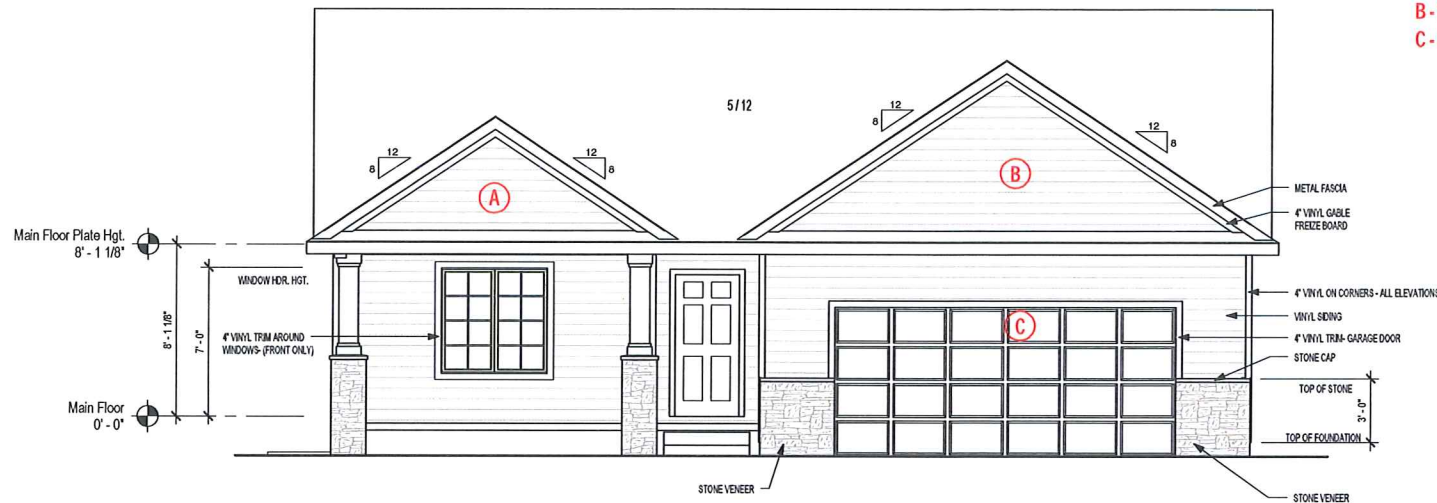


FRONT ELEVATION OPTIONS

A - SHAKE ABOVE PORCH

B - SHAKE ABOVE GARAGE

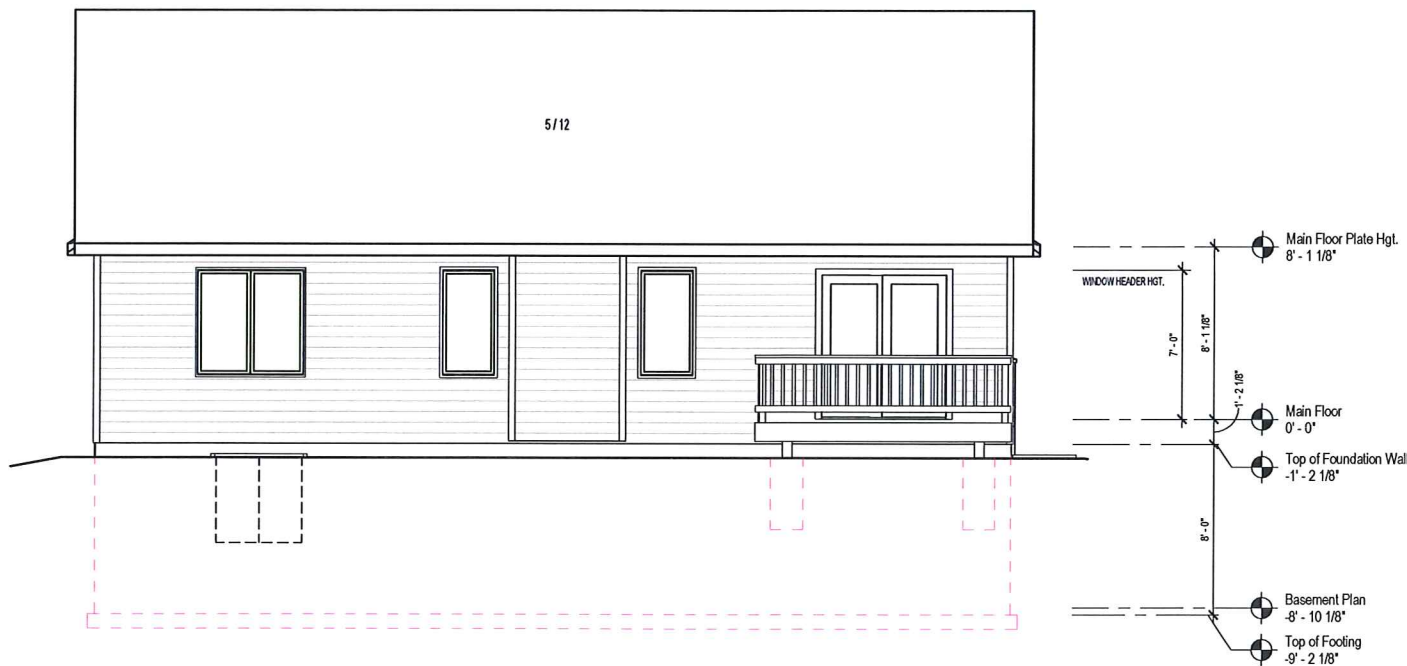
C - GARAGE DOOR WINDOWS



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED WALL...	
Lap Siding	2202 SF
Stone Veneer	60 SF

* SEE FIRST PAGE OF SPECIFICATIONS FOR THICKNESS OF THE EXPOSED SURFACE OF THE WALL.
1. THE AREA INCLUDES SUPPLY AND INSTALLATION OF THE FINISH MATERIAL.
2. THE AREA EXCLUDES THE WORK OF THE ROOFING CONTRACTOR.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"



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Classic Builders
Stonehaven Hamilton II -
Porch

PROJECT ID: PDS 3301

ISSUE DATE:

DATE: 06-30-16

DATE: 08-08-16

DATE: 08-25-16

DATE: 11-17-16

REVISIONS:

DATE:

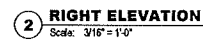
DATE: _____

DATE:

DATE:

Elevations
As indicated

A.2



ESTIMATED ROOF SF
2675 SF

- SQUARE FOOTAGE OF ROOF IS TAKEN FROM THE EXPOSED SURFACE OF THE ROOF.
1. THE ROOF INCLUDES SHEDDED SURFACES BELOW GUTTER.
2. FOR A 12:12 FACTOR, AN ADDITIONAL 1% IS ADDED.

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HG.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	5/12	1'-4"	7"

ALL RAKE OVERHANGS ARE 12" UNLESS NOTED

ALL RAKE OVERHANGS ARE 12' UNLESS NOTED



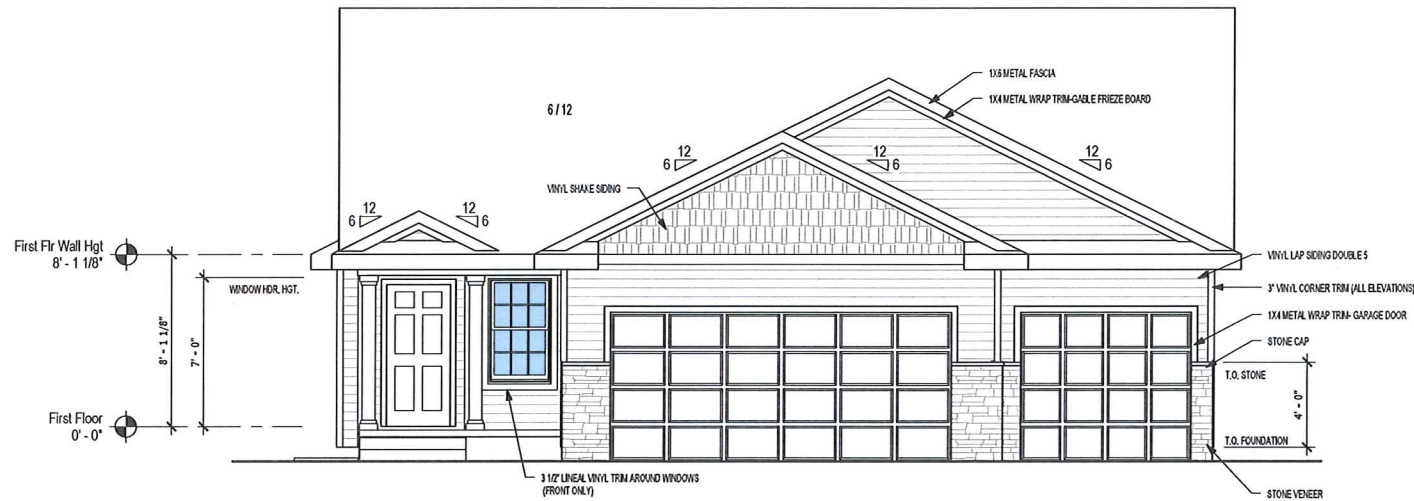
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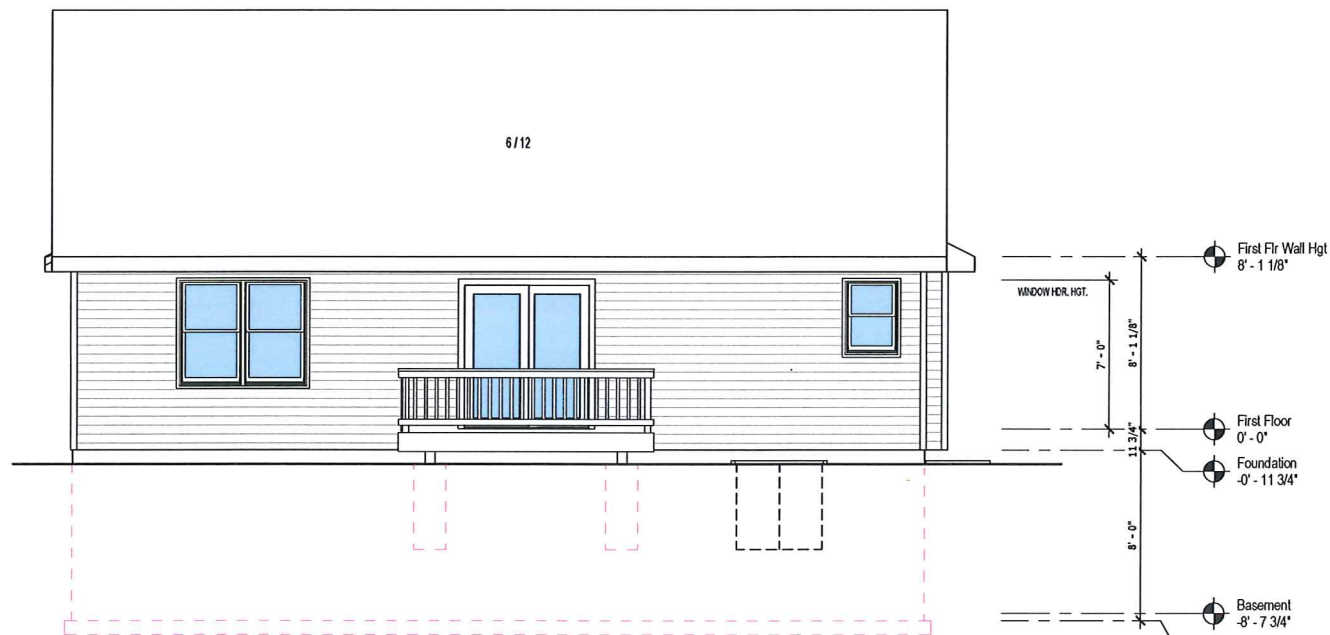
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1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED AREA - WALL CLADDING			
MATERIAL TYPE	MATERIAL SF	MATERIAL %	MATERIAL ELEVATION
Lap Siding - 6"	1966 SF	100.0%	
Lap Siding - 6"	100 SF	85.6%	Front
Shake Material - Staggered	57 SF	34.4%	Front

* SQUARE FOOTAGE OF CLADDING IS TO BE MEASURED ON THE EXPOSED SURFACE OF THE WALL.
1. THE AREA INCLUDES SURFACES BELOW DECORATIVE TRIM/BOARDS.
2. THE AREA INCLUDES ALL ROOF AND GROUND SURFACES.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

Classic Builders
U.S. Grant Plan

PROJECT ID:
PDS 3523

ISSUE DATE:

DATE: 10-10-16

DATE: 10-21-16

DATE: 10-25-16

DATE:

DATE:

DATE:

DATE:

DATE:

Elevations

1/4" = 1'-0"

THIS PAGE IS INTENDED TO BE PRINTED ON
24"X36" PAPER TO BE TO SCALE

A.1



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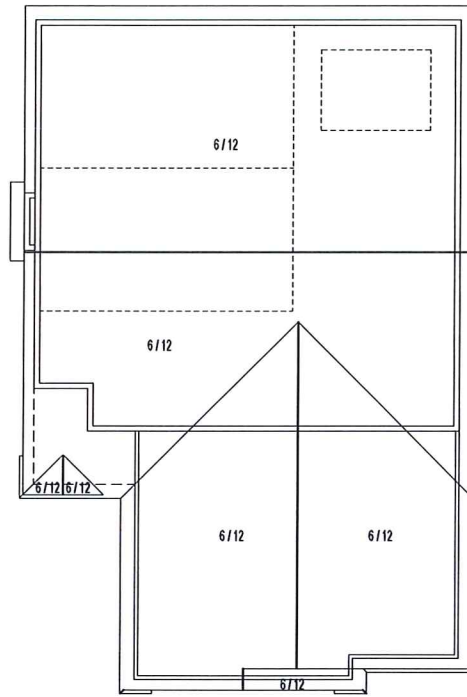
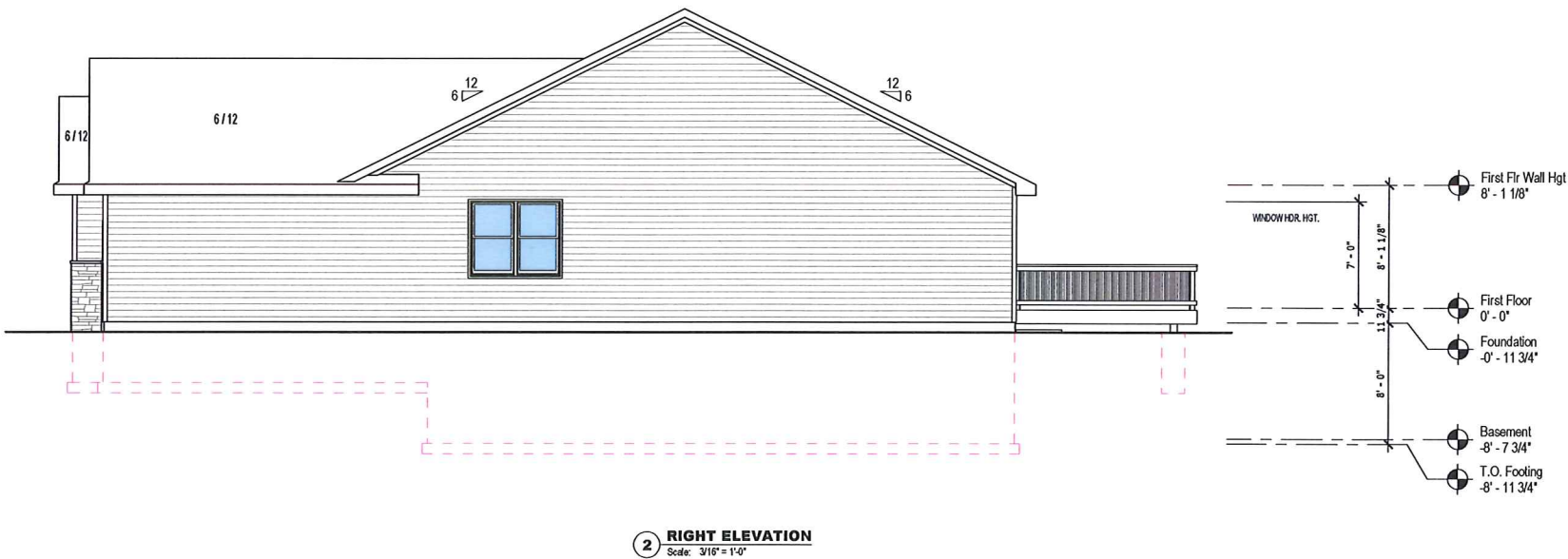
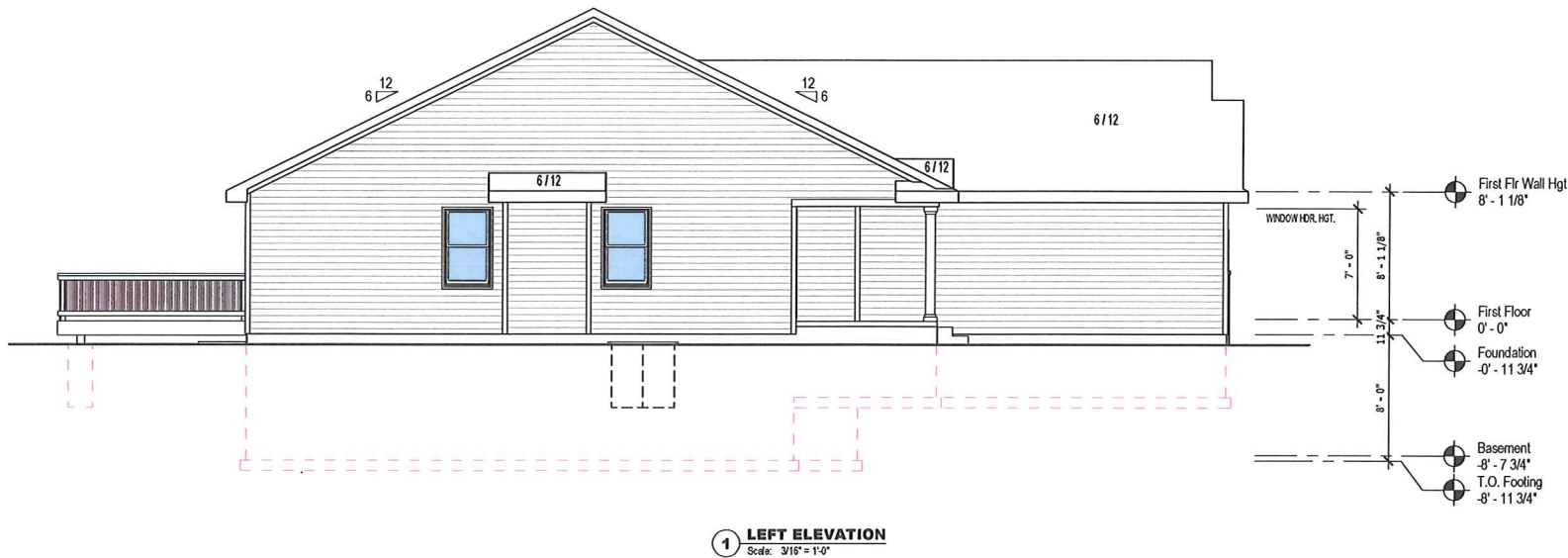
PROJECT ID:
PDS 3523

ISSUE DATE:
DATE: 10-10-16
DATE: 10-21-16
DATE: 10-25-16
DATE:
DATE:
DATE:
DATE:
DATE:

Elevations
As indicated

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A.2



ROOF PLAN LEGEND				
SYMBOL	PLATE HGT.	PITCH	OVERHANG	HEEL HGT.
ALL	8'-1 1/8"	6/12	1'-4"	7"
ALL RAVE OVERHANGS ARE 12" UNLESS NOTED				

ESTIMATED AREA - ROOF
2921 SF

* EXCLUDE FOOTING OF ROOFING TAKEN FROM THE EXISTED SURFACE OF THE ROOF.
1. THE AREA EXCLUDED FROM THE ROOFING SURFACE IS NOT INCLUDED.
2. NO AREA FACTOR HAS BEEN INCLUDED.



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EXTERIOR COLOR PACKAGE

- Royal White
- Graphite
- Slate
- Greystone



JACKSON

ABBREVIATIONS

ADJ	ADJUSTABLE
AIN	AINING
BTM	BOTTOM
BSMT	BASMENT
BTW	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
CAB.	CABINET
CL	CENTER LINE
CLG	CEILING
C.O.	CASSED OPENING
COL.	COLUMN
CONC.	CONCRETE
D	DRIVER
DIA	DIAMETER
DN	DOWN
DN	DOUBLE HUNG
DW	DISHWASHER
FD.	FLOOR DRAIN
FLR.	FLOOR
FT.	FEET
FURN.	FURNACE
HER.	HEADER
HWD	HARDWOOD
INSUL.	INSULATION
JST	JOIST
LVL	LAMINATED VENEER LUMBER
LVL	LINER
LVL	LINER
MIN.	MINIMUM
OC	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG.	OPENING
PD.	PERISTAL
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQ	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S&R	SHED AND ROD
S.F.	SQUARE FEET
S.P.	SUMP PIT
STL	STEEL
TY	TYPICAL
TRANS.	TRANSOM
UNEX.	UNEXCAVATED
VAL.	VANITY
W	WASHER
W	WITH
W.H.	WATER HEATER

ELECTRIC SYMBOLS

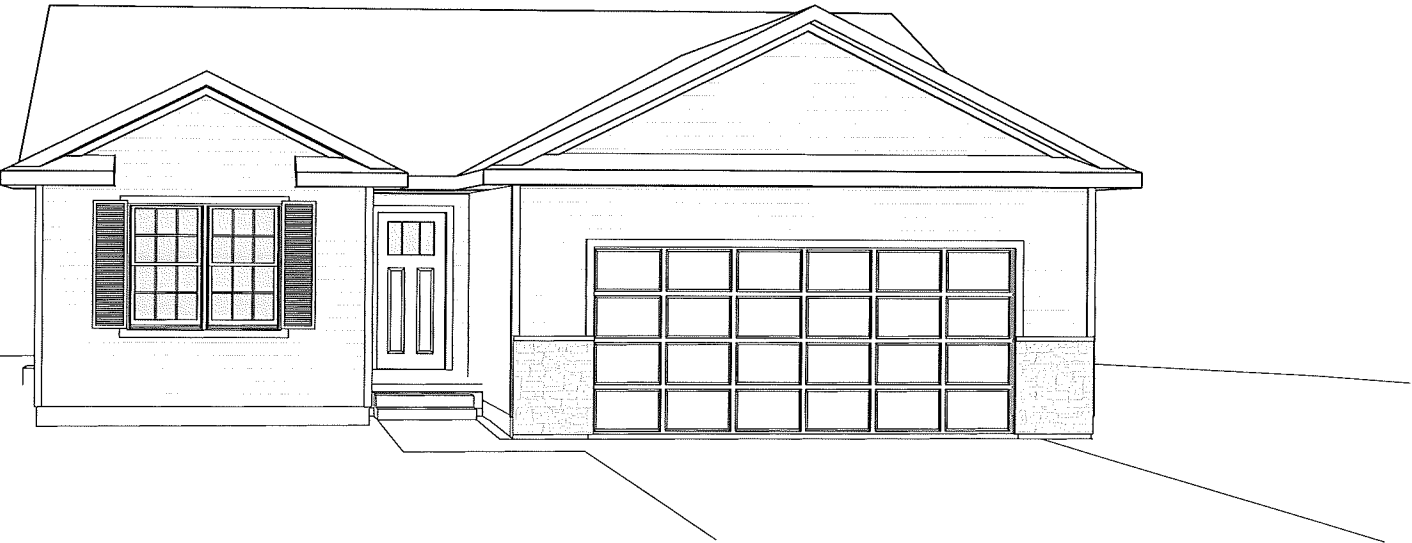
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH FAN
	SMOKE HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	W.M. MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

MISC. SYMBOLS

	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAM/HEADER OR GIRDER TRUSS

DRAWING LIST

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering



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GENERAL CONSTRUCTION NOTES

1. GENERAL

- ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2018 LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE NOTES. THE LOCAL REQUIREMENTS SHALL SUPERSEDE THE IRC 2018. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
- CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE USED BY OWNER/CONTRACTOR.
- THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURE OF THE BUILD UP OF MOISTURE ON MOULD.
- ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.

2. DESIGN CRITERIA

- BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOR LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (R301.1).
- TABLE 3.1(1) (IRC 2018, VALUES BASED FROM THE CITY OF DES MOINES, IOWA.

TYPE OF LOAD	SPEED CATEGORY	DESIGN WIND SPEED (MPH)	SUBSTITUTION CATEGORY		WIND DESIGN PRESSURE (PSF)	SEMI-EMPIRICAL WIND SPEED (MPH)	FLOOR HEIGHT (FEET)	WIND EXPOSURE CATEGORY	WIND DESIGN PRESSURE (PSF)	WIND DESIGN PRESSURE (PSF)	WIND DESIGN PRESSURE (PSF)
			DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)							
2-PSF	II	A	65	65	4	115	10	1	115	10	4.5

3. MINIMUM LIVE LOADS, (R301.1) IRC 2018

ATTIC WITH LIMITED STORAGE	20 PSF	ROOF TRUSS LIVE LOAD (L)	20 PSF
ATTIC WITHOUT STORAGE	10 PSF	GROUND SNOW (S _g)	30 PSF
DECKS	40 PSF	FLAT ROOF SNOW (S _f)	24 PSF
EXTERIOR BALCONIES	60 PSF	TERMINAL CONDITION	C1-1.0
GUARDRAILS AND HANDRAILS	200 PSF	TERMINAL EXPOSURE	B
ROOM OTHER THAN SLEEPING ROOMS	40 PSF	DURATION OF LOAD-SNOW	1.15
SLEEPING ROOMS	30 PSF	UNBALANCED AND SNOW DRIFT LOADS	
STAIRS	40 PSF		

DEFLECTION CRITERIA

FLOOR LIVE LOAD	L/600
FLOOR TOTAL LOAD	L/600
ROOF LIVE LOAD	L/240
ROOF TOTAL LOAD	L/240

ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA

4. DEAD LOADS ANY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.

FLOOR TOP CHORD		ROOF TOP CHORD	
CARPET AND PAD	1.5 PSF	ROOFING SHEET (20 LBS) 2 LAYER	4.40 PSF
3/4" CERAMIC TILE 1/2" BACKER BD.	10 PSF	3/4" SOLID FELT	0.30 PSF
3/4" HARDWOOD FLOOR	40 PSF	1/2" OSB OR COMPLYWOOD	1.65 PSF
SUBFLOOR-3/4" OSB OR COMPLYWOOD	2.0 PSF	1/2" ROOF TRUSS-2X4	1.10 PSF
1/2" FLOOR TRUSS-JOIST SYSTEM	1.5 PSF	CORRECTION FOR SLOPE (12/12)	1.55 PSF
TOTAL WITH CARPET/PAD	5.5 PSF	TOTAL	8.00 PSF
TOTAL WITH TILE/BACKER BD.	13.5 PSF		
TOTAL WITH HARDWOOD FLOOR	7.5 PSF		
FLOOR BOTTOM CHORD		ROOF BOTTOM CHORD	
1/2" FLOOR TRUSS-JOIST SYSTEM	1.5 PSF	1/2" ROOF TRUSS-2X4	1.10 PSF
5/8" GYPBOARD	2.8 PSF	5/8" GYPBOARD	2.8 PSF
MINIMUM FOR MISC MECHANICAL ELEC.	0.7 PSF	MINIMUM FOR MISC MECHANICAL ELEC.	1.5 PSF
TOTAL	5.0 PSF	TOTAL	7.00 PSF

3. ROOM REQUIREMENTS

- CEILING HEIGHT (R301.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
-EXCEPTION 1. BEAMS AND GIRDERS SPACED LESS THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.
2. CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN 4 FEET 8 INCHES OF FINISHED FLOOR. THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF FEET 8 INCHES OVER THE FRONT OF THE FEATURE.
3. FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF FEET 8 INCHES OVER THE FRONT OF THE FEATURE.
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF FEET 8 INCHES OVER THE FRONT OF THE FEATURE.
5. ROOM DIMENSIONS (R301.1) THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7'0" FEET, EXCEPT KITCHEN (R301.2).
- LIGHT AND VENTILATION (R301.1) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 1 S.F. IN AREA. NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT. EMERGENCY ESCAPE WINDOWS (R310) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 24" IN HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A SILL HEIGHT OF NO MORE THAN 4" ABOVE THE FLOOR. EGRESS WINDOW WELLS MUST PROJECT A MINIMUM OF 3" AND PROVIDED OVER 8 SQ. FT. OF NET CLEAR AREA. LADDERS ARE REQUIRED IF THE WELL IS OVER 4' DEEP. LADDERS SHALL BE A MIN. OF 12" WIDE.

4. BUILDING REQUIREMENTS

- ATTIC ACCESS (R301) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 30" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 3" OF CLEAR HEAD SPACE.
- ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.0 S.F. (NET) FOR EACH 150 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (R301.2).
- SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT. SEE BUILDING DEPARTMENT. SMOKE ALARMS SHALL BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK UP (R317).
- STAIRWAY ARE TO BE A MINIMUM OF 3' WIDE (FINISHED) (R311.5.1) WITH A MINIMUM HEADROOM OF FEET 8 INCHES (R311.5.2). THE MAXIMUM RISER IS 7 3/4" (R311.5.1.1) WITH A MINIMUM RUN OF 17" (R311.5.1.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR RUNS WITH 4 OR MORE RISERS (R311.5.6). A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 12 FEET BETWEEN FLOORS OR LANDINGS (R311.5.6). PROVIDE GL. GUTTERS, DOWN SPOUTS, AND SPLASH BLOCKS AS NECESSARY.

5. FOUNDATION/CONCRETE

- IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. (R401.4) A SOIL CAPACITY OF 2000 PSF IS ASSUMED.
- CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 psi AT 28 DAYS. GARAGE FLOOR SLABS SHALL BE 3.00" AT 28 DAYS. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3.500 psi AT 28 DAYS (R401.2). CONCRETE SHALL BE AIR ENTRAINED WITH 5%-7% TOTAL AIR CONTENT.
- ALL FOOTING SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL. MINIMUM FOOTING TO BE 18" WIDE X 10" DEEP FOR A 1 STORY BUILDING AND 18" WIDE X 10" DEEP FOR A 2 STORY BUILDING (TABLE R401.1.1) BOTH WITH 2 CONTINUOUS HORIZONTAL REBAR.
- ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS PER ALL PLATE WITH BOLTS SPACED AT A MAXIMUM OF 8 FEET ON CENTER WITH A MINIMUM OF ONE BOLT NOT MORE THAN 12 INCHES FROM THE END BUT AT LEAST 12 INCHES FROM END OF ALL PLATE (R401.1.1). ALTERNATE FOUNDATION STRIPS MAY BE USED. SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO 1/2" DIAMETER ANCHOR BOLTS.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE R401.1.1(5). REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

6. WOOD FRAMING

- ROOF, FLOOR, AND WALL SHEATHING APA RATED SHEATHING.
- WALL STUDS MINIMUM SPF #110 OR DOUGLAS FIR LARCH STD.
- WALL PLATES MINIMUM SPF #2 OR BETTER.
- DIMENSIONAL HEADERS #2 DOUGLAS FIR OR BETTER.
- J-LV HEADERS 2X6 DOUGLAS MINIMUM.
- JUST UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. (R501.4)
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON CONCRETE. (R501.5)
- WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSI/TH-1. REFER TO THE MANUFACTURER'S TRUSS DESIGN DRAWINGS FOR WEB BRACING AND WALL COLLECTION OF GIRDERS. EBCI 140 SHOULD BE REFER TO FOR HANDLING INSTALLATION AND BRACING OF METAL PLATE TRUSSES.
- NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES. STRUCTURAL COMPOSITE LUMBER, GLUE LAMINATED MEMBERS, OR JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN BY PROFESSIONAL. (R501.5.2)
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND ROOF SPACE. (R501.6)
- ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R502.10. MINIMUM 3/4" PANEL SHEATHING.
- THE ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R501.5(1).

TYPE OF LOAD	SPEED CATEGORY	DESIGN WIND SPEED (MPH)	SUBSTITUTION CATEGORY		WIND DESIGN PRESSURE (PSF)	SEMI-EMPIRICAL WIND SPEED (MPH)	FLOOR HEIGHT (FEET)	WIND EXPOSURE CATEGORY	WIND DESIGN PRESSURE (PSF)	WIND DESIGN PRESSURE (PSF)	WIND DESIGN PRESSURE (PSF)
			DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)							
2-PSF	II	A	65	65	4	115	10	1	115	10	4.5

TYPE OF LOAD	SPEED CATEGORY	DESIGN WIND SPEED (MPH)	SUBSTITUTION CATEGORY		WIND DESIGN PRESSURE (PSF)	SEMI-EMPIRICAL WIND SPEED (MPH)	FLOOR HEIGHT (FEET)	WIND EXPOSURE CATEGORY	WIND DESIGN PRESSURE (PSF)	WIND DESIGN PRESSURE (PSF)	WIND DESIGN PRESSURE (PSF)
			DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)							
2-PSF	II	A	65	65	4	115	10	1	115	10	4.5

TYPE OF LOAD	SPEED CATEGORY	DESIGN WIND SPEED (MPH)	SUBSTITUTION CATEGORY		WIND DESIGN PRESSURE (PSF)	SEMI-EMPIRICAL WIND SPEED (MPH)	FLOOR HEIGHT (FEET)	WIND EXPOSURE CATEGORY	WIND DESIGN PRESSURE (PSF)	WIND DESIGN PRESSURE (PSF)	WIND DESIGN PRESSURE (PSF)
			DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)							
2-PSF	II	A	65	65	4	115	10	1	115	10	4.5

- TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 175 POUNDS AND PER THE MANUFACTURE SPECIFICATIONS.
- PROTECTION FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATION BY THE USE OF NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER. (R318.1)
 - ALL WOOD FRAMING THAT REST ON CONCRETE EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 4" FROM THE EXPOSED GROUND.
 - ALL SIDS AND ENDERS ON A CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
 - THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 5 INCH ON TOP, SIDES AND ENDS.
 - WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND.
 - ALL LUMBER IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES (R318.1.2).
- ALL ROOF AND BOX JOIST SPACES BETWEEN TOP OF THE FOUNDATION WALL AND FLOOR/ROOF LINE SHALL BE INSULATED WITH THE SAME MATERIAL USED FOR EXTERIOR WALLS. ALL EXTERIOR CORNERS AND INTERIOR PARTITIONS TO EXTERIOR WALLS THAT ARE CLOSED OFF TO FUTURE INSULATION MUST BE INSULATED DURING FRAMING OF WALL.
- ALL NAILING AND FASTENING SHOULD COMPLY WITH THE IRC TABLE R502.3(1) "FASTENER SCHEDULE FOR STRUCTURAL MEMBERS"
- STRUCTURAL STEEL
 - ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A572 GRADE 50 OR EQUIV. AND SHALL HAVE BRIDGE CLIPPING AT 4 FEET ON CENTER TO RESIST LATERAL DEFLECTION.
 - ALL FRAMING TO BE ATTACHED TO STRUCTURAL STEEL IN ACCORDANCE WITH GOVERNING CODES.

NOT FOR CONSTRUCTION

THESE PLANS HAVE NOT BEEN APPROVED FOR FINAL CONSTRUCTION. PLEASE CALL OR SEE OWNER FOR UPDATED PLANS.

Classic Builders
Jackson Base Plan-A
Villas @ Stone Haven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-06-15

DATE: 11-13-15

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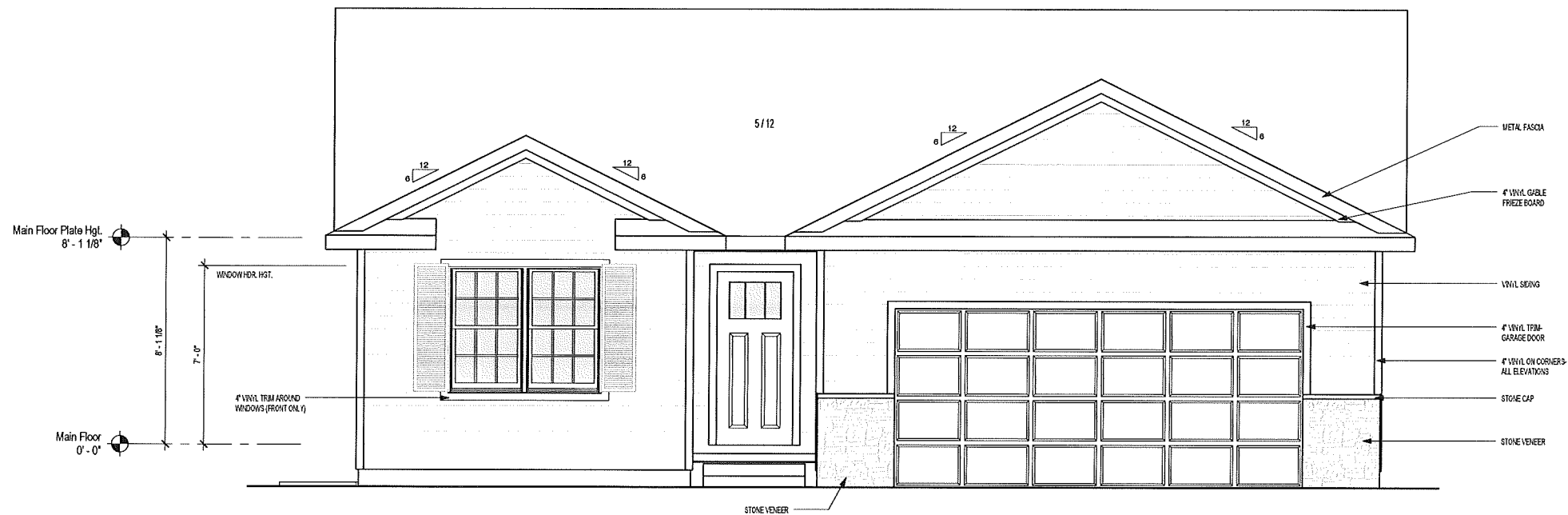
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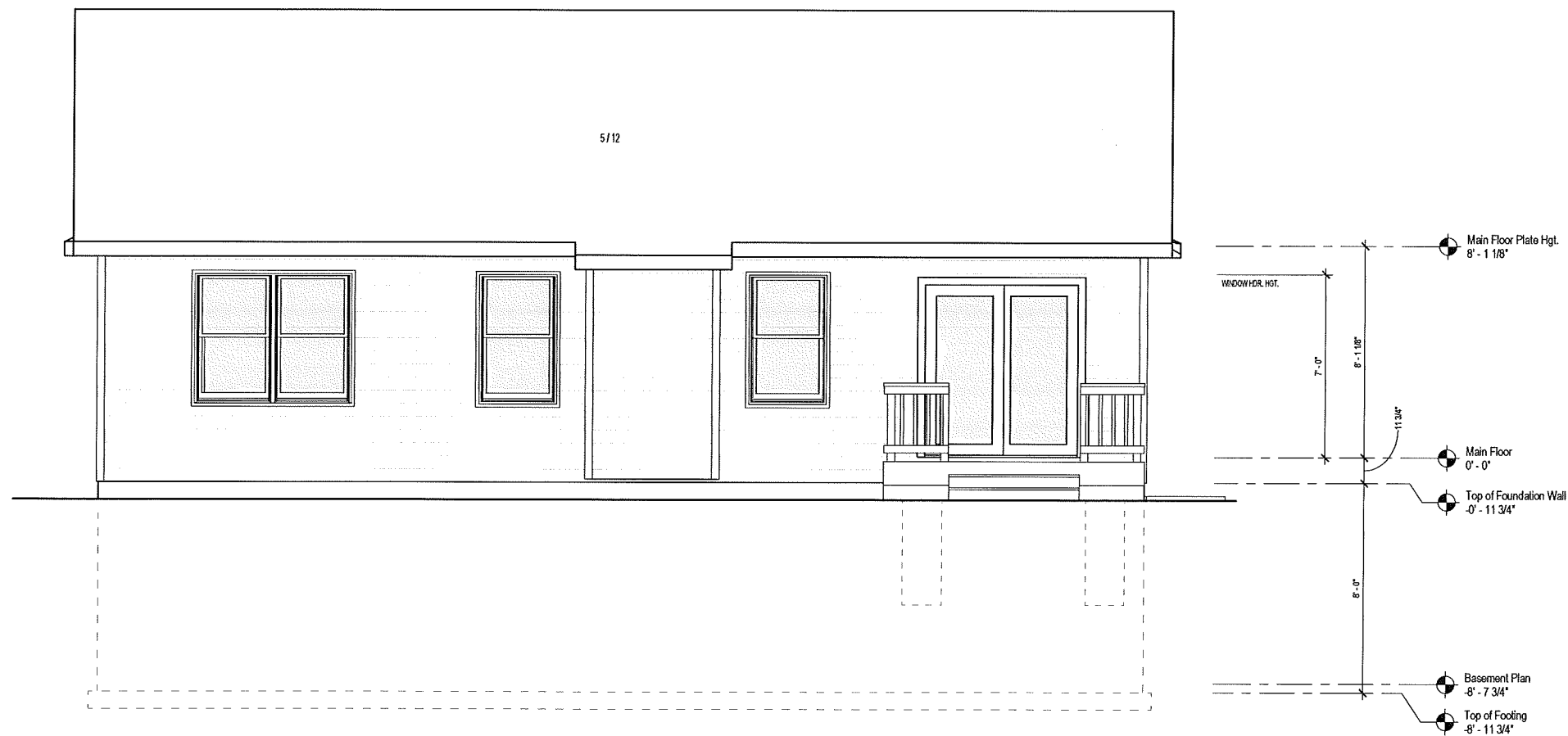
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1 FRONT ELEVATION
Scale: 3/8" = 1'-0"

ESTIMATED WALL...	
Lap Siding	1909 SF
Stone Veneer	23 SF

* QUANTITIES OF SIDING AND STONE VENEER ARE BASED ON THE EXTERIOR SURFACE OF THE WALL.
1. THE HEIGHT OF THE SIDING IS BASED ON THE TOP OF THE FOUNDATION WALL.
2. THE HEIGHT OF THE STONE VENEER IS BASED ON THE TOP OF THE FOUNDATION WALL.



2 REAR ELEVATION
Scale: 3/8" = 1'-0"

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Villas @ Stone Haven

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Elevations

3/8" = 1'-0"

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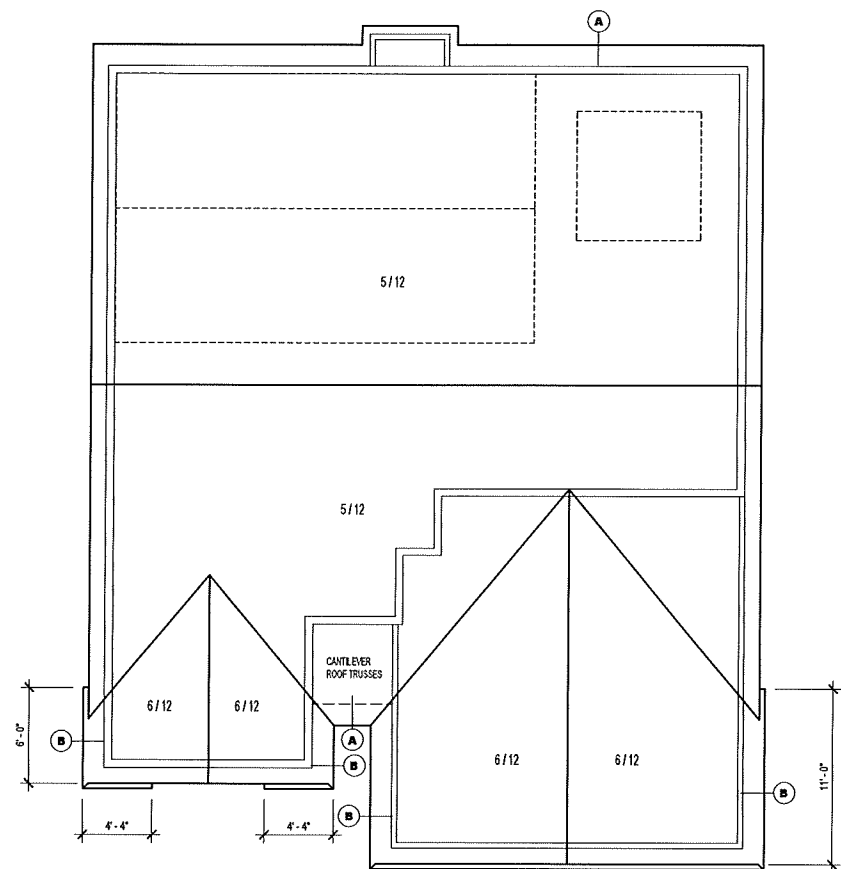
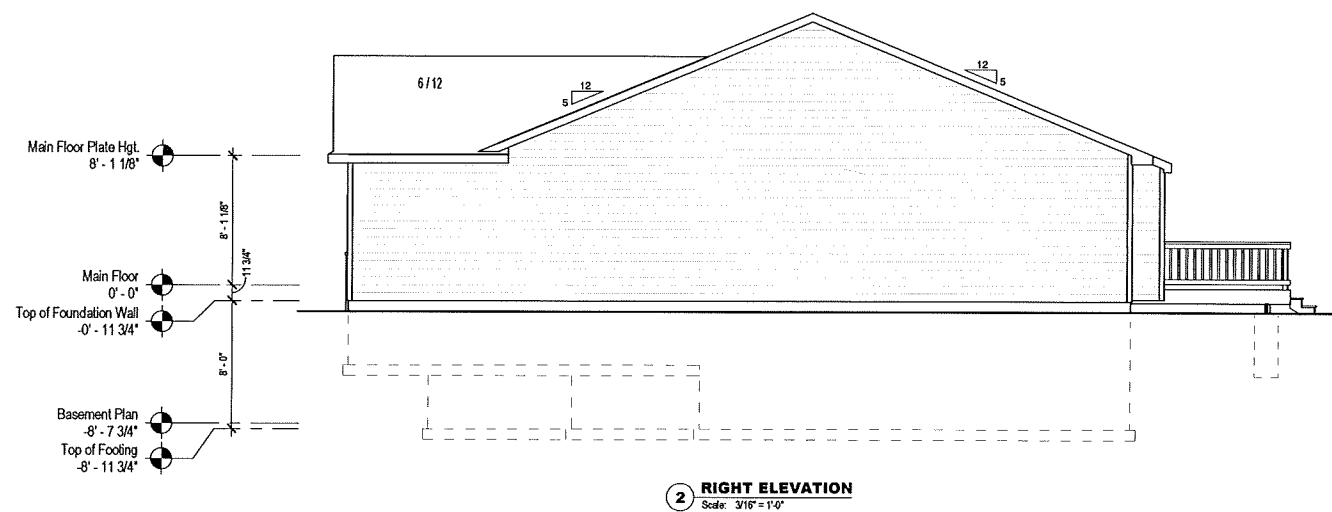
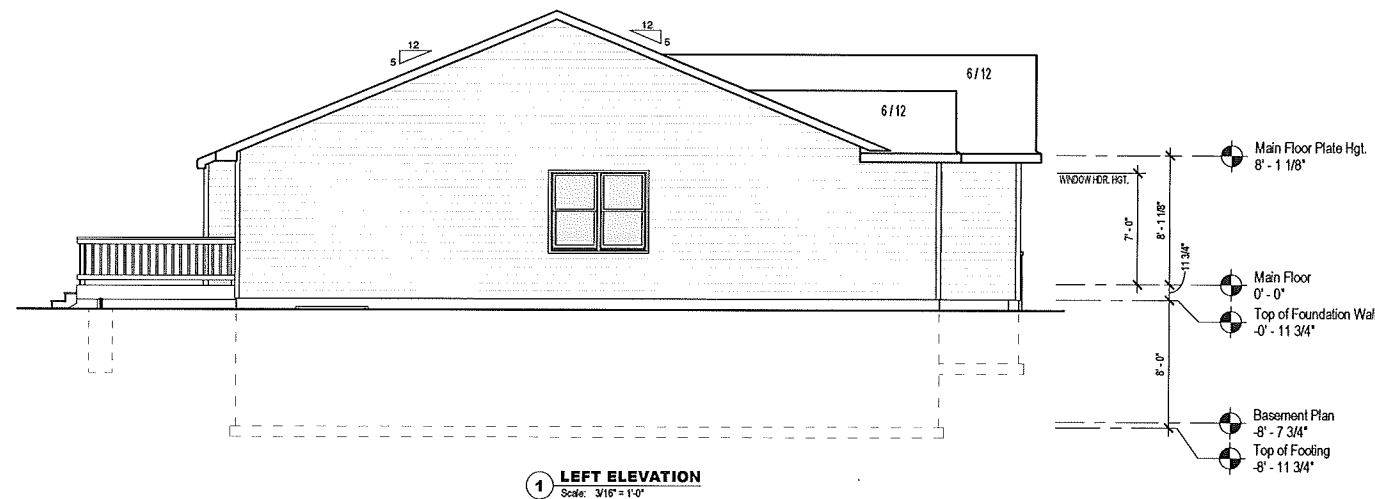
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Elevations
As indicated

A.2



ESTIMATED ROOF SF

2311 SF

* SQUARE FOOTAGE OF ROOF IS FOR REFERENCE PURPOSES ONLY. THE ROOF IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ROOFING CONTRACTOR'S SPECIFICATIONS.

ROOF PLAN LEGEND

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-0"	7"
B	8'-1 1/8"	5/12	1'-0"	8 5/16"

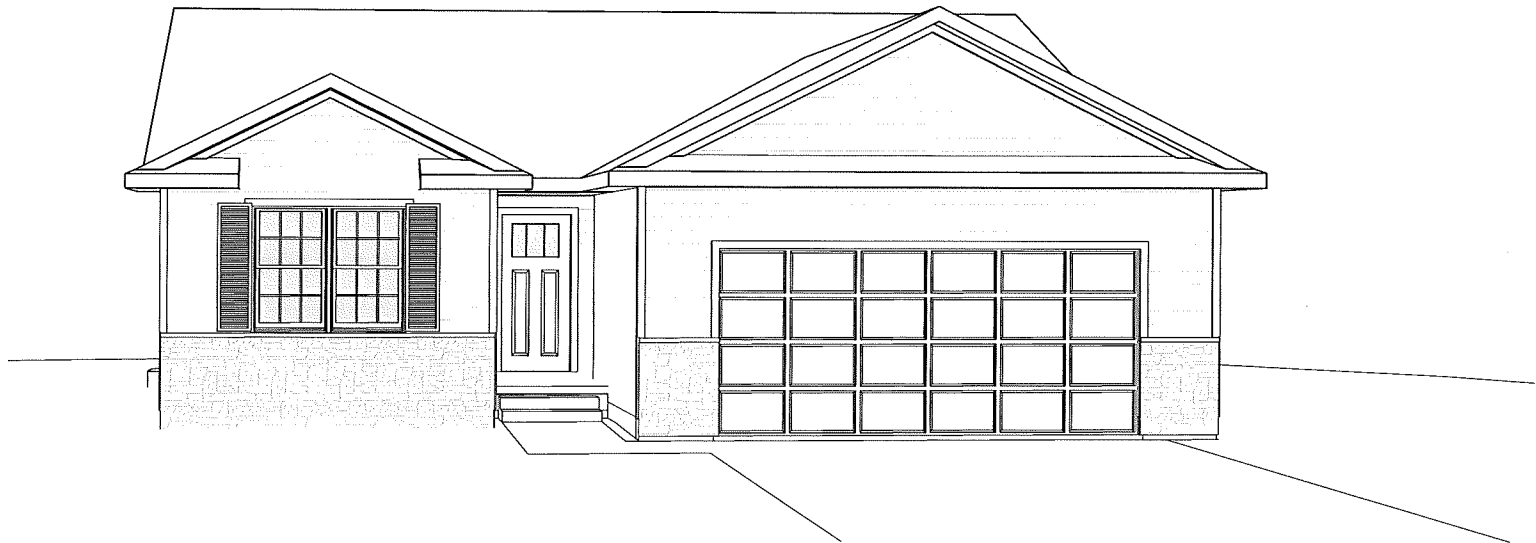
ALL RAISE OVERHANGS ARE 12" UNLESS NOTED

ADJ	ADJUSTABLE
ANL	ANALOG
BTM	BOTTOM
BMT	BASIMENT
BTW	BETWEEN
CA	CASHEM
CONT.	CONTAINER
CBL	CABLE
C	CENTER
C.G	CENTER LINE
C.D.	CABLE OPENING
COL.	COLUMN
CONC.	CONCRETE
D	DRIVER
DA	DAMETER
DH	DOWN
DH	DOUBLE HAND
DW	DISWASHER
F.D.	FLOOR BOARD
FL.	FLOOR
FL	FEET
FURN	FURNACE
HER	HEATER
HWYD	HYDROWOOD
INST.	INSULATION
INL	INLET
INX	INWAX
IR	IRON
OC	OVER CENTER
O.H.D.	OVERHEAD DRAIN
OPNG.	OPENING
FEED.	FEEDER
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQ	REQUIRED
ROOM	ROOM OPENING
RM	ROOM
SH	SHINGLE HANG
S.P.R.	SHIELD AND ROD
S.F.	SQUARE FEET
SUMP	SUMP PIT
STL	STEEL
TRF	TRANSFER
UNEX.	UNEXCAVATED
VAL	VALVE
V	VASHER
W	WITH
W.H.	WATER HEATER

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH E. FAN
	SMOKE/HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	W.M. MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

 FROST PROOF HOSE BIB
 FLOOR LINE ABOVE
 STRUCTURAL BEAM/HEADER
OR GIRDER/TRUSS

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering

[illegible][illegible]

ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA

D. DEAD LOADS: ANY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.

FLOOR-TOP CHORD

CAPET AND PANO	1.5 PSF	ROOFING SHINGLES (20 LBS / 2' LAYER)	4.00 PSF
3" CERAMIC TILE BACKER BLD.	10 PSF	SOBLS FLT	0.30 PSF
3/4" HARDWOOD FLOOR	2.0 PSF	4" GGB OR COMPA YOOD	1.10 PSF
SUPLOOR-3/8" GGB OR COMPA YOOD	4.0 PSF	12" ROOF TRUSS-24	1.50 PSF
12" ROOF TRUSS-KIST SYSTEM	1.5 PSF	CONNECTION FOR SLOPE (10/12)	1.55 PSF
TOTAL WITH CAPET AND PANO	5.5 PSF	TOTAL	9.00 PSF
TOTAL WITH TILE BACKER BLD.	13.5 PSF		
TOTAL WITH HARDWOOD FLOOR	7.5 PSF		
		ROOF-BOTTOM CHORDS	
		12" ROOF TRUSS-24	1.10 PSF
		4" GGB OR YOOD	2.80 PSF
		MINIMUM FOR MISC MECHANICAL/ELEC.	1.50 PSF
		1" BATTLE-GLN INSULATION	1.60 PSF
FLOOR-BOTTOM CHORD			
12" ROOF TRUSS-KIST SYSTEM	1.5 PSF		
5/8" GIPBOARD	2.4 PSF		
MINIMUM FOR MISC MECHANICAL/ELEC.	0.7 PSF		
TOTAL	5.0 PSF		7.00 PSF

FLOOR-BOTTOM CHOP

1/2 FLOOR TRUSS-JOIST SYSTEM	1.5 PSF	MINIMUM FOR VISC MECHANICAL/ELEC.	1.5 PSF
5/8" GYPBOARD	2.8 PSF	1" BATTLEGLOWN INSULATION	1.60 PSF
MINIMUM FOR VISC MECHANICAL/ELEC.	0.7 PSF		
TOTAL	5.0 PSF	TOTAL	7.00 PSF

3. ROOM REQUIREMENTS

- CEILING HEIGHT (R035.1.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
- EXCEPTION 1: CEILING AND GROUND SURFACES SHALL HAVE A MINIMUM AFFIX ON CENTERLINE PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.
2. CEILING BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN A FEET 8 INCHES OF FINISHED FLOOR.
3. FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A MINIMUM CEILING HEIGHT OF 7 FEET. THERE SHALL BE NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING, HEIGHT, OF LESS THAN 5 FEET.
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 8 FEET 1 INCHES OVER THE FRONT OF THE TUB OR SHOWER (R034.3.4). BATHROOMS WITH OR WITHOUT HABITABLE ROOMS SHALL BE NOT LESS THAN 7' 0" CLEAR IN ANY HORIZONTAL DIMENSION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL BE NOT LESS THAN 70 SQ. FEET, EXCEPT NITCHES (R034.2).
5. LIGHT AND VENTILATION (R035.1.1) HABITABLE ROOMS PROVIDE NATURAL LIGHT AND VENTILATION WITH OPENABLE WINDOW(S) SHALL BE REQUIRED. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL BE NOT LESS THAN 70 SQ. FEET. THERE SHALL BE OPENABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS SHALL HAVE AN OPENABLE WINDOW OF 0.35 IN. AREA. NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT. EMERGENCY ESCAPE WINDOWS (R031) BASEMENT AND OTHER SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 5.7 IN WIDE BY 20 IN HIGH. EMERGENCY ESCAPE WINDOWS SHALL BE NOT LESS THAN 5.7 IN WIDE BY 20 IN HIGH. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED WITH A MIN. HEIGHT OF 20 IN. OR 40 IN ABOVE THE FLOOR. EGRESS WINDOW WALLS MUST PROJECT A MINIMUM OF 3" AND BE PROVIDED BY NO MORE THAN 1" OF NET CLEAR AREA. LADDERS ARE REQUIRED IF THE WELL IS OVER 4' DEEP. ACCESSORS SHALL BE A MIN. OF 1' 6" WIDE.
6. BUILDING EGRESS
- A. ATTIC ACCESS (R031.7) PROVIDE ACCESS TO THE ATTIC OR FROM AN ACCESS DOOR AT LEAST 2' 3" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 3' OF CLEAR HEAD SPACE.
- B. ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTILATION AT LEAST 1 S.F. PER 100 S.F. OF ATTIC AREA. ATTIC VENTILATED. ATTIC VENTILATION SHALL BE PROVIDED BY MEANS OF ONE OR MORE OF THE FOLLOWING:
1. SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BASEMENT, IN GARAGE OR ATTACHMENT. SMOKE ALARMS SHALL BE INSTALLED IN ALL BEDROOMS IN SERIES WITH BATTERY BACK (R031.5.2).
2. STAIRWAY AREA SHALL BE TO A MINIMUM OF 3' WIDE (FINISHED) (R031.5.1) WITH A MINIMUM RUN OF 17 IN (R031.5.3.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR GRIPS WITHIN 4 MO OR MORE SPACES (R031.5.3.4).
3. A FLIGHT OF STAIRS SHALL HAVE A MINIMUM OF 4' CLEAR WIDTH BETWEEN THE HANDRAILS OR LADDERS (R031.5.3.4).
4. PROJECT THE GUTTERS, DOWN SPOUTS AND SPASH BLOCKS AS NECESSARY.

5. FOUNDATION/CONCRETE

- [illegible]

6. WOOD FRAMING

- | | | |
|---|---|--|
| A | ROOF, FLOOR AND WALL SHEATHING | APA RATED SHEATHING |
| B | WALL STUDS | MINIMUM SPF STUD OR DOUGLAS FIR LARCH STUD |
| C | WALL PLATES | MINIMUM SPF LK OR BETTER |
| D | ORIENTED GLASS HEADERS | DOUGLAS FIR OR BETTER |
| E | WALL HEADERS | 2X4 OR 2X6 |
| F | JOIST UNDER PARALLEL BEAMS PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD (H200.4) | |
| G | THE ENDS OF EACH JOIST BEAM OR GROUND SHALL HAVE NOT LESS THAN 15 INCHES OF BEARING ON IRON OR | |
| H | WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSII/PTA 1.01. REFER TO THE | |
| I | INDIVIDUAL TRUSS DESIGN DRAWINGS FOR WEB BRACING AND WALL CONNECTION OF GIRDERS 800 1-21 | |
| J | AND REFER TO FOR HAVING IN THE WALL AN AREA OF METAL PLATE TRUSSES. | |
| K | NO CUTS, NOTCHES AND HOLES SHOULD INTO TRUSSES. STRUCTURAL COMPOSITE LUMBER, GLUE LAMINATED | |
| L | MEMBERS, OR A JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION | |
| M | OR DESIGN OF PROFESSIONAL. (H202.2) | |
| N | THE JOIST SHALL BE PROVIDED WITH ONE OFF ALL CONCERED PART OPENING (BOTH VERTICAL AND HORIZONTAL) | |
| O | AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND ROOF. (H202.2) | |
| P | ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORD WITH SECTION R2.21. MINIMUM 3X4 PLATE SHEATHING. | |
| Q | THE ALLOWABLE SPANS OF ORIENTED HEADERS PARALLEL FROM DIMENSIONAL LUMBER ON UPPER WALLS SHALL | |
| R | BE THE SAME AS THE LOWER WALLS. | |

TABLE 10.1.1.1	F2000C60					
	BASE					
	BASE FLOOR					
SPACING	SIZE	FLOOR	SPACING			
			12	18	24	30
FLOOR FLOOR	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
FLOOR FLOOR	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
FLOOR FLOOR	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
FLOOR FLOOR	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30
	FLOOR	FLOOR	12	18	24	30

TABLE 10-10-1, cont.		OFFICE ZONE									
OFFICE AND MEETING SUPPORT		OFFICE ZONE									
		OFFICE ZONE									
		20	30	40	50	60	70	80	90	100	
OFFICE AND MEETING SUPPORT FLOOR	20	18	12	8	5	3	2	1	1	1	
	30	14	10	7	4	3	2	1	1	1	
	40	12	9	6	4	3	2	1	1	1	
	50	10	7	5	3	2	1	1	1	1	
	60	8	6	4	3	2	1	1	1	1	
OFFICE AND MEETING SUPPORT FLOOR	70	7	5	3	2	1	1	1	1	1	
	80	6	4	3	2	1	1	1	1	1	
	90	5	3	2	1	1	1	1	1	1	
	100	4	3	2	1	1	1	1	1	1	
	110	3	2	1	1	1	1	1	1	1	

A. SPACING BETWEEN FEETINGS
B. TABLE ASSUMES NO GRADE LIFT
C. MINIMUM OF JACK STUDS TO SUPPORT EACH BOARD
THIS IS A TRICK QUESTION IF THE FULL TABLE IS IN THE BOOK.

- M. TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 115 POUNDS AND PER THE MANUFACTURE SPECIFICATIONS.
- N. PROTECTION FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATION BY THE USE OF NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER. (301.13)
1. ALL WOOD FRAMING THAT REST ON CONCRETE EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 4" FROM THE EXPOSED GROUND.
2. SILLB AND SLEEPERS ON A CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND AND NOT SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
3. THE ENDS OF WOOD GIRDERS EXPOSED TO CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 3" ON TOP, SIDES AND ENDS.
4. WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 4" FROM THE GROUND.
5. ALL LUMBER IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR SUBMERGED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES (301.13.2)
6. ALL JOINTS, GUT SPACES BETWEEN TOP OF THE FOUNDATION WALL AND FLOORING SHALL BE INSULATED WITH THE SAME MATERIAL USED FOR EXTERIOR WALLS. ALL EXTERIOR CORNERS AND INTERIOR PARTITIONS TO EXTERIOR WALLS THAT ARE CLOSED OFF TO FUTURE INSULATION MUST BE INSULATED DURING FRAMING OF WALL.
7. ALL WALLING AND FASTENINGS SHOULD COMPLY WITH THE IRC TABLE N10.5.2(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS.
7. STRUCTURAL STEEL:
 - A. ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A572 GRADE-50 OR EQUAL AND SHALL HAVE BRIDGE CLIPPING AT FEET ON CENTER TO RESIST LATERAL DEFLECTION.
 - B. ALL FRAMING TO BE ATTACHED TO STRUCTURAL STEEL, IN ACCORDANCE WITH GO-ENGINEERING CODES.

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plum
BUILDING SYSTEMS, LLC

PLUM DESIGN SERVICES

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Jackson Base Plan-B
Villas @ Stonehaven

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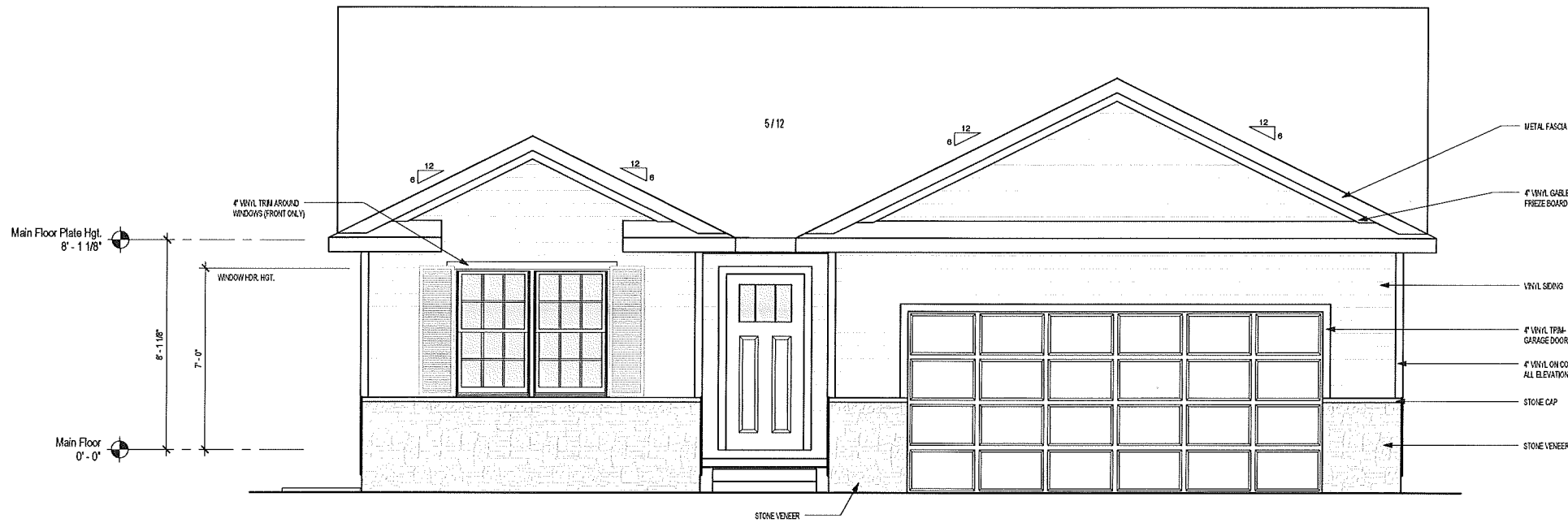
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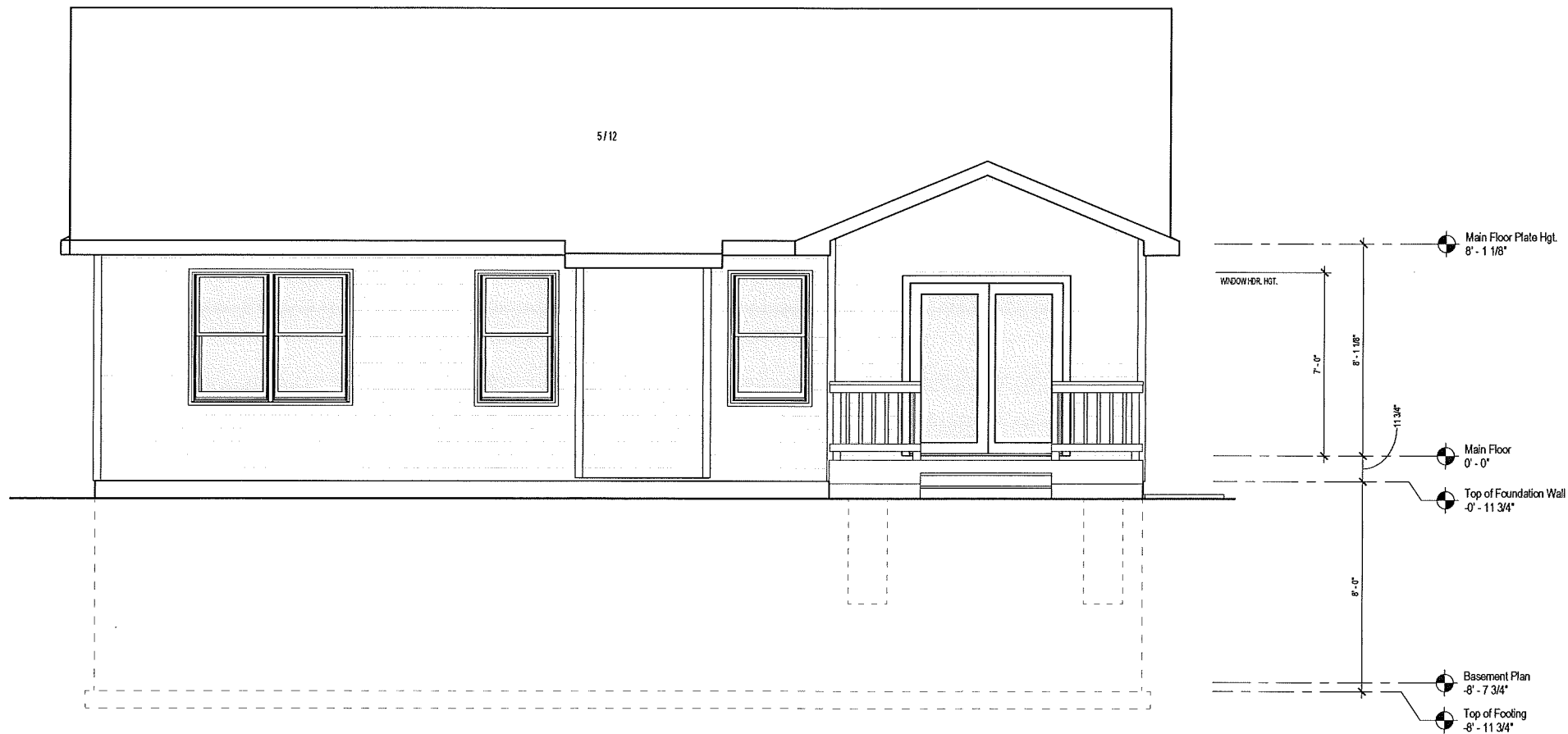
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1 FRONT ELEVATION
Scale: 3/8" = 1'-0"

ESTIMATED WALL...	
Lap Siding	1935 SF
Stone Veneer	75 SF

1. TO AVOID FORTHCOMING OF SLOPE INDICATIONS IN BUILDING THE EXPOSED SURFACE OF THE WALL
2. THE VENEER INCLUDED SURFACES BEING IN SECONDARY TOP SURFACE
3. THE VENEER INCLUDED IN ROOM AND DOOR OPENINGS



2 REAR ELEVATION
Scale: 3/8" = 1'-0"

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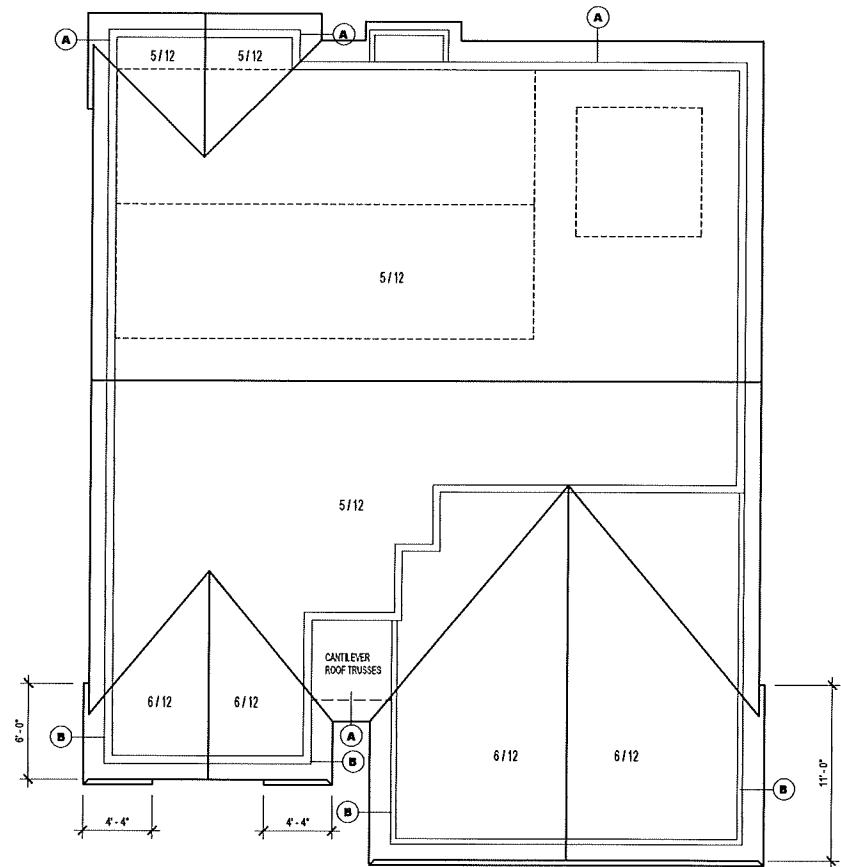
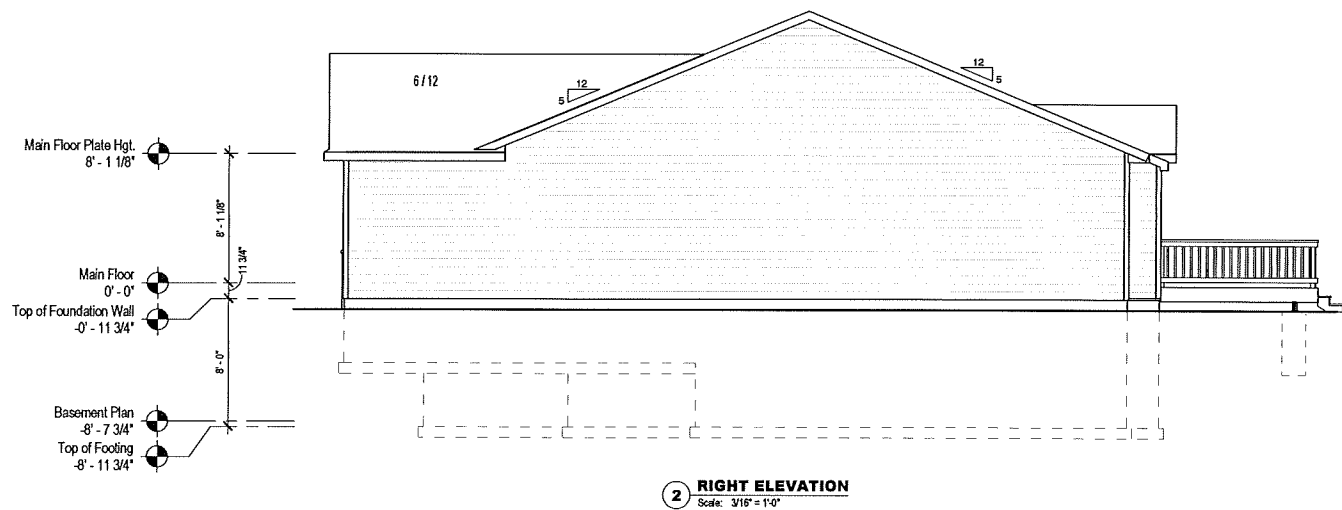
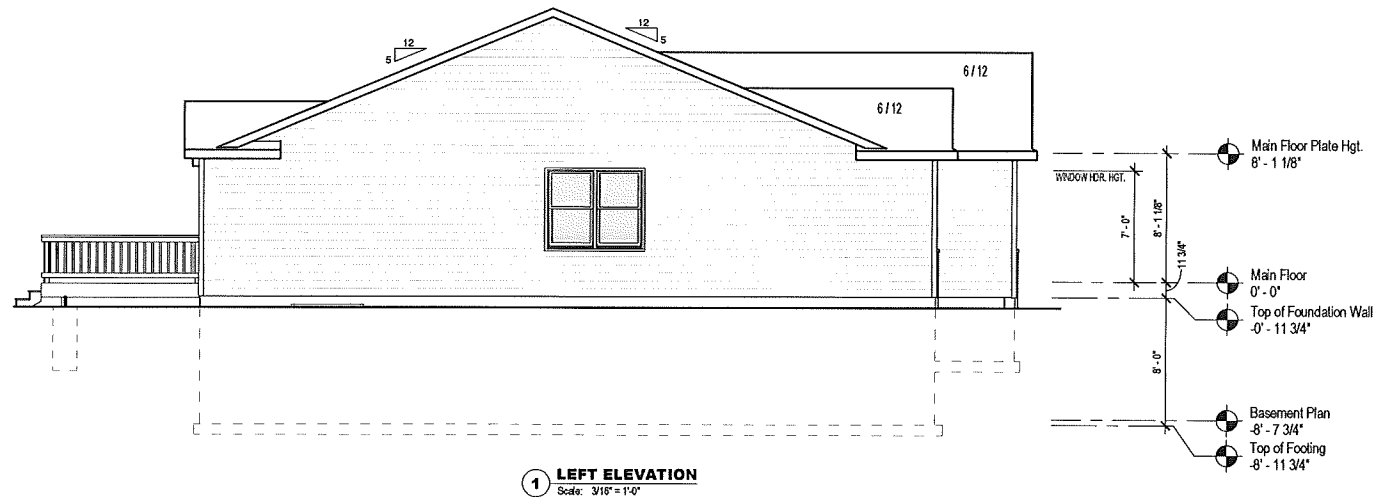
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DATE:

Elevations
As indicated

A.2



ESTIMATED ROOF SF

2409 SF

* BASED ON USE OF ROOF TRUSSES FROM THE EXPOSED SURFACE OF THE ROOF.
1. THE ROOF IS ASSUMED TO BE A 12\"/>

ROOF PLAN LEGEND

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-0"	7"
B	8'-1 1/8"	5/12	1'-0"	8 5/16"

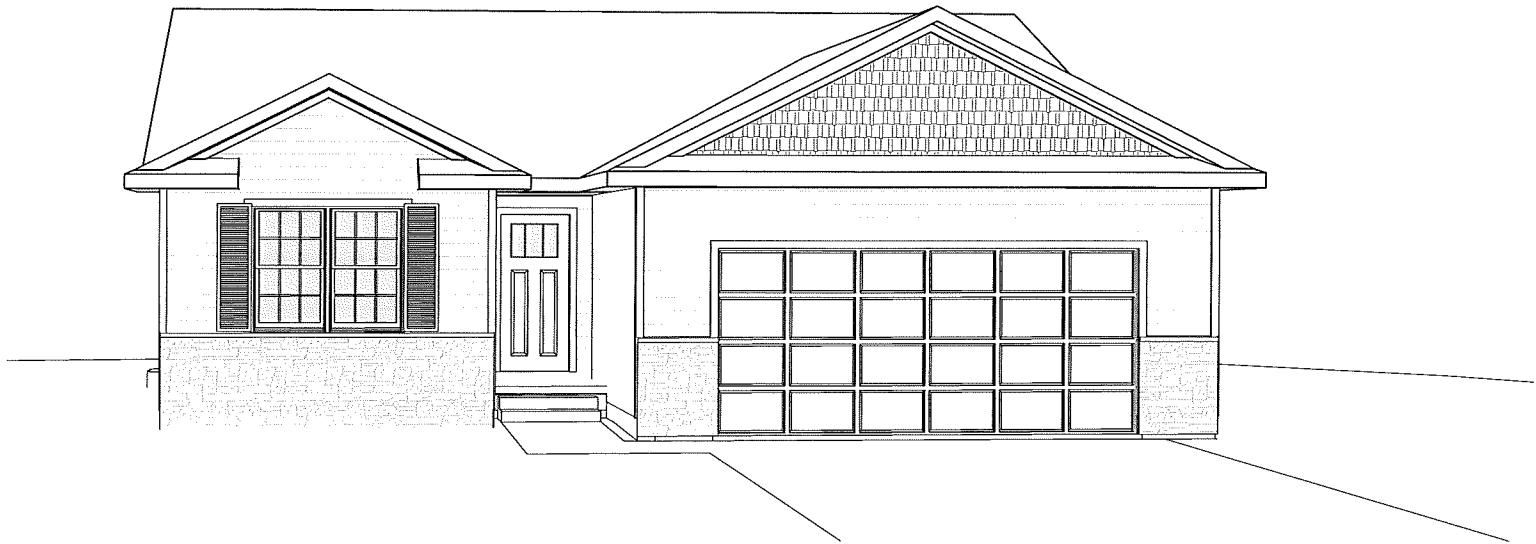
ALL RAFTER OVERHANGS ARE 12" UNLESS NOTED

[illegible]

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH E. FAN
	SMOKE/HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	W.M. MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

 FROST PROOF HOSE BIB
 FLOOR LINE ABOVE
 STRUCTURAL BEAM/HEADER
OR GIRDERS

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A.5	Building Sections
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E.1	Electrical
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1. GENERAL

- [illegible]

- A. ROOF REQUIREMENTS**
1. CEILING HEIGHT (R053) IN HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LANDRIY AND STORAGE AREAS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'6". THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
- EXCEPTION 1: BEAMS AND GIRDERS SPECIFICALLY MORE THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING NET.
2. CEILING IN BASEMENT OR ATTIC UNFINISHED SPACES MAY PROJECT WITHIN 4 FEET 8 INCHES OF FINISH FLOOR.
3. FOR ROOMS WITH SLOPED CEILING AT LEAST 95 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 7 FEET.
4. BATHROOMS SHALL HAVE AN ADDITIONAL 6 INCHES CLEARANCE OVER THE FRONT OF THE FIXTURE.
5. ROOM DIMENSIONS (R031.1) THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7'-4" CLEAR IN ANY HORIZONTAL DIRECTION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 70 SQ. FT. EXCEPT BEDROOMS.
6. LIGHT AND VENTILATION (R031) IN HABITABLE ROOMS PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 8% OF THE TOTAL AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 8 SF. IN ADJACENT UNHABITABLE ROOMS ACCORDING TO SECTION R031.1.1. WINDOWS SHALL HAVE AN EQUALIST FRAME AND SPRINGS. LATCHES SHALL BE PROVIDED FOR ALL WINDOWS. EMERGENCY ESCAPE WINDOWS (R031) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 20" IN HEIGHT (NET) WHEN OPENED AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN NET. ESCAPE WINDOWS SHALL BE INSTALLED WITH A BALL WEIGHT OF NO MORE THAN 40 LBS. FOR TOP EGRESS WINDOWS, THERE SHALL BE A MINIMUM OF TWO 15" BY 20" OPERABLE WINDOWS OF NET CLEAR AREA. LOADERS ARE REQUIRED IF THE WELL IS 10' OR 4" DEEP. LOADERS SHALL BE A MIN. OF 10" WIDE.
- B. BUILDING REQUIREMENTS**
1. ATTIC ACCESS (R039) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 36" IN SIZE. LOCATE THE ACCESS DOOR WHERE IT IS LEAST LIKELY TO BE OBSERVED FROM THE STREET.
2. ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.5 SF./NET FOR EACH 150 SF. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (R049.1).
3. SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL OF THE HOUSE INCLUDING THE BOTTOM FLOOR. SMOKE ALARMS SHALL BE PLACED IN EACH ROOM. THE BATTERY BACK UP (P013). STAIRWAY ARE TO BE A MINIMUM OF 10 WDS. (PROVIDED (R011.5)) WITH A MINIMUM HEADROOM OF 6 FEET 8 INCHES (R011.5.2). THE MAXIMUM RECES 8" BY 10" (P013.1.1.3) WITH A MINIMUM RAMP OF 10" BY 11.3" (3.2) HANDRAILS SHALL BE REQUIRED. PROVIDE AT LEAST ONE SET OF 2" BY 4" CLOSURE TRIM WITH A MINIMUM OF 4" OVERLAP AND 1" GAP.
4. A PLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 12 FEET BETWEEN RUNS OR LANDINGS (R0131.5.4).
5. PROVIDE GL. OUTTERS, DOWNSPUTTS, AND SPLASH BOARDS AS NECESSARY.
- C. FOUNDATION CONCRETE**
1. REVEAL Joints TO HAVE EXPANSION, COMPRESSION, SLIDING OR OTHER UNKNOWN SOIL CHARACTERISTICS. THE BUILDING OFFICIALS DETERMINE WHETHER A JOINT TEST IS REQUIRED AT 20' DIA. A JOIL CAPACITY OF 200 PSF IS ASSUMED.
2. CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI per ACI 308.4. GARAGE FLOOR SLABS SHALL BE 3.50"
3. AT 18" DAYS, PORCHES, CEMENT SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3.50 psi at 28 (3.5+R(0.2)).
4. CONCRETE SHALL BE AIR ENCLOSED WITH 5%-7% TYPICAL AIR CONTENT.
5. ALL FOOTINGS SHALL BE PLACED ON UNIFORM SUPPORTS AND COMPACTED FILL MATERIAL FOOTING TO BE 18" WIDE & DEEP FOR A 2 STORY BUILDING AND 18" WIDE X 8" DEEP FOR A 1 STORY BUILDING (TABLE 4-01.1) BOTH WITH 2 CONTINUOUS HORIZONTAL #4 REBAR.
6. CONCRETE SHALL BE CAST IN PLACE AND SHALL EXTEND A MINIMUM OF 10" TO CONCRETE. USE TWO BOLTS PER SILL PLATE WITH BOLTS SPACED AT A MAXIMUM OF 12" FROM CENTER IN A MINIMUM OF ONE BOLT NOT MORE THAN 12" INCHES FROM THE END BUT AT 12" INCHES FROM END OF SILL PLATE (R011.6.1.4). ALTERNATE FOUNDATION STRAPS MAY BE USED. SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 10" DIAMETER ANCHOR BOLTS.
7. FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE 4-01.1(a). REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

- [illegible]

THESE PLANS HAVE NOT BEEN APPROVED FOR FINAL CONSTRUCTION.
PLEASE CALL OR SEE OWNER FOR UPDATED PLANS.

PLUM DESIGN SERVICES
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TELEPHONE 515 978 6260 FAX 515 978 6261

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Classic Builders
Jackson Base Plan-C
Villas @ Stonehaven

PROJECT ID: PDS 3005

ISSUE DATE:

DATE: 05-07-15

DATE: 11-13-15

DATE: _____

DATE: _____

REVISIONS:

DATE: _____

DATE: _____

DATE: _____

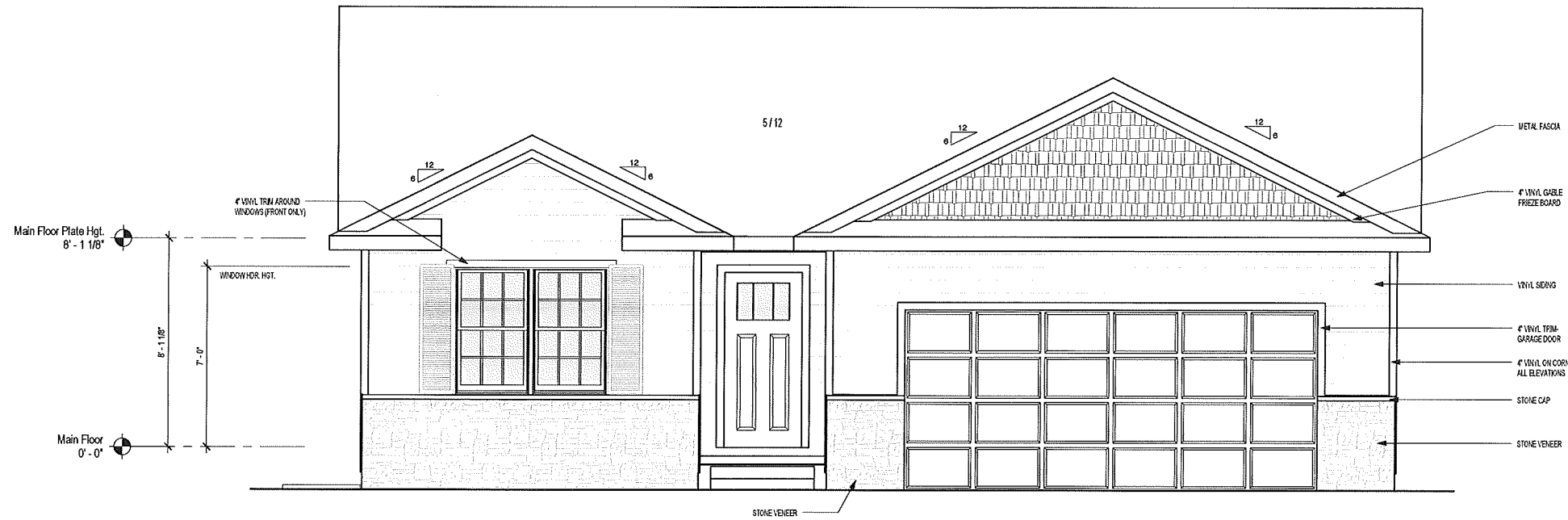
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Cover Page

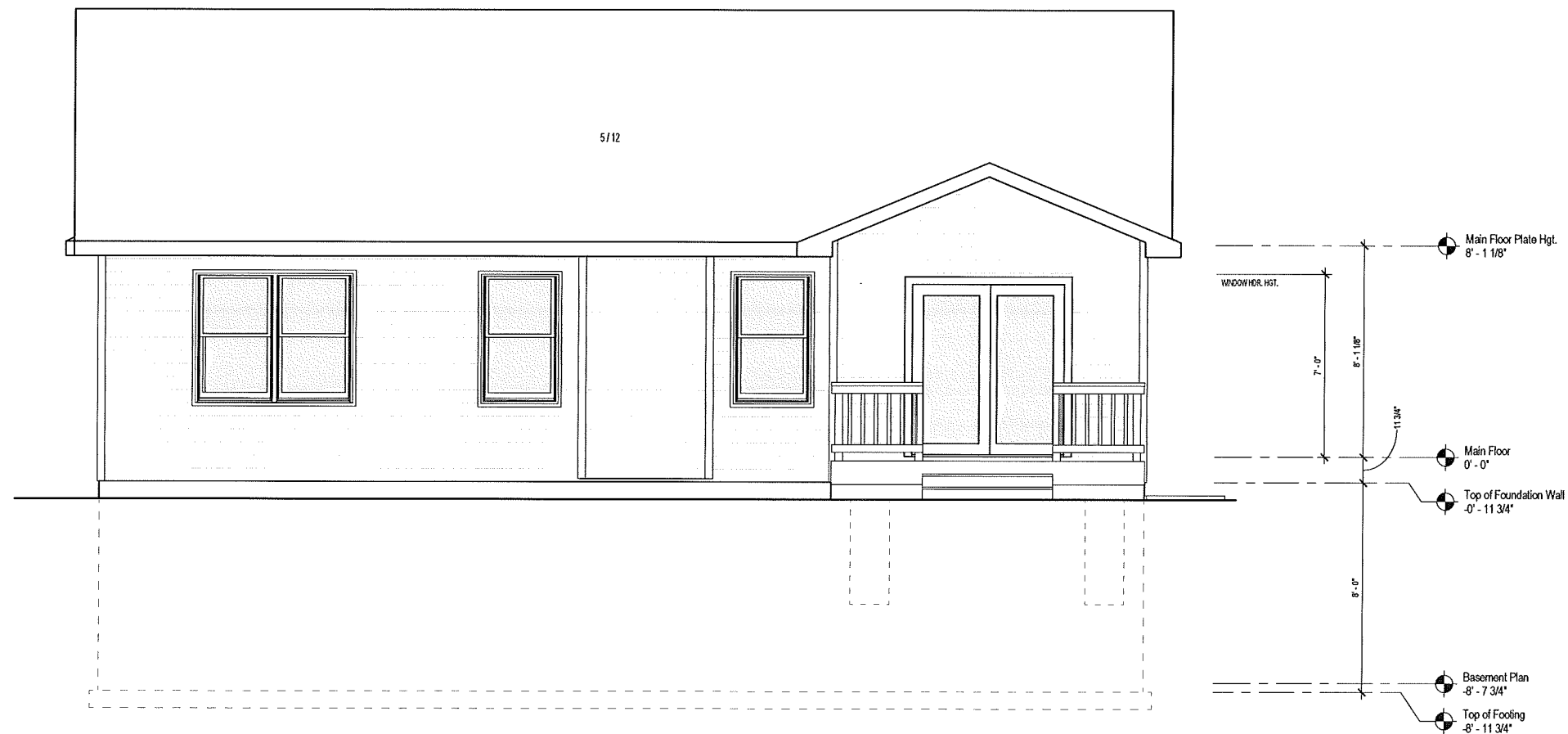
As indicated

A.0



1 FRONT ELEVATION
Scale: 3/8" = 1'-0"

ESTIMATED WALL...	
Lap Siding	1883 SF
Stone Veneer	75 SF
Stone Veneer -	59 SF
1. THE AREA EXCLUDES WINDOW AND DOOR OPENINGS.	



2 REAR ELEVATION
Scale: 3/8" = 1'-0"

Classic Builders
Jackson Base Plan-C
Villas @ Stonehaven

PROJECT ID: PDS 3005

ISSUE DATE:
DATE: 05-07-15
DATE: 11-13-15
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REVISIONS:
DATE:
DATE:
DATE:
DATE:

Elevations
3/8" = 1'-0"

A.1

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Classic Builders
Jackson Base Plan-C
Villas @ Stonehaven

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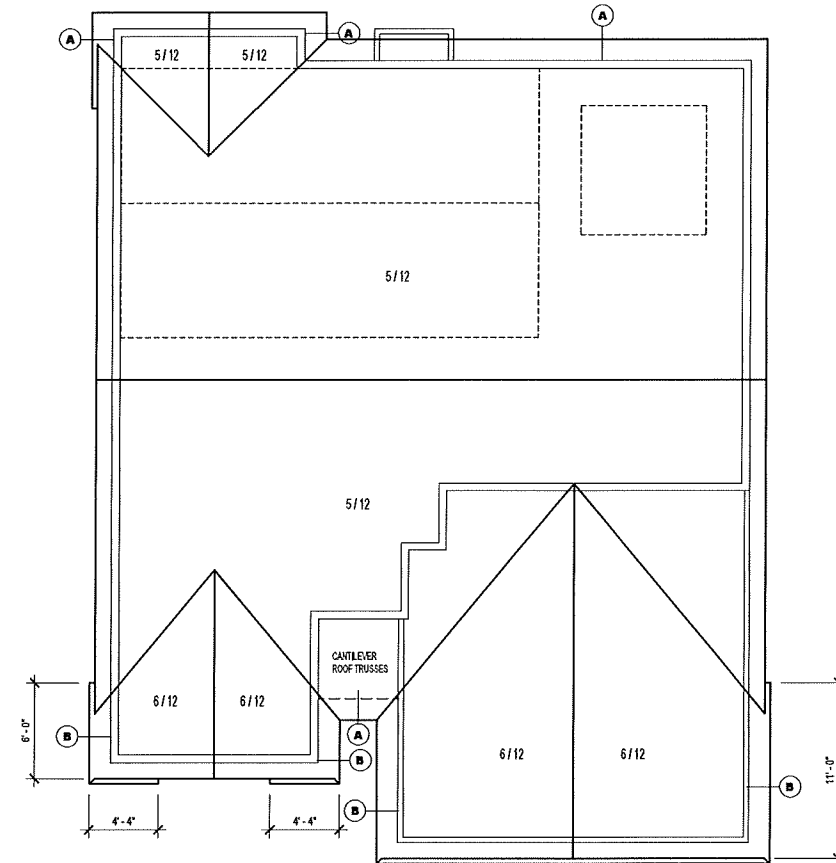
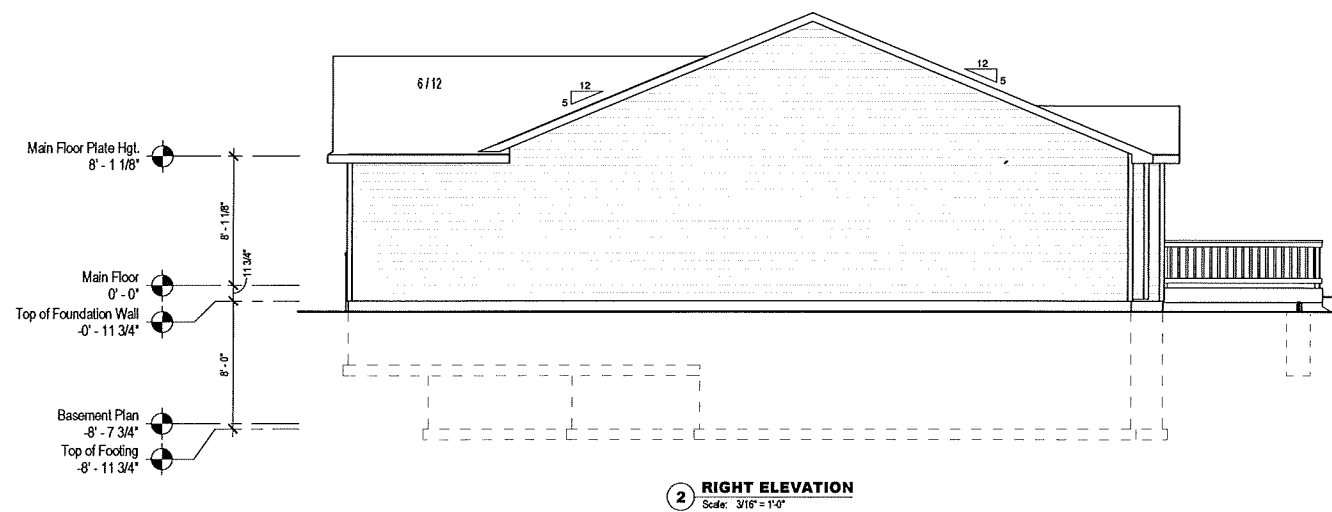
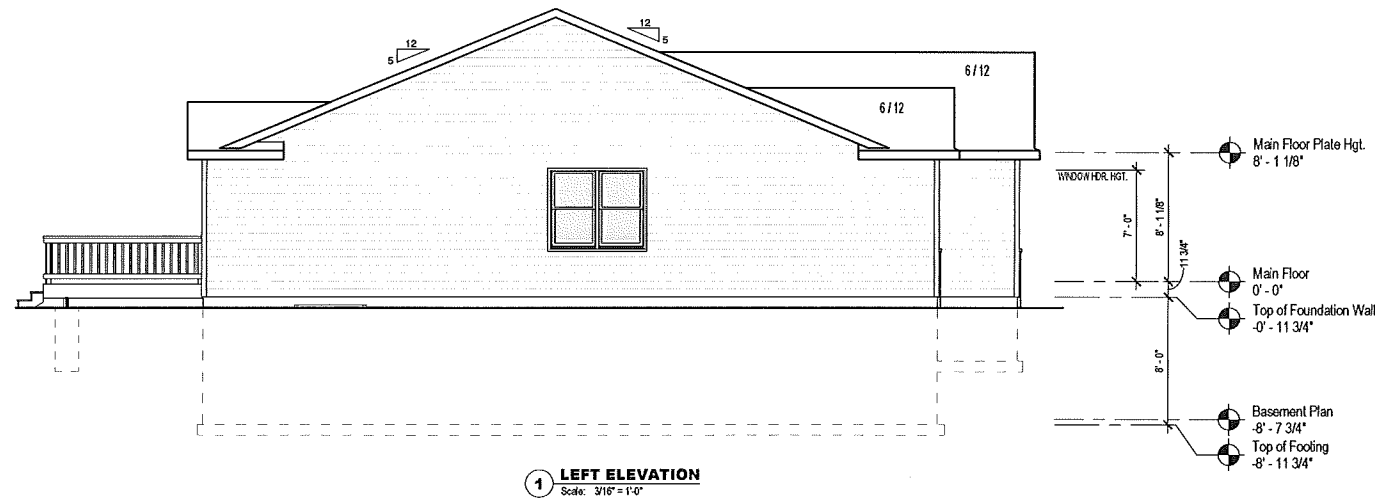
DATE:

DATE:

DATE:

Elevations
As indicated

A.2



ESTIMATED ROOF SF

2401 SF

* SQUARE FOOTAGE OF ROOF IS IN ACCORDANCE WITH THE EXPOSED SURFACE OF THE ROOF.
* THE WPS IS CALLED "WATER PROOFING" AND IS NOT A "FLOOR" OR "CEILING".
* THE WPS IS CALLED "WATER PROOFING" AND IS NOT A "FLOOR" OR "CEILING".

ROOF PLAN LEGEND

SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	6/12	1'-4"	8'-5 5/8"

ALL RAISE OVERHANGS ARE 12" UNLESS NOTED



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EXTERIOR COLOR PACKAGE

- Royal White
- Graphite
- Slate
- Greystone

MADISON



ABBREVIATIONS

ADJ	ADJUSTABLE
ANAL	ANALOG
BTM	BOTTOM
BSMT	BASEMENT
BTWL	BETWEEN
CA	CASEMENT
CAINT	CANTILEVER
CAB	CABINET
C	CENTER LINE
CLG	CEILING
COL	COLUMN
CONC.	CONCRETE
D	DRIVER
DAL	DIAMETER
DN	DOWN
DN	DOUBLE HUNG
DW	DISHWASHER
F.D.	FLOOR DRAIN
FUR	FLOOR
FT.	FEET
FURN.	FURNACE
HER	HEADER
HOVD	HARDWOOD
INSUL	INSULATION
JST.	JOIST
LVL	LAMINATED VENEER LUMBER
LVL	LUMBER
MAX	MAXIMUM
MIN	MINIMUM
OC	ON CENTER
O.D.	OVERHEAD DOOR
ORNG.	OPENING
PERI.	PERISTAL
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQ	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SHEATHING
S & R	SHELF AND ROD
S.F.	SQUARE FEET
S.P.	SNIP PIT
STL	STEEL
TYP.	TYPICAL
TRANS.	TRANSOM
UNELC.	UNELICATED
UNIT	UNIT
W	WASHER
W	WITH
W.H.	WATER HEATER

ELECTRIC SYMBOLS

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	20 VOLT RECEPTACLE
	PHONE OUTLET
	CABLE OUTLET
	EXHAUST FAN
	LIGHT WITH FAN
	SMOKE HEAT DETECTOR
	GARAGE DOOR OPENER
	ELECTRIC PANEL
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	W.M. MOTION DETECTOR LIGHT
	FLUORESCENT LIGHT
	BAR LIGHT

MISC. SYMBOLS

	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAM/HEADER OR GIRDER TRUSS

DRAWING LIST

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A.2	Elevations
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A.5	Building Sections
A.6	Detail
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GENERAL CONSTRUCTION NOTES

1. GENERAL

- ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2018. LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IRC 2018. THESE LOCAL REQUIREMENTS SHALL SUPERSEDE THE IRC 2018. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
- CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE USED BY OWNER/CONTRACTOR.
- THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURE OF THE BUILD UP OF MOISTURE OR MOLD.
- ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.

2. DESIGN CRITERIA

- BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (R301.1).
- TABLE 301.2(1) IRC 2018. VALUES BASED FROM THE CITY OF DES MOINES, IOWA.

DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)	DESIGN WIND SPEED (MPH)
30 PSF	10	3	10 PSF	40	10 PSF	10 PSF	10 PSF	10 PSF	10 PSF

3. MINIMUM LIVE LOADS, (R301.1.5) IRC 2018

ATTIC WITH LIMITED STORAGE	20 PSF	ROOF TRUSS LIVE LOAD (L)	20 PSF
ATTIC WITHOUT STORAGE	10 PSF	GROUND SNOW (Pg)	30 PSF
DECKS	40 PSF	FLAT ROOF SNOW (Pg)	24 PSF
EXTERIOR BALCONIES	60 PSF		
GUARDRAIL AND HANDRAILS	200 PSF	THERMAL CONDITION	C1+1.0
ROOM OTHER THAN SLEEPING ROOMS	40 PSF	TERRAIN EXPOSURE	B
SLEEPING ROOMS	30 PSF	DURATION OF LOAD-SNOW	1.15
STAIRS	40 PSF		

4. DEFLECTION CRITERIA

FLOOR LIVE LOAD	L/480	WIND DESIGN METHOD	WAFRSCC HYBRID ACSE 7-55
FLOOR TOTAL LOAD	L/400	EXPOSURE CATEGORY	B
ROOF LIVE LOAD	L/240	DURATION OF LOAD-WIND	1.60
ROOF TOTAL LOAD	L/240		

ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA

5. DEAD LOADS ANY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.

FLOOR TOP CHORD	1.5 PSF	ROOF TOP CHORDS	4.40 PSF
CARPET AND PAD	1.0 PSF	ROOFING-SHINGLE (20 LBS) 2 LAYER	0.30 PSF
3/4" CERAMIC TILE 1/2" BACKER BD.	4.0 PSF	30 LBS. FELT	0.30 PSF
3/4" HARDWOOD FLOOR	1.0 PSF	1/2" OSB OR COMPLYWOOD	1.65 PSF
SUBFLOOR 3/4" OSB OR COMPLYWOOD	2.0 PSF	1/2" ROOF TRUSS 2X4	1.10 PSF
1/2" FLOOR TRUSS-JOIST SYSTEM	1.5 PSF	CORRECTION FOR SLOPE (10%)	1.55 PSF
TOTAL WITH CARPET/PAD	5.5 PSF	TOTAL	9.00 PSF
TOTAL WITH TILE/BACKER BD.	13.5 PSF		
TOTAL WITH HARDWOOD FLOOR	7.5 PSF		
FLOOR BOTTOM CHORD		ROOF BOTTOM CHORDS	
1/2" FLOOR TRUSS-JOIST SYSTEM	1.5 PSF	1/2" ROOF TRUSS 2X4	1.10 PSF
5/8" GYPSUM	2.8 PSF	5/8" GYPSUM	2.8 PSF
MINIMUM FOR MISC MECHANICAL/ELEC.	0.7 PSF	MINIMUM FOR MISC MECHANICAL/ELEC.	1.5 PSF
		1/4" BATT FLOOR INSULATION	1.60 PSF
TOTAL	5.0 PSF	TOTAL	7.00 PSF

3. ROOM REQUIREMENTS

- CEILING HEIGHT (R305.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
- EXCEPTION 1: BEAMS AND GIRDERS SPACES LESS THAN 7 FEET ON CENTER MAY PROJECT NOT MORE THAN 4 INCHES BELOW THE REQUIRED CEILING HEIGHT.
- CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN 4 FEET 8 INCHES OF FINISHED FLOOR.
- FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET.
- BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 8 INCHES OVER THE FRONT OF THE FEATURE FROM DIMENSIONS (R304.1) THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7'-0" CLEAR IN ANY HORIZONTAL DIMENSION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 70 SQ. FEET. EXCEPT KITCHEN (R304.2).
- LIGHT AND VENTILATION (R303) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 1/8" OF THE FLOOR AREA OF EACH ROOM. 1/2 THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 3 S.F. IN AREA. NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT.
- EMERGENCY ESCAPE WINDOWS (R310) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 24" IN HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR. EGRESS WINDOW WELLS MUST PROJECT A MINIMUM OF 3" AND PROVIDED OVER 9 SQ. FT. OF NET CLEAR AREA. LADDERS ARE REQUIRED IF THE WELL IS OVER 44" DEEP. LADDERS SHALL BE A MIN. OF 12" WIDE.

4. BUILDING REQUIREMENTS

- ATTIC ACCESS (R310) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 30" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.
- ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.0 S.F. (NET) FOR EACH 150 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (R304.2).
- SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS. AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACE OF THE BUILDING DEPARTMENT. SMOKE ALARMS SHALL BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK UP (R313).
- STAIRWAYS ARE TO BE A MINIMUM OF 36" WIDE (FINISHED) (R311.5.1) WITH A MINIMUM HEADROOM OF 6 FEET 8 INCHES (R311.5.2). THE MAXIMUM RISER IS 7 1/4" (R311.5.3.1) WITH A MINIMUM RUN OF 10" (R311.5.3.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF THESE OR FLIGHT WITH 4 OR MORE RISERS (R311.5.4). A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 12 FEET BETWEEN FLOORS OR LANDINGS (R311.5.4). PROVIDE GL. GUTTERS, DOWN SPOUTS, AND SPLASH BLOCKS AS NECESSARY.

5. FOUNDATION/CONCRETE

- IN AREAS UNLIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. IF A SOIL TEST CAPACITY OF 3000 PSIG IS ASSUMED.
- CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 psi AT 28 DAYS. GARAGE FLOOR SLABS SHALL BE 4" MIN. AT 28 DAYS. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3500 psi AT 28 DAYS (R402.2). CONCRETE SHALL BE AIR ENTRAINMENT WITH 5% MIN. TOTAL AIR CONTENT.
- ALL FOOTING SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL. MINIMUM FOOTING TO BE 18" WIDE X 12" DEEP FOR A 2 STORY BUILDING AND 18" WIDE X 12" DEEP FOR A 3 STORY BUILDING (TABLE 403.1) BOTH WITH 2 CONTINUOUS HORIZONTAL #4 REBAR.
- ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS PER ALL PLATE WITH BOLTS SPACED AT A MINIMUM OF 4 FEET ON CENTER WITH A MINIMUM OF ONE BOLT NOT MORE THAN 12 INCHES FROM THE END BUT AT LEAST 3 1/2 INCHES FROM END OF SILL PLATE (R403.1.6). ALTERNATE FOUNDATION STRAPS MAY BE USED. SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 1/2" DIAMETER ANCHOR BOLTS.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE R404.1.1(1). REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

6. WOOD FRAMING

- ROOF, FLOOR, AND WALL SHEATHING: APA RATED SHEATHING.
- WALL STUDS: MINIMUM SPP STUD OR DOUGLAS FIR LARCH STUD.
- WALL PLATES: MINIMUM SPP #2 OR BETTER.
- DIMENSIONAL HEADERS: #2 DOUGLAS FIR OR BETTER.
- LVL HEADERS: 3550 FIVE MINIMUM.
- JOIST UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. (R502.6)
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 4 INCHES ON CONCRETE. (R503)
- WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSI/TFCA. REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR WEB BRACING AND MULTI-CONNECTION OF GIRDERS. BSCL 1-43 SHOULD BE REFER TO FOR HANDLING INSTALLATION AND BRACING OF METAL PLATE TRUSSES.
- NO CUTS, NOTCHES, AND HOLES BEHIND INTO TRUSSES. STRUCTURAL COMPOSITE LUMBER, GLUE LAMINATED MEMBERS, OR JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN BY PROFESSIONAL. (R503.2)
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN TOP STORY AND ROOF SPACE. (R503.4)
- ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R502.13. MINIMUM 3/4" PANEL SHEATHING.
- THE ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R502.4(1).

SUPPORTS	SPP STUDS				SPP STUDS			
	1	2	3	4	1	2	3	4
SPACING @ HEADERS	12"	16"	20"	24"	12"	16"	20"	24"
SPACING @ STUDS	12"	16"	20"	24"	12"	16"	20"	24"
SPACING @ JOISTS	12"	16"	20"	24"	12"	16"	20"	24"
SPACING @ GIRDS	12"	16"	20"	24"	12"	16"	20"	24"
SPACING @ WALLS	12"	16"	20"	24"	12"	16"	20"	24"
SPACING @ FLOORS	12"	16"	20"	24"	12"	16"	20"	24"
SPACING @ ROOFS	12"	16"	20"	24"	12"	16"	20"	24"

- TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN ITS POUNDS AND PER THE MANUFACTURE SPECIFICATIONS.
- PROTECTION FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATION BY THE USE OF NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER. (R318.1)
 - ALL WOOD FRAMING THAT REST ON CONCRETE EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 4" FROM THE EXPOSED GROUND.
 - SILLS AND SLEEPERS ON A CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
 - THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 5 INCH ON TOP, SIDES AND ENDS.
 - WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 4 INCHES FROM THE GROUND.
 - ALL LUMBER IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES (R318.1.2).
 - ALL RIM AND BOX JOIST SPACES BETWEEN TOP OF THE FOUNDATION WALL AND FLOOR/ROOF LINE SHALL BE INSULATED WITH THE SAME MATERIAL USED FOR EXTERIOR WALLS. ALL EXTERIOR CORNERS AND INTERIOR PARTITIONS TO EXTERIOR WALLS THAT ARE CLOSED OFF TO FUTURE INSULATION MUST BE INSULATED USING INSULATION FRAMING OF WALL.
 - ALL KAILING AND FASTENING SHOULD COMPLY WITH THE IRC TABLE R502.3.1(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS.
- STRUCTURAL STEEL
 - ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A572 GRADE 50 OR EQUAL AND SHALL HAVE BRIDGE CLIPPING AT 4 FEET ON CENTER TO RESIST LATERAL DEFLECTION.
 - ALL FRAMING TO BE ATTACHED TO STRUCTURAL STEEL IN ACCORDANCE WITH GOVERNING CODES.

NOT FOR CONSTRUCTION

THESE ARE PLANS ARE CONCEPTUAL PLANS AND HAVE NOT BEEN APPROVED AS A SET FOR CONSTRUCTION



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Classic Builders
Madison Base Plan
Villas at Stonehaven

PROJECT ID: PDS 1904

ISSUE DATE:

DATE: 05-12-15

DATE:

DATE:

DATE:

DATE:

REVISIONS:

DATE:

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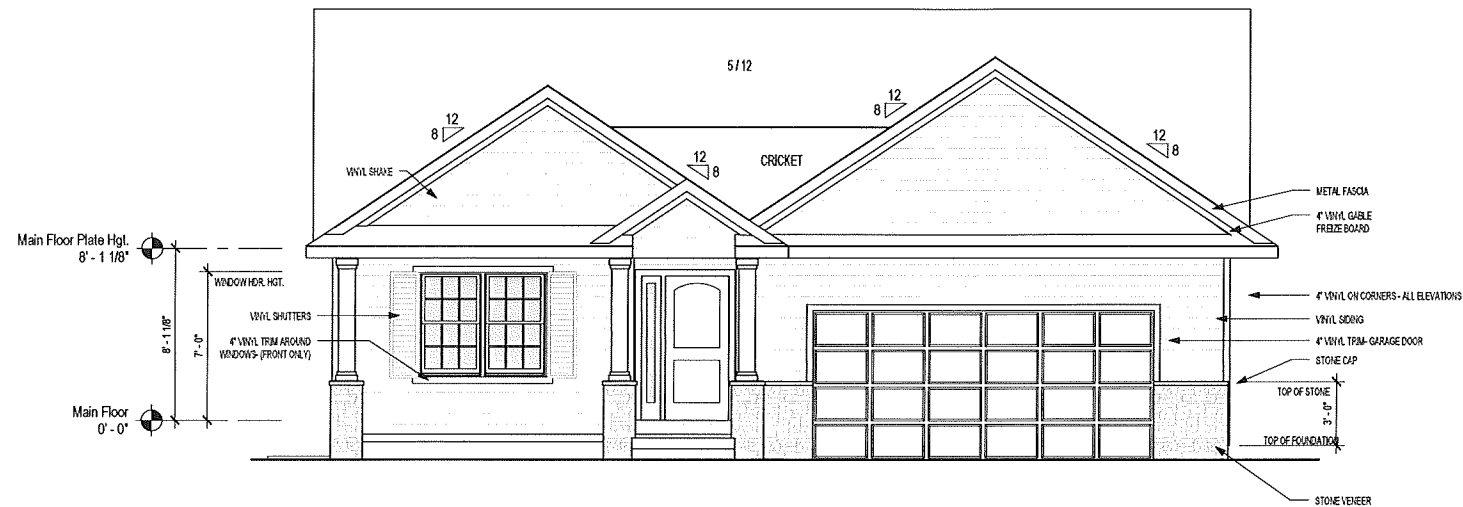
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Cover Page
As indicated

A.0

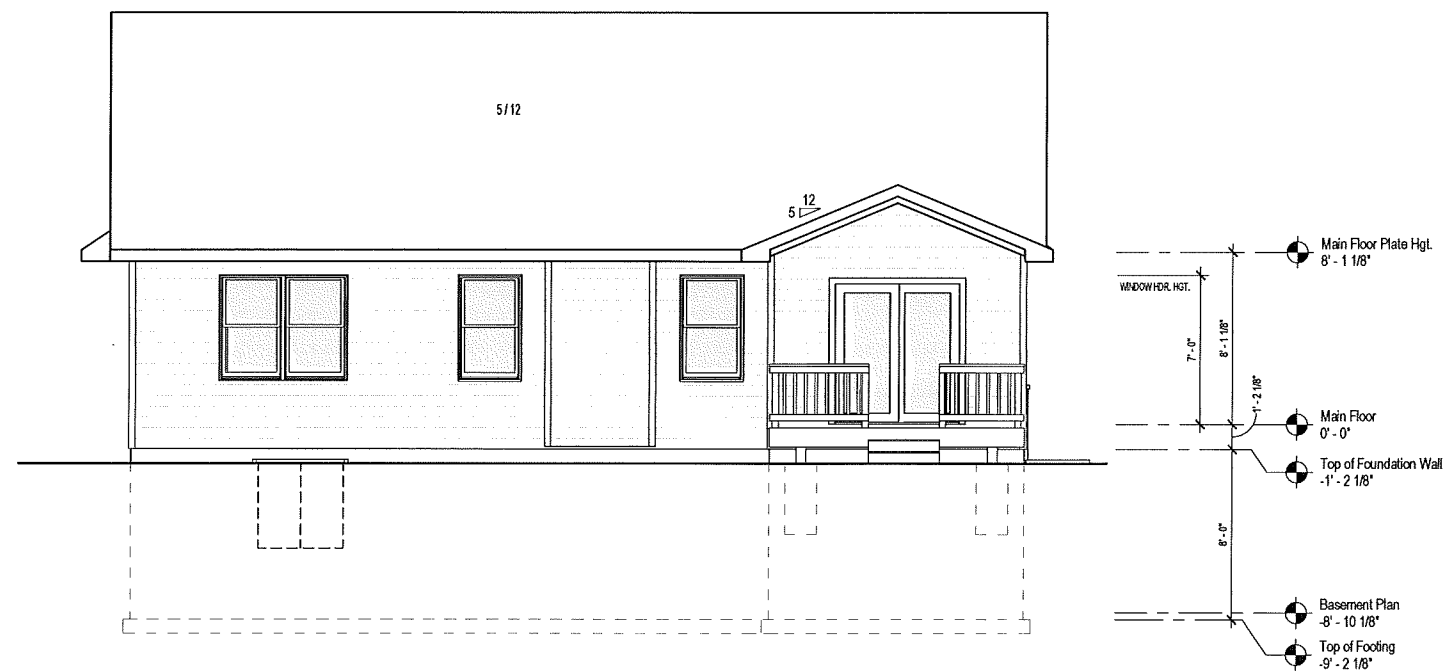
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1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED WALL CLADDING SF	
Stone Veneer	70 SF
Vinyl Siding	2323 SF

1. QUANTITY LISTED OF CLADDING MATERIALS IS TO BE PLACED ON THE EXPOSED SURFACE OF THE WALL.
2. THE AREA INCLUDED SURFACES BELOW DECK LEVELS IS FOR SPACE.
3. THE AREA INCLUDED IN DOWN AND UP ROOF AREAS.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

Classic Builders
Madison Base Plan
Villas at Stonehaven

PROJECT ID: PDS 1904

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Elevations

1/4" = 1'-0"

A.1

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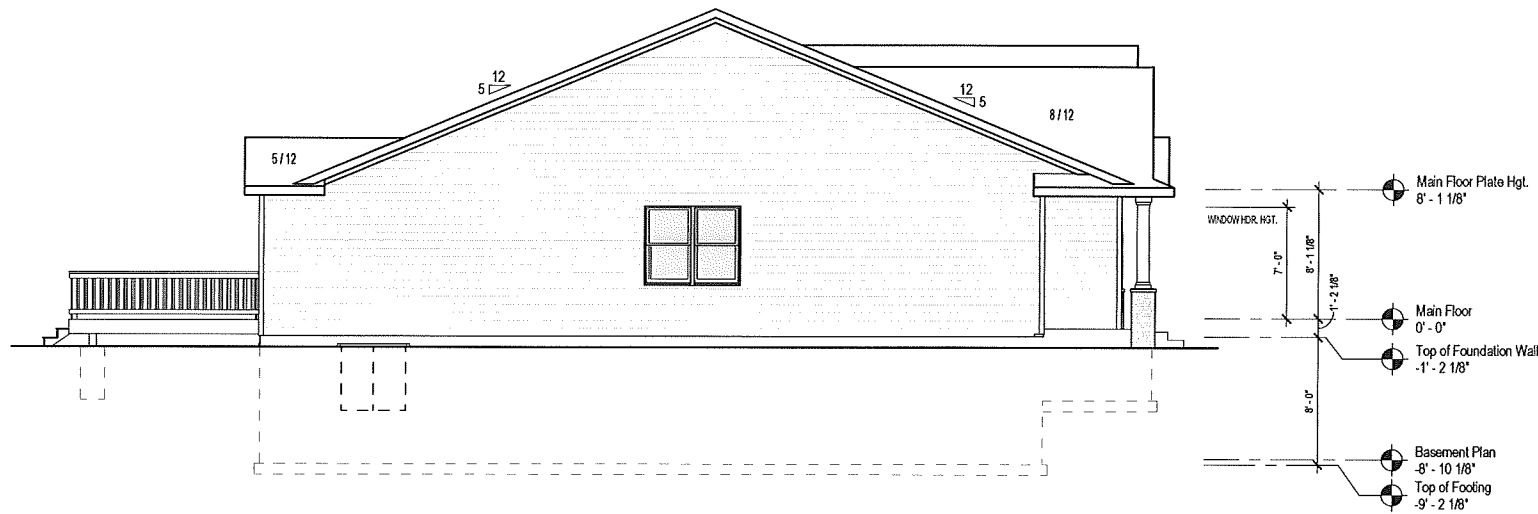
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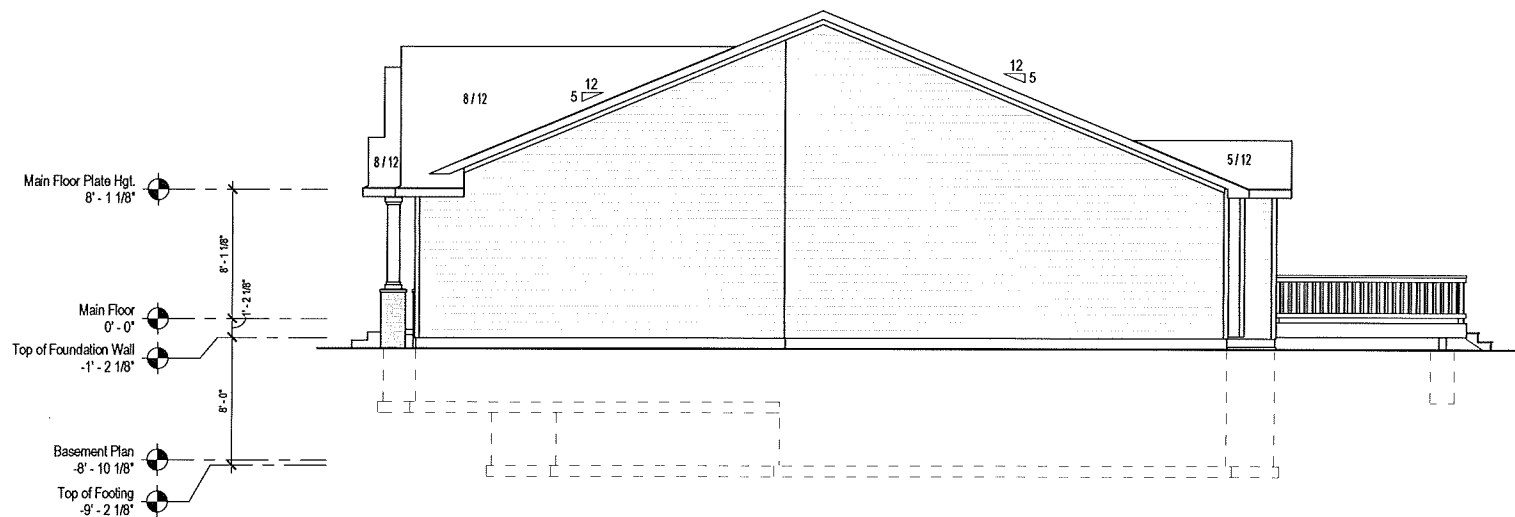
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Elevations
As indicated

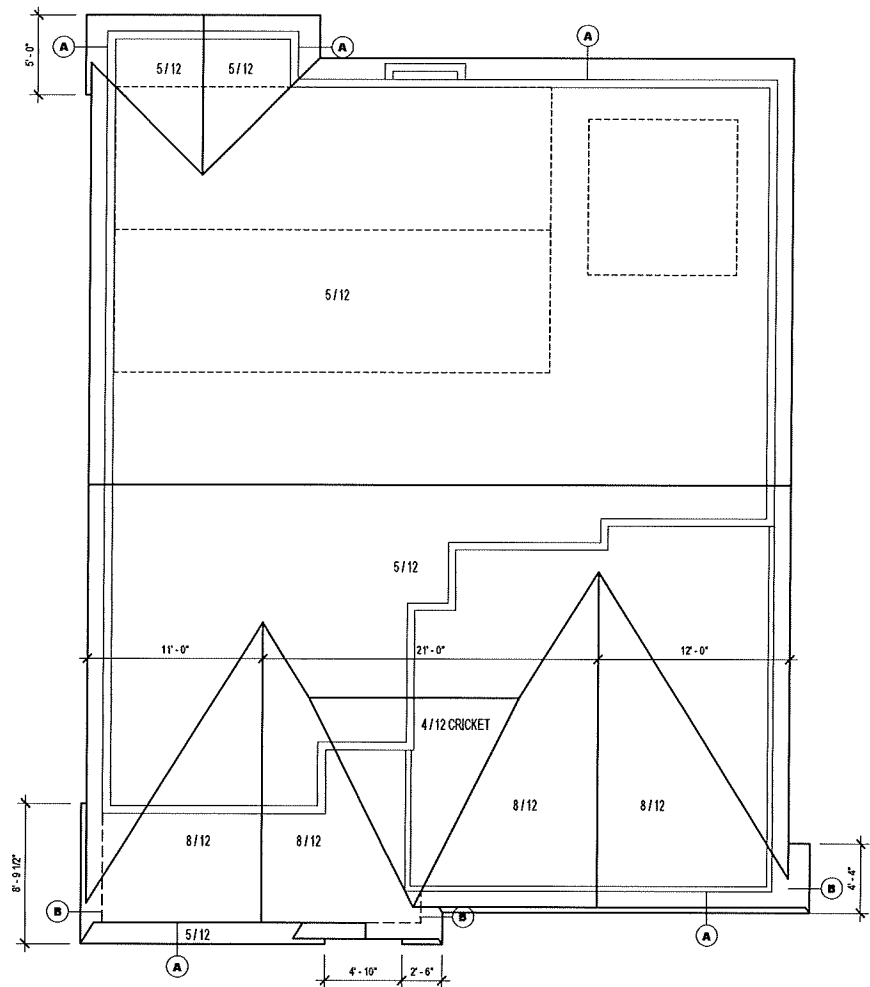
A.2



1 LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
Scale: 3/16" = 1'-0"



3 ROOF PLAN
Scale: 3/16" = 1'-0"

ROOF PLAN LEGEND				
SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	8/12	1'-4"	11"

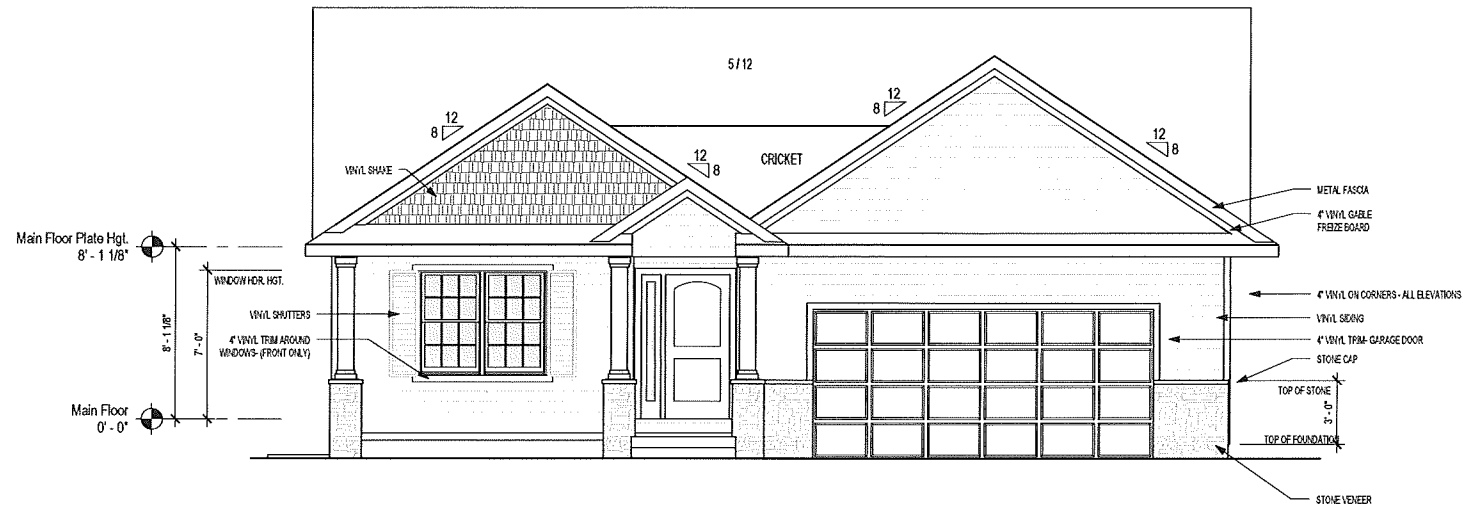
ALL RAKE OVERHANGS ARE 12" UNLESS NOTED

ESTIMATED ROOF SF

2820 SF

1. TO APPEARANCE OF ROOF IS TO BE CALCULATED FROM THE EXPOSED SURFACE OF THE ROOF.
2. THE AREA IS TO BE CALCULATED FROM THE EXPOSED SURFACE OF THE ROOF.
3. THE AREA IS TO BE CALCULATED FROM THE EXPOSED SURFACE OF THE ROOF.

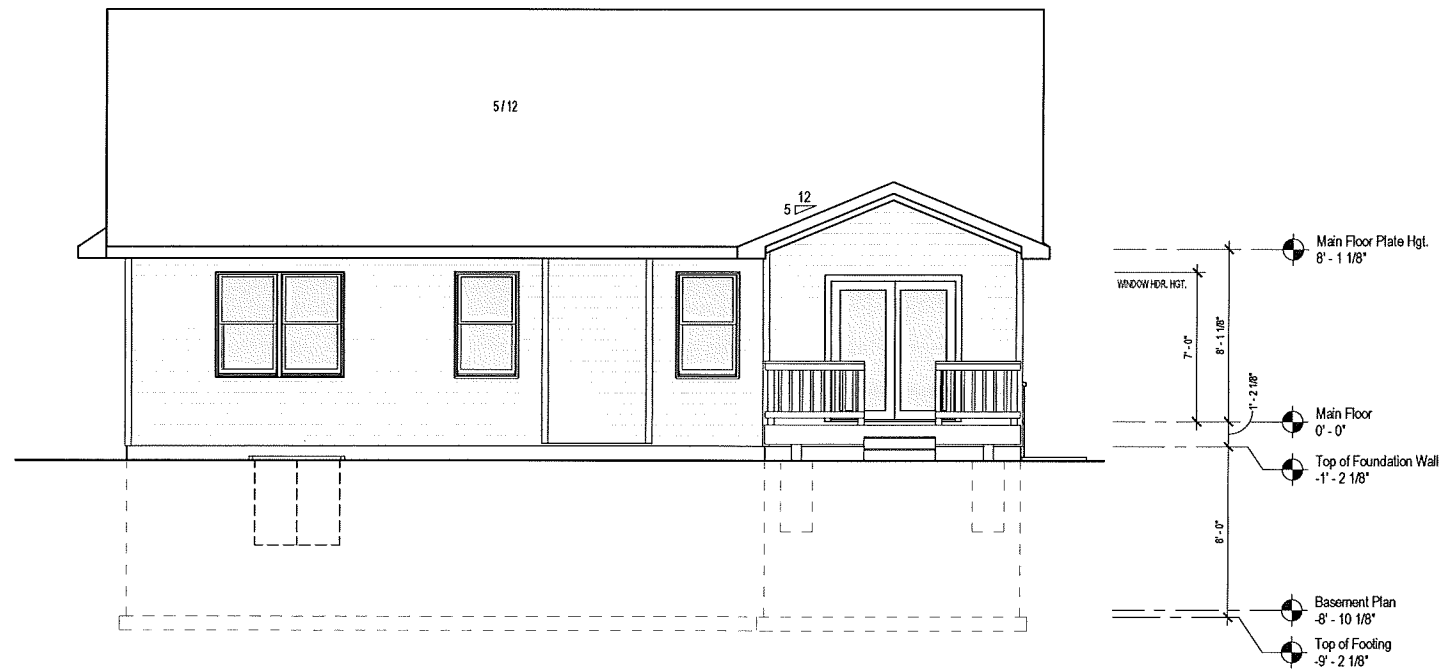
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1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED WALL CLADDING SF	
Stone Veneer	70 SF
Vinyl Shake Material	61 SF
Vinyl Siding	2262 SF

* SQUARE FOOTAGE OF GROUND MATERIAL IS TO BE PLACED ON THE EXPOSED SURFACE OF THE WALL.
1. THE AREA INCLUDED SHOWN BELOW IS FOR THE EXPOSED SURFACE OF THE WALL.
2. THE AREA IS INCLUDED IN THE TOTAL SQUARE FOOTAGE.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

Classic Builders
Madison Base Plan-B
Villas at Stonehaven

PROJECT ID: PDS 3006

ISSUE DATE:

DATE: 05-12-15

DATE: 11-13-15

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DATE:

Elevations

1/4" = 1'-0"

A.1

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Classic Builders
Madison Base Plan-B
Villas at Stonehaven

PROJECT ID: PDS 3006

ISSUE DATE:

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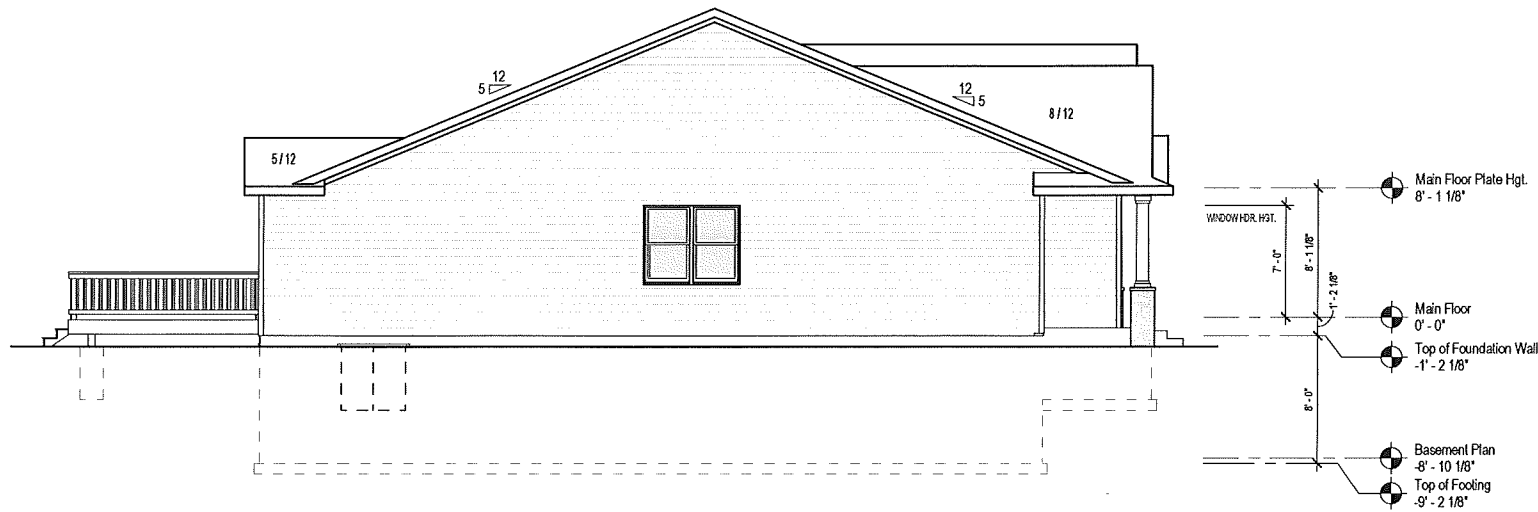
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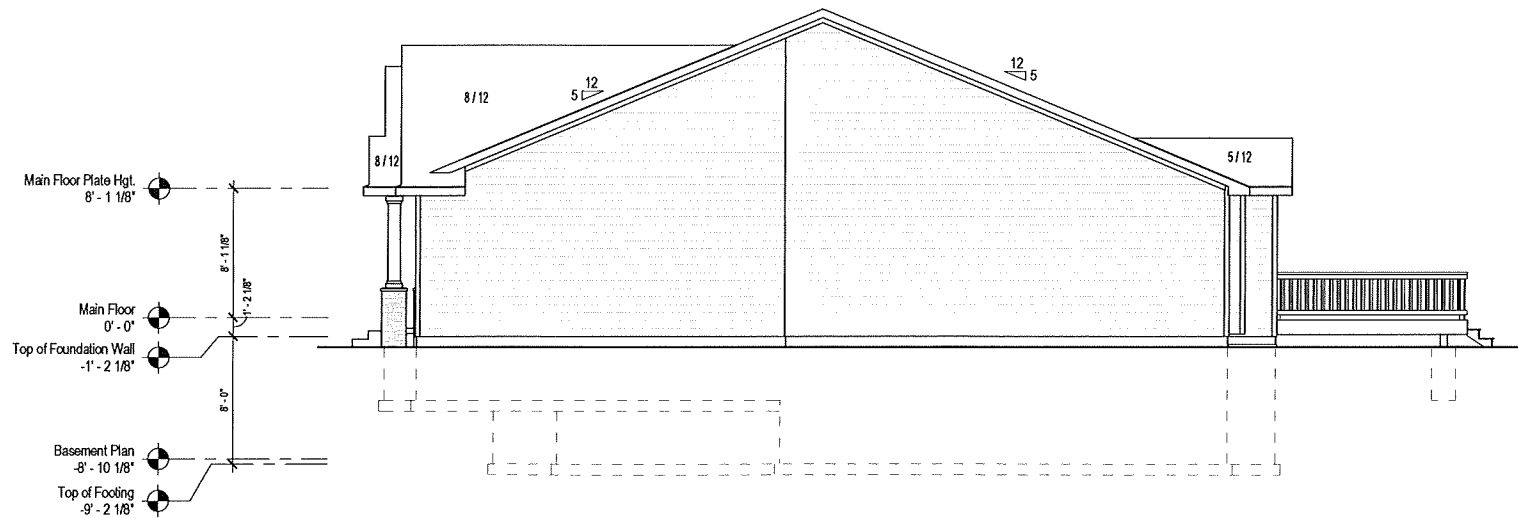
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Elevations
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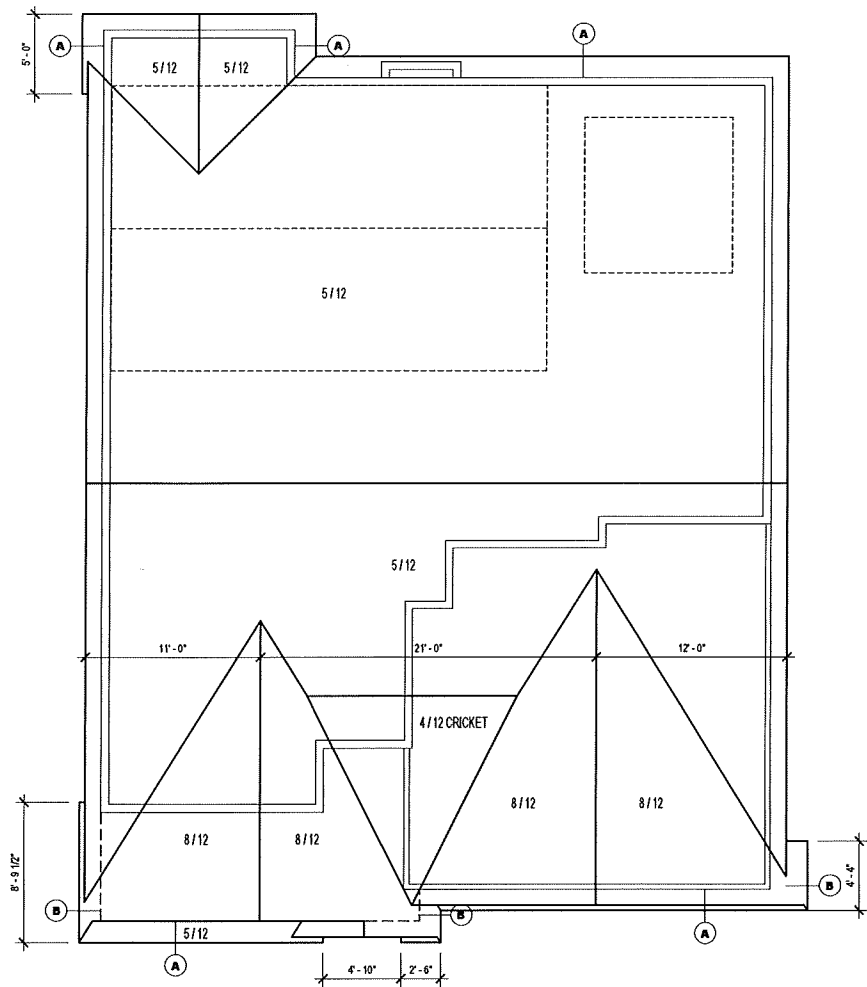
A.2



1 LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
Scale: 3/16" = 1'-0"



3 ROOF PLAN
Scale: 3/16" = 1'-0"

ROOF PLAN LEGEND				
SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.
A	8'-1 1/8"	5/12	1'-4"	7"
B	8'-1 1/8"	8/12	1'-4"	11"

ALL RAKE OVERHANGS ARE 12" UNLESS NOTED

ESTIMATED ROOF SF	
2820 SF	

1. SEE APPENDIX OF ROOF SF VALUES FROM THE EXPOSED SURFACE OF THE ROOF.
2. THE AREA INCLUDED SHOWN IN THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE.
3. NO RAFTERS OR TRUSSES ARE INCLUDED.

ABBREVIATIONS

ADJ	ADJUSTABLE
ANL	ANNING
BTM	BOTTOM
BSMT	BASEMENT
BTW	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
C.O.	CASED OPENING
COL	COLUMN
CONC.	CONCRETE
D	DRIVER
DA	DIAMETER
DN	DOWN
DN	DOUBLE HUNG
DW	DESHASHER
F.D.	FLOOR DRAIN
FLR	FLOOR
FT.	FEET
FURN	FURNACE
HR	HEADER
HOVD	HARDWOOD
INSUL	INSULATION
JST.	JOIST
LVL	LAMINATED VENEER LUMBER
LIN	LINEN
MAX	MAXIMUM
MIN	MINIMUM
OC	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG	OPENING
PED.	PENETRAL
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQD	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S & R	SHED & RAMP
S.F.	SQUARE FEET
S.P.	SUMP PIT
STL	STEEL
TYP.	TYPICAL
TRANS.	TRANSOM
UNEX	UNEXCAVATED
VAN	VANITY
W	WASHER
W	WITH
WH	WATER HEATER

ELECTRIC SYMBOLS

○	SINGLE POLE SWITCH
○	THREE WAY SWITCH
○	DIMMER SWITCH
○	SINGLE RECEPTACLE OUTLET
○	DUPLEX RECEPTACLE OUTLET
○	240 VOLT RECEPTACLE
○	PHONE OUTLET
○	CABLE OUTLET
○	EXHAUST FAN
○	LIGHT WITH E. FAN
○	SMOKE/HEAT DETECTOR
○	GARAGE DOOR OPENER
○	ELECTRIC PANEL
○	CEILING MOUNTED LIGHT
○	PULL CHAIN LIGHT
○	RECESSED LIGHT
○	WALL MOUNTED LIGHT
○	W.M. MOTION DETECTOR LIGHT
○	FLUORESCENT LIGHT
○	BAR LIGHT

MISC. SYMBOLS

— —	FROST PROOF HOSE EB
---	FLOOR LINE ABOVE
---	STRUCTURAL BEAM/HEADER OR GROSS TRUSS

DRAWING LIST

A.0	Cover Page
A.1	Elevations
A.2	Elevations
A.3	Foundation Plan
A.4	Main Floor Plan
A.5	Building Sections
A.6	Detail
E.1	Electrical
F.1	Floor Covering



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GENERAL CONSTRUCTION NOTES

- GENERAL
 - ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2014. LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IRC 2014. THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IRC 2014. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
 - CONTRACTOR TO CONFIRM THE SIZE, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE USED BY OWNER/CONTRACTOR.
 - THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURE OF THE BUILD UP OF MOISTURE OR MOLD.
 - ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
 - ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE DESIGNED BY OTHERS.
- DESIGN CRITERIA
 - BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE (R301.1).
 - TABLE 3.1(1)(1) IRC 2014. VALUES BASED FROM THE CITY OF DES MOINES, IOWA.

DESIGN WIND SPEED (MPH)	DESIGN WIND PRESSURE (PSF)	DESIGN WIND FORCE (PSF)	DESIGN WIND FORCE (PSF)	DESIGN WIND FORCE (PSF)	DESIGN WIND FORCE (PSF)	DESIGN WIND FORCE (PSF)	DESIGN WIND FORCE (PSF)	DESIGN WIND FORCE (PSF)	DESIGN WIND FORCE (PSF)
115	15	4	10	15	20	25	30	35	40
 - MINIMUM LIVE LOADS, (R301.1.5) IRC 2014
 - ATTIC WITH LIMITED STORAGE 20 PSF
 - ATTIC WITHOUT STORAGE 10 PSF
 - DECKS 40 PSF
 - EXTERIOR BALCONIES 60 PSF
 - GUARDRAIL AND HANDRAILS 20 PSF
 - ROOM OTHER THAN SLEEPING ROOMS 40 PSF
 - SLEEPING ROOMS 30 PSF
 - STAIRS 40 PSF
 - DECK DESIGN CRITERIA
 - FLOOR LIVE LOAD (L40)
 - FLOOR TOTAL LOAD (L40)
 - ROOF LIVE LOAD (L40)
 - ROOF TOTAL LOAD (L40)
 - ALL BEAMS SUPPORTING FLOOR OR ROOF LOADS ARE TO BE DESIGNED WITH THE ABOVE DEFLECTION CRITERIA.
 - DEAD LOADS ANY ADDITIONAL OR CHANGES TO MATERIAL NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS.

FLOOR TOP CHORD	ROOF TOP CHORDS	ROOF BOTTOM CHORDS
CARPET AND PAD 1.5 PSF	ROOFING SHINGLES (201.1B.5) 2 LAYER 4.40 PSF	1/2 ROOF TRUSS 2.24 1.10 PSF
3/4" CERAMIC TILE 60" BACKER BD. 10 PSF	30 LBS. FELT 0.30 PSF	5/8" GYPSUM BOARD 2.8 PSF
3/4" HARDWOOD FLOOR 4.0 PSF	1/2 OSB OR COMPLY WOOD 1.65 PSF	MINIMUM FOR MISC MECHANICAL/ELEC. 1.5 PSF
SUBFLOOR 3/4" OSB OR COMPLY WOOD 2.0 PSF	1/2 ROOF TRUSS 2.24 1.10 PSF	1" BATT INSULATION 1.60 PSF
1/2 FLOOR TRUSS JOIST SYSTEM 1.5 PSF	CONNECTION FOR SLOPE (1212) 1.55 PSF	
TOTAL WITH CARPET/PAD 5.5 PSF	TOTAL 9.00 PSF	
TOTAL WITH TILE/BACKER BD. 13.5 PSF		
TOTAL WITH HARDWOOD FLOOR 7.5 PSF		
 - FLOOR BOTTOM CHORD
 - 1/2 FLOOR TRUSS JOIST SYSTEM 1.5 PSF
 - 5/8" GYPSUM BOARD 2.8 PSF
 - MINIMUM FOR MISC MECHANICAL/ELEC. 1.5 PSF
 - 1" BATT INSULATION 1.60 PSF

- ROOM REQUIREMENTS
 - CEILING HEIGHT (R305.1) HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOM/LAUNDRY ROOMS, AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT IS MEASURED FROM FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.
 - EXCEPTION 1: BEAMS AND GIRDERS SPACED LESS THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 4 INCHES BELOW THE REQUIRED CEILING HEIGHT.
 - CEILING IN BASEMENT WITHOUT HABITABLE SPACES MAY PROJECT WITHIN 4 FEET 8 INCHES OF FINISHED FLOOR.
 - FOR ROOMS WITH SLOPED CEILING, AT LEAST 50 PERCENT OF THE REQUIRED FLOOR AREA OF THE ROOM MUST HAVE A CEILING HEIGHT OF AT LEAST 7 FEET AND NO PORTION OF THE REQUIRED FLOOR AREA MAY HAVE A CEILING HEIGHT OF LESS THAN 5 FEET.
 - BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 4 FEET 8 INCHES OVER THE FRONT OF THE FEATURE.
 - ROOM DIMENSIONS (R304.1) THE MINIMUM LENGTH OR WIDTH OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 7'-0" CLEAR IN ANY HORIZONTAL DIMENSION. THE MINIMUM AREA OF ANY HABITABLE ROOM SHALL NOT BE LESS THAN 70 SQ. FEET, EXCEPT KITCHEN (R304.2).
 - LIGHT AND VENTILATION (R303) IN HABITABLE ROOMS, PROVIDE NATURAL LIGHT AND VENTILATION WITH OPERABLE WINDOWS. WINDOWS SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF EACH ROOM. 10% THE REQUIRED WINDOW AREA SHALL BE OPERABLE TO THE EXTERIOR FOR VENTILATION. BATHROOMS MAY HAVE AN OPERABLE WINDOW OF 3.5% IN AREA. NON-HABITABLE ROOMS, INCLUDING BATHROOMS, MAY BE VENTILATED WITH EXHAUST FANS AND ARTIFICIAL LIGHT. EMERGENCY ESCAPE WINDOWS (R310) BASEMENT AND EACH SLEEPING AREA SHALL HAVE AN EMERGENCY ESCAPE WINDOW THAT IS AT LEAST 20" IN WIDTH (NET), 24" IN HEIGHT (NET) WHEN OPEN AND HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET IN AREA. ESCAPE WINDOWS SHALL BE INSTALLED WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR. EGRESS WINDOW WELLS MUST PROJECT A MINIMUM OF 36" AND PROVIDED OVER 90. FT. OF NET CLEAR AREA. LADDERS ARE REQUIRED IF THE WELL IS OVER 44" DEEP. LADDERS SHALL BE A MIN. OF 12" WIDE.
- BUILDING REQUIREMENTS
 - ATTIC ACCESS (R307) PROVIDE ACCESS TO ATTIC SPACE WITH AN ACCESS DOOR AT LEAST 22" X 30" IN SIZE. LOCATE THE ACCESS DOOR WHERE THERE IS AT LEAST 30" OF CLEAR HEAD SPACE.
 - ATTIC MUST BE VENTILATED WITH TOTAL AREA OF ATTIC VENTS AT LEAST 1.0 S.F. (NET) FOR EACH 150 S.F. OF ATTIC AREA TO BE VENTILATED. ATTIC VENTS ARE NOT SHOWN ON THE PLAN (R304.2).
 - SMOKE ALARMS ARE REQUIRED IN ALL BEDROOMS, AT ALL HALLWAY SLEEPING TO BEDROOMS, AND AT EACH LEVEL INCLUDING THE BASEMENT. ADDITIONAL ALARMS MAY BE REQUIRED IN SEPARATED SPACES OF THE BASEMENT. SEE BUILDING DEPARTMENT. SMOKE ALARMS SHALL BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACK UP (R313).
 - STAIRWAY ARE TO BE A MINIMUM OF 36" WIDE (FINISHED) (R311.5.1) WITH A MINIMUM HEADROOM OF 4 FEET 8 INCHES (R311.5.2). THE MAXIMUM RISER IS 7 1/4" (R311.5.3.1) WITH A MINIMUM RUN OF 10" (R311.5.3.2). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREAD OR FLIGHT WITH 4 OR MORE RISERS (R311.5.5). A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 10 FEET BETWEEN FLOORS OR LANDINGS (R311.5.6). PROVIDE GL GUARDRAILS, DOWN SPOUTS, AND SPLASH BLOCKS AS NECESSARY.
- FOUNDATION/CONCRETE
 - IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED. PER AIA SOIL CAPACITY OF 2000 PSF IS ASSUMED.
 - CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 psi AT 28 DAYS. GARAGE FLOOR SLABS SHALL BE 3.50 AT 28 DAYS. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3.500 psi AT 28 DAYS (R402.2). CONCRETE SHALL BE AIR ENTRAINMENT WITH 5% TOTAL AIR CONTENT.
 - ALL FOOTING SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL. MINIMUM FOOTING TO BE 18" WIDE X 12" DEEP FOR 2 STORY BUILDING AND 12" WIDE X 10" DEEP FOR 3 STORY BUILDING (TABLE 403.1) BOTH WITH 2 CONTINUOUS HORIZONTAL #4 REBAR.
 - ALL ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS PER ALL PLATE WITH BOLT SPACED AT A MINIMUM OF 4 FEET OR CENTER WITH A MINIMUM OF ONE BOLT NOT MORE THAN 12 INCHES FROM THE END BUT AT LEAST 12 INCHES FROM END OF SILL PLATE (R403.1.6). ALTERNATE FOUNDATION STRAPS MAY BE USED, SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 1/2" DIAMETER ANCHOR BOLTS.
 - CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE R403.1(1). REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.

NOT FOR CONSTRUCTION

THESE ARE PLANS ARE CONCEPTUAL PLANS AND HAVE NOT BEEN APPROVED AS A BID SET FOR CONSTRUCTION

- WOOD FRAMING
 - ROOF, FLOOR, AND WALL SHEATHING APA RATED SHEATHING.
 - WALL STUDS: MINIMUM SPF STUD OR DOUGLAS FIR LARCH STUD.
 - WALL PLATES: MINIMUM SPF #2 OR BETTER.
 - DIMENSIONAL HEADERS: #2 DOUGLAS FIR OR BETTER.
 - LVL HEADERS: 3550 PLATE MINIMUM.
 - JOIST UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. (R502.4).
 - THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON CONCRETE. (R502.1).
 - WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSI/THL. REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR WEB BRACING AND MULTI-CONNECTION OF ORDERS. BS01 1-03 SHOULD BE REFER TO FOR HANDLING INSTALLATION AND BRACING OF METAL PLATE TRUSSES.
 - NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES. STRUCTURAL COMPOSITE LUMBER, GLUE LAMINATED MEMBERS, OR JOIST ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN BY PROFESSIONAL. (R502.2.2).
 - FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN TOP STORY AND ROOF SPACE. (R502.2.3).
 - ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R502.1.3. MINIMUM 3/4" PANEL SHEATHING.
 - THE ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R502.5(1).
- TABLE R502.5(1) ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R502.5(1).

SUPPORTS AND HEADERS	BUILT UP JOIST				BUILT UP JOIST			
	12	16	20	24	12	16	20	24
ROOF GIRDERS	12	16	20	24	12	16	20	24
	12	16	20	24	12	16	20	24
	12	16	20	24	12	16	20	24
	12	16	20	24	12	16	20	24
ROOF GIRDERS	12	16	20	24	12	16	20	24
	12	16	20	24	12	16	20	24
	12	16	20	24	12	16	20	24
	12	16	20	24	12	16	20	24
ROOF GIRDERS	12	16	20	24	12	16	20	24
	12	16	20	24	12	16	20	24
	12	16	20	24	12	16	20	24
	12	16	20	24	12	16	20	24
- TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 750 LBS AND PER THE MANUFACTURE SPECIFICATIONS.
- PROTECTION FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATION BY THE USE OF NATURALLY DURABLE OR PRESERVATIVE TREATED LUMBER. (R311.1)
 - ALL WOOD FRAMING THAT REST ON CONCRETE EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 4" FROM THE EXPOSED GROUND.
 - SELLS AND SLEEPERS ON A CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
 - THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 5 INCH ON TOP, SIDES AND ENDS.
 - WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 4 INCHES FROM THE GROUND.
 - ALL LUMBER IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES (R311.1.2).
 - ALL RAY AND BOX JOIST SPACES BETWEEN TOP OF THE FOUNDATION WALL AND FLOOR/ROOF LINE SHALL BE INSULATED WITH THE SAME MATERIAL USED FOR EXTERIOR WALLS. ALL EXTERIOR CORNERS AND FLOOR PARTITIONS TO EXTERIOR WALLS THAT ARE CLOSED OFF TO FUTURE INSULATION MUST BE INSULATED DURING FRAMING OF WALL.
 - ALL NAILING AND FASTENING SHOULD COMPLY WITH THE IRC TABLE R502.5(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS.
- STRUCTURAL STEEL
 - ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A992 GRADE 50 OR EQUAL AND SHALL HAVE BRIDGE CLIPPING AT 4 FEET ON CENTER TO RESIST LATERAL DEFLECTION.
 - ALL FRAMING TO BE ATTACHED TO STRUCTURAL STEEL, IN ACCORDANCE WITH GOVERNING CODES.

Classic Builders
Madison Base Plan
Villas at Stonehaven

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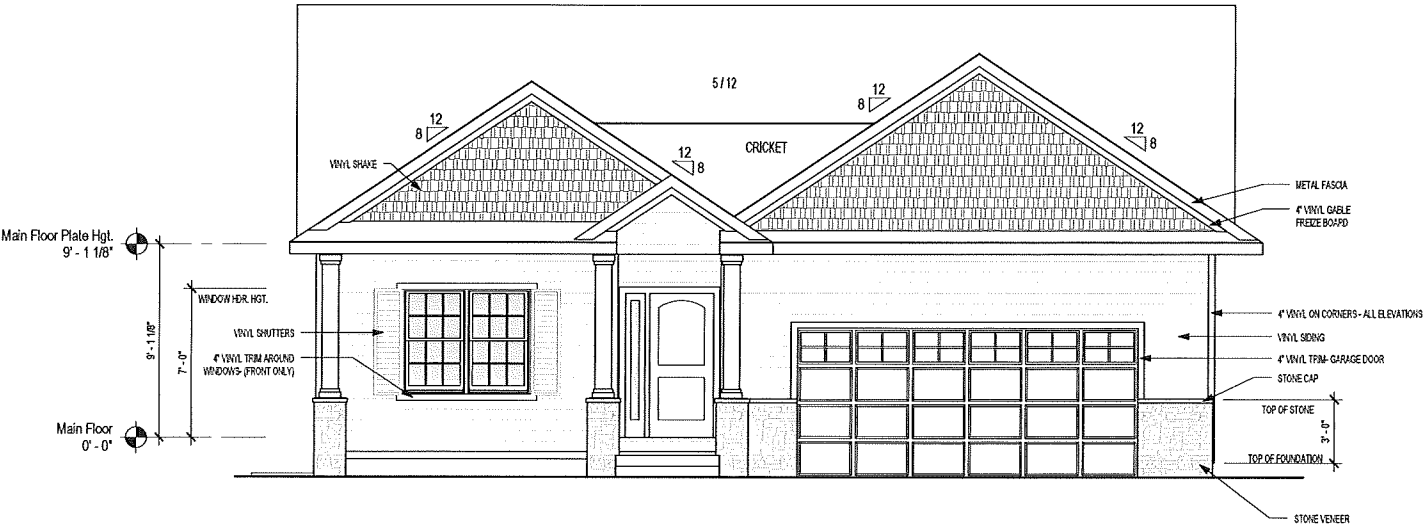
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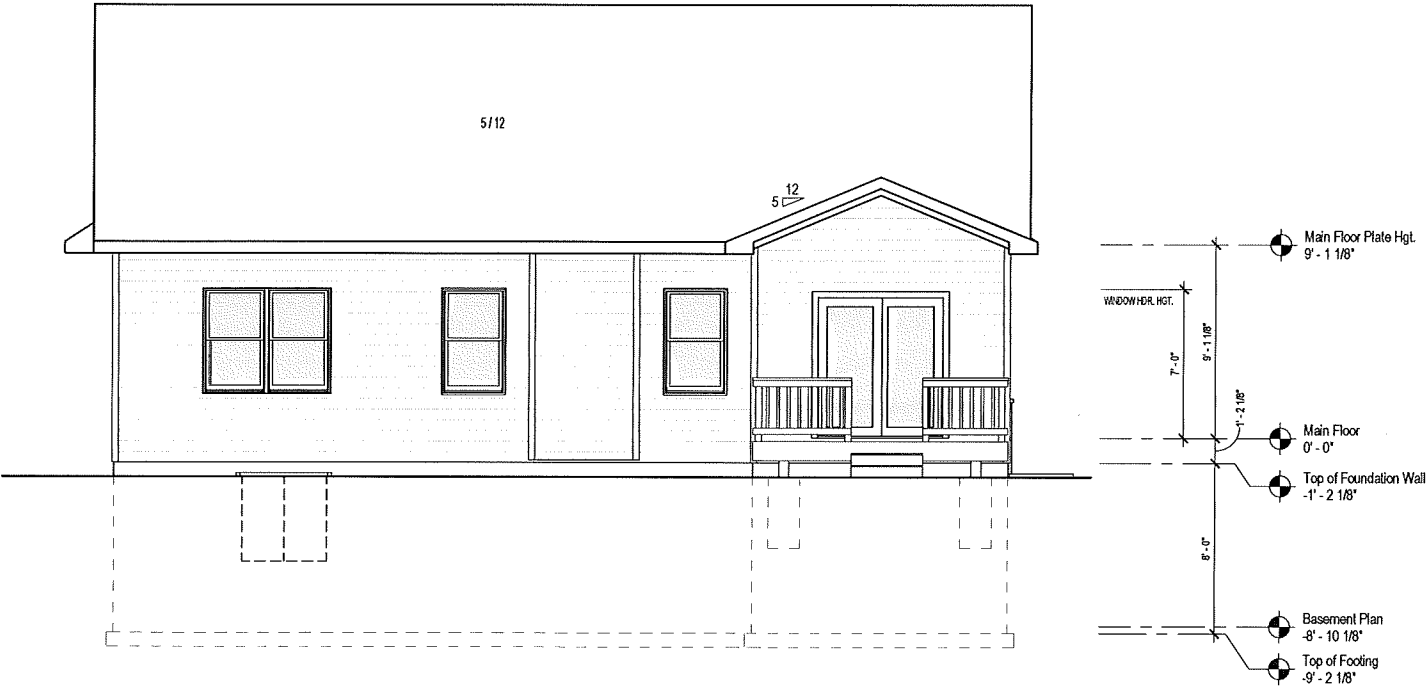
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1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

ESTIMATED WALL CLADDING SF	
Stone Veneer	70 SF
Vinyl Shake Material	188 SF
Vinyl Siding	2352 SF

1. SQUARE FOOTAGE OF GUTTER KICKER IS NOT INCLUDED IN THE SQUARE FOOTAGE OF THE WALL.
2. THE AREA INCLUDED IN THIS AREA IS APPROXIMATE ONLY.
3. THE AREA INCLUDED IN THIS AREA IS APPROXIMATE ONLY.



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

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Elevations

1/4" = 1'-0"

A.1



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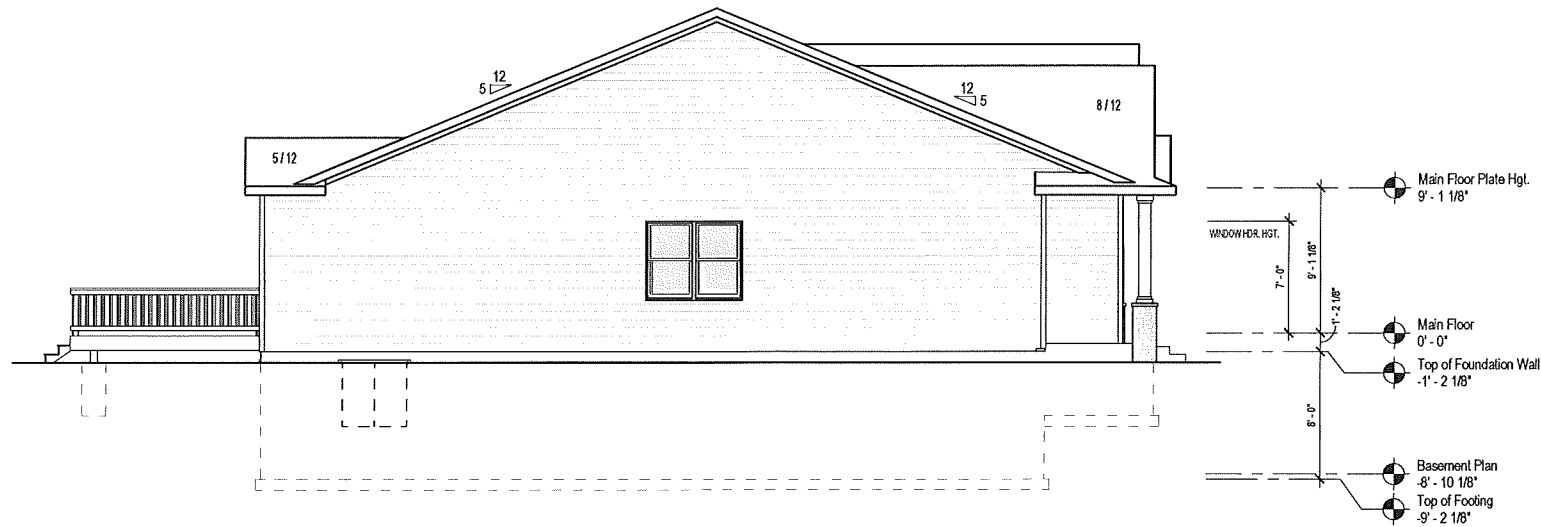
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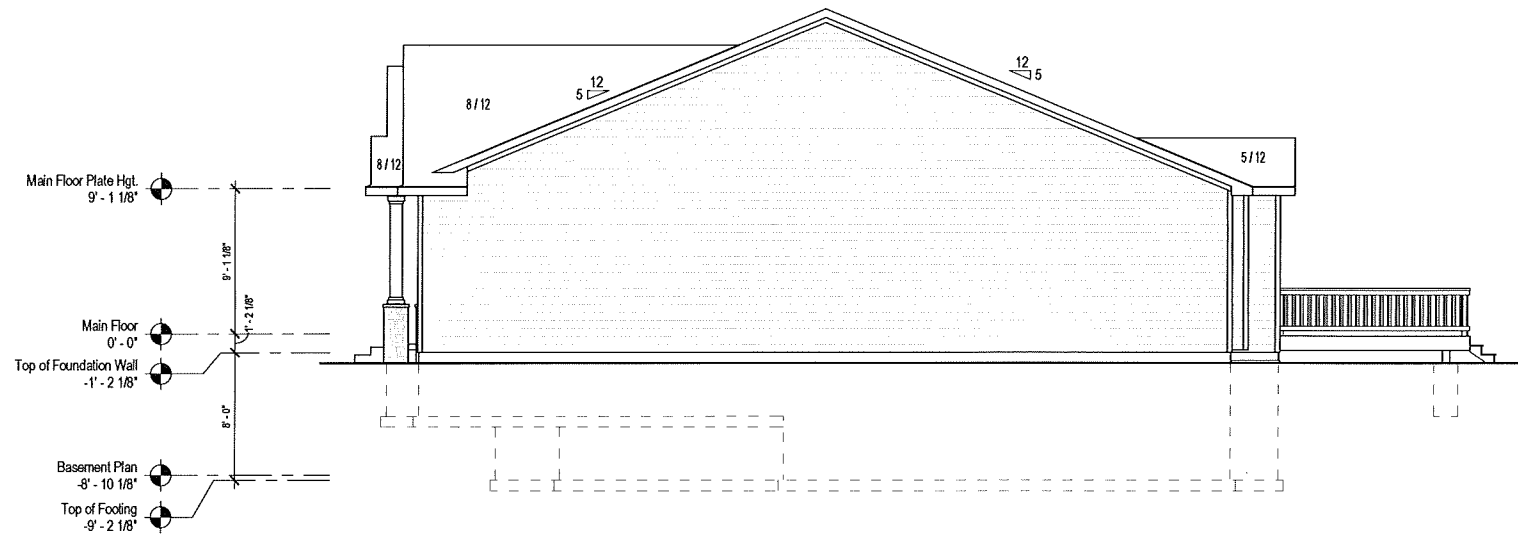
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Elevations
As indicated

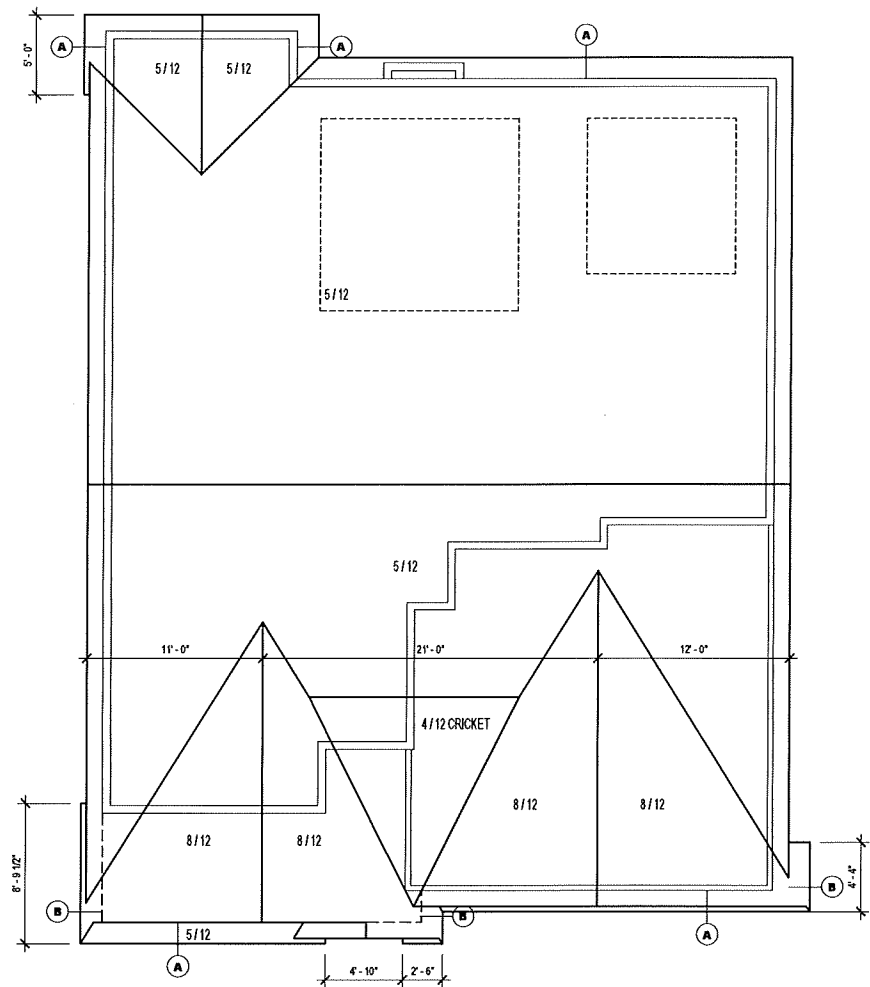
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1 LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
Scale: 3/16" = 1'-0"



3 ROOF PLAN
Scale: 3/16" = 1'-0"

ROOF PLAN LEGEND					
SYMBOL	WALL HGT.	PITCH	OVERHANG	HEEL HGT.	
A	8'-1 1/8"	5/12	1'-4"	7"	
B	8'-1 1/8"	8/12	1'-4"	11"	
ALL RAVE OVERHANGS ARE 12" UNLESS NOTED					

ESTIMATED ROOF SF	
2820 SF	
- 12" AFTER FOOTING OF ROOF IS TAKEN FROM THE EXISTING SURFACE OF THE ROOF. 1. THE AREA IS CALCULATED BASED ON THE FOLLOWING VALUES: 2. NO FACTOR FOR WASTE IS INCLUDED	