

WANGSNESS PLAT 2

PRELIMINARY PLAT

ROLL CALL Plan & Zoning Commission Ankeny, IA			
Date	Present	Absent	Excused
February 13, 2018			
Anderson	Aye	Nay	Pass
Enders	Aye	Nay	Pass
Flick	Aye	Nay	Pass
Hunter	Aye	Nay	Pass
Odson	Aye	Nay	Pass
Reinart	Aye	Nay	Pass
Ripper	Aye	Nay	Pass
West	Aye	Nay	Pass
Ayes	6	Nays	0
APPROVED	Chairperson		
	Secretary		

OWNER/DEVELOPER
JEFF WANGSNESS
4780 SE FOUR MILE DR
ANKENY, IA 50021
PHONE No. 515-480-1094

ZONING
LDR - LOW DENSITY RESIDENTIAL

EXISTING SITE ADDRESS
7129 NE 29TH STREET

BULK REGULATIONS
MINIMUM LOT AREA = 15,000
MINIMUM LOT WIDTH = 75
FRONT YARD SETBACK = 35
REAR YARD SETBACK = 35
SIDE YARD SETBACK = 10

FLOOD ZONE
THE PROPERTY SHOWN IS LOCATED WITHIN AN AREAS HAVING ZONE DESIGNATIONS OF
"X" - (NO SHADING) AREA DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAIN
"X" - (SHADING) AREAS OF 500 YEAR FLOOD AREAS OF 100 YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100 YEAR FLOOD
"AE" - SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100 YEAR FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED.
"AE" - HATCHED FLOODWAY AREAS IN ZONE "AE"
AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 190901-0110-C DATED NOVEMBER 18, 1992.

PLAT DESCRIPTION

EXISTING DIED: BK 16557, PG 547-548

THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTH 35 ACRES OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32 TOWNSHIP 80 NORTH RANGE 23, WEST OF THE 5TH P.M. ANKENY, POLK COUNTY, IOWA, SUBJECT TO LEGALLY ESTABLISHED HIGHWAYS.

RESIDENTIAL SITE CALCS

BASE SITE AREA = 38.82 AC
MINIMUM DISTRICT REQUIRED OPEN SPACE = 0 AC
NET BUILDABLE SITE AREA = 17.59 AC
SITE SPECIFIC MAXIMUM DENSITY YIELD = 52 LOTS
DISTRICT MAXIMUM DENSITY YIELD = 114 LOTS
RESOURCE PROTECTION LAND (MATURE WOODLANDS) = 20.43 AC

MEASURED AREAS
1,736,938 SF 39.87 AC

SECTION AREAS
SW1/4, SW1/4 34.88 AC
S1/2, NW1/4, SE1/4, SW1/4 4.99 AC

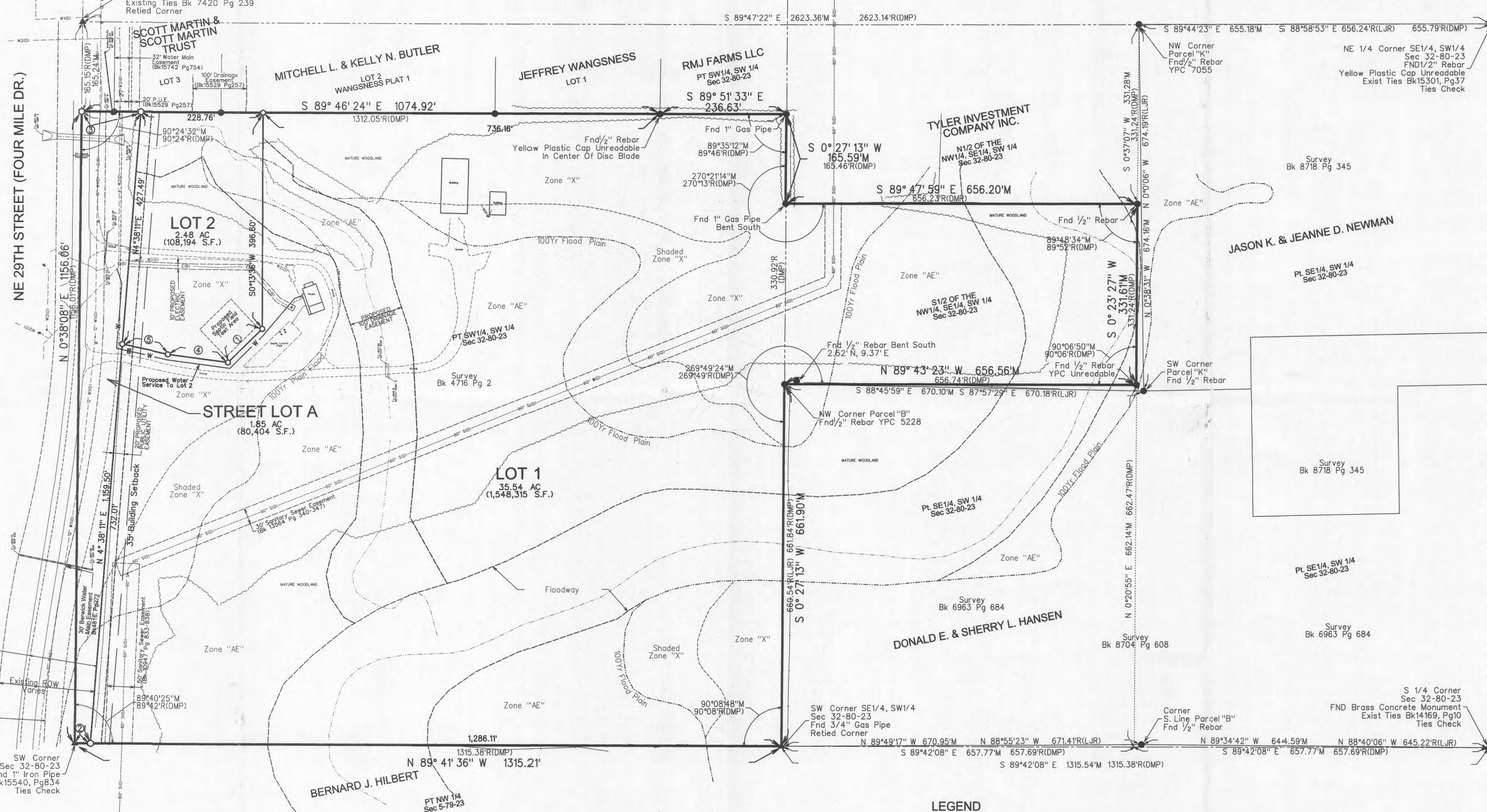
BASIS OF BEARING
THE WEST LINE OF THE SW1/4 OF THE SW 1/4 OF SECTION 32-80-23 WAS USED AS THE BASIS OF BEARING.

DATE OF SURVEY
11-10-2017

LINE DIMENSIONS

1. N 46°05'24" E 89.08'
2. N 89°41'36" W 29.10' 29.10'
3. S 89°46'24" E 110.00' 110.00'
4. N 82°27'59" W 113.01'
5. N 77°53'20" W 87.50'

NE 29TH STREET (FOUR MILE DR.)



NOTES

1. LOTS 1 AND 2 WILL OBTAIN WATER SERVICE USING BERWICK WATER ASSOCIATION 4" WATER MAIN, THIS WATER MAIN IS SHOWN AS "W2" ON THE DRAWING FOR GRAPHICAL REPRESENTATION AND MAINTAINED BY DES MOINES WATER WORKS. SEE SHEET 3 OF 3.
2. ON-SITE SEWAGE DISPOSAL WILL BE USED FOR LOT 2. LOT 1 WILL UTILIZE THEIR EXISTING SEPTIC SYSTEM.
3. SUBSURFACE DRAINAGE FACILITIES THAT ARE DISTURBED MUST BE RESTORED OR REROUTED BY THE INDIVIDUAL PROPERTY OWNER.
4. ALL MAILBOXES LOCATED IN POLK COUNTY ROAD RIGHT-OF-WAY MUST BE OF BREAKAWAY DESIGN.
5. RELOCATION OF ANY ENTRANCE OR UTILITY TO CONFORM TO THE REQUIREMENTS OF THIS PLAT WILL BE AT THE DEVELOPER'S EXPENSE.
6. SERVICES TO UTILITIES LOCATED ON THE WEST SIDE OF NE 29th STREET MUST BE BORED UNDER THE ROADWAY AT THE LOT OWNER'S EXPENSE.
7. POST-DEVELOPMENT RUNOFF WILL NOT ADVERSELY AFFECT DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY OWNERS.
8. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES IF SAID PERMITS ARE REQUESTED OF THIS PROJECT.
9. THE MAXIMUM GRADE OF ANY FUTURE ENTRANCE IN THE RIGHT-OF-WAY CANNOT BE GREATER THAN 10%.
10. PROPERTY OWNER SHALL CONTACT POLK COUNTY ENGINEERING TO OBTAIN THE PERMITS NECESSARY TO CONSTRUCT DRIVEWAY.
11. STREET LOT "A" TO BE DEDICATED TO POLK COUNTY FOR ROADWAY PURPOSES.
12. MAINTENANCE OF THE DRAINAGE EASEMENTS ACROSS LOTS 1 AND 2 SHALL BE THE RESPONSIBILITY OF EACH PROPERTY OWNER.

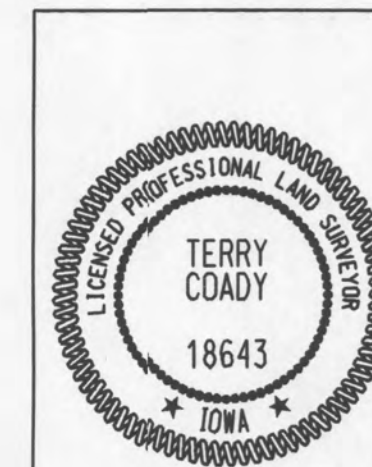
13. STREET LIGHTS AND SIDEWALKS WILL BE THE RESPONSIBILITY OF THE LOT OWNERS IF ANNEXED INTO THE CITY OF ANKENY.
14. CULVERTS FOR CROSSING DRAINAGE EASEMENTS MUST BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
15. THE EXISTING DRIVEWAYS WILL BE UTILIZED FOR EACH LOT.
16. NO ACCESS TO LOT 1 SHALL BE PERMITTED WITHIN 350 FEET OF THE SOUTHWEST CORNER.
17. DEVELOPMENT OF THE PROPERTY IS SUBJECT TO ARTICLE 7 NATURAL RESOURCE PROTECTION OF THE POLK COUNTY ZONING ORDINANCE REQUIRING PRESERVATION OF WOODLAND AREAS.

LEGEND

Survey
Section Corner
1/2" Rebar, Cap # 11579
(Unless Otherwise Noted)
ROW Marker
ROW Rail
Control Point
Bench Mark
Plotted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Minimum Protection Elevation
Centerline
Section Line
1/4 1/4 Section Line
Easement Line
Survey By: Delmo Piagentini
Survey By: Larry J. Richards

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I hereby certify that this land surveying document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.
Terry Coody, PLS Date 2-13-2018
License Number 18643
My License Renewal Date is December 31, 2019
Pages or sheets covered by this seal:

WANGSNESS PLAT 2
PRELIMINARY PLAT

POLK COUNTY, IOWA

CITY OF ANKENY

PRELIMINARY PLAT

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES

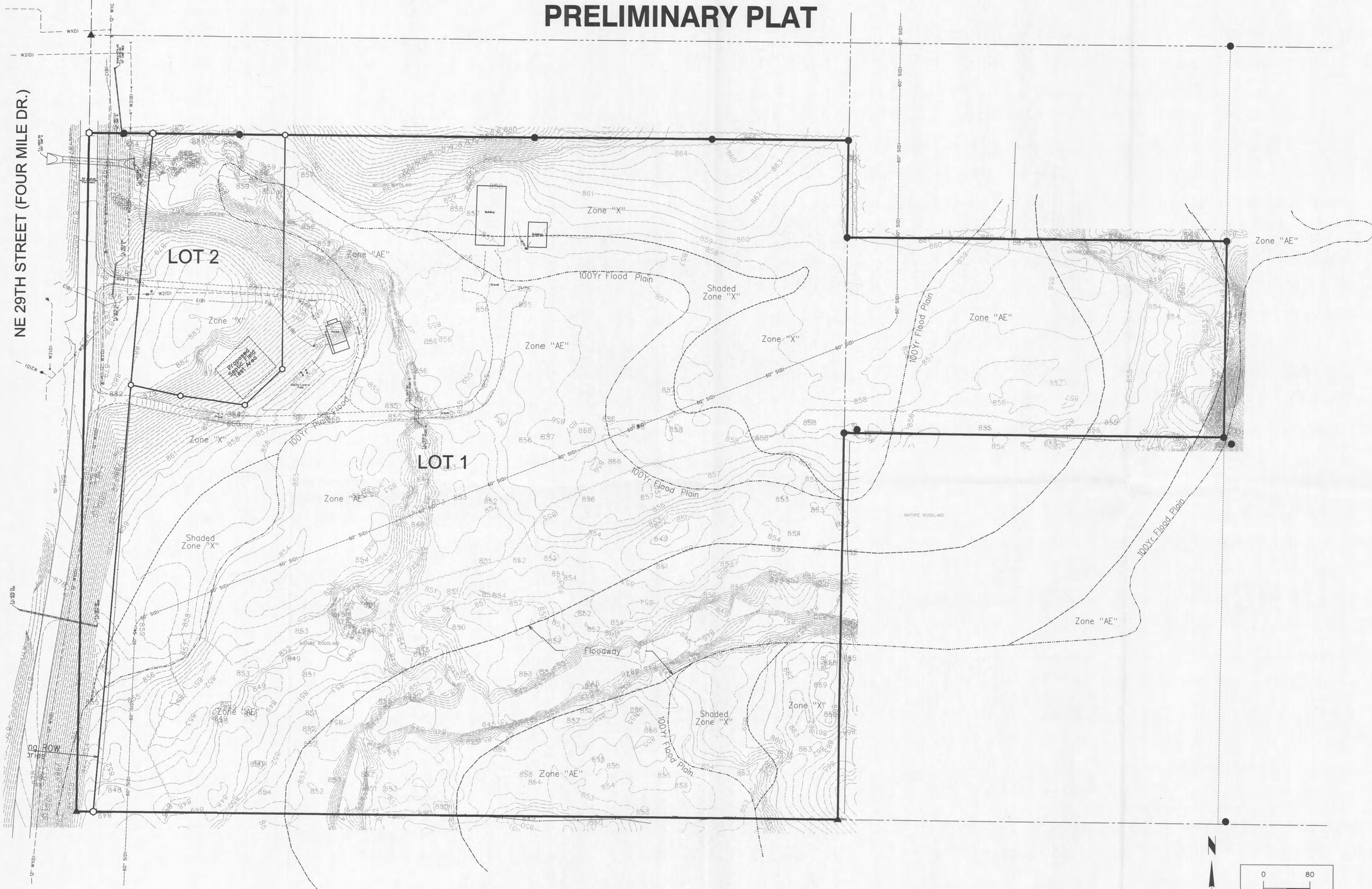
Project No: 1170869

Sheet 1 of 3

Sheet 1 of 3

WANGSNESS PLAT 2

PRELIMINARY PLAT



BIM1
EILEVATION=876.08
ARROW ON HYDRANT, EAST SIDE OF NE 29TH
STREET, IN FRONT OF #7205 NE 29TH STREET.

0 8
SCALE (FEET)



Project No: 1170869

Sheet 2 of 3

POLK COUNTY, IOWA

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