

FINAL PLAT
OF
BRIARWOOD PLAT 22
3055 NORTH ANKENY BOULEVARD, ANKENY, IA 50021

RECORDER'S
STAMP

DRAWING INDEX
PAGE # SHEET TITLE
1 COVER
2 FINAL PLAT

INDEX LEGEND	
COUNTY:	POLK
CITY:	ANKENY
SUBDIVISION:	BRIARWOOD PLAT 21
LOTS:	LOT 22
PROPRIETOR (S):	WILLIAM B KIMBERLEY
REQUESTED BY:	B14 ACQUISITIONS LLC
PROFESSIONAL LAND SURVEYOR:	JEFFREY A. GADDIS, PLS
COMPANY:	CIVIL ENGINEERING CONSULTANTS, INC.
RETURN TO:	ATTN: JEFFREY A. GADDIS 2400 86TH STREET, URBANDALE, IA 50322

LEGEND	
---	PROPERTY BOUNDARY
---	SECTION LINES
---	LOT LINES
---	CENTERLINE
---	PARCEL LINES
---	EASEMENT LINES
---	BUILDING SETBACK LINES (B.S.L.)
▲	FOUND SECTION CORNER
△	SET SECTION CORNER
●	FOUND PROPERTY CORNER
○	SET PROPERTY CORNER (% I.R. W/BLUE CAP #10301 UNLESS OTHERWISE NOTED) CORNERS WILL BE SET WITHIN 12 MONTHS AFTER THE RECORDING OF THE FINAL PLAT.
D.	DEEDED BEARING & DISTANCE
M.	MEASURED BEARING & DISTANCE
P.	PREVIOUSLY RECORDED BEARING & DISTANCE
I.R.	IRON ROD
I.P.	IRON PIPE
BK. XXX Pg. XXX	COUNTY RECORDER'S INDEXING BOOK
R.O.W.	RIGHT-OF-WAY
P.U.E.	PUBLIC UTILITY EASEMENT
B.S.L.	BUILDING SETBACK LINE
P.O.B.	POINT OF BEGINNING
(TT)	ADDRESS



ZONING
C-2 (GENERAL RETAIL AND HIGHWAY ORIENTED COMMERCIAL DISTRICT)
*** INFORMATION OBTAINED FROM CITY OF ANKENY MUNICIPAL CODE (ONLINE) ***

CITY OF ANKENY NOTES
1. DEVELOPER WILL BE RESPONSIBLE FOR STREETLIGHT INSTALLATION.
2. DEVELOPER IS RESPONSIBLE FOR ADDING NEW AND REPLACING EXISTING PEDESTRIAN RAMPS AS NECESSARY. ALL RAMPS SHALL ADA COMPLIANCE.
3. ALL PUBLIC SIDEWALKS SHALL BE 5' IN WIDTH.
4. A CROSS-EASEMENT IS REQUIRED ON LOTS 1 & 2 AS PER THE CROSS-EASEMENT AGREEMENT RECORDED IN BOOK 11146, PAGE 361 AT THE POLK COUNTY RECORDER'S OFFICE. THIS AGREEMENT SHALL ADDRESS PRIMARY HIGHWAY #69 LIMITATION OF ACCESS RECORDED IN BOOK 1651, PAGE 166 AT THE POLK COUNTY RECORDER'S OFFICE.

PROPERTY OWNER:
WILLIAM B KIMBERLEY
2785 NORTH ANKENY BOULEVARD, SUITE 22
ANKENY, IA 50023
PHONE: (515) 463-8335

PREPARED FOR:
WILLIAM B KIMBERLEY
2785 NORTH ANKENY BOULEVARD, SUITE 22
ANKENY, IA 50023
PHONE: (515) 463-8335

PROPERTY LOCATION:
3055 NORTH ANKENY BOULEVARD
ANKENY, IA 50021

PROFESSIONAL LAND SURVEYOR:
CIVIL ENGINEERING CONSULTANTS, INC.
ATTN: JEFFREY A. GADDIS, PLS
2400 86TH STREET, UNIT 12
DES MOINES, IOWA 50322
PH. 515-276-4884

LEGAL DESCRIPTION
LOT 2, BRIARWOOD PLAT 21, AN OFFICIAL PLAT RECORDED IN BOOK 12138, PAGE 410 AT THE POLK COUNTY RECORDER'S OFFICE, CITY OF ANKENY, POLK COUNTY, IOWA.

LAND AREA
189,491 SQUARE FEET
4.35 ACRES

PURPOSE OF SURVEY:
• THIS FINAL PLAT IS BEING PREPARED TO CREATE ONE COMMERCIAL DEVELOPMENT LOT AND AN OUTLOT FOR FUTURE DEVELOPMENT.

BASIS OF BEARINGS
• THE WEST LINE OF LOT 2, BRIARWOOD PLAT 22 IS ASSUMED TO HAVE A BEARING OF N00°02'11"W.

NOTES
1. THE ALLOWABLE ERROR OF CLOSURE FOR THE BOUNDARY IS 1:10,000 AND THE ALLOWABLE ERROR OF CLOSURE FOR EACH LOT IS 1:5,000.
2. THIS PARCEL MAY BE SUBJECT TO EASEMENTS OF RECORD. NO TITLE WORK WAS PERFORMED BY THIS SURVEYOR.
3. MONUMENTS TO BE SET WITHIN ONE YEAR OF THE FINAL PLAT'S RECORDING DATE.
4. ALL EASEMENTS SHOWN ARE EXISTING EASEMENTS UNLESS LABELED AS PROPOSED.
5. THE EXISTING EASEMENTS SHOWN ON THIS FINAL PLAT WERE TRANSCRIBED FROM THE FINAL PLAT OF BRIARWOOD PLAT 21, AN OFFICIAL PLAT RECORDED IN BOOK 12138, PAGE 410 AT THE POLK COUNTY RECORDER'S OFFICE.
6. ANY EASEMENTS SHOWN ON ADJOINING OWNERS PROPERTY ARE NOT PART OF THIS PLAT AND ARE SHOWN FOR REFERENCE ONLY. THESE EASEMENTS SHALL BE ACQUIRED THROUGH A SEPARATE RECORDED DOCUMENT.
7. THIS LAND SURVEYOR'S CERTIFICATION DOES NOT INCLUDE DESIGN SPOT ELEVATIONS, MINIMUM PROTECTION ELEVATIONS, MINIMUM OPENING ELEVATIONS, MINIMUM BASEMENT ELEVATIONS, DETENTION BASIN & STORM WATER EVENT ELEVATIONS, OR ANY OTHER ITEMS THAT MAY FALL UNDER THE PRACTICE OF A PROFESSIONAL CIVIL ENGINEER.

FLOOD ZONE CERTIFICATION
THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE 'C' AS IDENTIFIED ON FEMA FLOOD INSURANCE RATE MAP NO. 1402260001B DATED MAY 16, 1983.

CERTIFICATION

PRELIMINARY
(NOT APPROVED)

IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com

SCALE: 1"=500'
0' 500' 1000'



Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12, Des Moines, Iowa 50322
515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com



DATE	REVISION	COMMENTS
NOV 16, 2017	1	...
OCT 20, 2017	2	...
SEP 22, 2017	3	...
DATE OF SURVEY: JUNE 15, 2017	4	...
DESIGNED BY: BAT	5	...
DRAWN BY: JAG	6	...

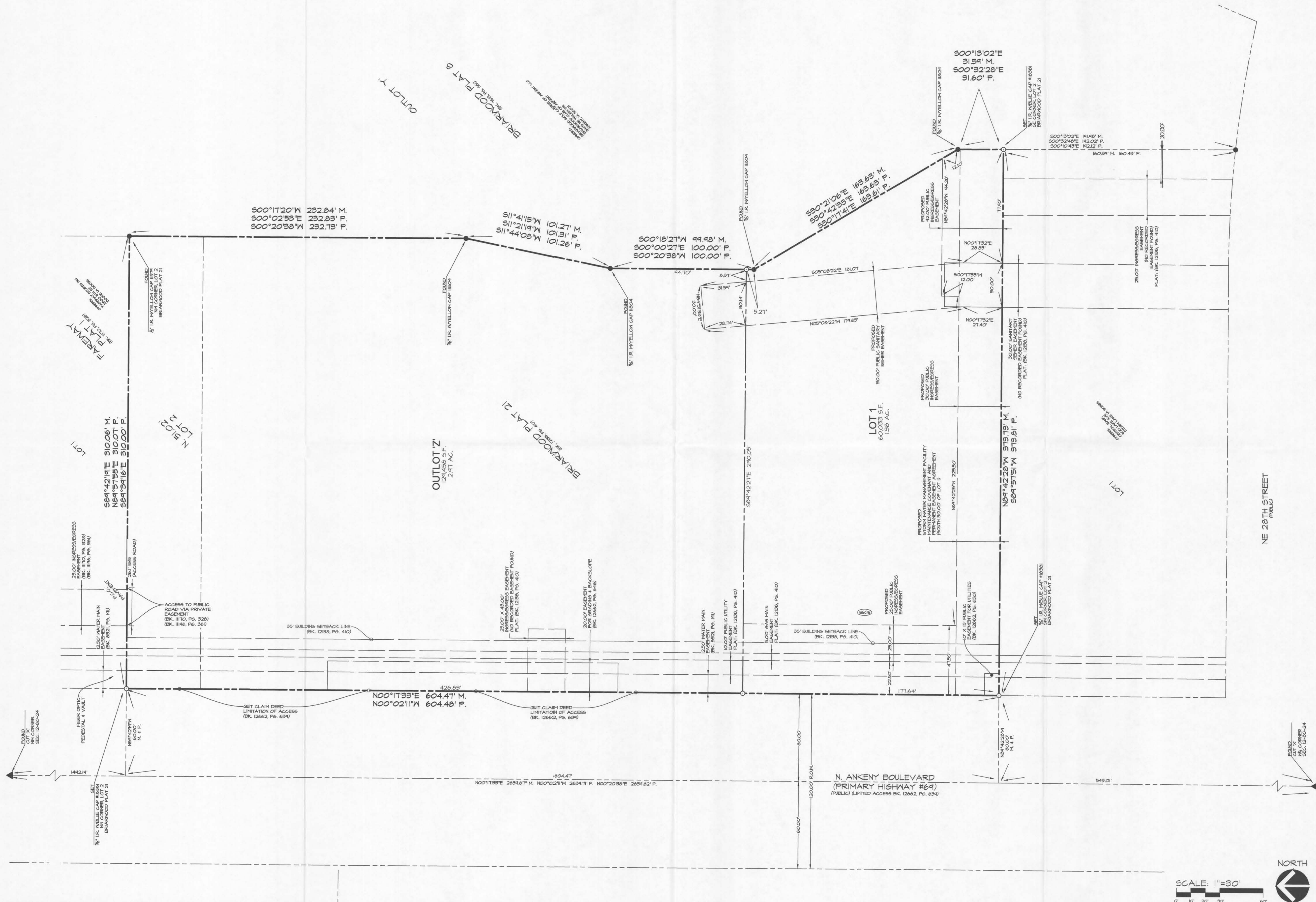
BRIARWOOD PLAT 22
3055 NORTH ANKENY BOULEVARD, ANKENY, IA 50021

COVER

SHEET
OF 2

A-1852

Q:\A-FILES\A-1852\A-1852-FINAL PLAT SHEET 2.dwg, 11/16/2011 11:54:42 AM, jgallada, 1:1



BRIARWOOD PLAT 22
3055 NORTH ANKENY BOULEVARD, ANKENY, IA 50021

FINAL PLAT

SHEET
2
OF 2

A-1852

DATE: NOV. 16, 2011

REVISIONS

COMMENTS

1

2

3

4

5

6

DESIGNED BY: JAG

DRAWN BY: JAG



Civil Engineering Consultants, Inc.

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