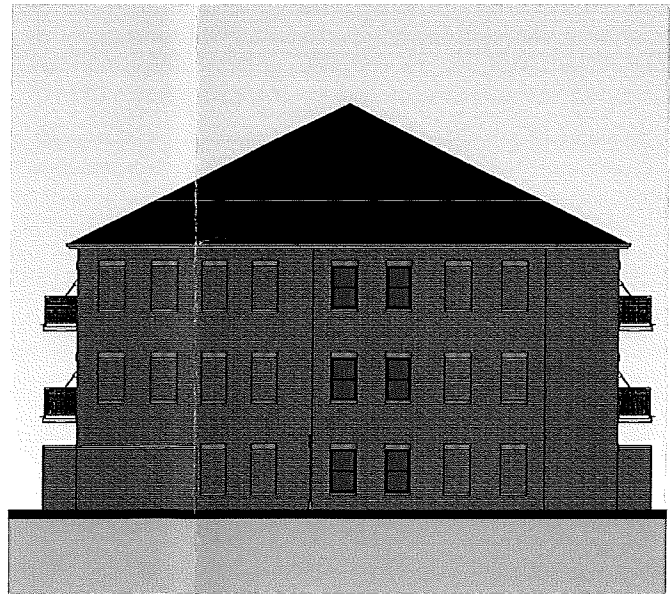


2 EAST/ WEST ELEVATION
SCALE: 3/64" = 1'-0"

MATERIAL SCHEDULE	
TYPE MARK	DESCRIPTION
B1	BRICK (RUNNING BOND)
R1	ASPHALT SHINGLES
T1	CAST STONE HEADER W/ KEYSTONE
T2	CAST STONE HEADER
T3	CAST STONE SILL



1 NORTH/ SOUTH ELEVATION
SCALE: 3/64" = 1'-0"



2 EAST/ WEST ELEVATION
SCALE: 3/64" = 1'-0"

MATERIAL SCHEDULE	
TYPE MARK	DESCRIPTION
B1	BRICK (RUNNING BOND)
R1	ASPHALT SHINGLES
T1	CAST STONE HEADER W/ KEYSTONE
T2	CAST STONE HEADER
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JCorp, Inc.
consulting engineers

P.O. Box 169

Huxley, IA 50124

Phone: (515) 697-6457

Fax: (515) 697-6461

www.jcorp.biz

ARCHITECTURAL
CONSTRUCTION

STRUCTURAL
ENGINEERING

PROJECT: **Signature Village Plat 3, Lots 15-16**
Ankeny, IA 50023

REVISIONS:



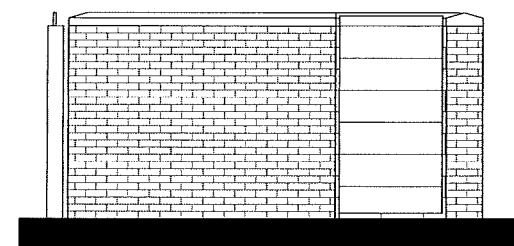
DATE: 2017-10-04

PROJECT NO: 17-062

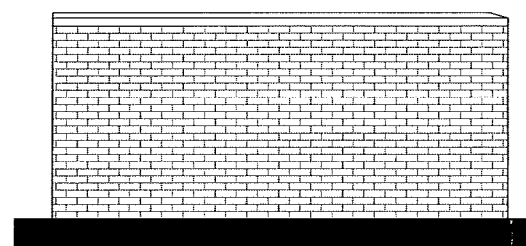
CONTENTS:
Floor Plans

SHEET NO:

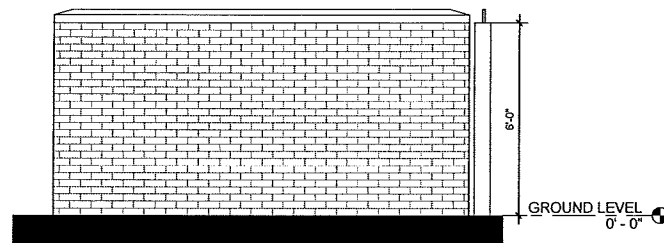
A1



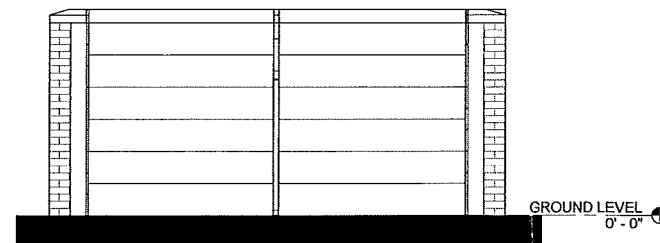
6 RIGHT ENCLOSURE
SCALE: 3/8" = 1'-0"



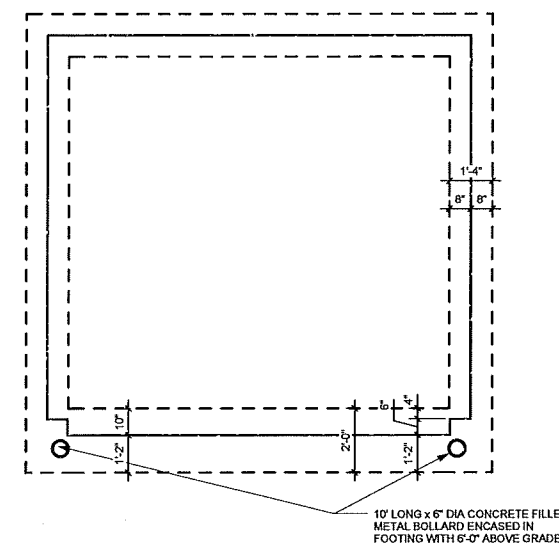
4 BACK ELEVATION
SCALE: 3/8" = 1'-0"



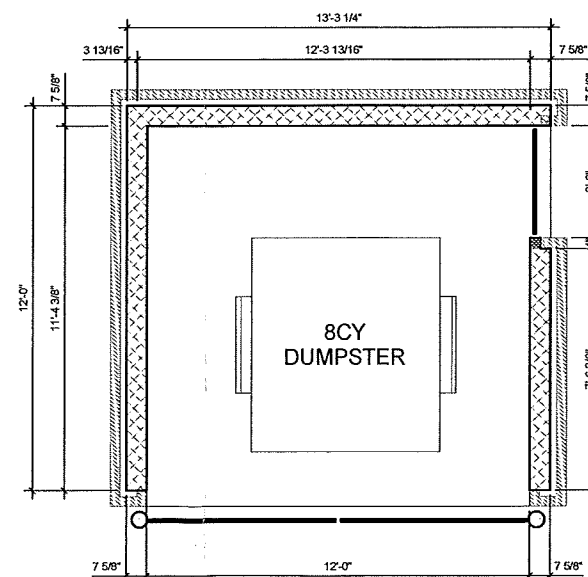
5 LEFT ELEVATION
SCALE: 3/8" = 1'-0"



3 FRONT ELEVATION
SCALE: 3/8" = 1'-0"



2 FOUNDATION PLAN - DUMPSTER ENCLOSURE
SCALE: 3/8" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN
SCALE: 3/8" = 1'-0"