

Site Improvements  
for  
Community Baptist Church  
4703 N. Ankeny Blvd.  
Ankeny, Iowa

BUILDINGS:  
ONE CHURCH BUILDING WITH 16,752 SQ.FT.  
ASSEMBLY AREA = 4,957 SQ.FT.  
SUPPORT AREAS = 11,895 SQ.FT.

PAVING:  
THE APPROACH SHALL BE 7" THICK P.C.C.  
THE PARKING LOT SHALL BE 6" THICK P.C.C.

PARKING:  
4,857 SF OF ASSEMBLY / 80 ST = 61 SPACES  
10 CLASSROOMS X 2 SPACES = 20 SPACES  
4 EMPLOYEES X 1 SPACE = 4 SPACES  
TOTAL SPACES REQUIRED = 85 SPACES  
4 ACCESSIBLE AND 82 STANDARD SPACES ARE PROVIDED.

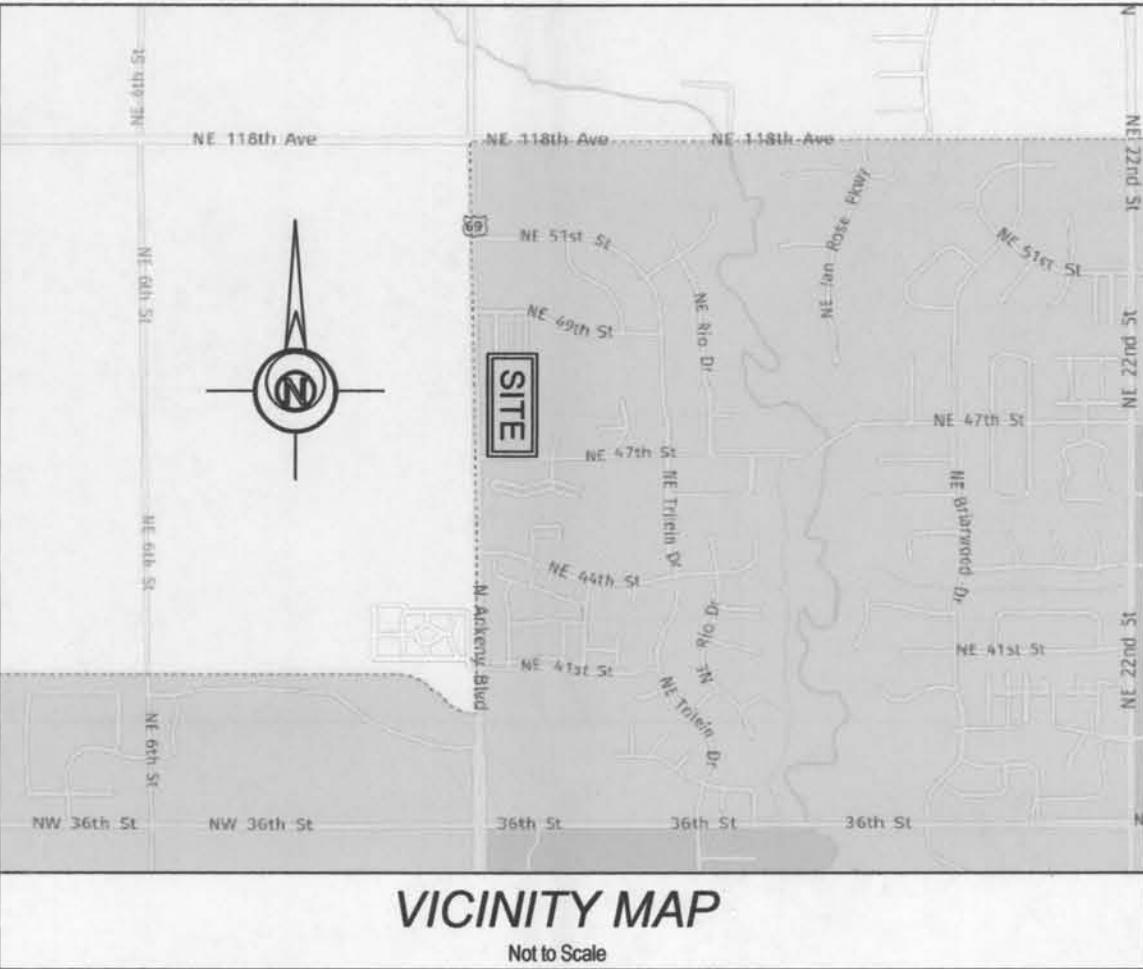
FLOODPLAIN:  
PER FIRM COMMUNITY PANEL # 190901 0039 B, THE SITE IS LOCATED  
IN ZONE C, AREAS DETERMINED TO BE IN A MINIMAL FLOODING AREA.  
THE FLOOD PLAIN WILL NOT BE DISTURBED AS A RESULT OF THIS SITE DEVELOPMENT.

GENERAL SITE NOTES:

- 1 ALL TRASH AND RECYCLING SHALL BE CONTAINED INDOORS.
- 2 WALL PACK LIGHTING SHALL BE SHARP CUT-OFF.
- 3 HANDICAPPED PARKING STALLS & SIGNS SHALL BE PROVIDED PURSUANT TO THE STATE CODE.
- 4 ANY DIRT OR CONSTRUCTION DEBRIS SPILLED ONTO ADJACENT PROPERTIES OR RIGHT OF WAYS SHALL BE PROMPTLY REMOVED.
- 5 ALL WORK WILL BE COMPLETED PER 2017 SUDAS AND THE CITY OF ANKENY SUPPLEMENTAL.

SIGNS:  
LOCATIONS OF GROUND SIGNS AND ALL OTHER SIGNS WILL NEED TO BE APPROVED THROUGH SIGN PERMIT APPLICATION PROCESS.

DISTURBED AREAS:  
ALL DISTURBED AREAS SHALL BE SODDED.  
THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS REQUIRED.



LEGAL DESCRIPTION:  
Outlot "Y" in Avondale Trace Plat 1, an Official Plat, and Lot 1 in Avondale Trace Plat 5, an Official Plat, and Parcel "A" of Outlot "Q", Avondale Trace Plat 5, as Recorded in Book 12889, Page 29 in the Polk County Records Office, except those portions conveyed by Acquisition Plat of said Lot 1 and said Parcel "A" of Outlot "Q" of Avondale Trace Plat 5 as Recorded in Book 15742, Page 962 in the Polk County Records Office, all being in and forming a part of the City of Ankeny, Polk County, Iowa, containing 401,165 sq.ft. ( 9.209 acres) more or less. (To be replatted as LOT 1 Community Baptist Church).

ZONING:  
AVONDALE TRACE PLANNED UNIT DEVELOPMENT

DEVELOPER:  
COMMUNITY BAPTIST CHURCH OF ANKENY  
ATTN: MARV COOLEY  
POB 549  
ANKENY, IA 50021  
PH: (515) 729-1866

ENGINEER/LAND SURVEYOR:  
A. LEO PELDS ENGINEERING COMPANY  
2323 DIXON STREET  
DES MOINES, IOWA 50316  
PROJECT CONTACT: WALLY PELDS  
PH: (515) 265-8196

SHEET INDEX	
Sheet 1	Cover Sheet
Sheet 2	Dimension and Layout Plan
Sheet 3	Grading Plan
Sheet 4	Utility Plan
Sheet 5	Landscaping Plan

**A. LEO PELDS ENGINEERING COMPANY**  
Engineering | Planning | Surveying  
2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

EXISTING UTILITIES NOTE:  
THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. IOWA ONE-CALL (1-800-292-8989).

DISCLAIMER:  
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**LEGEND:**  
STANDARD SYMBOLS:

	MATCH EXISTING ELEVATION		CLEANOUT		DOWNSPOUT
	GAS METER		MORE OR LESS FENCE LINE		PROPOSED UTILITY LINE
	PARKING SPACE		FIRE HYDRANT		UTILITY LINE OR PIPE
	STREET LIGHT		SANITARY SEWER MANHOLE		WATER METER
	POWER POLE		STORM SEWER MANHOLE		GAS
	LIGHT POLE		VALVE		SANITARY SEWER
	FINISHED FLOOR		GUTTER ELEVATION		STORM SEWER
			TOP OF CURB ELEVATION		UNDERGROUND ELEC. / TEL.
			TOP OF SLAB ELEVATION		OVERHEAD ELEC. / TEL.
			FLOWLINE ELEVATION		CABLE TELEVISION

**Community Baptist Church  
Site Plan  
4703 N. Ankeny Blvd. - Ankeny, Iowa**

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

VOLDEMARS L. PELDS, P.E. IA LIC. NO. 18842 DATE 11-13-2017

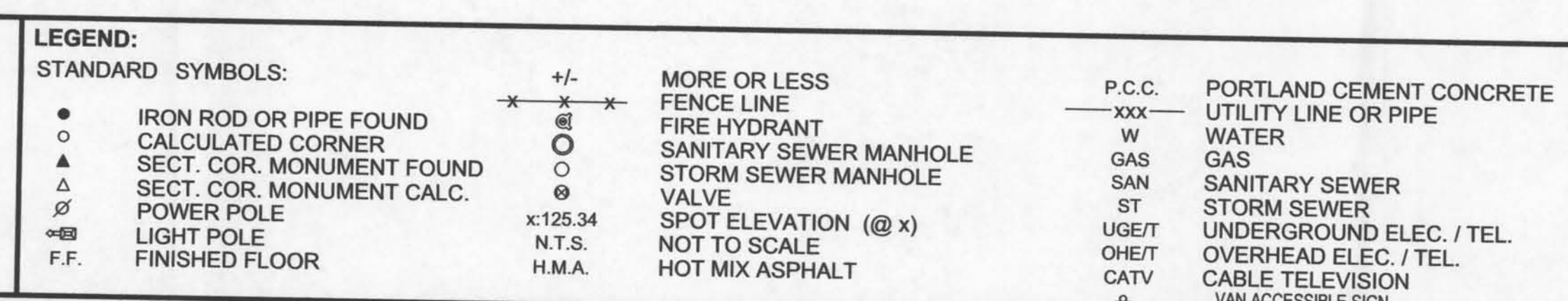
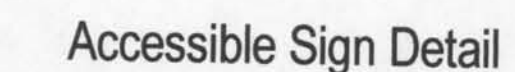
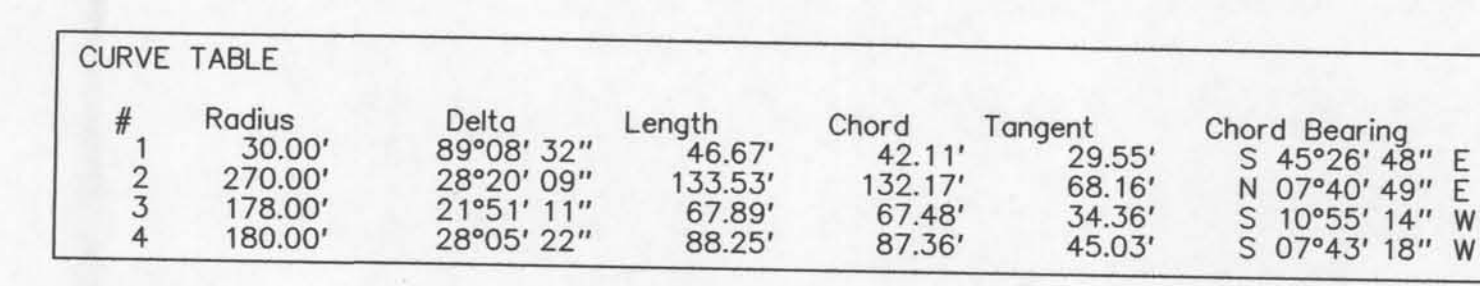
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017


ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE):

Benchmark Elevation = (NAVD 88)	10-18-2017 PER CITY COMMENTS 11-10-2017 PER TRAFFIC STUDY
06-05-2017 V. Pelds 1" = 40'	11-10-2017 17-044 COVER

J:\Casey\Present HW\University & 75th\Site Plans\CDG - Base 20 Scale.sxd

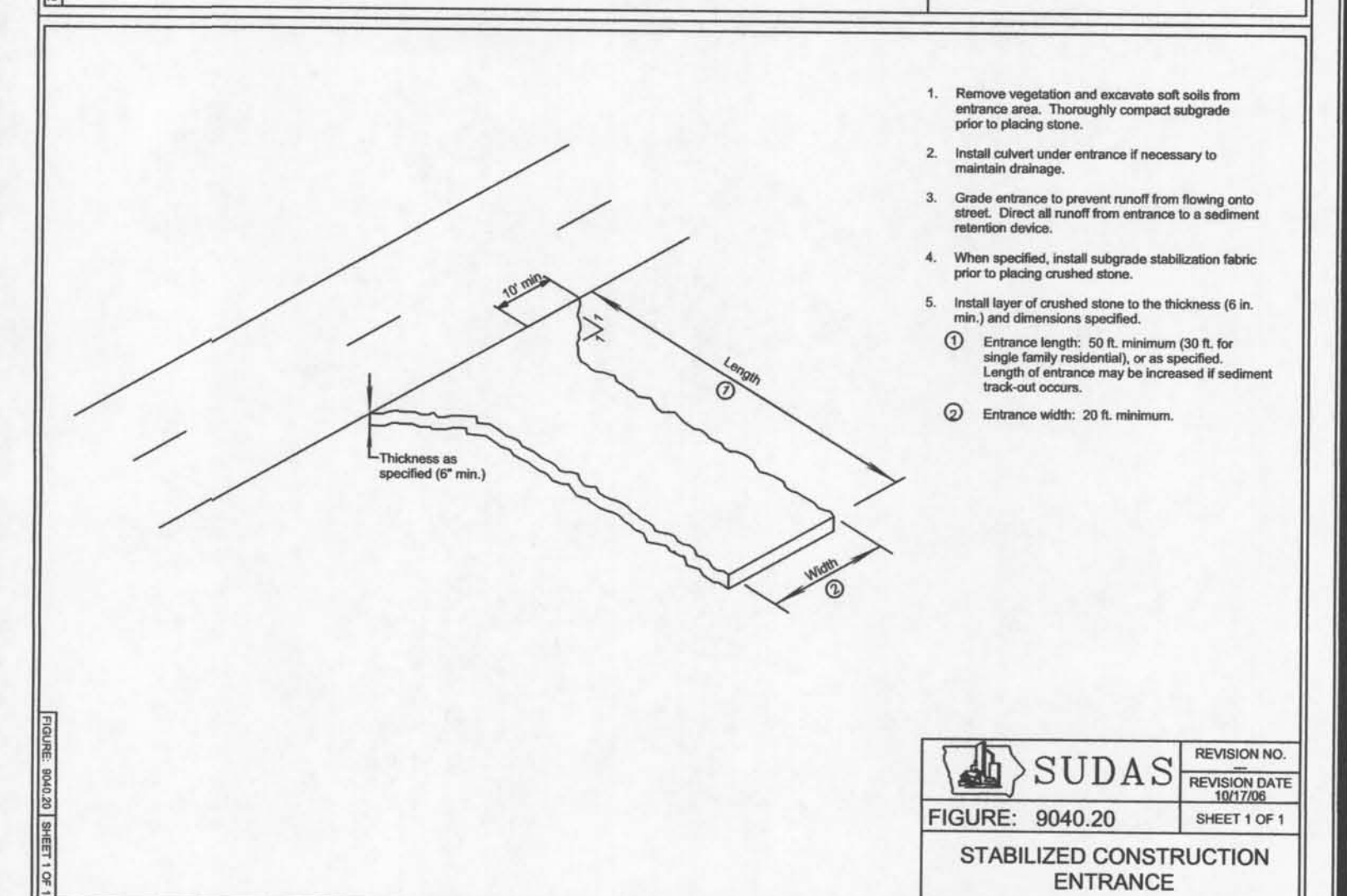
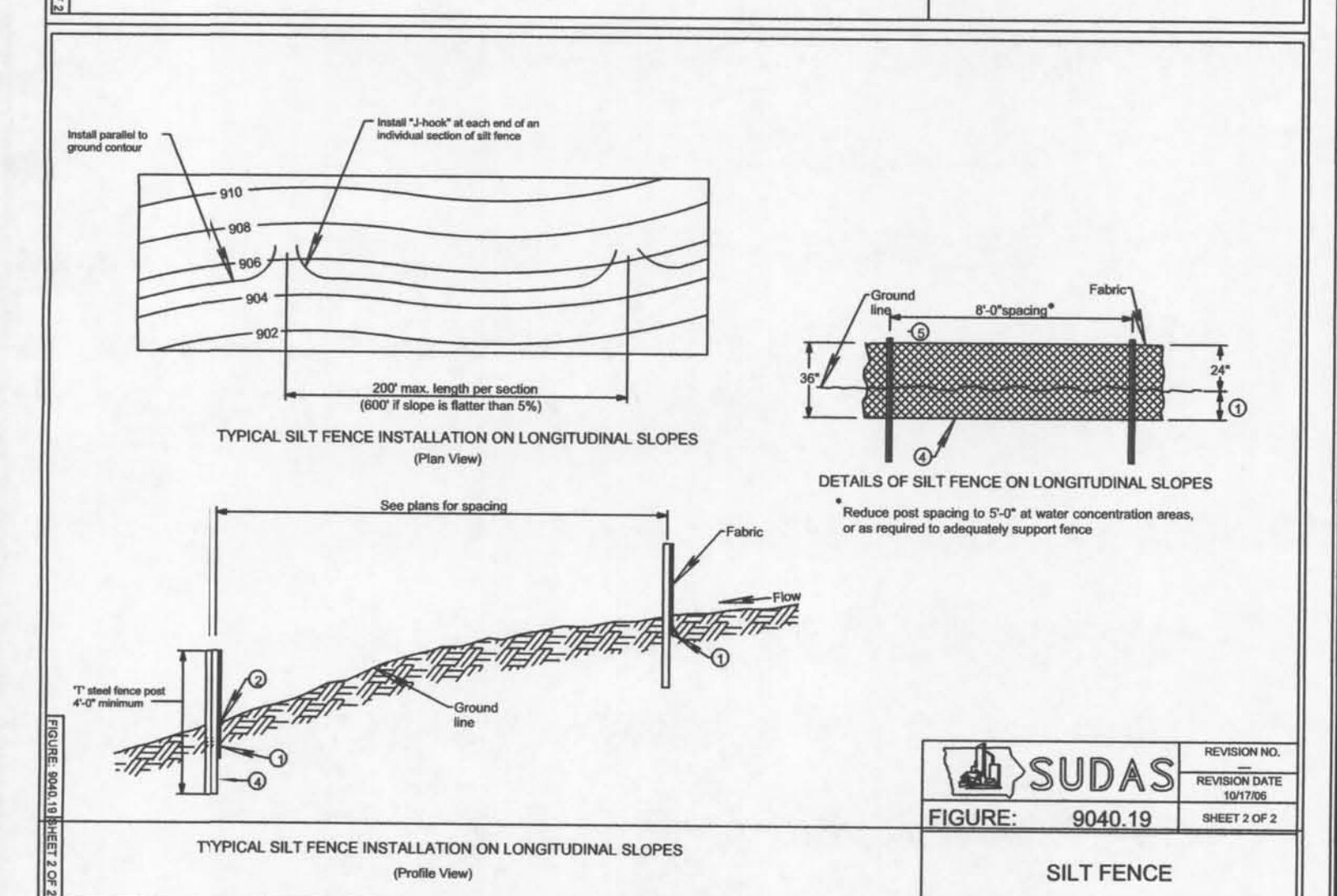
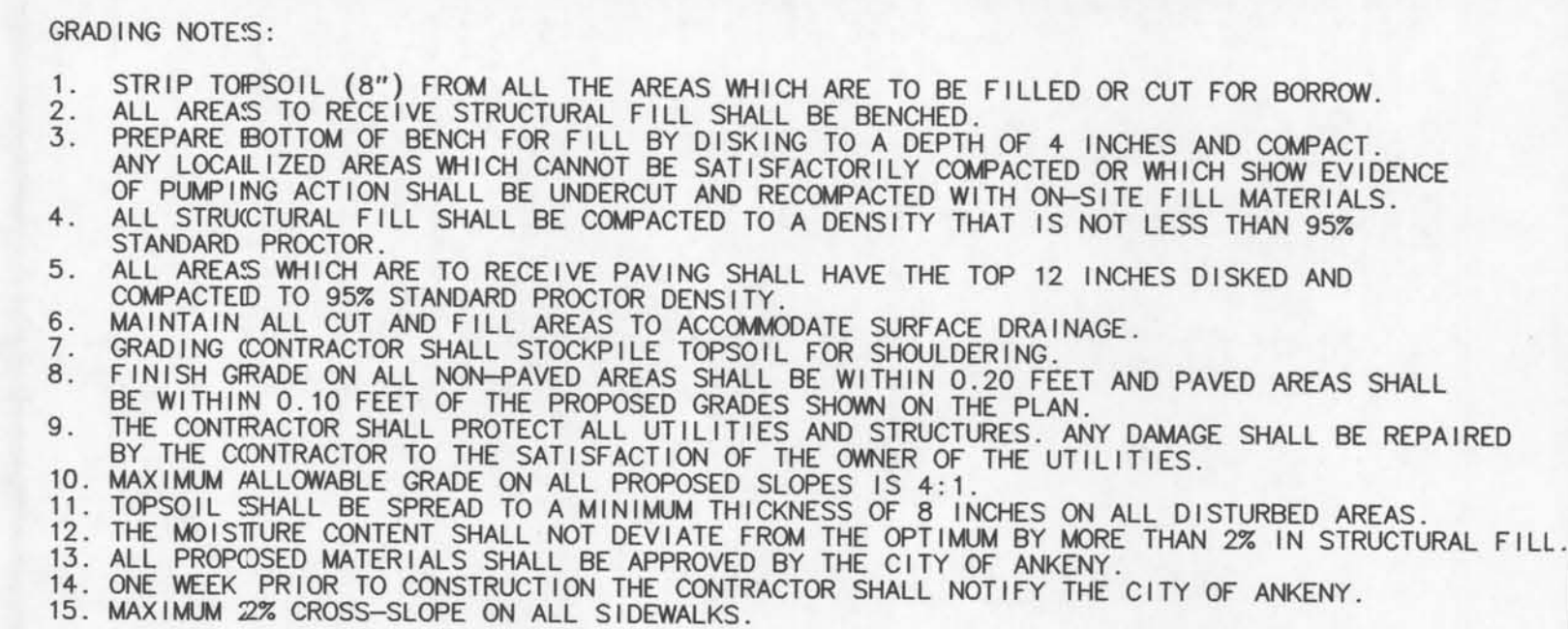




  
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<h1 style="text-align: center;">Community Baptist Church</h1> <h2 style="text-align: center;">Site Plan</h2> <h3 style="text-align: center;">4703 N. Ankeny Blvd. - Ankeny, Iowa</h3>				
PROJECT: Benchmark Elevation = (NAVD 88)		DROPS: 10-18-2017 PER CITY COMMENTS 11-10-2017 PER TRAFFIC STUDY		
CONSTRUCTION DATE: 06-05-2017	DESIGNER: V. Felds	SCALE: 1" = 40'	DESIGN DATE: 11-10-2017	SHEET NO: 17-044
(PLOT TITLE) <i>Julius Fleischli County/Ankeny/Ankeny Community Baptist Church/Plot/Sheet/Date/Scale/10-10-2017.aq</i>				
				<b>Dimension Plan</b>

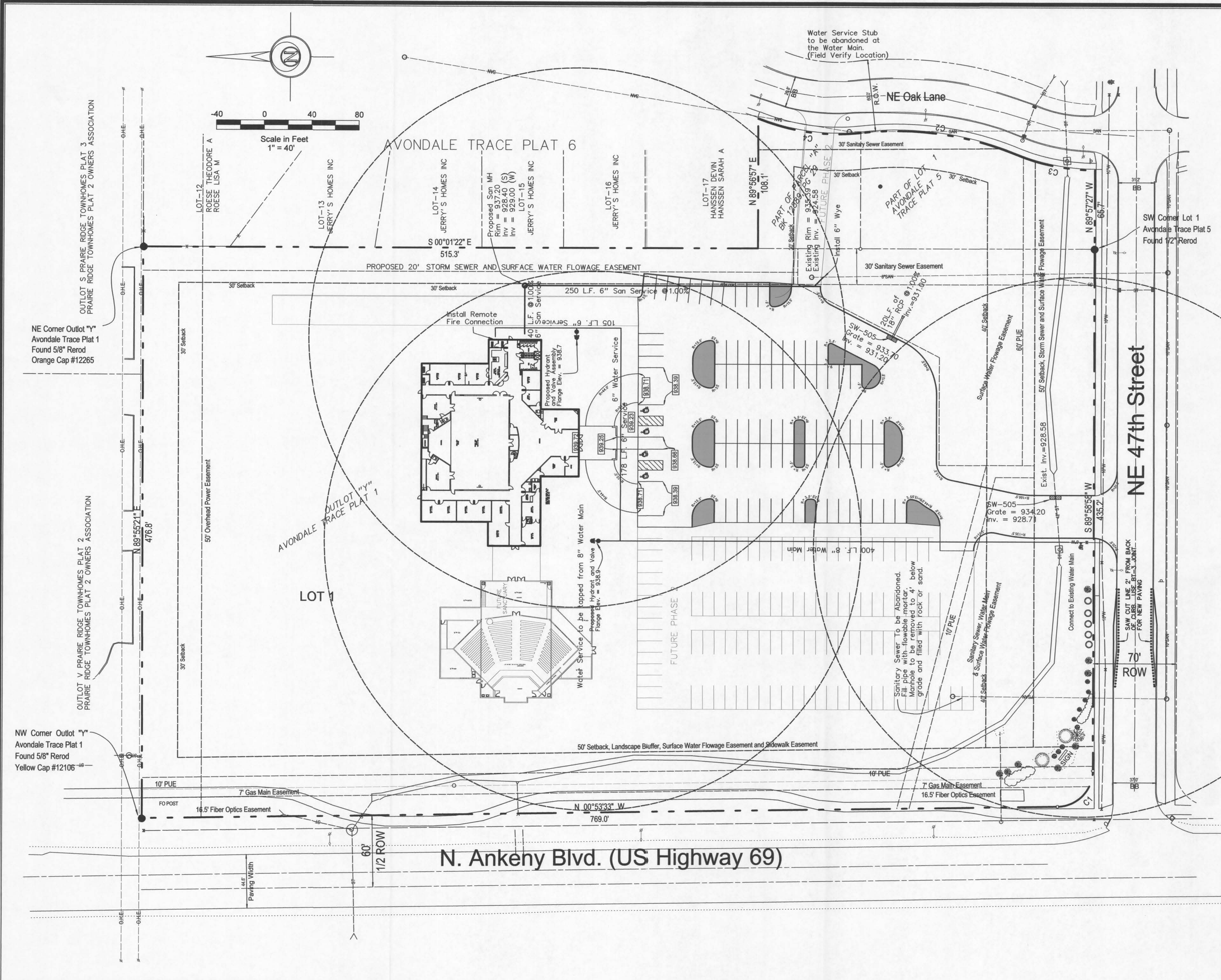




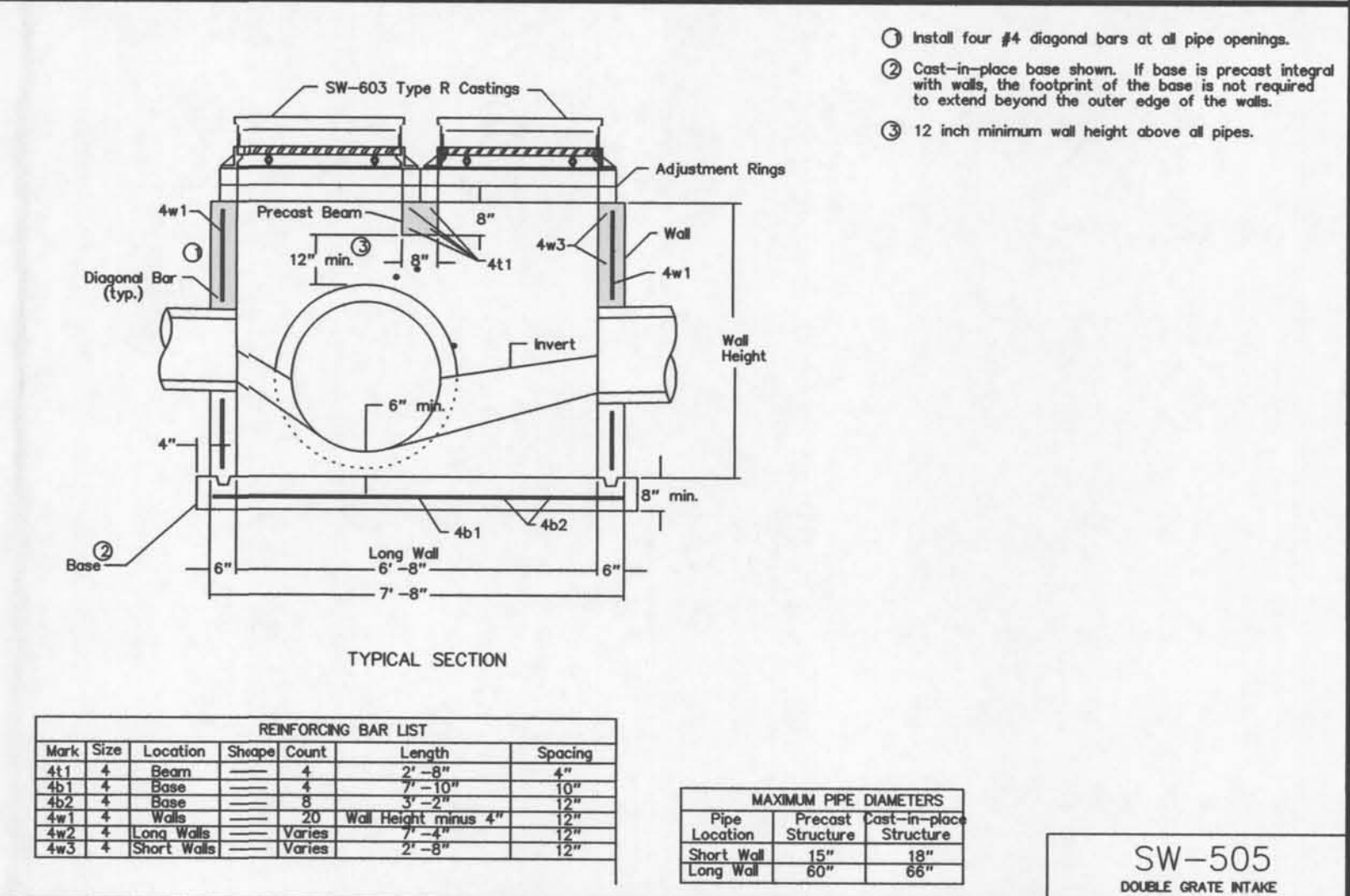
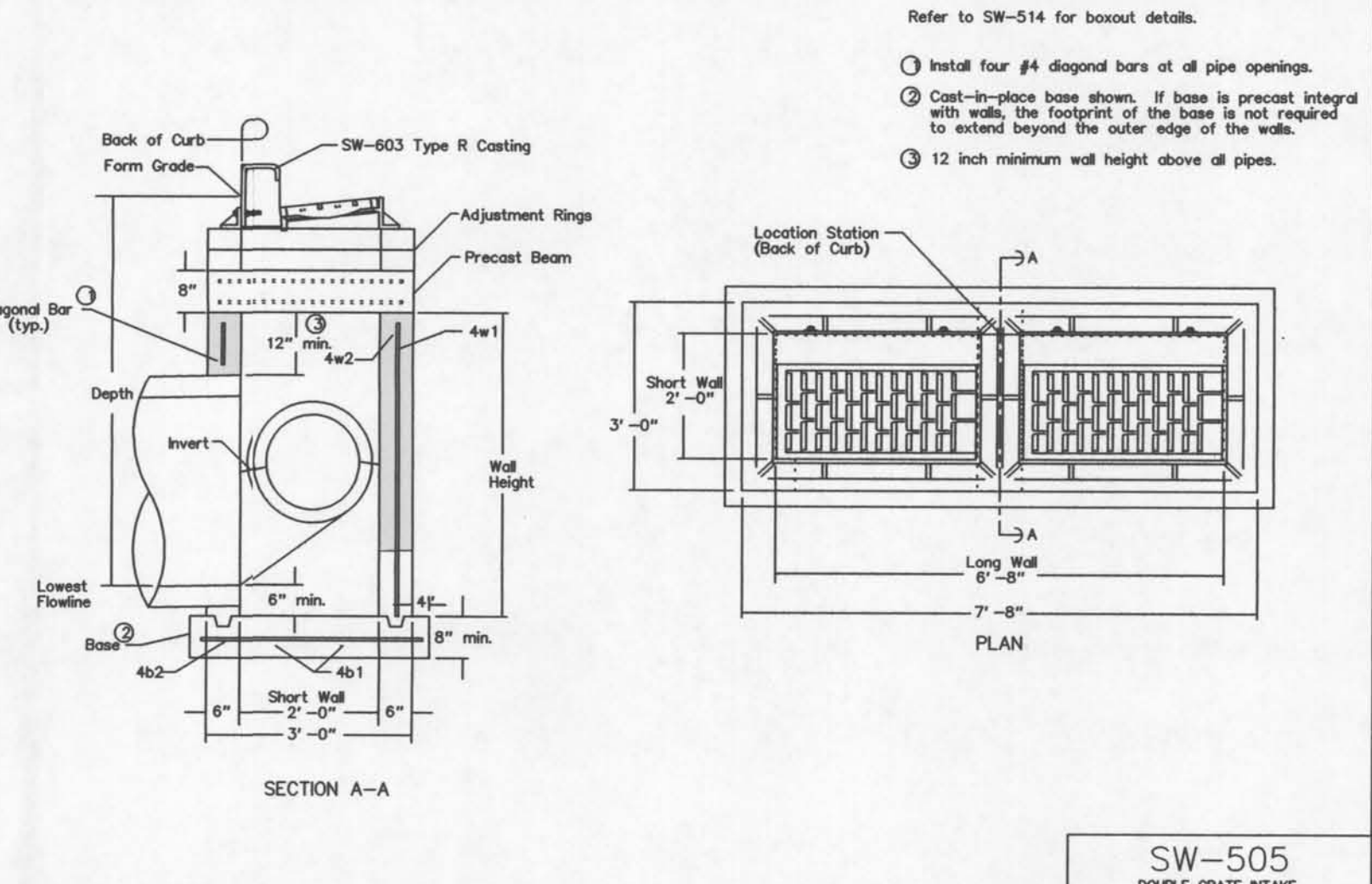
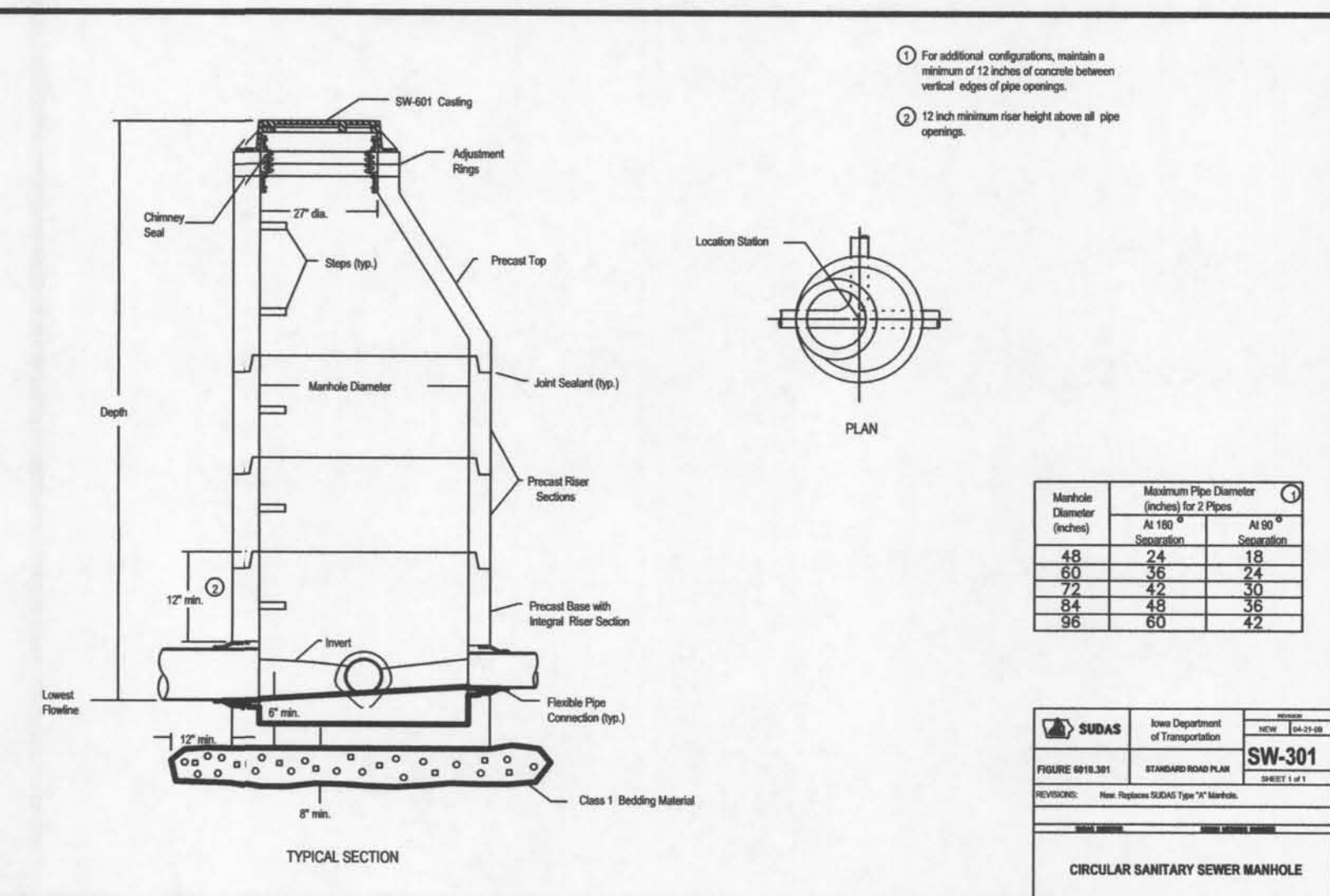
P.C.C.	PORTLAND CEMENT CONCRETE
—XXX—	UTILITY LINE OR PIPE
W	WATER
GAS	GAS
SAN	SANITARY SEWER
ST	STORM SEWER
UGE/T	UNDERGROUND ELEC. / TEL.
OHE/T	OVERHEAD ELEC. / TEL.
CATV	CABLE TELEVISION

BENCHMARK Elevation = " (NAVD 88)		ELEVATION 10-18-2017 PER CITY COMMENTS 11-10-2017 PER TRAFFIC STUDY	
CONVEYOR DATE <b>06-05-2017</b>	OWNER <b>V. Pelds</b>	SCALE <b>1" = 40'</b>	PROJECT NUMBER <b>17-044</b>
FILE PATH J:\Site Plan\Public\County\Hokany\Hokany Community Baptist Church\Final\Site Plan 10-10-2017.sxd		<b>Grading Plan</b>	





- UTILITY NOTES:
1. RELOCATE EXISTING UTILITIES AS NECESSARY SHOWN OR NOT SHOWN. (CONTRACTOR SHALL CONTACT APPROPRIATE PROVIDER FOR RELOCATION)
  2. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
  3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
  4. THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE SURFACE FEATURES SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED.
  5. CONTRACTOR TO COMPLY WITH SUDAS 2017 AND THE CITY/COUNTY SPECIFICATIONS FOR MAINTENANCE, INSTALLATION AND TESTING FOR CONSTRUCTION.
  6. 6" SANITARY SEWER: MINIMUM SLOPE = 1.00%
  - 4" SANITARY SEWER: MINIMUM SLOPE = 2.00%



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**LEGEND:**

STANDARD SYMBOLS:

- IRON ROD OR PIPE FOUND
- CALCULATED CORNER
- ▲ SECT. COR. MONUMENT FOUND
- △ SECT. COR. MONUMENT CALC.
- POWER POLE
- LIGHT POLE
- FF. FINISHED FLOOR

MORE OR LESS FENCE LINE

FIRE HYDRANT

SANITARY SEWER MANHOLE

STORM SEWER MANHOLE

VALVE

SPOT ELEVATION (@ x)

NOT TO SCALE

HOT MIX ASPHALT

P.C.C. PORTLAND CEMENT CONCRETE

UTILITY LINE OR PIPE

WATER

GAS

SANITARY SEWER

STORM SEWER

UNDERGROUND ELEC. / TEL.

OVERHEAD ELEC. / TEL.

CABLE TELEVISION

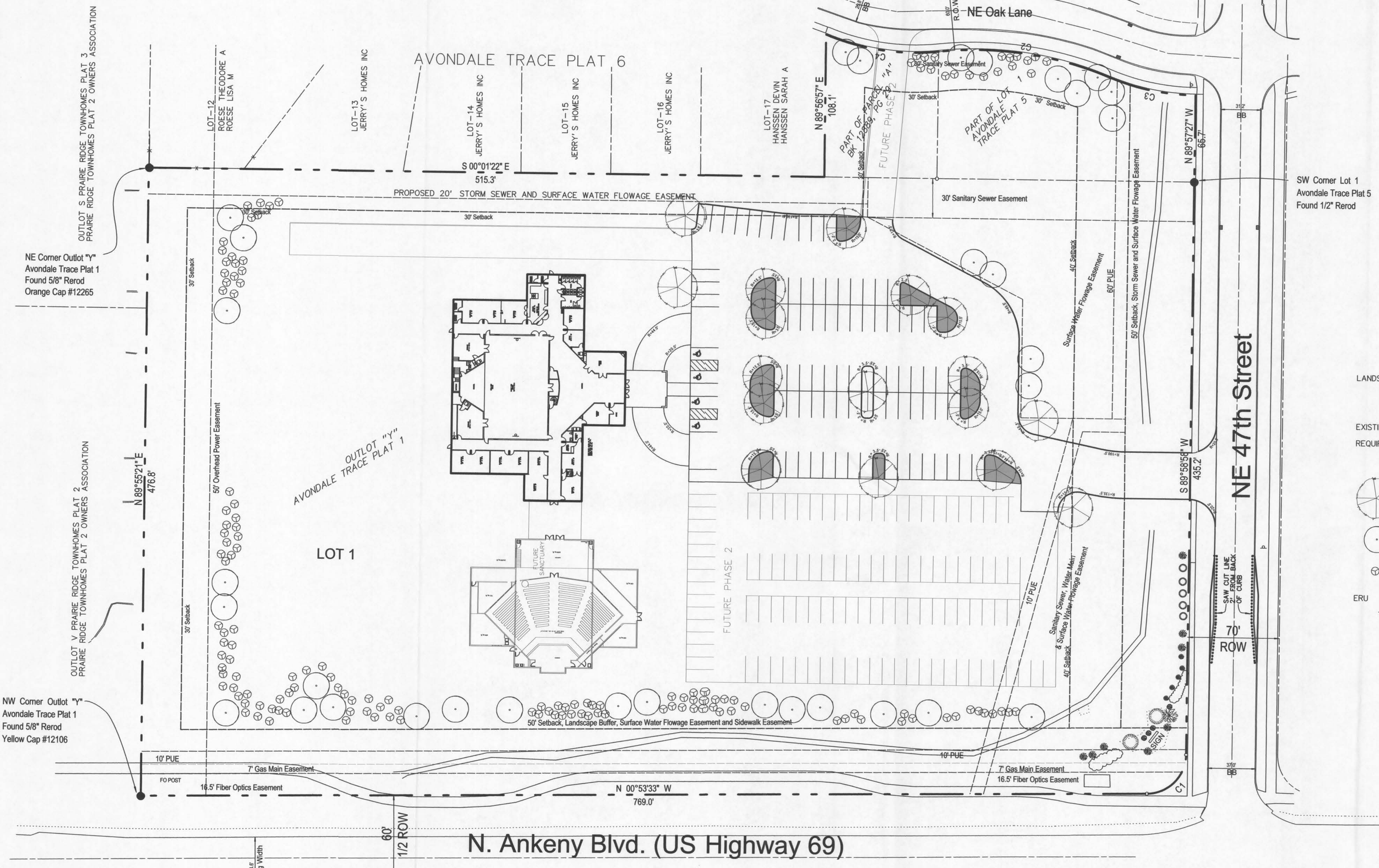
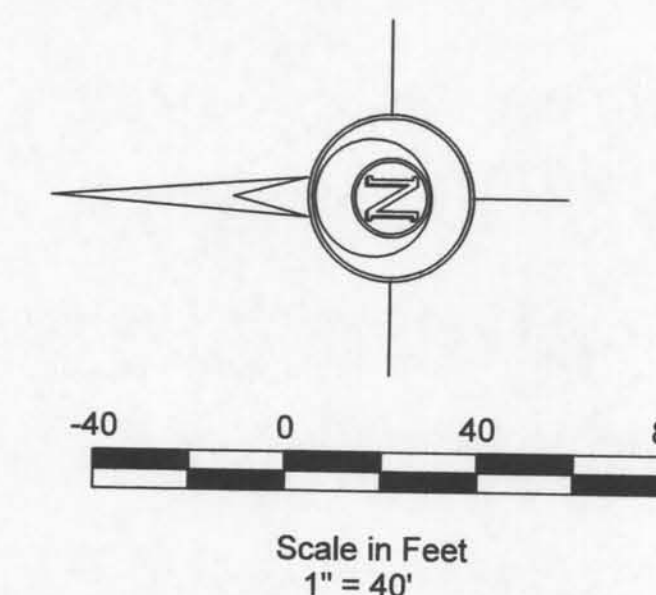
**Community Baptist Church**  
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**4703 N. Ankeny Blvd. - Ankeny, Iowa**

Benchmark Elevation = (NAVD 88)

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Utility Plan








**LANDSCAPING**

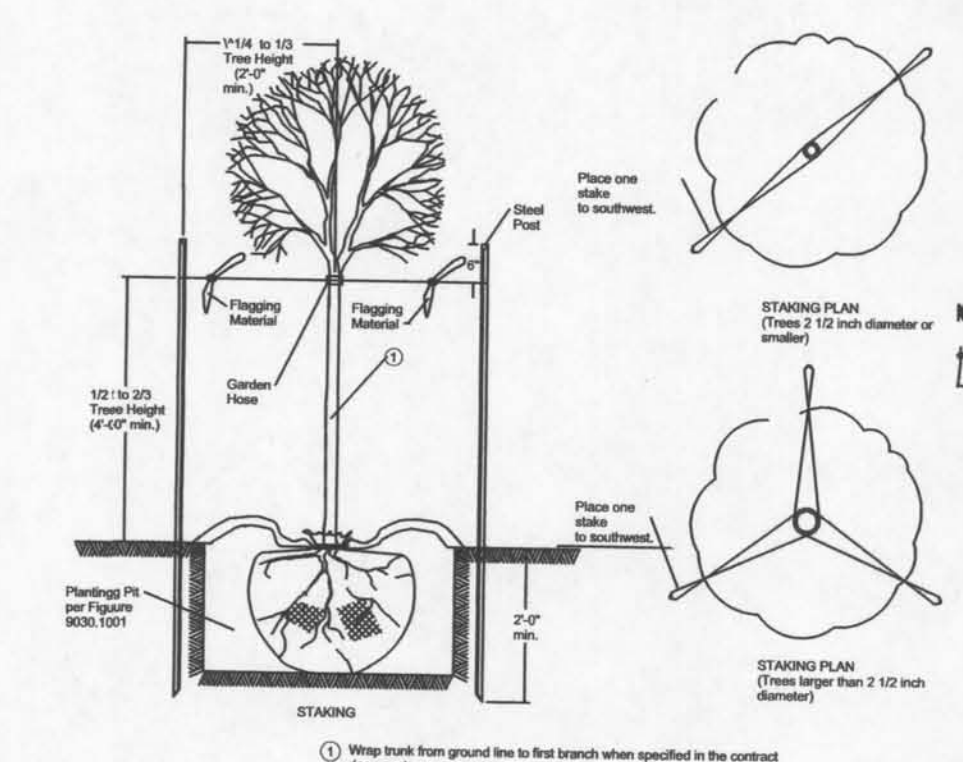
52,066 SF OF PARKING AREA X .2 = 10,413 SF     10,413/706 = 15 SHADE TREES REQUIRED  
 401,165 X .2 = 80,233 SF OPEN SPACE     80,233 SF/3,000 SF = 27 PLANT UNIT  
 27 X 2 = 54 TREES REQUIRED AND 27 X 6 = 162 BUSHES REQUIRED

EXISTING PLANTS - 7 EVERGREEN TREES AND 14 DECIDUOUS TREES AND 16 BUSHES

REQUIRED AND PROVIDED PLANTINGS:

-  17 SHADE TREES TO BE A SPECIES APPROVED FOR STREET TREES
-  33 NEW TREES
-  146 BUSHES

ERU  
 72,744 SF/4,000 SF = 19 (MAX. ERU = 40)



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○	CALCULATED CORNER	xxx	FENCE LINE
△	SECT. COR. MONUMENT FOUND	W	FIRE HYDRANT
△	SECT. COR. MONUMENT CALC.	GAS	SANITARY SEWER MANHOLE
⊙	POWER POLE	SAN	STORM SEWER MANHOLE
⊙	LIGHT POLE	ST	VALVE
F.F.	FINISHED FLOOR	UGE/T	SPOT ELEVATION (@ x)
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DATE: 06-05-2017	DRAWN BY: V. Pelds	SCALE: 1" = 40'	DATE: 11-10-2017	17-044
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**Landscaping Plan**