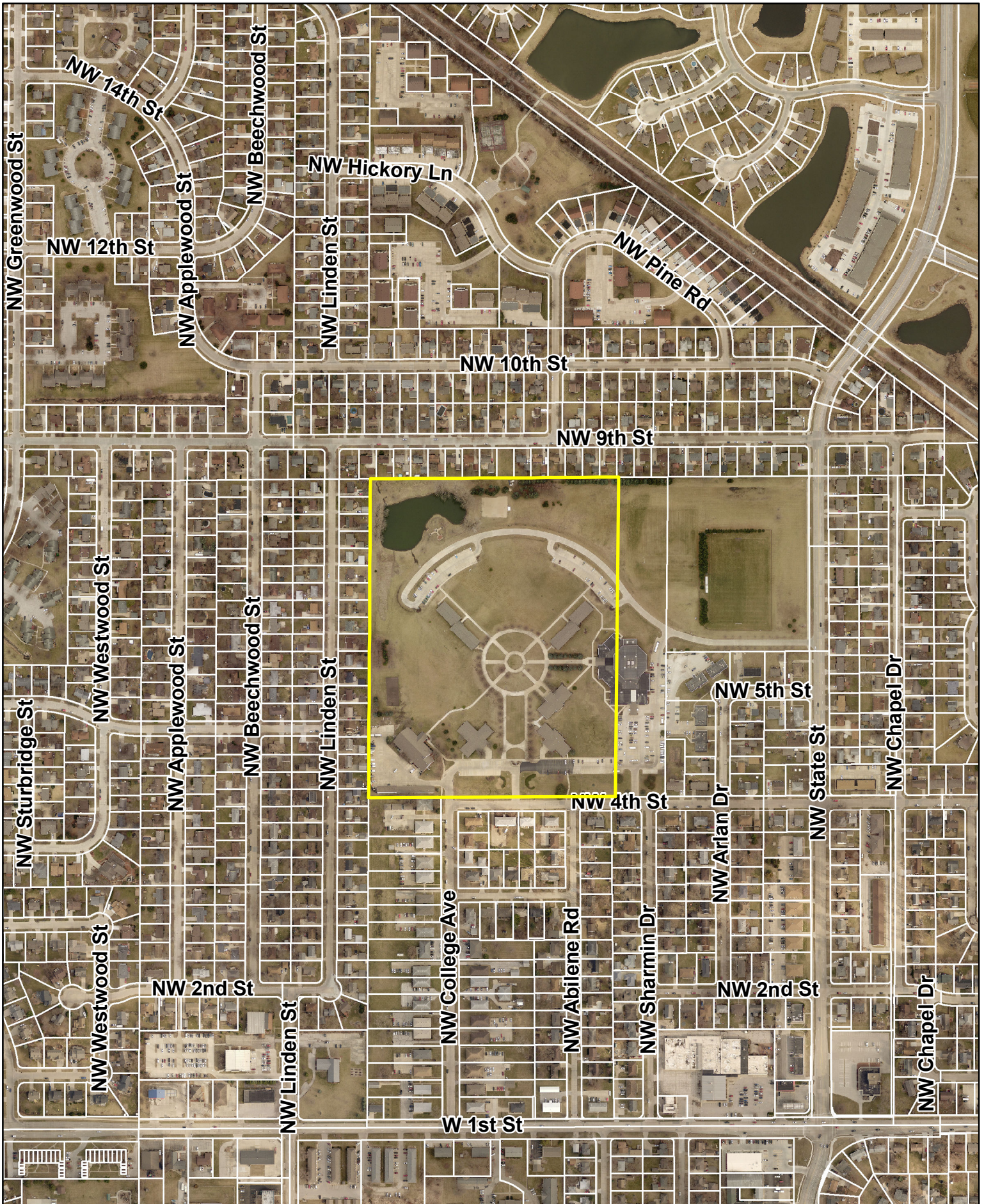




N



1 inch = 500 feet

Date: 3/7/2018

1900 NW 4th Street



*Plan and Zoning Commission
Staff Report*

Meeting Date: March 20th, 2018

Agenda Item: 1900 NW 4th Street – Faith Baptist Bible College Faculty Office / Music Building
Report Date: March 14th, 2018
Prepared by: Kellen Gorman
Planner I

ESC

Staff Recommendation:

That the Plan & Zoning Commission approve the site plan for the Faith Baptist Bible College Faculty Office / Music Building at 1900 NW 4th Street.

Project Summary:

The site plan proposes a new building to be constructed on the long-time established Faith Baptist Bible College campus. The subject site is zoned R-2, One-Family and Two-Family Residence District; and the site's intended use would be a permitted use in this district. The applicant is proposing a new 13,268 square foot office and institutional building and accompanying site improvements, including grading, storm water facilities, and landscaping.

The submitted site plan would comply with all applicable setbacks, and is not immediately adjacent to residential development. The site plan proposes a 13,268 square foot building of a "U" shape, with an architectural style similar to other buildings already constructed on the campus. The building is designed to be one story tall, with a height of 24 feet at its roof's highest peak. The primary building material will be a brick veneer, complimented by accents of white stucco.

The site plan does not propose the construction of any new parking areas, since the building will be constructed upon open space in the primary campus area, where there are 541 parking spaces that already exist. Administrators from the college have supplied staff with a letter explaining that the addition of this building will not be creating any new staff positions, and therefore current parking arrangements should be more than adequate. However, the letter also agrees to increase the availability of surface parking if concerns arise.

Landscaping shown on the proposed site plan satisfies all applicable regulations. The applicant proposes to landscape the site adequately, providing six trees, 26 shrubs, and 31 perennials and grasses. The new building will connect to previously established sidewalks with new pedestrian walkways that lead to and from the proposed buildings' entries.

Site Plan Worksheet 1900 NW 4th Street

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

1. **The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The proposed building is an addition to the dozen or so other buildings located upon the long-time established Faith Baptist Bible College campus. The campus itself has three entrances along NW 4th Street, two along NW 5th Street, and another entrance on NW State Street. The proposed building is located near the southeast corner of campus, with the building's main entryway oriented to the east. There are no service areas or construction of additional parking areas proposed by this project, so the impact to the few surrounding residents will be minimal.

2. **The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan complies with the landscaping and parking lot requirements of the code.

3. **The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

This proposed project has received approval from the Director of Planning and Building to utilize parking areas that are already available throughout the campus, rather than creating the additional surface parking spaces that would be required by code, but not actually needed. Administrators from the college have supplied staff with a letter explaining that the addition of this building will not be creating any new staff positions, and therefore current parking arrangements (541 surface parking spaces campus-wide) should be more than adequate. However, the letter also agrees to increase the availability of surface parking if concerns arise.

Aside from parking areas, the site fits in nicely to the surrounding campus area, connecting to previously constructed walkways that lead to other areas of campus. New pedestrian walkways are proposed at each of the building's primary egress points.

4. **The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

As previously stated, this proposed building will be constructed on open space within the college's main campus area. The proposed building will not be increasing the amount of vehicle trips that are being made to the campus, nor will it affect traffic along NW State

Street. That being said, access to the site is adequately provided, and vehicular circulation is not a concern to staff at this time.

5. **Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

Construction of new parking areas is not proposed with this site plan.

6. **Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

There are no loading docks, delivery areas, dumpsters, or outside storage areas proposed with this site plan. There is a storm water detention area located at the rear of the proposed building, however, its small size makes the detention area almost unnoticeable to the average person.

7. **All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

8. **Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Site lighting will be minimal with units affixed to the building façade; but in any case, these units will perform in a way to not interfere with the nearby residential properties.

9. **The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm water drainage will be directed to a small detention basin located at the rear (west) of the building. The addition of this proposed building and associated site work will actually improve surface and subsurface drainage on the campus as it currently stands today.

10. **Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The applicant proposes to connect to the existing 6-inch water utility serving the neighboring building to the north, and the 8-inch sanitary sewer vitrified clay pipe (VCP) to the east. Exact utility connection details are provided on the site's architectural, mechanical, and plumbing plans that will be submitted to the city's Planning & Building staff at a later date for approval.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The site is located upon the Faith Baptist Bible College campus, which has spacious open areas and is, for the most part, away from public view.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The applicant proposes to landscape the site adequately, providing six trees, 26 shrubs, and 31 perennials and grasses.

B. Building Design

- 1. Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

The proposed building is a one-story, 13,268 square-foot building; a maximum 24' in height. Neighboring buildings on the campus are of a similar scale.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The primary building material will be a brick veneer, complimented by accents of white stucco.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There is no exterior mechanical equipment proposed with this site plan, and there are also no service or storage areas at this building. Waste and refuse will be taken to another area of campus for containment and removal.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

The proposed building is of similar building materials and architectural style to the other buildings on the college's campus.

C. Signs

- 1. Every sign shall have good scale and proportion in relationship to its site and function, as well as the signage and use of neighboring properties.**

There is no building signage proposed with this site plan.

- 2. Building signs shall be designed as an integral architectural element of the building.**

There is no building signage proposed with this site plan.

3. **Yard signs shall be designed to provide elements compatible with the building design and architectural elements.**

There is no building signage proposed with this site plan.

4. **Each sign shall be designed in a manner not to compete for attention with signs on adjoining premises.**

There is no building signage proposed with this site plan.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

1. **Conformance to Design Standards and other applicable code requirements**
The plans submitted conform to the written regulations of the City.
2. **Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**
The site layout is compatible with setbacks.
3. **Layout and utilization of building, parking, drive-ways, and open spaces.**
The 13,268 square foot building and the circulation system for traffic is appropriate.
4. **Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**
The proposed building is one-story structure and will be a maximum of 24 feet in height. Its architectural character, including scale, color, style, and type of material relates to the neighboring buildings upon the college's campus.
5. **Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**
It appears that the impacts on these utility systems can be accommodated.



March 9, 2018

Plan & Zoning Commission
c/o Kellen Gorman, Planning and Building Department
Public Services Building
220 West First Street
Ankeny, IA 50023

RECEIVED

MAR - 9 2018

CITY OF ANKENY

RE: REVISED SITE PLAN SUBMITTAL
FBBC FACULTY OFFICE / MUSIC BUILDING DEVELOPMENT

Dear Members of the Plan & Zoning Commission

On behalf of Faith Baptist Bible College, please see the attached revised Site Plan drawings and associated submittals for the FBBC Faculty / Music Building project. These documents have been updated based on the City Staff comments March 2, 2018 and have been prepared to City of Ankeny standards. We are seeking Plan and Zoning Commission approval. Please see the attached submittal information:

- Six (6) copies of the updated Site Plans
- Two (2) drainage studies
- Comment Response memo
- Six (6) copies colored building elevations

Faith Baptist Bible College is planning on developing a 13,268 sf one story faculty / music building on their existing campus at 1900 NW 5th Street.

Proposed improvements include the proposed building, site grading, water and sanitary sewer services, storm sewer and detention and landscaping. No additional on-site parking is proposed. They plan to start construction this summer.

We anticipate this item being placed on the March 20, 2018 Plan and Zoning Commission agenda. Snyder & Associates will have representatives in attendance to answer any questions.

Sincerely,

SNYDER & ASSOCIATES, INC.

Monte Appelgate, PLA
Project Manager
MAA/dmb

Enc.

Cc: Jeff Wiseman, Imprint Architects
Curt Fincham, FBBC
Files

V:\RefLibrary\CADDStandards\WorkSpace\Standards\Printing\Pen - Tables\Notes.tbl
V:\RefLibrary\CADDStandards\WorkSpace\Standards\Printing\Print - Drivers\Black_Gray\B&W\ulweighttbl.plt
3/9/2018 9:11:51 AM
KSO\JLS\1
2017.04.06 11:07:04 AM 117.0496 01754.dgn

SITE PLANS

FOR

FBBC FACULTY OFFICE/MUSIC BUILDING

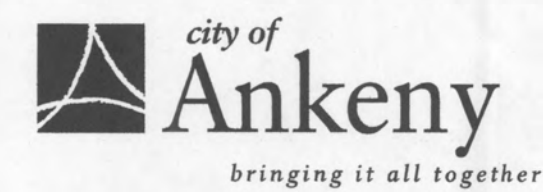
CITY OF ANKENY, POLK COUNTY, IOWA

OWNER
FAITH BAPTIST BIBLE COLLEGE
1900 NW 4th St.
ANKENY, IA 50023
CONTACT: CURT FINCHAM
PHONE: (515)964-0601



NOT TO SCALE

VICINITY MAP



INDEX OF SHEETS

1. TITLE SHEET
2. PROJECT INFORMATION
3. DEMOLITION PLAN
4. DIMENSION AND UTILITY PLAN
5. STORM SEWER, GRADING AND EROSION CONTROL PLAN
6. PLANTING PLAN

RECEIVED
MAR - 9 2018
CITY OF ANKENY



Project No: 117.0496

Sheet 1 of 6

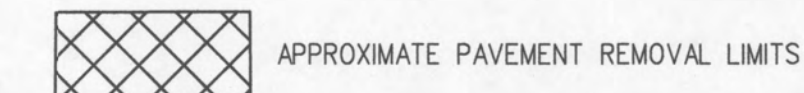
FBBC FACULTY OFFICE/MUSIC BUILDING

TITLE SHEET

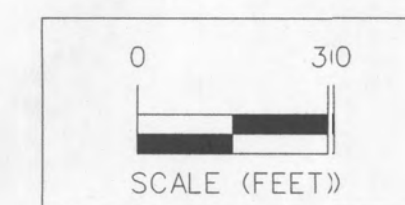
CITY OF ANKENY

SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

MARK	REVISION	DATE	BY
1	REVISED PER CITY COMMENTS	03/09/18	KSS
Engineer:	KSS	Checked By:	MAA
Technician:	RMM	Date:	02/16/18
Scale:	1"= 500'	Field Bk:	
Pg:			Sheet 1 of 6



4. EXISTING TREES AND SHRUBS. SEE LANDSCAPE PLAN FOR EXISTING TREE INVENTORY AND MITIGATION PLANTINGS.

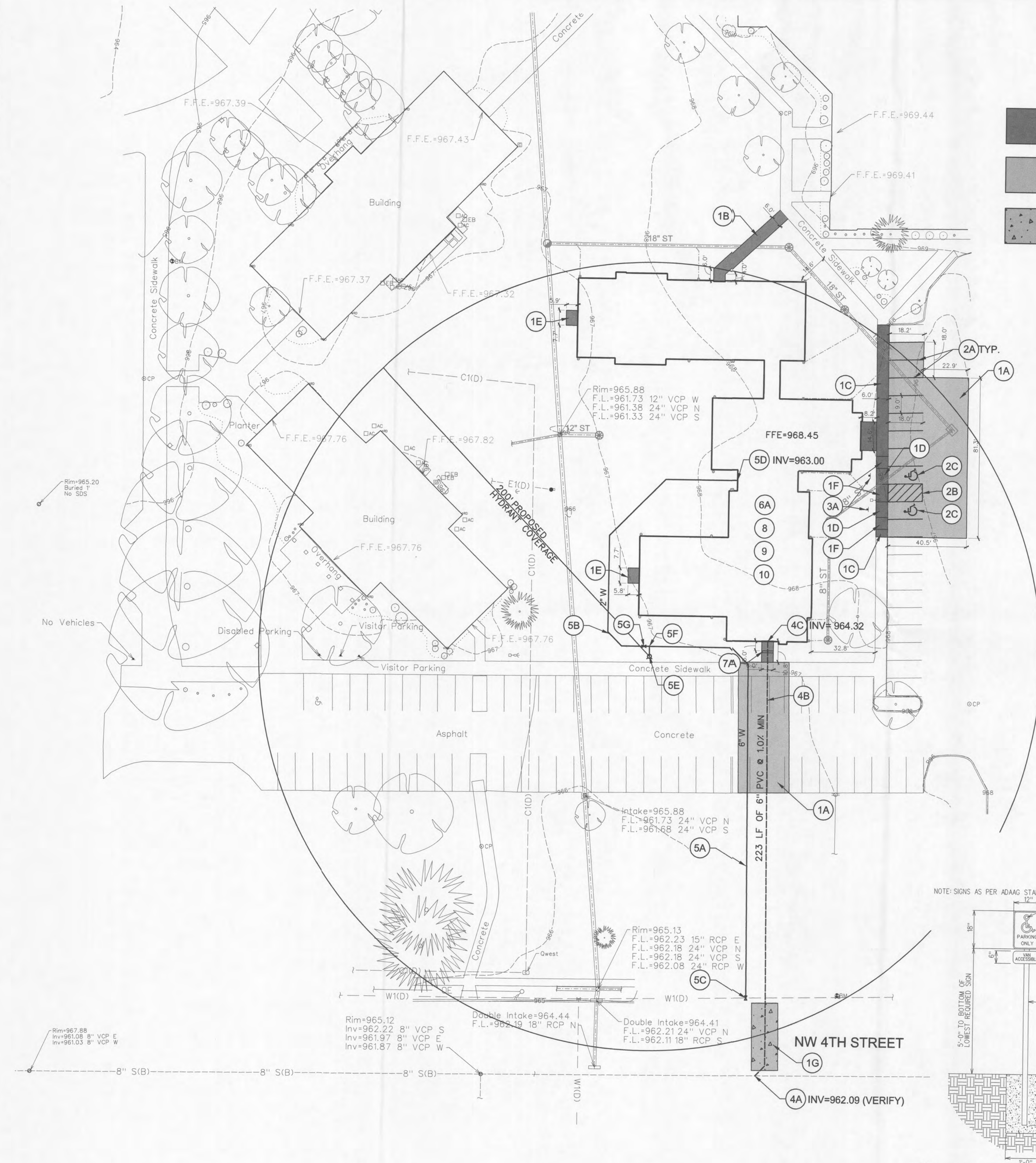


Sheet 3 of 6

ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Sheet 3 of 6

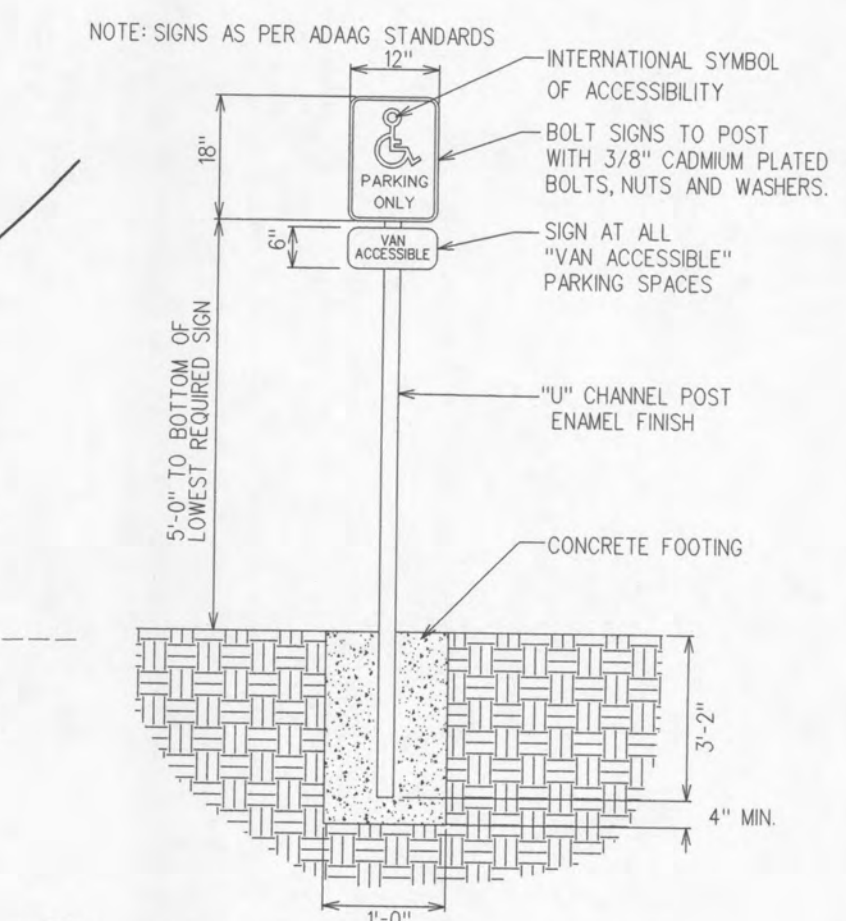
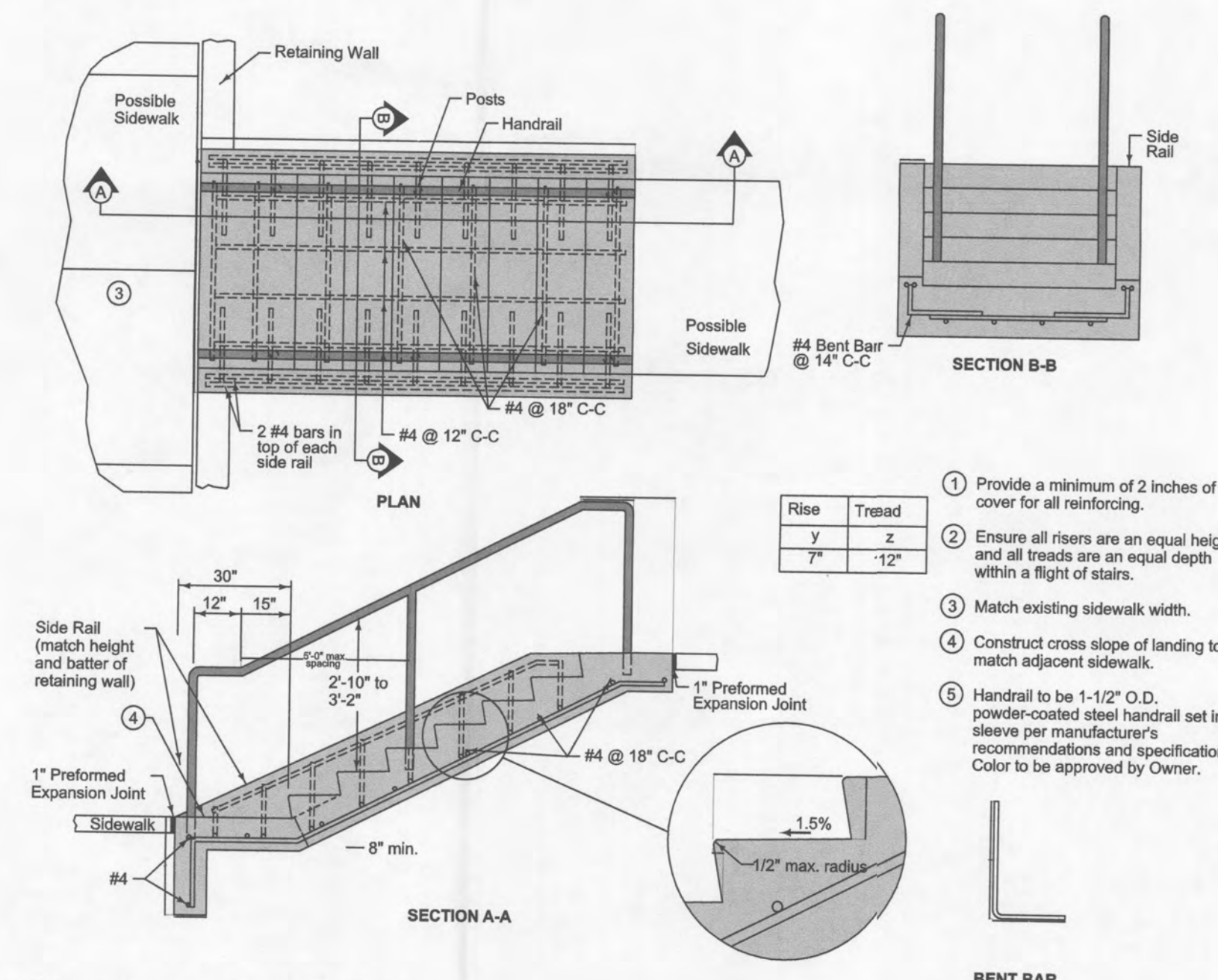
3/9/2018 8:11:59 AM
K:\16_Snyder\160446-FBBC-Faculty-Office-Music-Bldg\160446-FBBC-Faculty-Office-Music-Bldg.dgn
V:\RefLib\AEC\Standards\WorkSpace\Standard\Printing\Print_Driver\Black_Gray_V88BW\mshdwg\hphdwg.ctb
Snyder
L30



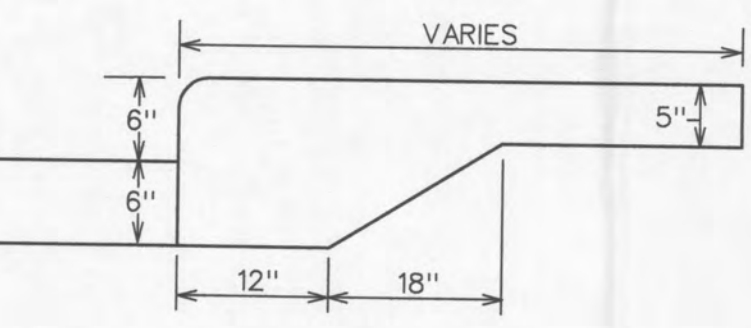
- = 5" PCC SIDEWALK
- = 6" PCC
- = CONTRACTOR TO VERIFY PCC THICKNESS

DIMENSION PLAN CONSTRUCTION NOTES

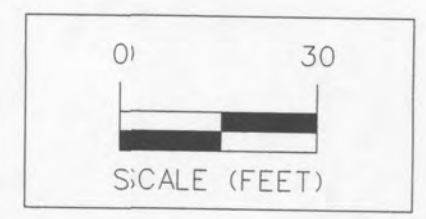
- PAVEMENTS, PROVIDE THE FOLLOWING:
A. 6" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
B. 5" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
C. 5" DEPTH PCC SIDEWALK WITH INTEGRAL CURB ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
D. PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33%.
E. STOOP. SEE ARCHITECTURAL PLANS FOR DETAILS.
F. 6" DEPTH PCC SIDEWALK LANDING WITHIN MAXIMUM SLOPE OF 2%.
G. PCC PATCH TO MATCH EXISTING PAVEMENT THICKNESS. SAWCUT TO NEAREST JOINT LINE. CONSTRUCT AS PER SUDAS SECTION 7040.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
A. 4" PAINTED PARKING STALL LINES, WHITE.
B. 45° STRIPING AT 3' O.C. WHERE SHOWN.
C. PAINTED STATE OF IOWA APPROVED DISABLED SYMBOL AS PER ADAAG REQUIREMENTS.
- SIGNAGE, PROVIDE THE FOLLOWING:
A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS. SEE DETAIL.
- SANITARY SEWER SERVICE, PROVIDE THE FOLLOWING:
A. CONNECT TO EXISTING 8" VCP SANITARY SEWER WITH MANUFACTURED WYE AS PER CITY OF ANKENY STANDARDS. VERIFY LOCATION AND EXISTING INVERT PRIOR TO CONSTRUCTION.
B. 6" PVC SANITARY SEWER SERVICE AT 1.0% MINIMUM SLOPE.
C. BUILDING SANITARY SEWER CONNECTION. SEE ARCHITECTURAL, MECHANICAL AND PLUMBING PLANS FOR DETAILS.
- WATER SERVICE, PROVIDE THE FOLLOWING:
A. 6" PRIVATE WATER SERVICE. MINIMUM 5.5' DEPTH.
B. 2" PRIVATE WATER SERVICE. MINIMUM 5.5' DEPTH.
C. CONNECT TO EXISTING 6" WATER MAIN WITH 6" TAPPING VALVE AND SLEEVE. VERIFY LOCATIONS, SIZE AND ELEVATION PRIOR TO CONSTRUCTION.
D. CONNECT TO BUILDING WATER SERVICE. VERIFY LOCATION, SIZE AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
E. HYDRANT ASSEMBLY.
F. 6"x6" TEE WITH 2" REDUCER.
G. 2" VALVE PROVIDE CONCRETE COLLAR AROUND WATER SERVICE CURB STOPS NOT LOCATED IN WITHIN SIDEWALK.
- SITE ELECTRICAL, PROVIDE THE FOLLOWING:
A. LIGHTS SHALL BE BUILDING MOUNTED. REFER TO ARCHITECT PLANS FOR LOCATIONS AND SPECIFICATIONS.
- SITE IMPROVEMENTS, PROVIDE THE FOLLOWING:
A. STAIRS, SEE DETAIL FOR SPECIFICATIONS.
- COORDINATE ELECTRICAL AND NATURAL GAS SERVICES WITH UTILITY SERVICE PROVIDER PRIOR TO CONSTRUCTION.
- COORDINATE CABLE TELEVISION AND TELEPHONE SERVICES WITH UTILITY SERVICES PRIOR TO CONSTRUCTION.
- SEE ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.



1 PCC STAIRS WITH RAILING
4 NO SCALE



3 PCC INTEGRAL CURB AND SIDEWALK
4 NO SCALE



FBBC FACULTY OFFICE/MUSIC BUILDING

DIMENSION AND UTILITY PLAN

SNYDER & ASSOCIATES, INC.



Project No: 117.0496

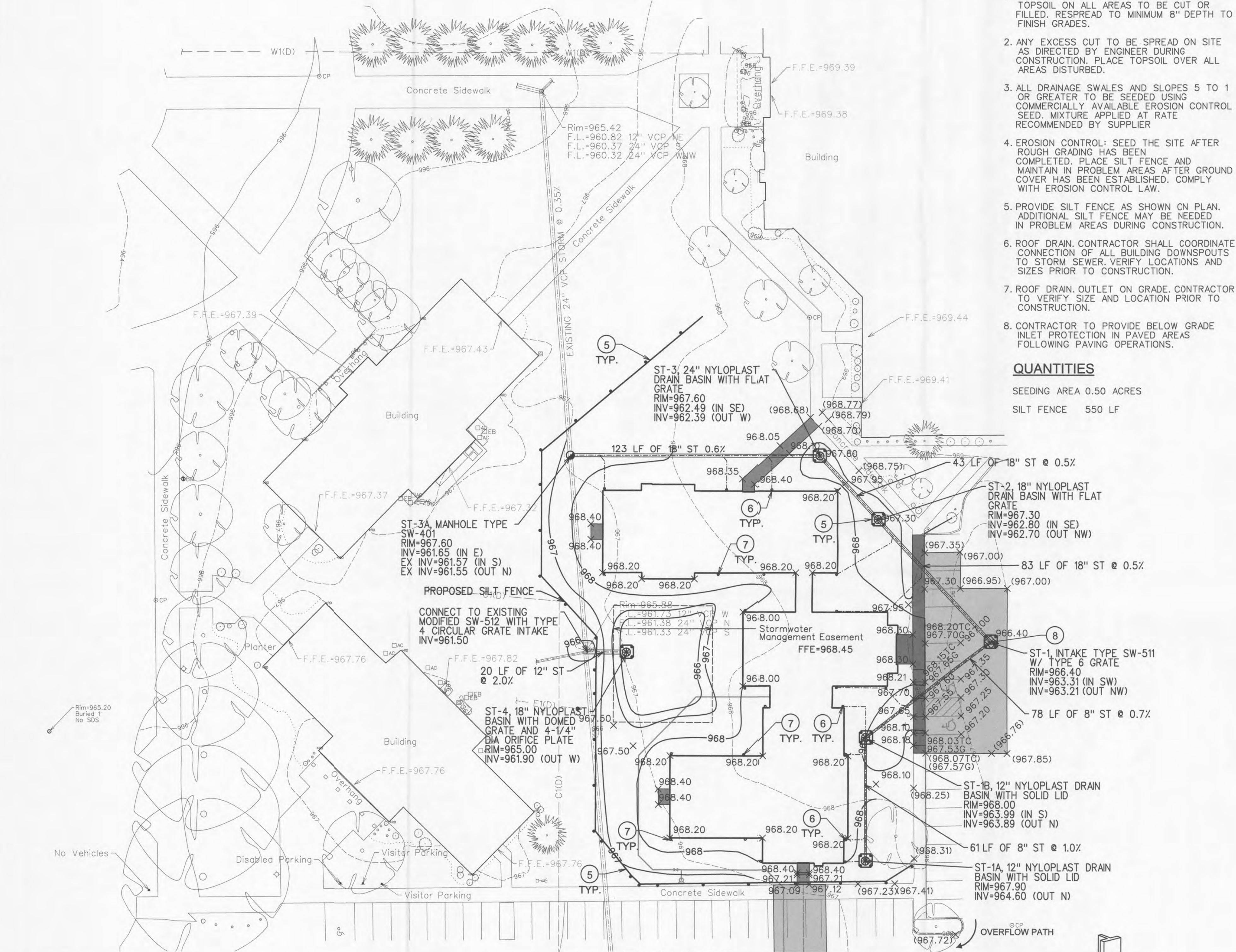
Sheet 4 of 6

CITY OF ANKENY

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Engineer: KSS
Checked By: MAA
Date: 02/16/18

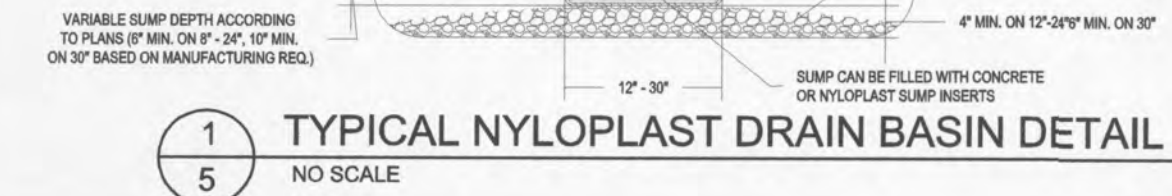
Scale: 1"= 30'
Field Bk:
Pg: 4 of 6



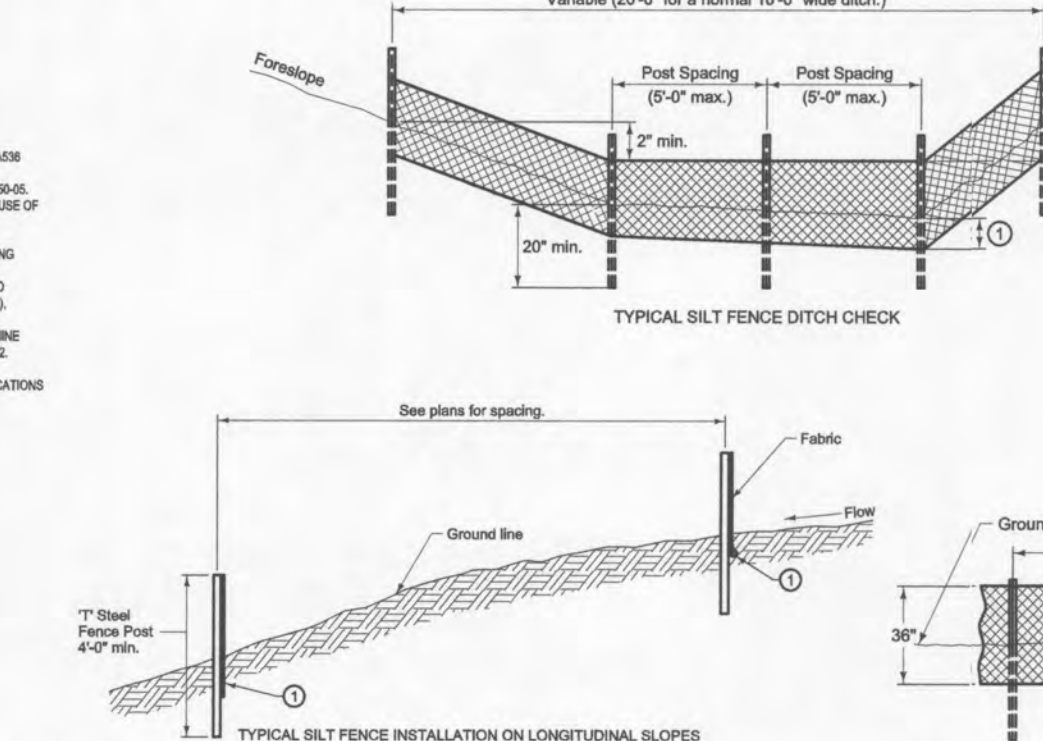
TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS. SEE DRAWING NO. 7001-110-111 FOR NON TRAFFIC INSTALLATION.

NYLOPLAST DUCTILE IRON FRAME & GRATE (SOLID COVER TO MATCH BASIN O.D. (SLOAS SW-60A TYPE 4 EQUIVALENT))

INTAKE SIZE	THROUGH PIPE	MAXIMUM DRAIN
DIAMETER	DIAMETER	DIAMETER
12"	12"	12"
15"	15"	15"
18"	18"	18"
24"	24"	24"
30"	30"	30"



1 TYPICAL NYLOPLAST DRAIN BASIN DETAIL
NO SCALE



2 SILT FENCE DETAIL
NO SCALE

DETAILS OF SILT FENCE ON LONGITUDINAL SLOPES

GRADING NOTES

- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
- ALL DRAINAGE SWALES AND SLOPES 5 TO 1 OR GREATER TO BE SEEDDED USING COMMERCIALY AVAILABLE EROSION CONTROL SEED MIXTURE APPLIED AT RATE RECOMMENDED BY SUPPLIER
- EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
- PROVIDE SILT FENCE AS SHOWN ON PLAN. ADDITIONAL SILT FENCE MAY BE NEEDED IN PROBLEM AREAS DURING CONSTRUCTION.
- ROOF DRAIN. CONTRACTOR SHALL COORDINATE CONNECTION OF ALL BUILDING DOWNSPOUTS TO STORM SEWER. VERIFY LOCATIONS AND SIZES PRIOR TO CONSTRUCTION.
- ROOF DRAIN. OUTLET ON GRADE. CONTRACTOR TO VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.
- CONTRACTOR TO PROVIDE BELOW GRADE INLET PROTECTION IN PAVED AREAS FOLLOWING PAVING OPERATIONS.

QUANTITIES

SEEDING AREA 0.50 ACRES
SILT FENCE 550 LF

POLLUTION PREVENTION NOTES

- A. POLLUTION PREVENTION AND EROSION PROTECTION
- CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THE PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.
 - DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER FURTHER, IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY. THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.
- B. STORM WATER DISCHARGE PERMIT
- THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF THE REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 AS SPECIFIED IN THE CONTRACT DOCUMENTS.
 - ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING BUT NOT LIMITED TO THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.
 - A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.
- C. POLLUTION PREVENTION PLAN
- THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLANS AND DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.
 - THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.
 - THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:
 - UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.
 - INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.
 - PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.
 - MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.
 - INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED TO THE OWNER'S ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.
 - PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.
 - INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.
 - RESPREAD A MINIMUM OF 8 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.
 - STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, SOD, OR PAVEMENT IMMEDIATELY AS SOON AS POSSIBLE UPON COMPLETION OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES IMMEDIATELY AFTER CONSTRUCTION ACTIVITY IS FINALLY COMPLETED OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WHICH WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
 - COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.
 - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".
- D. PROJECT SPECIFIC REQUIREMENTS FOR POLLUTION PREVENTION AND EROSION PROTECTION
- RESPONSIBILITIES OF THE OWNER:
 - SIGN NPDES CERTIFICATION STATEMENT AS PERMITEE.
 - ALL REQUIREMENTS NOT ASSIGNED TO OTHERS.
 - RESPONSIBILITIES OF THE ENGINEER:
 - CREATE THE INITIAL SWPPP.
 - PUBLISH THE PUBLIC NOTICE OF STORM WATER DISCHARGE.
 - FILE THE NOTICE OF INTENT WITH APPLICATION FEE FOR NPDES GENERAL PERMIT No. 2 COVERAGE.
 - SUBMIT THE NOTICE OF DISCONTINUATION.
 - RESPONSIBILITIES OF THE CONTRACTOR:
 - SIGN NPDES CERTIFICATION STATEMENT AS CO-PERMITEE AND COORDINATING CERTIFICATION OF SUBCONTRACTOR CO-PERMITTEES.
 - COMPLY WITH THE REQUIREMENTS OF THE GENERAL PERMIT No.2 AND THE SWPPP.
 - INSTALL, MAINTAIN, AND REMOVE EROSION CONTROL AND POLLUTION PREVENTION MEASURES.
 - WEEKLY INSPECTIONS AND CORRESPONDING RECORDS.
 - UPDATE AND MAINTAIN THE ONSITE SWPPP.
 - COOPERATE TO PROVIDE INFORMATION UNDER THE RESPONSIBILITY OF OTHERS.

FBBC FACULTY OFFICE/MUSIC BUILDING

STORM SEWER, GRADING, AND EROSION CONTROL PLAN

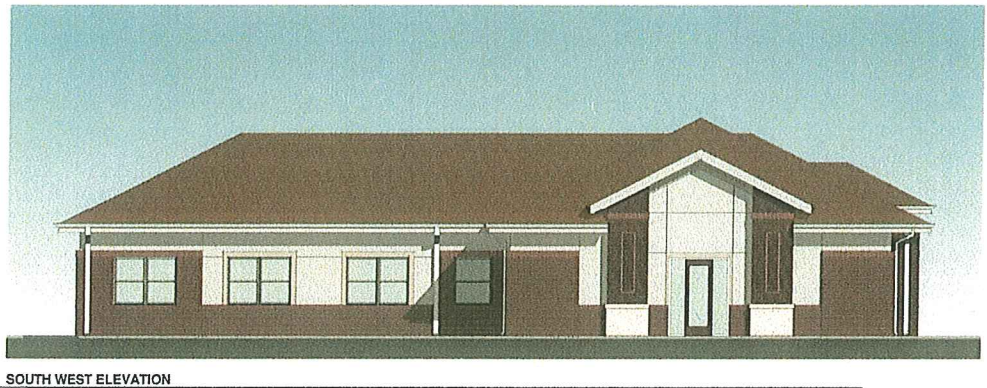
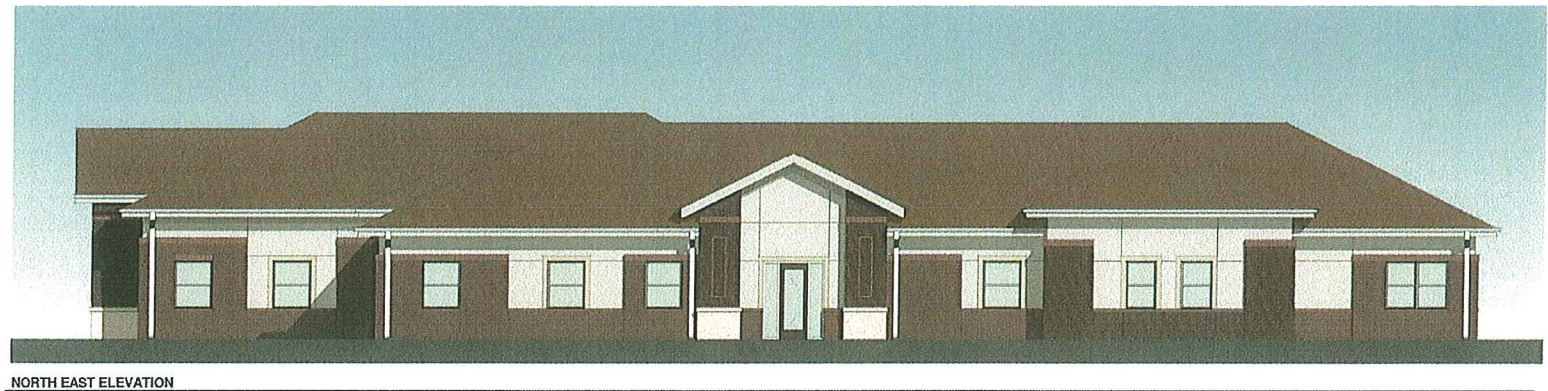
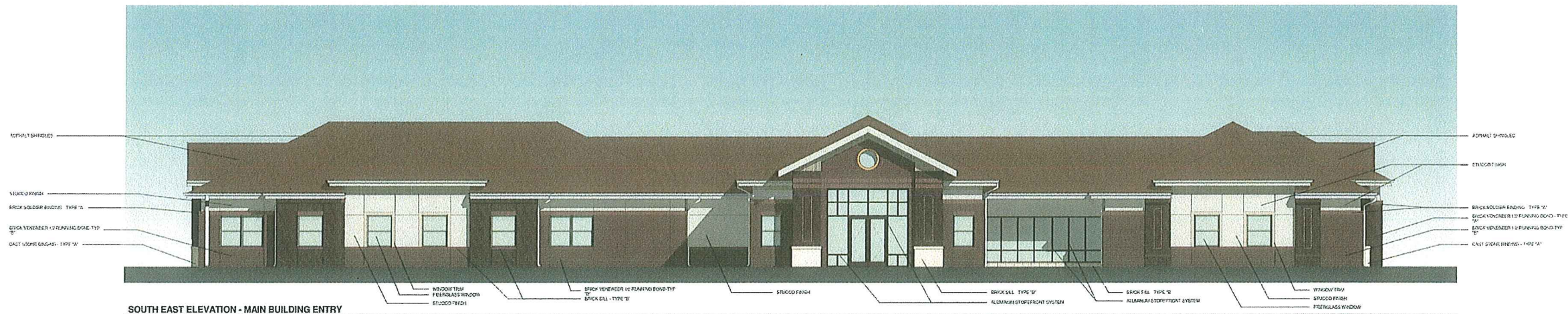
SNYDER & ASSOCIATES

Project No: 117.0496

CITY OF ANKENY

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Sheet 5 of 6



PROJECT:
FBBC FACULTY OFFICE / MUSIC BUILDING
FACULTY OFFICE

DATE:	DRAWN BY:	CHECKED BY:
02/15/2018	SR	JW
REVISED:		

BUILDING
ELEVATIONS

X101

imprint
ARCHITECTS



1605 N. ANKENY BLVD #130
ANKENY, IOWA 50023
PHONE: (515) 965-5336
FAX: (515) 965-5335
info@imprintarchitects.com

PERMIT SET