







Plan and Zoning Commission Staff Report

Meeting Date: October 17, 2017

Agenda Item: 2055 and 2125 NW State Street – Signature Village Apartments

Report Date: October 12, 2017 **Prepared by:** Eric Carstens, AICP

Planning Administrator

Staff Request:

That the Plan and Zoning Commission approve the Site Plan for the Signature Village Apartments at 2055 and 2125 NW State Street, subject to City Council approval of the Signature Village Plat 3 final plat.

Project Summary:

The owner, Harvester Land Holdings, LC, is proposing to construct two 53-unit apartment buildings on Lots 15 and 16, Signature Village Plat 3. The property is located east of NW State Street, approximately 600 feet north of NW 18th Street. The site is zoned Ashland Meadows PUD.

The property will be accessed from a full access point just south of the development that provides additional access to the larger, mostly existing development. There will also be a right-in/right-out access added along NW State Street for this specific project.

There are two, three-story buildings proposed, each with 53 units. These two buildings will be constructed of brick and asphalt shingles, and will be nearly identical to the existing Bricktowne apartments to the east, which are also owned by the applicant. There is a dumpster enclosure proposed along the east edge of the development. The enclosure will be constructed of brick to match the apartment buildings.

The proposed development meets the parking requirements of the code. Storm water detention will be provided in the existing pond to the east. The proposed landscaping plan complies with all applicable regulations.



October 6, 2017

Planning and Zoning Commission City of Ankeny 220 West 1st Street Ankeny, Iowa 50021

0CT - 6 2017 CITY OF ANKENY

RE:

SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16 SITE PLAN AND FINAL PLAT RESUBMITTAL S&A PROJECT NO. 117.0777.01

Dear Planning and Zoning Commission:

On behalf of Harvester Land Holdings LC, please find accompanying the revised Site Plan, Final Plat and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications. We respectfully request the City's review and approval of the documents. The development is proposed for two apartment buildings consisting of 53 units with associated utility and site infrastructure. Upon approval, construction is proposed to being immediately weather permitting.

As requested, we have addressed all items on the Tech Review comments through plan modifications and discussions with Staff.

Please find accompanying the following items:

- 6 copies of the Site Plan
- 6 copies of the Final Plat
- 2 copies of the dumpster enclosure detail
- 1 copy of the revised drainage report
- Response letter
- NPDES General Permit #2
- COSESCO application and fee
- 1 copy of the SWPPP

Please feel free to contact me at your convenience should you have any questions or comments. Thanks.

Sincerely, SNYDER AND ASSOCIATES, INC.

Eric D. Cannon, P.E.

Cc: Dickson Jensen, Harvester Land Holdings LC

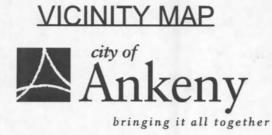
SITE PLANS FOR

SIGNATURE VILLAGE PLAT 3 LOTS 15 & 16

2055/2125 NW STATE STREET ANKENY, POLK COUNTY, IOWA



NOT TO SCALE



INDEX OF SHEETS

- 1. TITLE SHEET
- 2. PROJECT INFORMATION
- 3. DIMENSION PLAN
- 4. UTILITY PLAN
- 5. GRADING AND EROSION CONTROL PLAN
- 6. PLANTING PLAN
- 7. SITE DETAILS

OWNER/APPLICANT

HARVESTER LAND HOLDINGS LC 4611 MORTENSEN ROAD AMES, IOWA 50014 PHONE: (515) 233-2752 CONTACT: DICKSON JENSEN RECEIVED

OCT - 6 2017



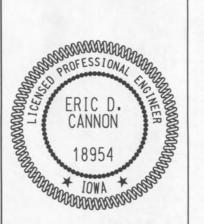
I mereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa.

Laria F. Guldenpfennig, ASLA Date

Liciense Number 668

Pageis or sheets covered by this seal:

Page 6



License Expires: June 30, 2018

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Eric D. Cannon, P.E. Date
License Number 18954
My L.icense Renewal Date is December 31, 2017
Pages or sheets covered by this seal:
Pages 1-5, 7

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Project No: 117.0777

Sheet 1 of 7

Sanitary Sewer with Size

Test Hole Location for SUE w/ID

Duct Bank

(*) Denotes the survey quality service level for utilities Sanitary Manhole 12" ST Storm Sewer with Size Storm Manhole Single Storm Sewer Intake Double Storm Sewer Intake Fire Hydrant Fire Hydrant on Building Water Main Valve Water Service Valve Well Utility Pole Guy Anchor 0-0 Utility Pole with Light Utility Pole with Transformer Street Light Yard Light Electric Box Electric Transformer Traffic Sign Communication Pedestal Communication Manhole Communication Handhole Fiber Optic Manhole Fiber Optic Handhole Gas Valve Gas Manhole Gas Apparatus Fence Post or Guard Post Underground Storage Tank (UST) Above Ground Storage Tank Satellite Dish Mailbox Soil Boring

GENERAL NOTES

- A. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
- B. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE 2017 URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOILS REPORTS PREPARED BY OTHERS.
- C. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
- D. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.
- E. NOTIFY OWNER, ENGINEER, AND CITY OF ANKENY AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- F. CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.
- G. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATE'S AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- H. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.
- I. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
- J. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
- K. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
- L. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- M. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FIROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.
- N. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTANENCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
- O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
- P. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, CITY ANKENY, AND) THE OWNER PRIOR TO CONSTRUCTION.
- Q. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMIUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION

GENERAL USE TOWNHOMES/APARTMENTS

ZONING

ASHLAND MEADOWS P.U.D.

PROPERTY DESCRIPTION

LOT 15 AND 16, SIGNATURE VILLAGE PLAT 3 BEING AN OFFICIAL PLAT IN THE CITY OF ANKENY, POLK COUNTY, PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF

BULK REGULATIONS

YARD REQUIREMENTS: FRONT: 35 FEET SIDE: 25 FEET REAR: 35 FEET MAXIMUM HEIGHT: 45 FEET UNDERLYING ZONING: C-1 RESTRICTED

PARKING SUMMARY:

1 STALL PER BEDROOM

54 BEDROOMS = 54 STALLS 1 STALL PER 4 UNITS = 53/4 = 14 STALLS OTAL STALLS REQUIRED = 68 STALLS
OTAL STALLS PROVIDED: = 72 (INCLUDING 3 HANDICAP ACCESSIBLE STALLS)

LOT 16:

PARKING REQUIRED: 1 STALL PER BEDROOM 54 BEDROOMS = 54 STALLS 1 STALL PER 4 UNITS = 53/4 = 14 STALLS OTAL STALLS REQUIRED = 68 STALLS
OTAL STALLS PROVIDED: = 71 (INCLUDING 3 HANDICAP ACCESSIBLE STALLS)

ERU CALCULATION (LOT 15) 39,905 SF IMPERVIOUS SURFACE / 4,000 SF PER ERU

ERU CALCULATION (LOT 16)

45,400 SF IMPERVIOUS SURFACE / 4,000 SF PER ERU 12 ERU

PROPERTY ADDRESS 2055/2125 NW STATE STREET

BUILDING DESCRIPTION

BUILDING HEIGHT = 43' FLOOR SF = 14,041 SF

POLLUTION PREVENTION NOTES

- A. POLLUTION PREVENTION AND EROSION PROTECTION
 - CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.
- 2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER. FURTHER, IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJIOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.

B. STORM WATER DISCHARGE PERMIT

- THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 INCLUDING CREATING OR MAINTAINING THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND POSSIBLY OBTAINING THE GENERAL PERMIT COVERAGE FROM THE IDNR.
- 2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP', SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. IFAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.
- A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RET'AIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

C. POLLUTION PREVENTION PLAN:

- THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENITS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING COINSTRUCTION.
- THE SWPPP ILLUSTRATES GENERAL MEASURES AND EBEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES; PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FIROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.
- THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSILY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE, WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:
- UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.
- INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.
- PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.
- MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.
- INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EWERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITT'ED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION, REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.
- PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.
- INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.
- RESPREAD A MINIMUM OF 6 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.
- STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, OR SOD AS SOON AS PRACTICAL UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES NO LATER THAN 14 CALENDAR DAYS AFTER CONSTRUCTION ACTIVITY HAS FINISHED OR IS PLANNED TO BE DELAYED MORE THAN 21 CALENDAR DAYS.
- COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELINIG / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSISIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

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Project No: 117.0777

& ASSOCIATES

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UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.

--8" S(*)-- <u>8" S</u>

--DUCT(*)--

QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS. QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

C1-COMMUNICATION

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.



AUREON NETWORK SERVICES

BLACK HILLS ENERGY ANKENY

joe.mcareavy@blackhillscorp.com

ANKENY COMMUNITY SCHOOLS

JEFF KLOCKO

515-830-0445

jeff@netins.com

JOE MCAREAVY

515-343-2030

DARCY COWAN

515-289-8691

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 551303265

W1-WATER	CITY OF ANKENY KEN PLAGER 515-965-6484 kplager@ankenyiowa.gov	CLEAR PER MAP
E1-ELECTRIC	MIDAMERICAN ENERGY	NO RESPONSE

MIDAMERICAN ENERGY NO RESPONSE THERESA MCGUIRE 515-252-6632 MECDSMDesignLocates@midamerican.com

CENTURYLINK NO RESPONSE RAY MONTOYA 720-578-8090

ray.montoya@centurylink.com C2-COMMUNICATION MEDIACOM COMMUNICATIONS PAUL MAY 515-246-2252

pmay@mediacomcc.com

CONTROL POINTS

LOCAL COORDINATE SYSTEMI NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

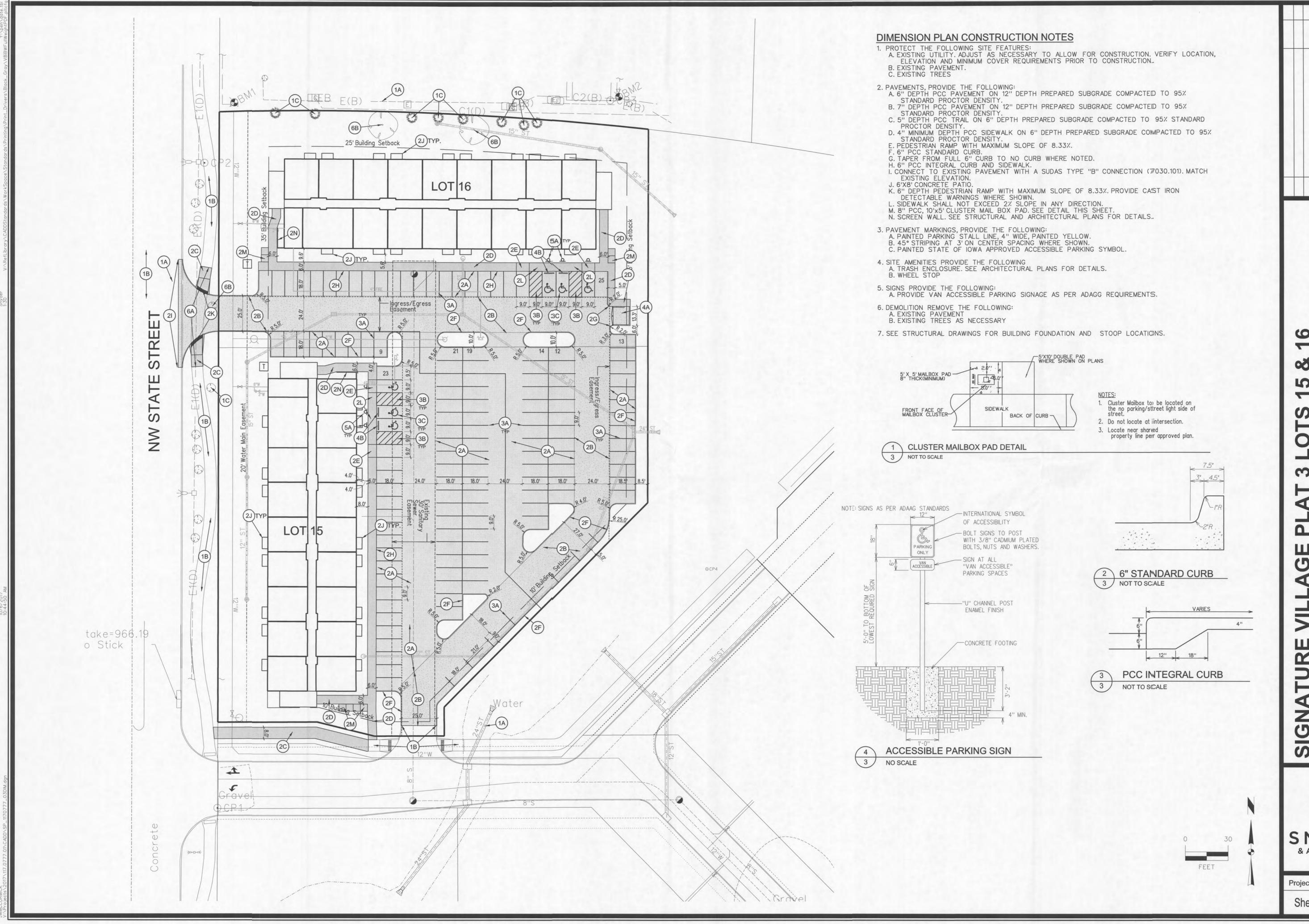
- CP1 N=10627.33 E=100611.40 CUT "X" IN CONCRETE ON SOUTH SIDE OF ENTRANCE ON EAST
- CP2 N=11075.36 E=10052.26
 CUT "X" IN WEST EDGE OF CONCRETE SIDEWALK ON EAST SIDE OF NW STATE STREET AT LIGHT POLE, NORTHWEST CORNER OF
- CP3 N=11119.20 E=10335.75 CUT "X" ON BACK OF CURB AT SOUTHEAST END OF NW CHAPEL LANE, NORTH CENTER OF SITE.

SIDE OF NW STATE STREET, SOUTHWEST OF SITE.

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A) IARTN DERIVED - US SURVEY FEET

- BM1 ELEV=970.33 ARROW ON HYDRANT ON EAST SIDE OF NW STATE STREET, NORTHWEST CORNER OF SITE.
- BM2 ELEV=974.36 ARROW ON HYDRANT AT SOUTHEAST END OF NW CHAPEL LANE, NORTH CENTER OF SITE.



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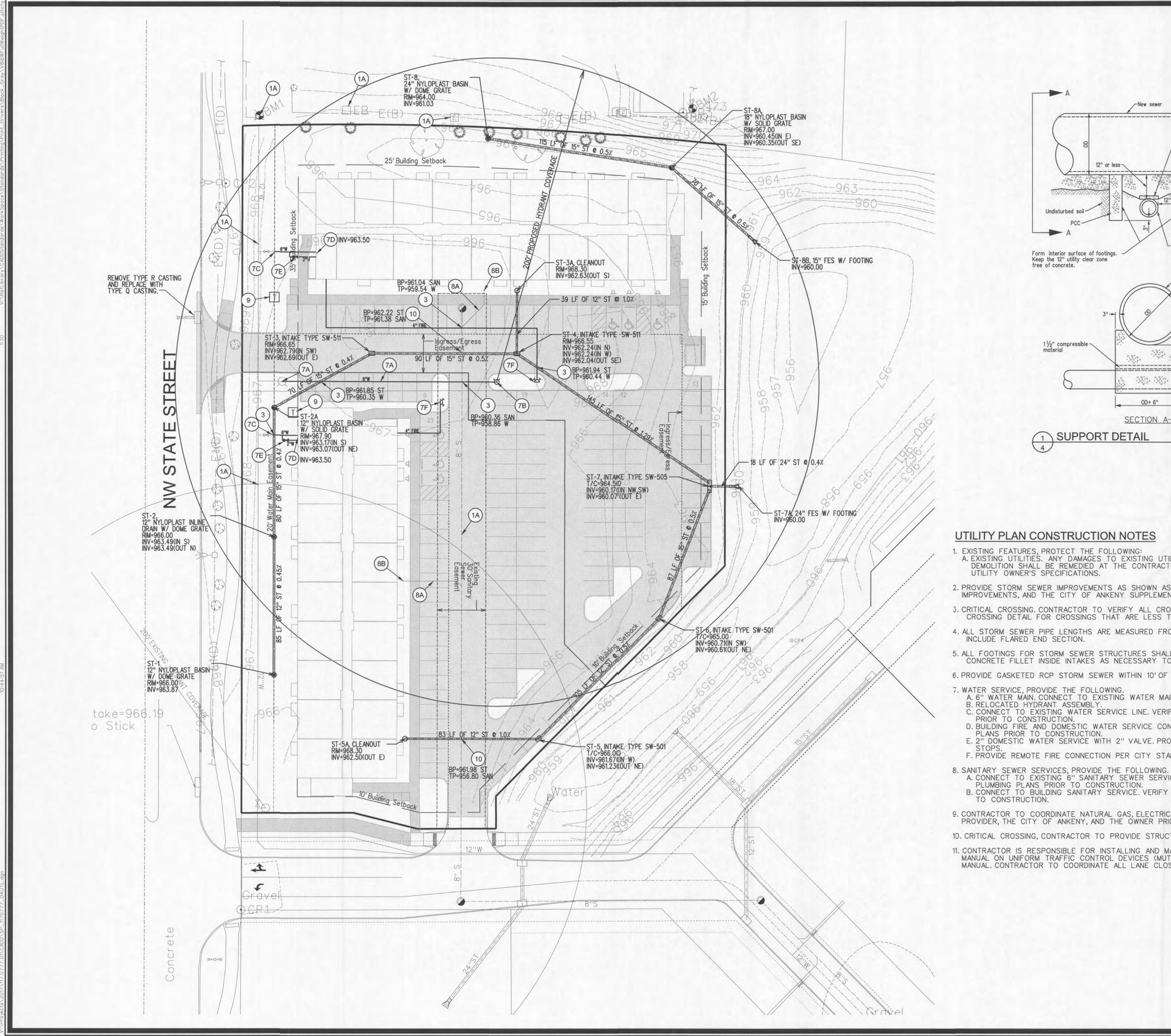
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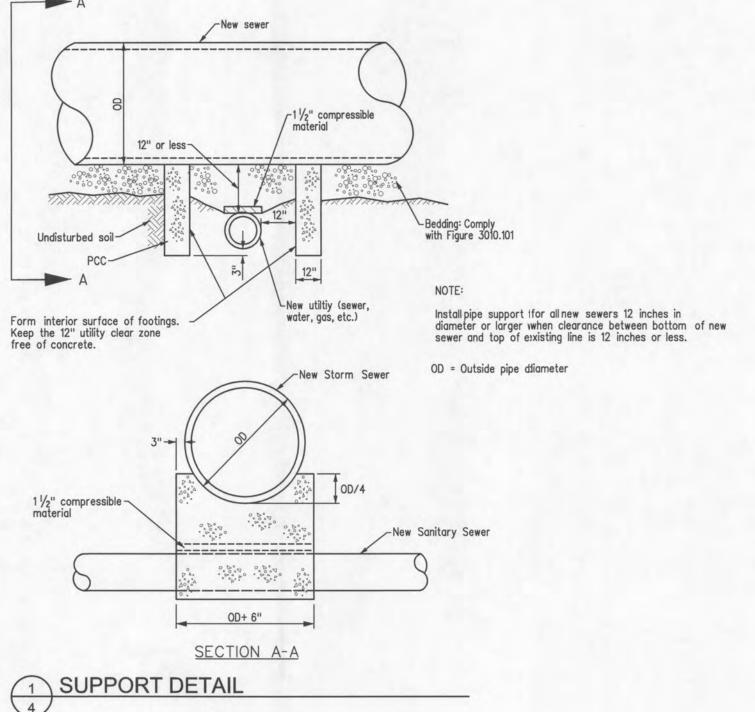
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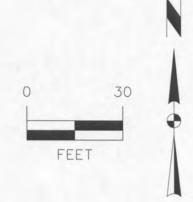
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UTILITY PLAN CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
 A. EXISTING UTILITIES. ANY DAMAGES TO EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR
 DEMOLITION SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE WITH THE WORK BEING PERFORMED TO THE
 UTILITY OWNER'S SPECIFICATIONS.
- 2. PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN AS PER 2017 URBAN STANDARD SIPECIFICATIONS FOR PUBLIC IMPROVEMENTS, AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS .
- 3. CRITICAL CROSSING. CONTRACTOR TO VERIFY ALL CROSSINGS AND PROVIDE 18" MINIMUM SEPARATION. SEE CRITICAL CROSSING DETAIL FOR CROSSINGS THAT ARE LESS THAN THE 18" MINIMUM SEPARATION.
- 4. ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
- 5. ALL FOOTINGS FOR STORM SEWER STRUCTURES SHALL BE A MINIMUM 42 INCHES BEL.OW FINISHED GRADE. CONCRETE FILLET INSIDE INTAKES AS NECESSARY TO FLOW LINES.
- 6. PROVIDE GASKETED RCP STORM SEWER WITHIN 10' OF WATER MAIN CROSSING.
- A. 6" WATER MAIN. CONNECT TO EXISTING WATER MAIN STUB. REMOVE AND RELOCATE HYDRANT ASSEMBLY.
- C. CONNECT TO EXISTING WATER SERVICE LINE. VERIFY LOCATION AND ELEVATION WITH BUILDING PUMBING PLANS
- D. BUILDING FIRE AND DOMESTIC WATER SERVICE CONNECTIONS. VERIFY LOCATION ANID DEPTH WITH MECHANICAL
- E. 2" DOMESTIC WATER SERVICE WITH 2" VALVE. PROVIDE CONCRETE COLLAR AROUNID WATER SERVICE CURB
- F. PROVIDE REMOTE FIRE CONNECTION PER CITY STANDARDS, STUB 4" DRYLINE TO WITHIN 5' OF BUILDING.
- A. CONNECT TO EXISTING 6" SANITARY SEWER SERVICE WYE. VERIFY LOCATION AND ELEVATIONS WITH BUILDING
- PLUMBING PLANS PRIOR TO CONSTRUCTION. B. CONNECT TO BUILDING SANITARY SERVICE. VERIFY LOCATION AND ELEVATION WITH MECHANICAL PLANS PRIOR
- 9. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, AND TELEPHONE SERVICES WITH UTILITY SERVICES PROVIDER, THE CITY OF ANKENY, AND THE OWNER PRIOR TO CONSTRUCTION.
- 10. CRITICAL CROSSING, CONTRACTOR TO PROVIDE STRUCTURAL SUPPORT AS SHOWN IN SUDAS FIGURE 3010.901.
- 11. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTDC). ALL PROPOSED SIGNS SHALL CONFORM TO THE MUTCD MANUAL. CONTRACTOR TO COORDINATE ALL LANE CLOSURES WITH THE CITY OF ANKEINY.

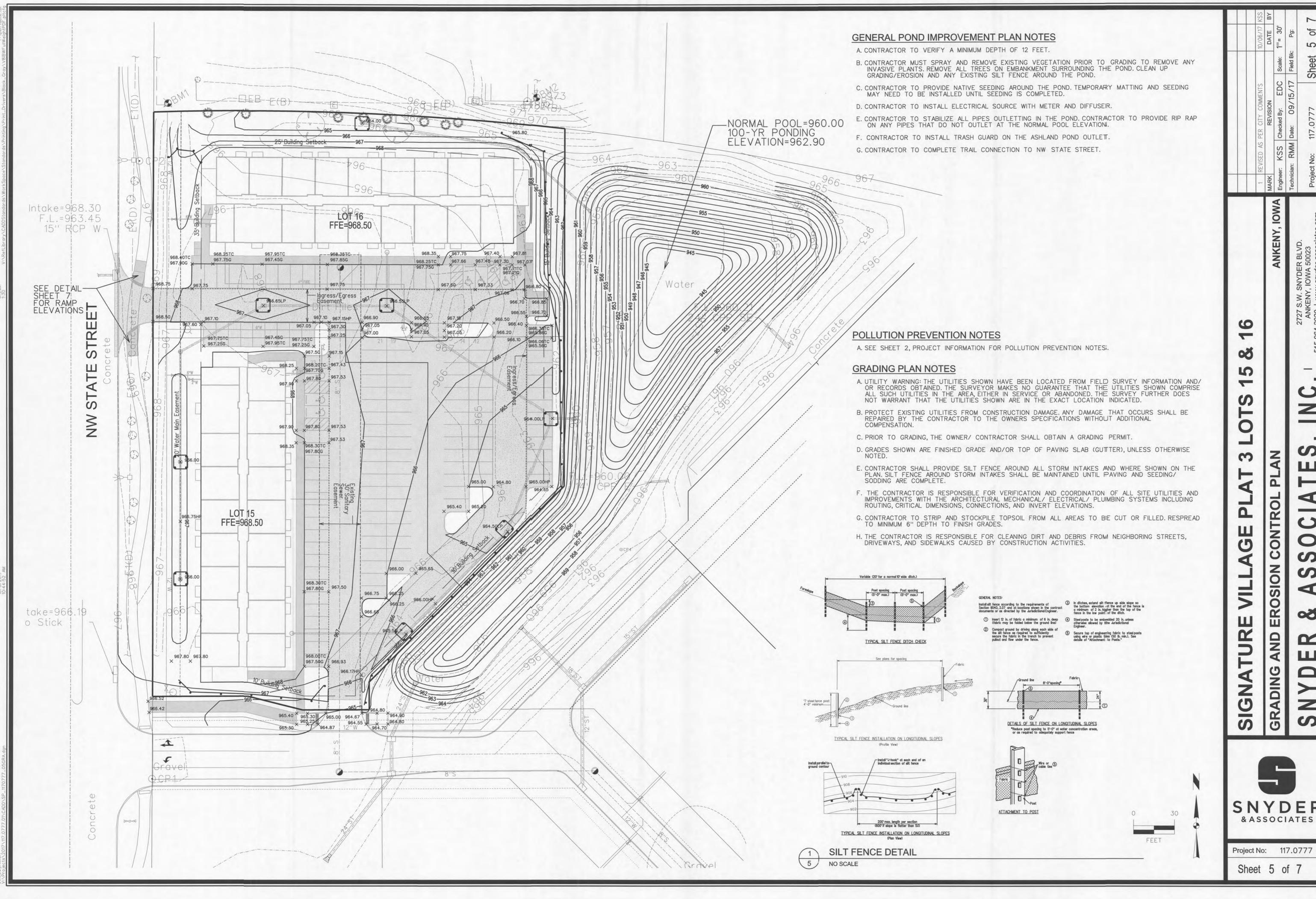


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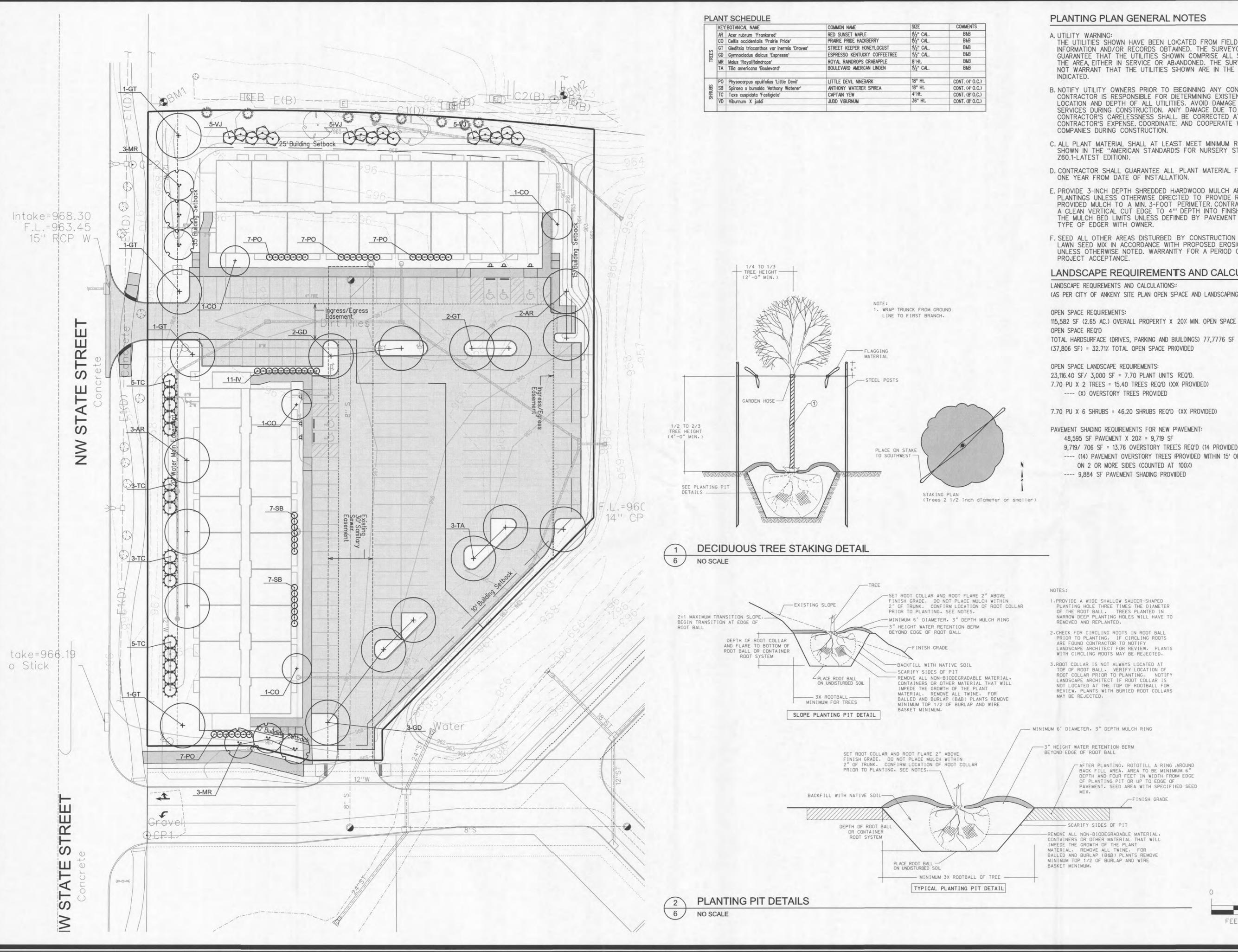


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THE UTILITIES SHOWN HAVE BEEN LOICATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABIANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION

B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DIETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANIY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE, COORDINATE: AND COOPERATE WITH UTILITY

C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD'S FOR NURSERY STOCK" (ANSI

D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF

E. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS UNLESS OTHERWISE DIRECTED TO PROVIDE ROCK MULCH. PROVIDED MULCH TO A MIN. 3-FOOT PERIMETER. CONTRACTOR TO PROVIDE A CLEAN VERTICAL CUT EDGE TO 4" DEPTH INTO FINISH GRADE TO DEFINE THE MULCH BED LIMITS UNLESS DEFIINED BY PAVEMENT OR CURB. VERIFY

F. SEED ALL OTHER AREAS DISTURBED BY CONSTRUCTION WITH TYPE 1 SUDAS LAWN SEED MIX IN ACCORDANCE WITH PROPOSED EROSION CONTROL PLANS UNLESS OTHERWISE NOTED. WARRANTLY FOR A PERIOD OF ONE YEAR FROM

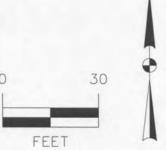
LANDSCAPE REQUIREMENTS AND CALCULATIONS

(AS PER CITY OF ANKENY SITE PLAN OPEN SPACE AND LANDSCAPING REQUIREMENTS)

115,582 SF (2.65 AC.) OVERALL PROPERTY X 20% MIN. OPEN SPACE = 23,116.40 SF

7.70 PU X 6 SHRUBS = 46.20 SHRUBS REQ'D (XX PROVIDED)

9,719/ 706 SF = 13.76 OVERSTORY TREES REQ'D (14 PROVIDED) ---- (14) PAVEMENT OVERSTORY TREES IPROVIDED WITHIN 15' OF PAVED AREA





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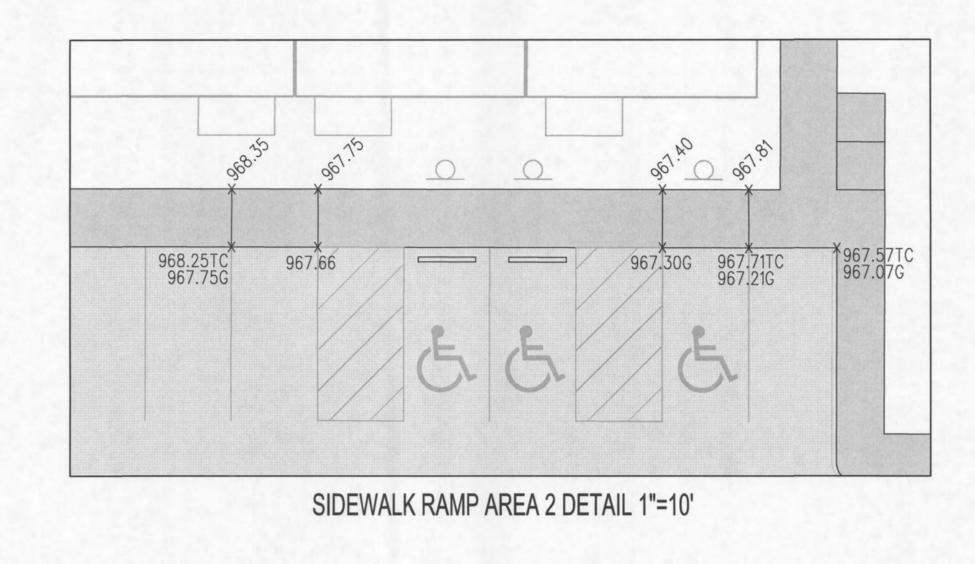
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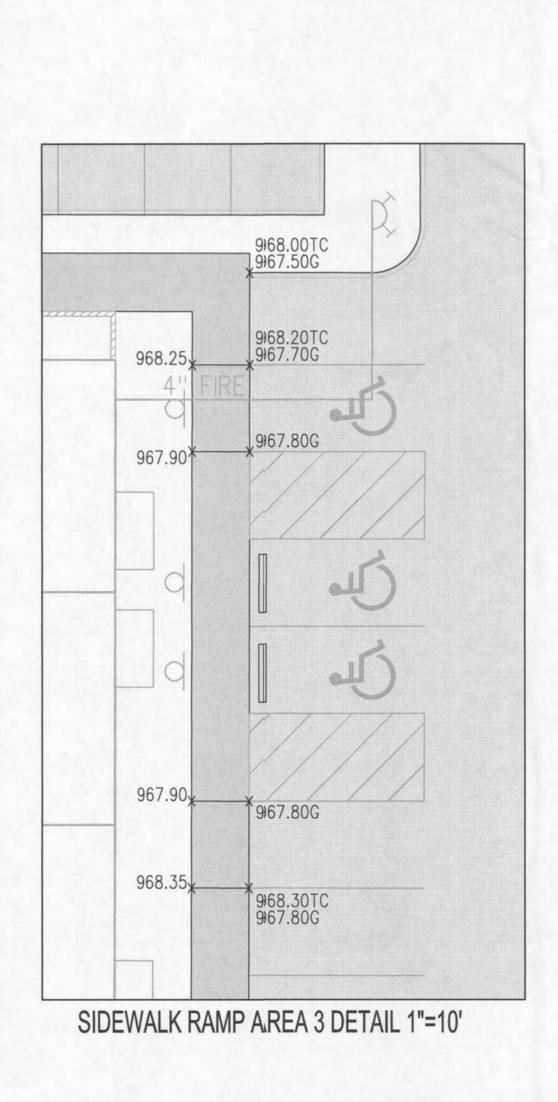
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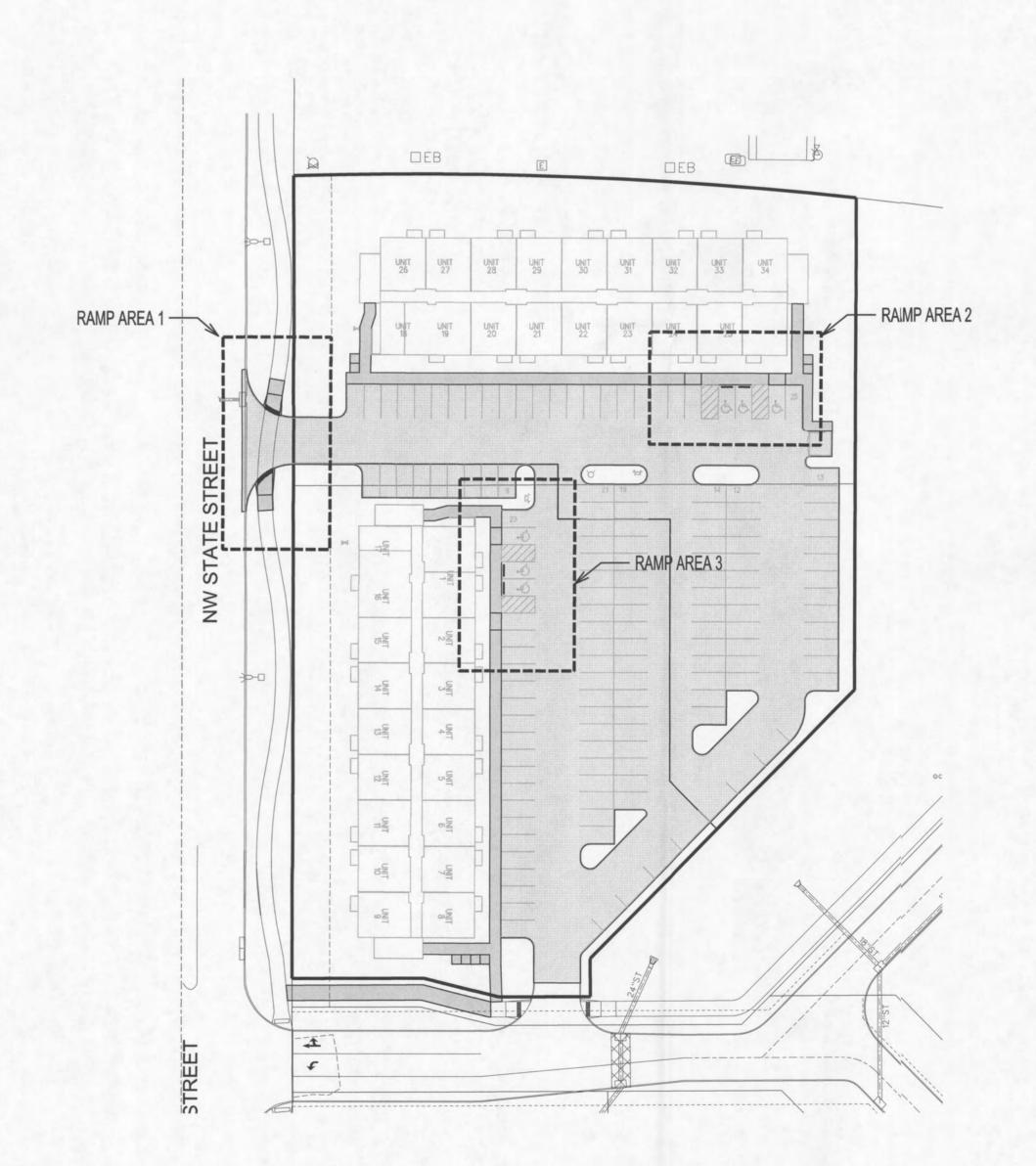
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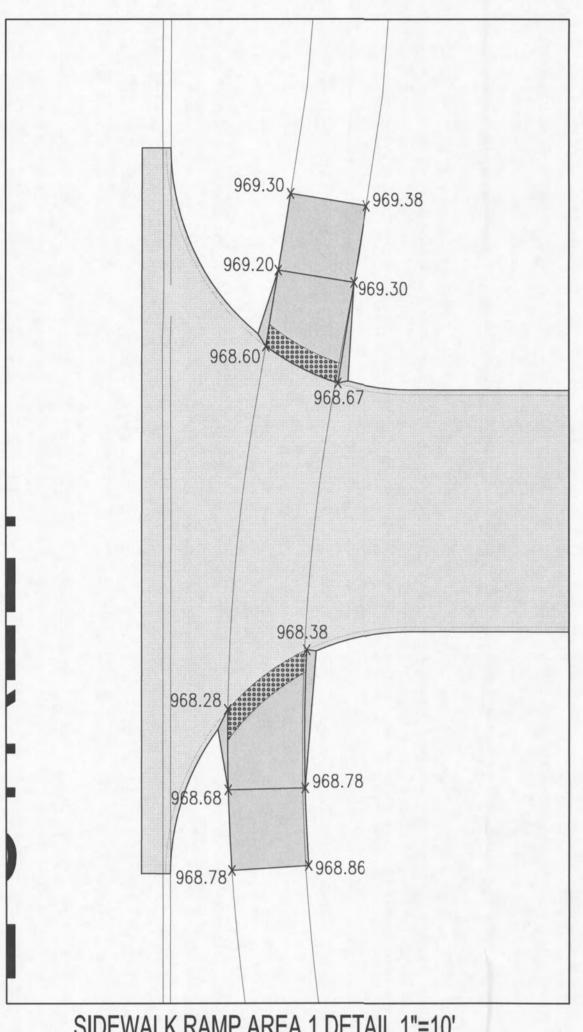
Project No: 117.0777

Sheet 6 of









SIDEWALK RAMP AREA 1 DETAIL 1"=10"

SIGNATURE SITE DETAILS S SNYDER & ASSOCIATES

Project No: 117.0777

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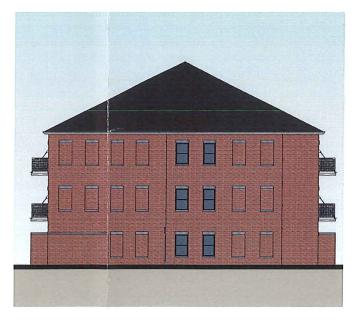
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7

Sheet 7 of 7

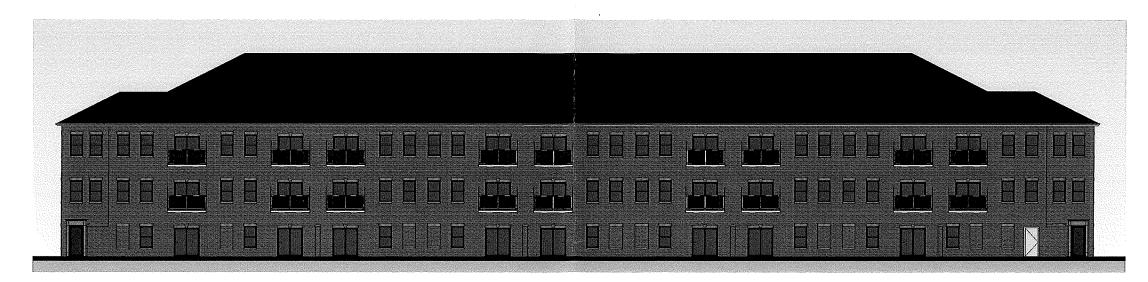


NORTH/ SOUTH ELEVATION
SCALE: 3/64" = 1'-0"



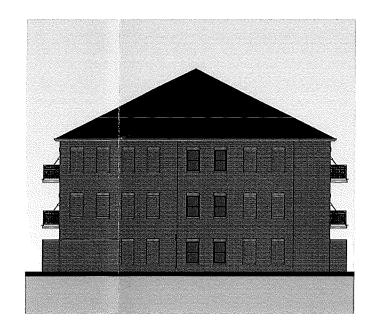
2 EAST/ WEST ELEVATION
SCALE: 3/64" = 1'-0"

MATERIAL SCHEDULE		
TYPE MARK	DESCRIPTION	
B1	BRICK (RUNNING BOND)	
R1	ASPHAULT SHINGLES	
T1	CAST STONE HEADER W/ KEYSTONE	
T2	CAST STONE HEADER	
T3	CAST STONE SILL	



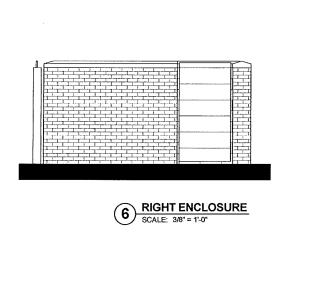
NORTH/ SOUTH ELEVATION

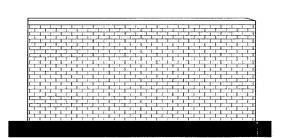
SCALE: 3/64" = 1'-0"



2 EAST/ WEST ELEVATION
SCALE: 3/64" = 1'-0"

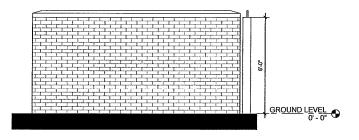
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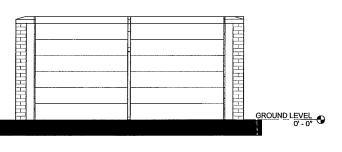


BACK ELEVATION

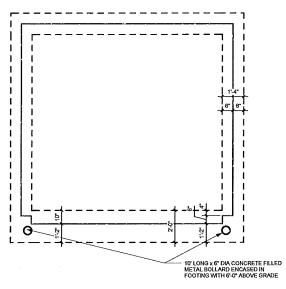
SCALE: 3/8" = 1'-0"



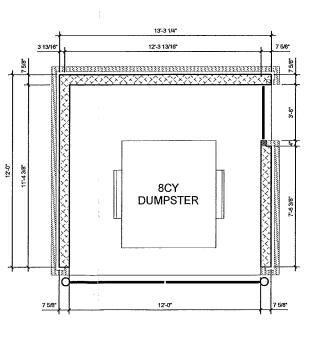
5 LEFT ELEVATION
SCALE: 3/8" = 1'-0"



SCALE: 3/8" = 1'-0"



POUNDATION PLAN - DUMPSTER ENCLOSURE
SCALE: 3/8" = 1'-0"



DUMPSTER ENCLOSURE PLAN
SCALE: 3/8" = 1'-0"

JCorp, in consulting engineer łuxiey, IA 60124 Phone: (615) 697-6457 Fax: (615) 597-5461 WWW.jcorp.biz
APCHTECTURAL STREETS
CONSTRUCTOR ENGINEER 5 ~ Lots 3

Signature Village Plat 3, Lots

DATE: 2017-10-04
PROJECT NO: 17-062
CONTENTS:
Floor Plans

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