







Plan and Zoning Commission Staff Report

Meeting Date: March 20, 2018

Agenda Item: Trestle Ridge Estates Rezoning – Public Hearing

Report Date: March 14, 2018

Prepared By: Deb Gervais, AICP

Associate Planner

Discussion

Diamond Development, LLC is requesting to rezone property from R-3, Multiple-Family Residence District, restricted to single-family residential to PUD, Planned Unit Development.

The subject property is approximately 27.41 acres, located a quarter mile southwest of the intersection of NW 36th Street and NW Irvinedale Drive. Properties to the north and northeast are zoned R-3, restricted to 10 units per acre and restricted to 18 units per acre. The southern corners of NW 36th and NW Irvinedale are zoned C-1, Neighborhood Retail Commercial District. The properties west and south are zoned R-3 restricted to single family residential. The properties east of this site are zoned R-1, One-Family Residence District.

The PUD Concept Plan indicates the bulk regulations allowing single-family lots with 54-foot minimum lot widths. R-3 zoning regulations shall apply

The current Ankeny Comprehensive Plan Future Land Use Map indicates the subject area as Low Density Residential and Medium Density Residential. The proposed rezoning is consistent with the Future Land Use Map.

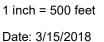
The developer has submitted the required rezoning petitions consisting of the signatures of more than 50% of the land area subject to the rezoning, as well as the signatures of the owners of at least 60% of the land within 250° of the subject property. Specifically, the developer has submitted the required rezoning petition owner signatures, consisting of 100% of the land area subject to the rezoning, as well as 78.76% of the land area within 250° of the subject property, not including City of Ankeny. Additionally, this encompasses 3 of 8 or 37.5% of the owners within 250° of the subject property, not including City of Ankeny.

Notifications of the public hearing were sent to the property owners within 250' of the property and a legal notice was published. The rezoning signs were posted on the property by the required date of March 12, 2018, which is at least seven days prior to this public hearing.

Staff will present a complete staff report at the next Plan and Zoning Commission meeting on April 3, 2018.











March 14, 2018

Honorable Mayor and City Council City of Ankeny Planning & Building Department 220 West 1st Street Ankeny, Iowa 50023

RE: Trestle Ridge Estates Plat 3 Property Rezoning

Honorable Mayor, City Council and Planning and Zoning Commission:

On behalf of Diamond Development LLC, we submit herewith the following rezoning request to rezone approximately 27.41 acres located southwest of the intersection of NW Irvinedale Drive and NW 36th Street. The existing zoning on the property is R-3, restricted to single family residential and we are requesting to rezone the property to Planned Unit Development (PUD). Please accept this submittal for the next available City Council meeting. Let me know if you have any questions or require any further information to complete your review. Thanks.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC

Ryan A. Hardisty, P.E.

ANKENY, IA

OWNER/APPLICANT

DIAMOND DEVELOPMENT LLC CONTACT: DARRYL BRESSON 309 EAST 1ST STREET ANKENY, IOWA 50021 PH: (515) 963-4388

ZONING

EXISTING: R-3, WITH RESTRICTIONS TO SINGLE FAMILY RESIDENTIAL ONLY

PROPOSED: PLANNED UNIT DEVELOPMENT (PUD)
UNDERLYING ZONING: R-3

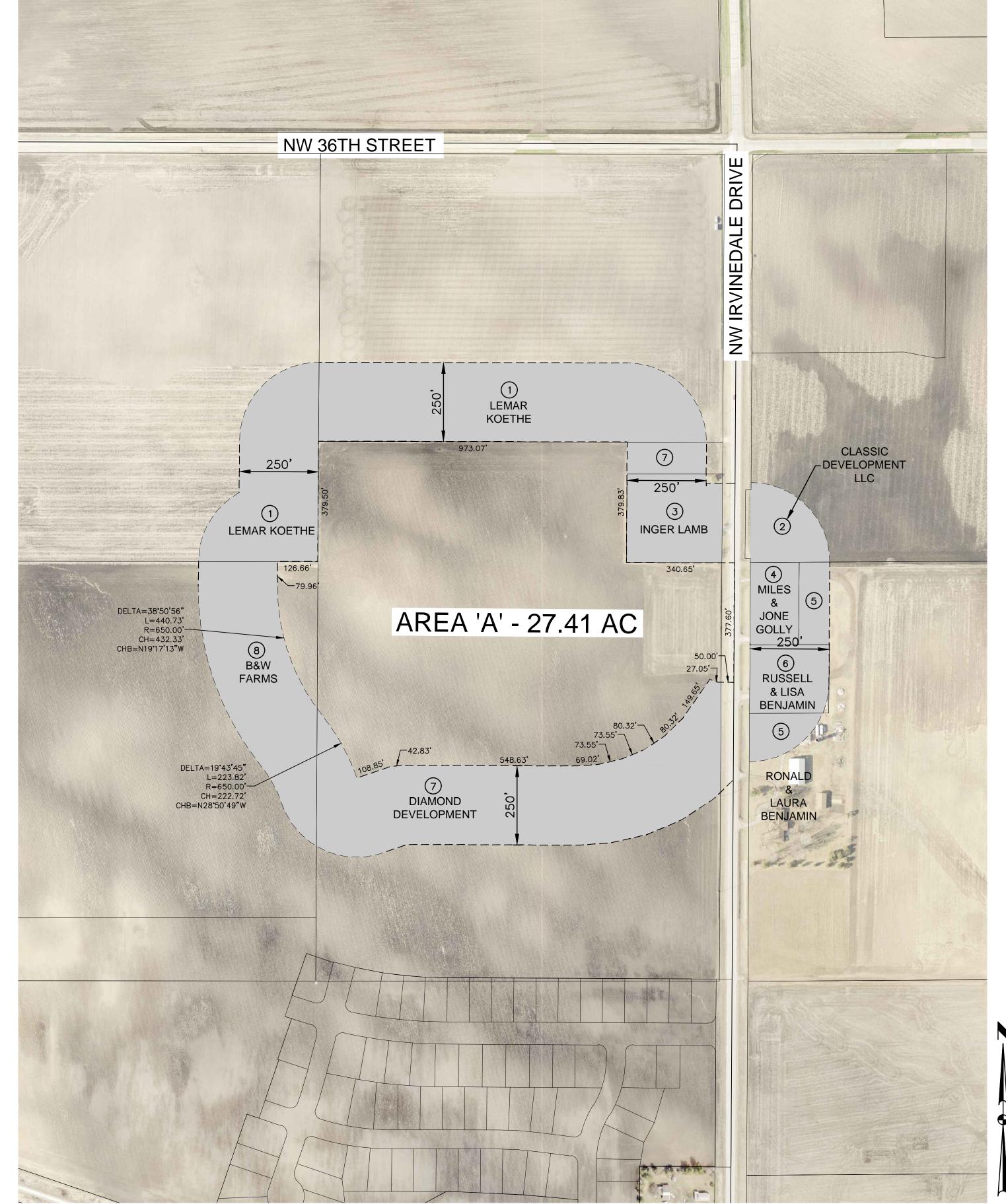
REZONING DESCRIPTION - AREA 'A'

A PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 9; THENCE NORTH 0'20'08" EAST ALONG THE EAST LINE OF SAID EAST HALF OF THE NORTHEAST QUARTER, 945.96 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89'39'52" WEST, 50.00 FEET; THENCE NORTH 70'23'19" WEST, 27.05 FEET; THENCE SOUTH 34°52'47" WEST, 149.65 FEET; THENCE SOUTH 45'31'21" WEST, 80.32 FEET; THENCE SOUTH 56'37'46" WEST, 80.32 FEET; THENCE SOUTH 68'02'53" WEST, 73.55 FEET; THENCE SOUTH 76'40'30" WEST, 73.55 FEET; THENCE SOUTH 85'36'02" WEST, 69.02 FEET; THENCE NORTH 89'43'26" WEST, 548.63 FEET; THENCE SOUTH 82'32'25" WEST, 42.83 FEET; THENCE SOUTH 71'16'27" WEST, 108.85 FEET; THENCE NORTHWESTERLY ALONG A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 650.00 FEET, WHOSE ARC LENGTH IS 223.82 FEET AND WHOSE CHORD BEARS NORTH 28'50'49" WEST, 222.72 FEET; THENCE NORTHERLY ALONG A CURVE CONCAVE EASTERLY WHOSE RADIUS IS 650.00 FEET, WHOSE ARC LENGTH IS 440.73 FEET AND WHOSE CHORD BEARS NORTH 1917'13" WEST, 432.33 FEET; THENCE NORTH 00°08'15" EAST, 79.96 FEET TO THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE SOUTH 89'54'24" EAST ALONG SAID NORTH LINE, 126.66 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE NORTH 00°23'16" EAST ALONG THE WEST LINE OF SAID EAST HALF OF THE NORTHEAST QUARTER, 379.50 FEET; THENCE SOUTH 89'49'55" EAST, 973.07 FEET; THENCE SOUTH 00°22'14" WEST, 379.83 FEET; THENCE NORTH 89°53'15" WEST, 340.65 FEET TO THE EAST LINE OF SAID EAST HALF OF THE NORTHEAST QUARTER; THENCE SOUTH 00'22'08" WEST ALONG SAID EAST LINE, 377.60 FEET TO THE POINT OF BEGINNING AND CONTAINING 27.41 ACRES (1,194,125 SQUARE FEET). THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ADJACENT OWNERSHIP - AREA 'A'

Owners	Acres	Percentage	Consenting
1. LEMAR KOETHE	10.468 AC	35.10%	35.10%
2. CLASSIC DEVELOPMENT	1.136 AC	3.81%	
3. INGER LAMB	1.894 AC	6.35%	
4. MILES & JONE GOLLY	0.918 AC	3.08%	
5. RONALD & LAURA BENJAMIN	1.161 AC	3.89%	
6. RUSSEL & LISA BENJAMIN	1.226 AC	4.11%	
7. DIAMOND DEVELOPMENT, LLC.	8.686 AC	29.13%	29.13%
8. B&W FARMS LLC.	4.334 AC	14.53%	14.53%
	29.823 AC	100.00%	78.76%





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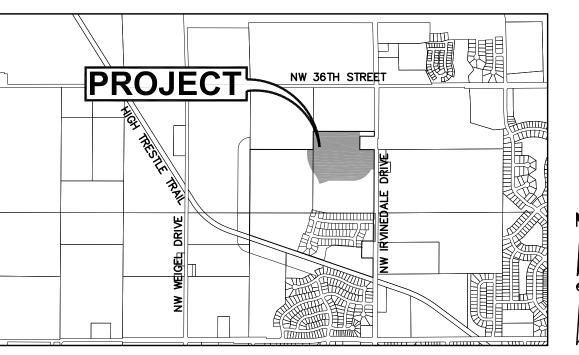
ZONING



TRESTLE RIDGE ESTATES

P.U.D. CONCEPTUAL PLAN

VICINITY MAP



ANKENY, IA

OWNER/DEVELOPER

DIAMOND DEVELOPMENT LLC CONTACT: DARRYL BRESSON 309 EAST 1ST STREET ANKENY, IOWA 50021 PH: (515) 963-4388

ENGINEER/SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC CONTACT: RYAN HARDISTY 3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IA 50111 PH. (515) 369-4400

ZONING

EXISTING

R-3: WITH RESTRICTIONS TO SINGLE FAMILY RESIDENTIAL ONLY

PROPOSED

PLANNED UNIT DEVELOPMENT (PUD)

BULK REGULATIONS

MINIMUM LOT AREA = 6200 SF MINIMUM LOT WIDTH = 54 FT

SETBACKS: FRONT YARD = 30 FT

REAR YARD = 35 FT SIDE YARD = 5 FT EACH SIDE/10 FT TOTAL

- * A MINIMUM OF ONE OVERSTORY/ORNAMENTAL TREE SHALL BE PLANTED WITHIN THE FRONT YARD OF EACH LOT.
- R-3: WITH RESTRICTIONS TO SINGLE FAMILY RESIDENTIAL REGULATIONS SHALL APPLY

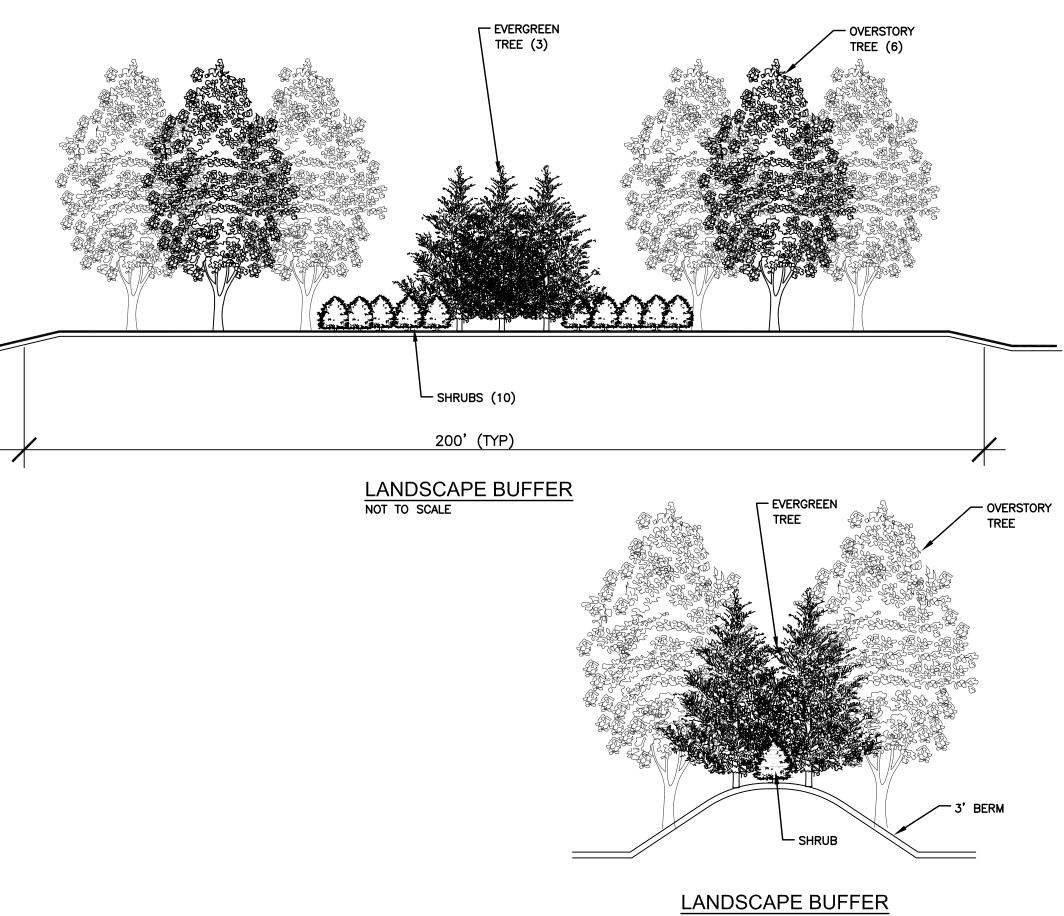
NOTES:

- 1. THE DEVELOPER WILL BE RESPONSIBLE FOR STREETLIGHTS ALONG ALL PUBLIC STREETS, INCLUDING NW IRVINEDALE DRIVE.
- 2. LOTS 1, 105, AND 106 WILL NOT BE ALLOWED DRIVEWAY ACCESS OFF OF NW IRVINEDALE DRIVE.
- 3. THE DEVELOPER WILL BE RESPONSIBLE FOR CONSTRUCTING A TURN LANE ON NW IRVINEDALE DRIVE.
- 4. FENCES ON LOTS ADJACENT TO NW IRVINEDALE DRIVE SHALL BE SETBACK 20' FROM NW IRVINENDALE DRIVE R.O.W. FENCES WILL BE ALLOWED AT A 10' SETBACK FROM THE NW IRVINEDALE DRIVE R.O.W. WITH THE CONDITION THAT TWO TREES ARE PLANTED BETWEEN THE FENCE AND THE NW IRVINEDALE DRIVE R.O.W.

P.U.D. LEGAL DESCRIPTION

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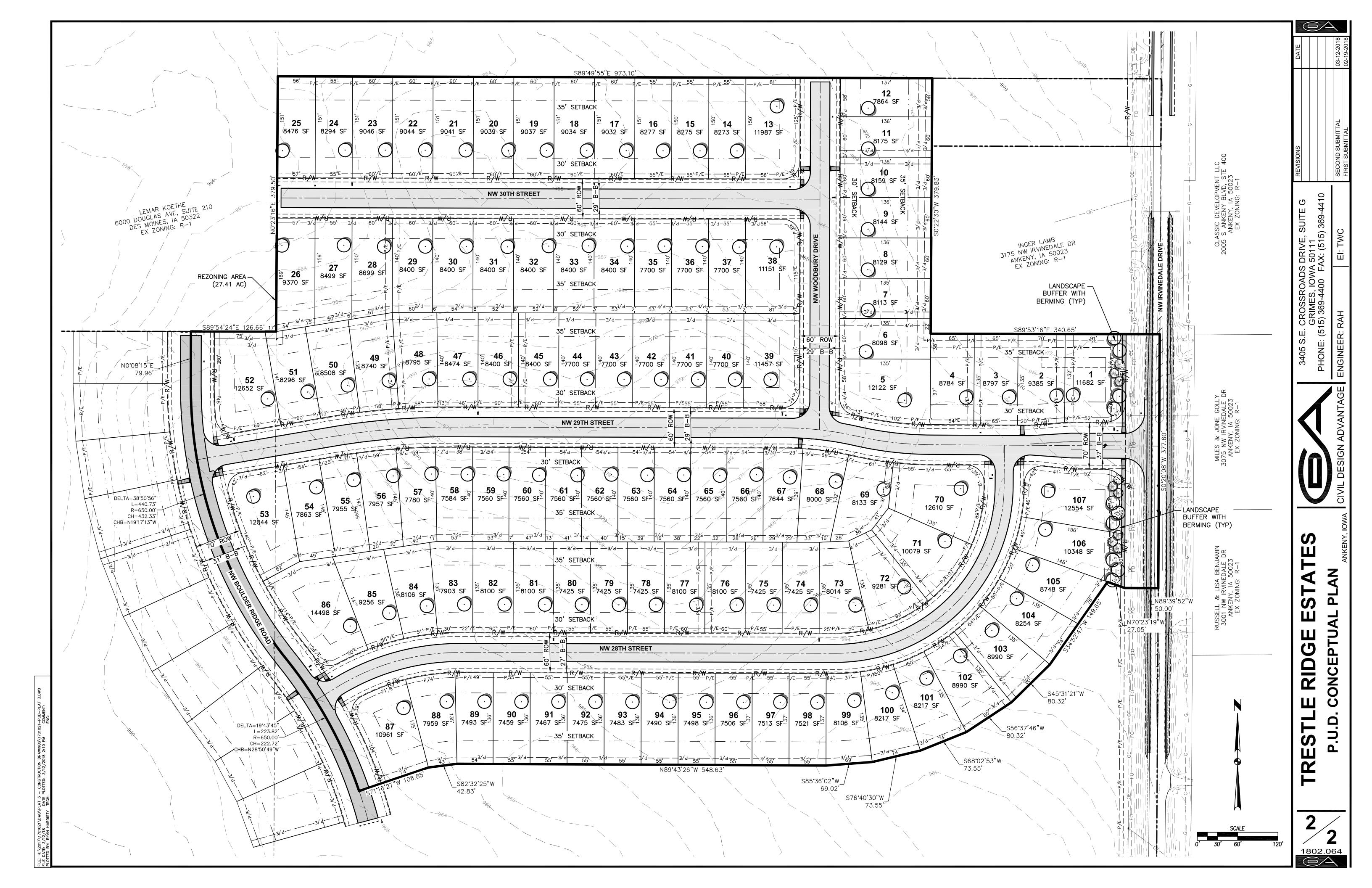
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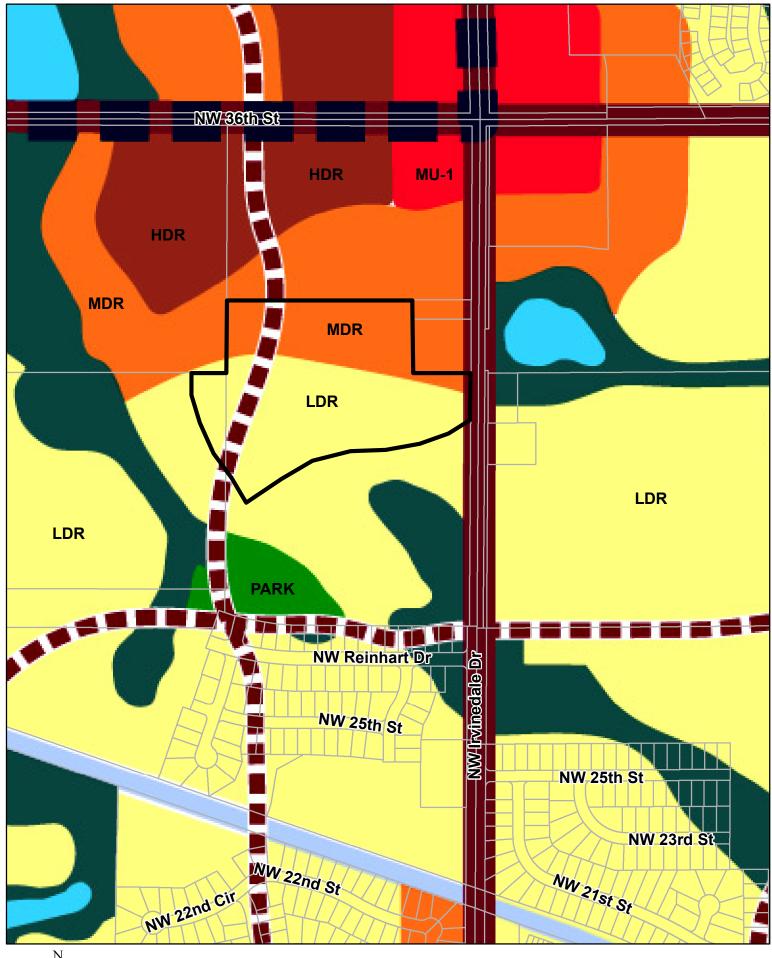
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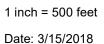
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GENERAL I		T 02 EVOCED 120 24	AT LOCAL DISENSE CONTAINABLE		R311.7.1	HEIGHT, HANDRAILS SHOULD PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY,	SECTI
DIFFEREN	STRUCTION AND MATERIALS SHALL MEE IT SPECIFICATIONS AND PEQUIZEMENT MENTS WILL SUPERSEDE THE IRC 2015	S THAN WHAT IS LIST	15, LOCAL BUILDING CODES MAY HAVE TED IN THE IRC 2015, THESE LOCAL LDING DEPARTMENT FOR CHANGES.		R311.7.5	5 HEADROOM, THE HEADROOM IN THE STARWAY SHALL BE NOT LESS THAN 6'4" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING	
B. CONTRAC	TOR TO CONFIRM THE SIZES, SPACING ANY STRUCTURAL AND FRAMING ME	AND SPECIES OF LUI	MBER OF ALL STRUCTURAL AND FRAMING TO ARE TO BE SIZED BY CHANER/CONTRACTOR		R311.7.3 R311.7.5 R311.7.8	5 THE MAXIMUM RISER IS 7 3.4" WITH A MINIMUM RUN OF 10".	SECTI
D. ALL PROC	ERICONTRACTOR IS RESPONSIBLE FOR NICTS ARE TO BE INSTALLED PER THE I NANICAL, PLUMBING, AND ELECTRICAL S	PREVENTIVE MEASU	IRE OF THE BUILD UP OF MOISTURE OR MOLD		SECTION 314 SA	BAOKE ALARMS, SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND UL 217	0.011
F. ALL EXTE	RIOR STAIRS ARE SHOWN FOR CONCER	T, FINAL DESIGN DET	DESIGNED BY OFFICES. TERMINE ON SITE FOR FINAL GRADE. NFORM YOU THROUGH CONSTRUCTION, THIS PRO	NECT HAS BEEN	1.		4507
DRAWN T	O PRESCRETO INDUSTRY STANDARDS B (BUILDING PLANNING	l .			2 3. 4	I. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT AND HABITABLE ATTICS	SECTI
			NSTRUCTED TO SAFELY SUPPORT ALL LOADS, NOW LOADS, WIND LOADS, AND SEISMIC LOADS		R314.3.1	CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN THAT LOCATION. 1. SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING AREAS.	
AS PRESC	RIBED BY THIS CODE (R301.1) 1.2(1) IRC 2015. VALUES BASED FROM TI					I, IONZATION SNOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20'4" HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING PPLIANCE	
2000	STATE STATE OF THE	9.8.501 10 DAM		HEDG MENI HEDG MILA TEP	2. 3.	PERMANENTLY INSTALLED APPLIANCE	CHA
100 SED 10700 1041 BFB	TE PERCH DESPRES DIFFERENCE PERCHANT	ENDE G	MODELE AT A MEDITAL MARCH	TEL TELE		. PHOTOELECTRIC SHOWE ALARMS SHALL NOT BE INSTALLED LESS THAN 8-4º HORIZONTAL FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. 2ARBON MONITOR EALARMS SHALL COMPLY WITH UL 2014, COMBINATION CARBON MONOXIDE ALARMS SHALL COMPLY WITH UL 2014, COMBINATION CARBON MONOXIDE ALARMS SHALL COMPLY WITH UL 2014, COMBINATION CARBON MONOXIDE ALARMS SHALL BE LISTED IN	SECTION
	ILIVELOADS, (R301.5) IRC 2015		MININUM ROOF LIVE LOADS R301.6 / RC 2015		R315.2.1	ACCORDANCE WITH UL 2014 AND UL 217 1 CAPBON MONOXIDE SHALL BE PROVIDED IN DWELLING UNITS WHERE EITHER OR BOTH OF THE FOLLOWING CONDITION EXIST:	
UNHABIT	ABLE ATTIC WITH LIMITED STORAGE ABLE ATTIC WITHOUT STORAGE	20 PSF 10 PSF	ROOF TRUSS LIVE LOAD(Lr) GROUND SNOW(Pg)	20 PSF 30 PSF	1. 2.	ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING	
DECKS A	LE ATTIC AND SERVED WITH FIXED STA ND EXTERIOR BALCONIES	40 PSF	FLAT ROOF SNOW (PI)	24 PSF	SECTION 317 R317.1	PROTECTION OF WOOD JAD WOOD BASED PRODUCTS ACAINST DECAY. LOCATION REQUIRED, PROTECTION OF WOOD JAD WOOD-BASED PRODUCTS FROM DECAY SMALL BE PROVIDING IN THE FOLLOWING LOCATIONS BY USE OF HARTWALLY DURVIELE WOOD OR WOOD THAT IS PRESERVATING TREATED IN ACCORDANCE WITH AMPAULF FOR	SECTIO
ROOM O	AIL AND HANDRAILS THER THAN SLEEPING ROOMS	200 PSF 40 PSF	THERMAL CONDITION TERRAIN EXPOSURE	α=1.0 B	1.	THE SPECIES, PRODUCT, PRESERVATIVE AND END USE.	SECIN
STAIRS	G ROOMS	30 PSF 40 PSF	DURATION OF LOAD-SNOW UNBALANCED AND SNOW DRIFT LOADING	1.15		12" TO THE EXPOSED GROUND IN CRAINL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERPHERY OF THE BUILDING FOUNDATION.	
FLOOR L	ION CRITEPIA VELO/IO DTALLO/IO	L/400 L/300	ACCORDING TO ASCE/SEI 7-10		2.	FROM EXPOSED GROUND.	
ROOFLIN		L/969 L/249	WIND DESIGN METHOD: MWFRS/C-C H/BRID Exposure category	В	3. 4	SELECTION OF A WOOD GROEF ENTERING CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 12" ON TOPS, SIDES AND ENDS. THE ENDS OF A WOOD GROEF ENTERING CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 12" ON TOPS, SIDES AND ENDS.	
WALL		H/180	DURATION OF LOAD-WIND	1.60	5.	WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6' FROM THE GROUND OR LESS THAN 2' MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SUABS, AND SIMILAR HORIZONTAL	
ALL BEAL TO BE DE	AS SUPPORTING FLOOR OR ROOF LOAD SIGNED WITH THE ABOVE DERLECTION	is are Criteria			6.	SURFACES EXPOSED TO THE WEATHER. WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE	
D. DEAD LOADS	ADDITIONAL OR CHANGES TO MATERS	AL NEEDS TO BE ADJ	USTED TO THE BELOW CALCULATIONS. ROOF-TOP CHORDS		1.	WEATHER SUCH AS CONCRETE SLASS. WOOD FURBING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VIAPOR RETARDER IS APPLED BETWEEN WALL AND	
CARPET.		1.5 PSF 10 PSF	ROOFING-SHIVOLES(220 LBS) 2 LAYER 30 LBS, FELT	4.40 PSF 0.30 PSF	R317.3.1	THE FURRING STRIP.	CHAI
3/4" HARE SUBPLOC	DWOOD FLOOR DR-3.4" OSB OR COM-PLYWOOD	4.0 PSF 2.0 PSF	1/2" OSB OR COM PLYWOOD 1/2 ROOF TRUSS-2X4	1,65 PSF 1,10 PSF	1011.23	1 FASTEMERS OF PRESENVATING-TREATED WOOD FASTEMERS, INCLUMING MUTS AND WASHERS, FOR PRESENVATING-TREATED WOOD SHALL BE OF HOT DIPPED, ZUIC-COATED GRAVANEED STEEL, STANLESS STEEL, SLICKOMBROKEZ OR COPPER COATING TIPPES AND WEBSITS FOR COMMECTORS IN CONTACT WITH PRESENVATING-TREATED WOOD SHALL BE ACCORDANCE WITH	
		1.5 PSF 5.5 PSF	CORRECTION FOR SLOPE (12/12) TOTAL	1.55 PSF 9.00 PSF	CHARTER 4	THE CONNECTOR MANUFACTURER'S RECOMMENDATIONS. (FOUNDATIONS)	
TO	TAL WITH TILE/BACKER BD.	13.5 PSF 7.5 PSF	ROOF-BOTTON CHORDS	3.W FSF		4 SOL, TEST: WHERE QUANTIFIABLE DATA CREATED BY ACCEPTABLE SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER A SOIL TEST IS REQUIRED.	
FLOOR-8	OTTOM CHORD		1/2 ROOF TRUSS-2X4 5/8" GYPBOARD	1.10 PSF 2.8 PSF	TA	ARLE RADIA.1 CLASS OF MATERIAL LOAD BEARING PRESSURE	
1/2 FL00 5/6" GYPE	R TRUSSA-JOIST SYSTEM HOARD	1,5 PSF 2,8 PSF	MINIMUM FOR MISC MECHANICAL/ELEC, 15" BATT/ELOWN INSULATION	1.5 PSF 1.60 PSF		SAID, SLTY SAID, CLAYEY SAID, 2,000 POUNDS PER SQ FT SLTY GRAVEL AND CLAYEY GRAVEL	
		0.7 PSF	*****	144.04		CLAYEY, SANDY, SLIGHTY CLAY, CLAYEY SLT., SLT, AND SANDY SLT CLAY 1,500 POUNDS PER SQ FT	
TOTAL		5.0 PSF	TOTAL	7.00 PSF	THE	HIS DESIGN IS BASED ON 2,000 POUNDS PER SQ FT, UNLESS NOTED OTHERWISE. IT IS THE BUILDER OR HOMEOWNER RESPONSIBLE TO LET LUM DESIGN SERVICE KNOWNET THE CONDITION IN THE FIELD ARE DIFFERENT.	
SECTION R303:	LIGHT AND VENTILATION IN HABITAE WINDOWS, WINDOW GLAZING SHALL	LE ROOMS, PROVIDE NOT BELESS THAN 8	NATURAL LIGHT AND VENTILATION WITH OPERAE 8% OF THE FLOOR AREA OF EACH ROOM, 1/2 THE ENTILATION.	LE REQUIRED WINDOW AREA	R402.2	CONCRETE: FROM TABLE R402.2	
R303,3	BATHROOMS MAY HAVE AN OPERAB	JOR FOR NATURAL VE LE WINDOW OF 3 S.F.	ENTILATION. In Area			-FOUNDATION CONCRETE WALLS SHALL HAVE A MINL STRENGTH OF 3000 PSI -GARAGE FLOOR SLABS SHALL BE 3,500 PSI	
	- EXCEPTION: 1. BATHROOM AND WATER	CLOSET MAY BE VE	NTILATED WITH EXHAUST FANS AND ARTIFICIAL L	кнт.		-PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3,500 pci AT 28 DAYS -PASHIPHT SLABS 2,500 Pci -PASHIPHT SLABS 2,500 Pci	
	THE MINIMUM AREA OF ANY HABITAE THE MINIMUM LENGTH OR WIDTH OF		T BE LESS THAN 70 SQ. FEET, EXCEPT KITCHEN. OM SHALL NOT BE LESS THAN 7-0"		R403	(CONCRETE SHALL BE AIR BHTRAINED WITH 59-7% TOTAL AIR CONTENT). ALL FOOTING SHALL BE PLACED ON INDISTURSED SOL OR CONTROLLED COMPACTED FILL WINMAM FOOTING TO BE	
SECTION R305:	CELLING HEIGHT HABITABLE SPACE	HALLWAYS, AND PO	RTION OF THE BASEMENT CONTAINING THESE SP	ACES SHALL		16" WIDE X 8"DEEP FOR A 2 STORY BUILDING AND 20" WIDE X 6" DEEP FOR A 3 STORY BUILDING (TABLE 403,1) BOTH WITH 2 CONTINUOUS HORIZONTAL 44 REPAR	
	NOT LESS THAN 6'-8' -EXCEPTION	IS THAN 7 FEET, BATH	ROOMS, TOILER ROOM, AND LAUNDRY ROOMS S	VALL HAVE A CEILING HGT OF	R403,1,6	PER SILL PLATE WITH BOLTS SPACED AT A MAXINUM OF 6 FEET ON CENTER WITH A MINIMUM OF ONE BOLT NOT MORE	100
	1. FOR ROOMS WITH SLOP	ED CEILING, THE REQUIR	JURED FLOOR AREA OF THE ROOM SHALL HAVE A RED FLOOR AREA SHALL HAVE A CEILING OF LESS	CEILING HEIGHT OF NOT LESS		THAN I SINCHES FROM THE BID BUT AT LEAST 3 IZ INCHES FROM BID OF SILL PLATE. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THRO THE WIDTH OF THE PLATE. -ALTERNATE FOUNDATION STRAPS MAY BE USED, SPECIFICATION TO PROVIDE EQUIVALENT ANCHOR TO A 12' DAMETER ANCHOR BOLTS.	JUF
	 THE CEILING ABOVE A B. FOR ITS INTENDED PUR 	ATHROOM AND TOILE Pose, a shower or	T ROOM FIXTURES SHALL BE SUCH THAT THE FIX TUB EQUIPPED WITH A SHOWERHEAD SHALL HAY	TURE IS CAPABLE OF BEING USED	R404	CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLE RAGA 1.2(3), REFER TO TYPICAL WALL SECTION IN THIS PLAN FOR SPECIFICATION.	
	BEAMS, GIPDERS, DUCT:	s, or other obstru	ESS THAN 30°X30° AT THE SHOWERHEAD. Actions in Basement Containing Habitable S	PACE SHALL BE PERMITTED TO	R406	FOUNDATION WATERPROOFING AND DAIPPROOFING EXCEPT WHERE REQUIRED IN SECTION RAFA2 TO BE WATERPROOFED, FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSED INTERIOR	
R3/6,1,1 BASEM	PROJECT TO WITHIN 6'-4' OF T ENT PORTION OF BASEMENT THAT -EXCEPTION	DO NOT CONTAIN HAE	BITABLE SPACE OR HALLWAYS SHALL HAVE A CE	LING HEIGHT OF NOT LESS THAN 6'-8"	R408	SPACES AND PLOORS ABOVE GRADE SHALL BE DAMPPROOFING FROM THE HIGHER OF THE TOP OF THE FOOTING, TO THE FINISHED GI UNDER PLOOR SPACE THE UNDERPLOOR SPACE BETWEEN THE BOTTOM OF THE JOIST AND THE EARTH UNDER ANY BUILDING SHALL HAVE VENTILATION OPENING	
		s, or other obstru He finish floor	OCTIONS IN BASEMENT CONTAINING HABITABLE S	PACE SHALL BE PERMITTED TO		THROUGH THE FOUNDATION WALLS OR EXTERIOR WALLS, MIN, NET AREA OF VEHTILATION SHALL NOT BE LESS THAN 1 SQ FT FOR EACH 150 FT OF AREA UNDER THE R. OOR.	90
SECTION R307,1	TOILET, BATH AND SHOWER SPACES	FIXTURES SHALL BE	SPACED IN ACCORDANCE WITH FIGURE R307,1,		R408.4 CHAPTER 5 (ACCESS THROUGH THE R.OOR IS REQUIRED TO BE 15" X 24" (FLOORS)	
	1, TOILET: MIN 15' FROM WALL . MIN 21' CLEARANCE 2, VANITY: MIN 21' CLEARANCE	IN FRONT OF TOILET	,		A ROO	G MATERIAL'S GRADES DOF, FLOOR, AND WALL SHEATHING: APARATED SHEATHING, (LEAVE IN' SPACING AT PANEL BIDS AND EDGES)	
SECTION R308	GLAZING, EXCEPT AS INDICATED IN S	SECTION R308.1.1 EAC	CH PANE OF GLAZING INSTALLED IN HAZARDOUS I	OCATION DEFINED IN SECTION R308.4	C. WA	ALL STUDS: MINIMAN SPF STUD OR DOVIGLAS FIR LARCH STUD. MINIMAN SPF JOZ OR BETTER.	
	SHALL BE PROVIDED WITH A MANUFA AND THE SAFETY GLAZING STANDAR	ACTURING'S DESIGNA' D.	TION SPECIFYING WHO APPLIED DESIGNATION, D	ESIGNATING THE TYPE OF GLASS	E. LVL F. STE	L HEADERS: 2950 PA/Z OE MINIMUM. EEEL ASTM SPECIFICATION A992 GRADE-50 OR EQUAL	
HAZ	GLAZING ADJACENT TO DOORS, GLA ARDOUS LOCATION WHERE THE BOTT MEETS EITHER OF THE FOLLOWING C	OM EXPOSED EDGE OF	L FIXED OR OPERABLE PANEL ADJACENT TO A DO F THE GLAZING IS LESS THAN 60° ABOVE THE FLO	IOR SHALL BE CONSIDERED TO BE A OR OR WALKING SURFACE	R502.4 R502.6	JOIST UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD, THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR	
NIL	WHERE THE GLAZING IS WHERE THE GLAZING IS	WITHIN 24 INCHES EIT On the Wall Perper	THER SIDE OF THE DOOR IN THE PLANE OF THE D NDICULAR TO THE PLANE OF THE DOOR IN A CLO	OOR IN A CLOSED POSITION.	R502.8	METAL AND NOT LESS THAN 3 INCHES ON CONCRETE. NO CUTS, NOTCHES, AND HOLES BORED INTO TRUSSES, STRUCTURAL COMPOSITE LUMBER, QUIELAMINATED	
	THE HINGE SIDE OF AN III -EXCEPTION	LSWINGING DOOR.		THE PART OF	R502.11	MANGERS, OR I-COST AGE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATION OR DESIGN BY PROFESSIONAL. WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ASSATTS-1, REFER TO THE	
	 DECORATIVE GLASS WHERE THERE IS AN INTER! 	ENING WALL OR OTH	IER PERMANENT BARRIER BETWEEN DOOR AND T OSET OR STORAGE AREA 3 FEET OR LESS IN DEP	HE GLAZING		INDIVIDUAL TRUSS DESIGN DRAWINGS FOR WEB BRACING AND MULTI-CONNECTION OF GIRDERS, BSCI SHOULD BE REFER TO FOR HANDLING INSTALLATION AND BRACING OF METAL PLATE TRUSSES.	
R308.4.3	4. GLAZING THAT IS ADJACENT	TO A HOLED PANEL O	OSET OR STORAGE AREA 3 FEET OR LESS IN DEP IF PATIO DOORS, OR OPERABLE PANEL THAT MEETS ALL OF THE FO		R507.2	EXTERIOR DECKS.DECK LEDGER CONNECTION TO BAND JOIST, DECK LEDGER CONNECTION TO BAND JOIST SHALL BE IN ACCORDANCE WITH THIS SECTION TABLE R597.2 AND R597.2.1, AND R597.2.1(1) AND R597.2.1(2)	
novota	 THE EXPOSED AREA OF AM THE BOTTOM EDGE OF THE 	INDIVIDUAL PLAN IS L Glazing is less tha	ARGER THAN 9 SQUARE FEET IN 18' ABOVE THE FLOOR		CHAPTER 6 ((WALL CONSTRUCTION) SAVIN LUMBER SAVINLUMBER SHALL BE DEHTHED BY A GRADE MARK OF AN ACCREDITED LUMBER GRADING OR INSPECTION AGENCY	
	 THE TOP EDGE OF THE GLAD ONE OR MORE WALKING SUI 	ZING IS MORE THAN 3	6" ABOVE THE FLOOR: AND 5", MEASURED HORIZONTALLY AND IN A STRAIGH	LINE, OF THE GLAZING	R602.3 R602.6	AND HAVE DESIGN VALUES CERTIFIED BY ACCREDITATION AGENCY THAT CONFLIES WITH DOC PS 20 REPER TO TABLE RIVEX.11) INFOUCH THALE RIVEX.14, FOR PRIMAIN BANGER PASTEMAN ORLINGS AND NOTCOMPORETER TO ROUGH ROADS (1) AND RIVEX (I) SEED FOR A PAGE OF PLAN FOR FIGURES.	
	-EXCEPTION 1. DECORATIVE GLASS 2. WHERE HORIZONTAL RAIL IS	INSTALLER			R502.7	THE ALLOWARLE SPANS OF GIRDERS HEADERS FARRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R8027(1)	
R308,4,5	CLAZING IN WET SURFACES CLAZIN	GINWALLS ENGLOSE	URES OR FENCES CONTAINING OR FACING HOT T INDOOR OR OUTSIDE POOLS WHERE THE BOTTON	UBS, SPAS, WHIPLPCOL. I EXPOSED EDGE OF GLAZING IS	R592.8	FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO COPULAN EFFECTIVE FIRE RUBBIER RETWEEN STORIES AND RETWEEN A TOP STORY AND ROOS SPACE	
R308,4,6	GLAZING ADJACENT TO STAIRS AND I	RAMPS, GLAZING WHE	INDOOR OR OUTSIDE POOLS WHERE THE BOTTON E THE STANDING OR WALKING SURFACE FRE THE BOTTOM EDGE OF THE GLAZING IS LESS	THAN 36" ABOVE THE	R602.10	WALL BRACING BUILDING SHALL BE BRACE IN ACCORDANCE WITH SECTION OR RIVE 12 (SIMPLIED METHOD), FROM TABLE RIVE 10.4. USE CS-VISP BRACING METHOD WITH MIN 36" SHEATHING.	
	PLANE OF THE ADJACENT WALL EXCEPTIONS	KING SURFACE OF TH	IE STAIRWAY, LANDING BETWEEN FLIGHTS OF STA	NRS AND RAMPS.		(WALL COVERING)	
SECTION PRIA			.E SIDE OF THE GLAZING 34" TO 34" ABOVE WALKI HABITABLE ATTICS AND EVERY SLEEPING ROOM		Ř702.1	GENERAL INTERIOR COVERING OR WALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THIS CHAPTER AND TABLE R702.1(1), TABLE R702.1(2), TABLE R702.1(3), AND TABLE R702.3.5. INTERIOR MASONRY VENEER SHALL COMPLY WITH THE REQUIREMENTS OF SECTION	
essilvitraly,	EMERGENCY ESCAPE AND RES -EXCEPTION, STORM SHELTER:	CUE OPENING. S ANDS BASEMENT US	SED ONLY TO HOUSE MECHANICAL EQUIPMENT N		D*** *	RRB1.71 FOR SUPPORT ALD SECTION RRB1.74 FOR ANCHORAGE. INTERIOR FINISHES AND MATERIAL SHALL CONFORM TO THE FLAME SPREID AND SUNCE DEFLICATION OF RECONSTRUCTS OF SECTION RRB1.23 GENERAL: EXTENDED WILL SHALL PROVIDE THE BULLOW WITH A MEATHER-SESSIANT EXTENDER WALL ENVELOPE. THE EXTENDR WALL	
R310.2.1	AREA OF 200 SQUA	REFEET.	BAC CURI UNICA NET CIEAR COCURAC CE NOT	I COO TUAN E 7 COMMON ECCET THE	R703.1 R303.1.1	ENVELOPE SHALL INCLUDE FLASHING AS DESCRIBED IN SECTION R703.4	
80.00	NET CLEAR AREA DIMENSIONS HEIGHT OPENING SHALL	REQUIRED BY THIS SI NOT BE LESS THAN 24	ECTION SHALL BE OBTAINED BY NORMAL OPERAT If AND THE NETCHEAR WEDTH SHALL NOT BE LESS THE NET SHALL BE OBTAINED BY NORMAL OF BEAUTIONS OF THE NET BEAUTION OF THE NET BEAUTION OF THE NET BEAUTION OF THE NET BEAUTION OF T	ION FROM THE INSIDE, THE NET CLEAF S THAN 20"	,	ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER AS RECKIRED IN SECTION 87012 AND A MEANS OF DRAINING TO THE EXTERIOR WATER THAT ENTERS THE ASSEMBLY	
R310.2.2 R310.2.3	WINDOW SILL HEIGHT, WHERE THE W OF NOT MORE THEN 44" ABOVE	INDOWIS PROVIDED A THE FLOOR	AS THE EMERGENCY ESCAPE AND RESCUE OPEN WELL SHALL NOT BE LESS THAN 9 SQ. FT., WITH	ING, IT SHALL HAVE A SILL HEIGHT	R703,1,2	WIND RESISTANCE, WILL COVERINGS, BACKING MATERIALS AND THEIR ATTACHMENT SHALL BE CAPABLE OF RESISTING LOADS IN ACCORDANCE WITH TABLE R301.2(2) AND R301.2(3).	
N310,£3	WIDTH OF NOT LESS THAN 35" THE AF OPENED.	REA OF THE WINDOW	WELL SHALL ALLOW THE EMERGENCY ESCAPE A	O RESCUE OPENING TO BE FULLY	R703.2	WATER-RESISTIVE BARRIER, APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS, SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH UPPER LAPPED OVER THE LOWER NOT LESS THAN 2' INCHES, WHERE	
Section -	-EXCEPTION 1. THE LADDER OR STEPS SHALL BE F	ERMITTED TO ENCRO	DACH NOT MORE THAN 6".		R703.3	JOHN COURT LIFEB NOT LESS THAN FO. MONING, THOOLOGY, DATE THE MINING THOOLOGY AND ATTRICHMENT OF EXTERIOR WILL COVERNO SHALL BE IN ACCIONACE WITH TABLE RIVA JUJ NOT THE WILL COVERNO MATERIAL MANAFACTURERS INSTALLATION REQUIREDISTS. ACCIONACE WITH TABLE RIVA JUJ NOT THE WILL COVERNO MATERIAL MANAFACTURERS INSTALLATION REQUIREDISTS. ACCIONACE WITH TABLE RIVA JUJ NOT THE WILL COVERNO MATERIAL THOOLOGY AND AND ATTRICHMENT OF WATER IN ASSINDAL APPROAD CORROCAMPINE MATERIAL MANAFACTURERS IN MATERIAL THROUGH THE TOT FOR MATERIAL THROUGH THE MATERIAL THROUGH THE MATERIAL THROUGH THE MATERIAL THROUGH THROUGH THE MATERIAL THROUGH T	
R310.2.3.1	WINDOW WELLS WITH A VERTICAL ST	EP GREATER THAN 4	F SHALL BE EQUIPPED WITH A PERMANENT LADO	ER NOT LESS THAN 12" WIDE	R703.4	WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS.	TO
						 EXTERIOR WINDOWS AND DOORS OPENINGS, (SEE MANUFACTURE OF PRODUCT FOR INSTALLATION DETAILS) AT INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BO 	нто
						SDES MIDER STUCCO OPENNICS. UNDER AND AT ENDS OF MASONY, WOOD OR METAL COPINGS AND SILLS, CONTINUOUSLY JEBOVE ALL PROJECTING WOOD TRIM	
						CONTINUOUS IT ABOVE ALL PROJECTING WOUL HAM WHERE EXTERIOR PORCHES, DECKS OR STARS ATTACH TO A WALL OR RLOOR ASSEMBLY OF WOOD-FRANE CONSTRUCTION AT WALL AND ROOF INTERSECTION	

NAMES AND A SELECTION WOOD TRAIN
WHERE ENTEROR PORCHES, DECKS OR STARS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION
AT WALL AND ROOF INTERSECTION.

CHAPTER 8 (ROOF-CEILING) SECTION RAZU 12 DESIGN, WOOD TRUSSES SHALL BEDESKHED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE OF WETH, FLATED WOOD TRUSS SHALL COMEY WITH ANSIPTY. RIV218.3 EMACING, TRUSSES SHALL BEBACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY, REFER TO THE NONDHULL TRUSS DESIGN DRIVINGS AND SECAS SECS GLODE TO GOOD PRICINCE FOR INJURIARY, INSTILLING AND BROWNED OF METAL PLATE CONNECTED WICE TRUSSES,
RIVIZ.11.1.1 TRUSS UPLIFT, TRUSSES SHALL BE ATTACHED TO SUPPORTING WALL ASSEMBLES BY CONNECTION CAPABLE OF RESISTING FORCES SPECIFIC OF THE TRIAS DESIGN ORANDOS.

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SPECIFIC VICTORISTS SECTION RATIO ACCESS, BUILDING WITH COMBUSTBLE CELLING OR ROOF CONSTRUCTION SIMIL HAVE AN ATTIC ACCESS OFENING TO ATTIC AFEA
THAT NIME AVERTICAL HEBIERT OF SY OR GREATER.

1. THE ROUGHFRANDED OFENING SHALL NOT BELESS THAN 227X3V.

2. SHALL BELOCATED IN A MALLIANY OR OTHER REDULY ACCESSIBLE LOCATION.

1. MARAMA WINGSTRUCTED HEAD ROOM IN THE ATTIC SPACE SHALL BE 30' MEASURED VERTICALLY FROM BOTTOM OF CELLING MEMBER. HAPTER 9 (ROOF ASSEMBLIES) SECTION (90)

GENERAL ROOF DECKS SHALL BE COVERED WITH THE APPROVED ROOF COVERING SECURED TO THE BULLONS OR STRUCTURE IN ACCORDANCE WITH THE PROVISION OF THIS CHAPTER ROOF ASSERBLES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THIS COCOR AND THE APPROVED MAMPRICITIES IN INSTITUTIONS.

RO12 ALSHAIR, ALSHAIN SHALL BE INSTITUTED IN IMANER THAT PERPORTS MOSTURE FROM ENTERING THE WALL AND ROOF THROUGH AND THE PROPERTY OF A ROOF AND THE PROPERTY OF A ROOF OF THROUGH AND THE PROPERTY OF A ROOF OF THE PROPERTY OF THE PROPE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R8/5.1.1
R9/5.2.8 FLASHING FLASHING FOR ASPHALT SHINGLES SHALL COMPLY WITH THIS SECTION RAS-24 RAS-WING, RAS-WING FOR ASPAULT SHIRLES SHALL COMPLY WITH THIS SECTION

CHAPTER 10—43

REPET TO THE CHAPTERS IN THE RC 2015 FOR THE DESIGN AND REQUIREMENTS OF THESE ITEMS,

CHAPTER 10

CHAPTER 11

CHAPTER 12

CHAPTER 15

CHAPTER 16

CHAPTER 17

CHAPTER 17

CHAPTER 17

CHAPTER 19

CHAPTER 21

CHAPTER 21

CHAPTER 21

CHAPTER 23

CHAPTER 25

CHAPTER

ABBREVIATIONS ELECTRIC SYMBOLS SINGLE POLE SWITCH THREE WAY SWITCH AUMORIO
AUMORI DIMMER SWITCH DUPLEX RECEPTACLE OUTLET 240 VOLT RECEPTACLE PHONE OUTLET CABLE OUTLET EXHAUST FAN LIGHT WITH E. FAN SMOKEHEAT DETECTOR GARAGE DOOR OPENER ELECTRIC PANEL CEILING MOUNTED LIGHT $\diamondsuit_{\mathsf{FC}}$ PULL CHAIN LIGHT RECESSED LIGHT CH WALL MOUNTED LIGHT W.M. MOTION DETECTOR LIGHT RUORESCENTLIGHT
BARLIGHT

DRAWING LIST Cover Page Elevations Elevations Foundation Plan Main Floor Plan Building Sections Detail Flooring Plan

MISC. SYMBOLS

---- ROORLINE ABOVE

LOAD BEARING WALL

SOLID BLOCKING FROM CONCENTRATED LOAD

CONCENTRATED LOAD FROM ABOVE, SOLID BLOCK TO FOUNDATION OR BEAM MEADER BELOW.

STRUCTURAL BEAMHEADER
OR GIPDER TRUSS

FROST PROOF HOSE BIB

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Classic Builders
Stonehaven Hamilton II Porch

PROJECT ID: PDS 3301

ISSUE DATE: DATE: 06-30-16 DATE: 08-08-16 DATE: 08-25-16 DATE: 11-17-16

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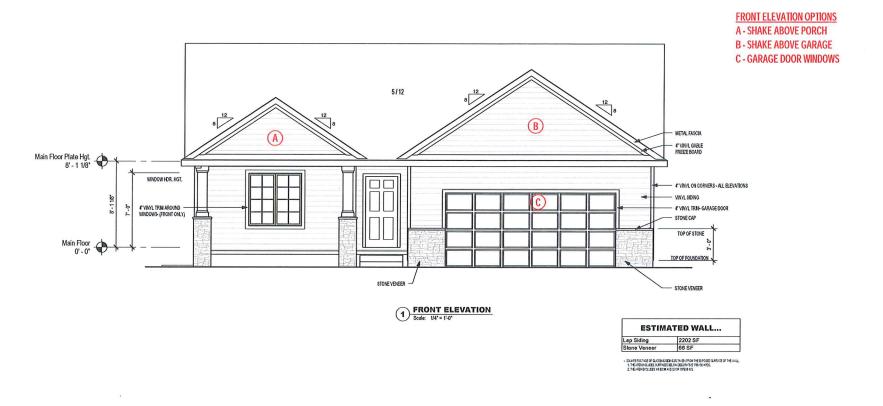
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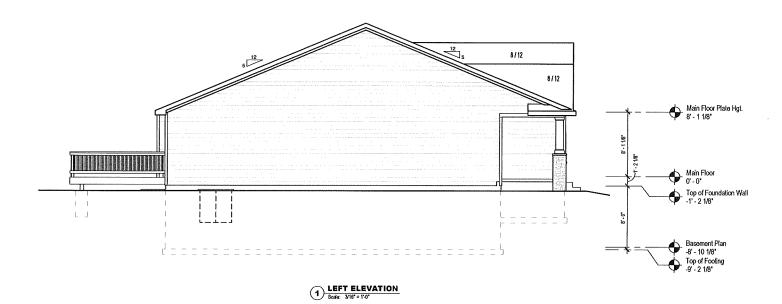
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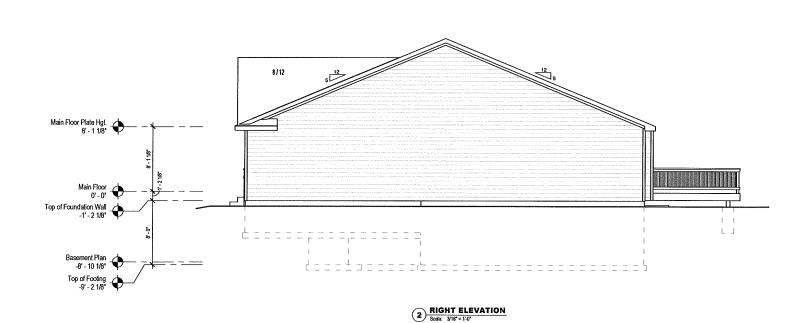
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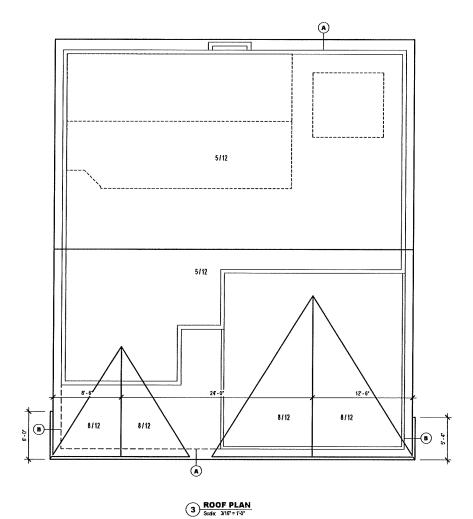
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Elevations 1/4" = 1'-0"











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Elevations As indicated

THE LACOER OR STEPS SHALL BE PERMITTED TO ENCROACH NOT MORE THAN 6". Indow wells with a vertical step greater than 44" shall be equipped with a permanent lacoer not less than 12" wide

NOT FOR CONSTRUCTION

CHAPTER 8 (ROOF-CELLING)

CHAPTER 9 (ROOF ASSEMBLIES)

CHAPTER 10-43

ACCOMMENDED AND ADMINISTRATION OF THE MALE CONCEINED AND ADMINISTRATION OF THE ADMINISTR

SRESUMDER STOCO OF PENANS.
UNDER NO AT EDUS OF MASSING WOOD OR METAL COPRISS AND SELS.
CONTINUOUS Y-800-KEL PROJECTING WOOD TRIM
WHERE EXTERIOR PROFILES DECIS OR STARS ATTACHT O A WALL OR R, COR ASSEMBLY OF WOOD-FRAME CONSTRUCTION

SECTION RAV2 1/2 DESIGN, WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE
OF HETH, A FAITED MOOD TRUSS SHALL COMPAY WITH HONSITH,
RAV1.13 SEMENT, TRUSSES SHALL EREARED TO PREPRIED FROATION, AND PROVIDE LATERAL STREATIT, REPER TO THE NONDEWL TRUSS DESIGN
DRAWINGS AND SECAS BOST GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING AND BRACING OF HETH, PLATE CONNECTED WOOD
TRUSSES.

RAD 11.1.1 TRUSS UPLIET. TRUSSES SHALL RE ATTACHED TO SUPPORTING WALL ASSEMBLIES BY CONNECTION CAPABLE OF RESISTING FORCES INDUSTRIAL THOSE SHEET, INCOSES SHEET, EN ATHERED TO SUPPORTION IN ALL ASSERBICLES OF CONNECTION CAPPERE OF RESIDENT PROMES.

SECTION RISM

ROOK FORTHAND, BITCOSES SHEET, AND DIVLOSED RAFTER SAFCES FORMED WHERE CELLING ARE APPLIED DRECTLY TO THE UNDERSIDE

OF THE ROOK FARTHERS SHEET, AND DIVLOSED SHITLATION FOR EACH SEPARATE SPACE OF SHITLATION OF SINGS PROTECTED AGAINST THE

BITCANCE OF ARM OR SHOW, REQUIRED SHITLATION OF SHIPS SHEET, TO THE OUTSIDE AR.

RISM

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SECTION PRIOF

ATTIC ACCESS, BUILDING WITH COMBUSTIELE CELING OR ROOF CONSTRUCTION IS UPLI. HAVE AN ATTIC ACCESS OPENING TO ATTIC APEA
THAT HAVE A VERTICAL RESERT OF SV OR GREATER.

1. THE ROUSE-HEARD OPENING SHELL NOT BE LESS THAN 227-3V.
2. SHALL BE LOCATED HA HALL WAY OR OTHER REJOLD Y ACCESSEE LOCATION
3. MARMAN MORESSINCEST DEAD ROOM IN THE ARTIE SPECK SHALL BE SV INEQUIRED VERTICALLY FROM BOTTOM OF CELING

GENERAL. ROOF DECKS SMALL BE COVERED WITH THE APPROVED ROOF COVERING SECURED TO THE BULDING OR STRUCTURE IN ACCORDANCE WITH THE PROVISION OF THIS COUPLET. ROOF ASSENLES SHALL BE DESCRIBED AN DISTRILLED IN ACCORDANCE WITH THIS COOR AND THE APPROVED MANAGENERIES INSTRUCTIONS. THIS CONTROL OF A PROVIDED MANAGENER SHALL BE VISUALED IN AMERICAN SHALL BE SHALLED AN AREA THAT PREVENTS MISSITER FROM DIFFERING THE WILL AND ROOF THROUGH CONTROL PREVIOLE MISSINGTHEN AND ATTEMPTS THE WILL AND ROOF THROUGH CONTROL PREVIOLE MISSINGTHEN AND ATTEMPTS THE WILL AND ROOF THE CONTROL PREVENTS AND THE WILL AND ROOF THE CONTROL PREVENTS AND THE PROVIDED AND THE PROV

ROOF COVERING APPLICATION, ROOF COVERING SHALL BE APPLIED IN ACCORDANCE WITH THE WITH THE APPLICABLE PROVISIONS OF

ROOF COLEMAN APPLICATION, ROOF COVERNOS SAVILLE EAPPLIED IN ACCORDANCE WITH THE WITH THE APPLICABLE PROVISIONS OF THIS SECTION AND DEMANDAGE THE INSTALLATION INSTRUCTIONS.

UNDERLANDET, INDEPLAYMENT FOR ASPIRET SHIPLES, CLUY, AND CONCRETE TIEL, METHER, ROOF SHIPLES, MINEAU SAFFLED ROLL ROOFING, AND ALTER AND SHIPLES THE MANUELS, WOOD SHIPLES, OLD WITH A ROOF HAND SHIPLE SHIPLE SHIPLES STANDARD LISTED IN THIS CHIPPETER, UNDEFLAVIABIT MATERIALS REQUIRED TO COMPAY WITH HAND USE, DO IN THE APPLICABLE OF THIS SHIPLE SHIPLES AND ALTER THESE MASS AND ADD THE SHIPLES AS A REASON-MERS IT THESE MESS AND ASSOCIATION OF THE FORMATION AND ACCORDANCE WITH THE REPORT AS A REASON-MERS IT THESE MESS AND ASSOCIATION OF THE FORMATION AND ACCORDANCE WITH THE REPORT AS A REASON-MERS IT THESE MESS AND ASSOCIATION AND ADDRESS AND ASSOCIATION AND ADDRESS

ASSIGNATION OF THE PROPERTY OF

REFER TO THE CHAPTERS IN THE IRC 2015 FOR THE DESIGN AND REQUIREMENTS OF THESE ITEMS. CHAPTER 10 CHILDRE'S AND FIREFLICE

ECHPHERS IN THE RIC 2015 FOR THE DESIGN AND REQUIREMENTS OF THESE ITEMS CHAINERS AND PREFULE.

CHAINERS AND PREFULE CHAINCEL SYSTEMS REQUIREMENTS HEATER HE CONTINUE OF THE PROPERTY OF THE PR

ABI	<u> BREVIATIONS</u>	
DJ	ADJUSTABLE	
WN.	AWNING	
TM.	BOTTOM	
SMT.	BASEMENT	
TW.	BETWEEN	
A	CASEMENT	
ANT.	CANTILEVER	
AB.	CABINET	
nu.	CENTERLINE	
LG	CELING	
.0.	CASED OPENING	
OL.	COLUMN	
ONC.	CONCRETE	
ONO.	DRYFR	
u	DIAMETER	
N	DOWN	
н	DOUBLEHUNG	
w	DISHWASHER	
Ď.	FLOOR DRAIN	
IR.	FLOOR	
T.	FEET	
URNL	FURNACE	
DR.	HEADER	
DWD	HARDWOOD	
ISUL.	INSULATION	
ST.	JOIST	
VI.	LAMINATED VENEER LUMBER	
N.	LINEN	
ÄX.	MAXIMUM	

MAXIMUM MINIMUM ON CENTER OVERHEAD DOX OPENING PEDESTAL NOT TO SCALE NOT TO SCALE
REFRIGERATOR
REQUIRED
ROUGH OPENIN
ROOM
SINGLE HUNG
SHELF AND ROO
SQUARE FEET
SUMP PIT
STEEL
TYPICAL
TRANSOM
UNEXCAVATED
VANITY
WASHER

MISC. SYMBOLS

ELECTRIC SYMBOLS

DIMMER SWITCH SINGLE RECEPTAGLE OUTLET

PHONE OUTLET CABLE OUTLET

LIGHT WITH E. FAN SMOKE/HEAT DETECTOR

ELECTRIC PANEL

OF PULL CHANGET

RECESSED LIGHT

H WALL INCONTED LIGHT

MH W.M. MOTION DETECTOR LIGHT FLUORESCENT LIGHT

♦ CELING MOUNTED LIGHT

GARAGE DOOR OPENER

240 VOLT RECEPTACLE

_ _ _ _ BORINEAROVE STRUCTURAL BEAMAHEADER
OR GRODER TRUSS LOAD BEARING WAL SOLID BLOCKING FROM CONCENTRATED LOAD

CONCENTRATED LOAD FROM ABOVE, SOLID BLOCK TO FOUNDATION OR BEAN MEADER BELOW.



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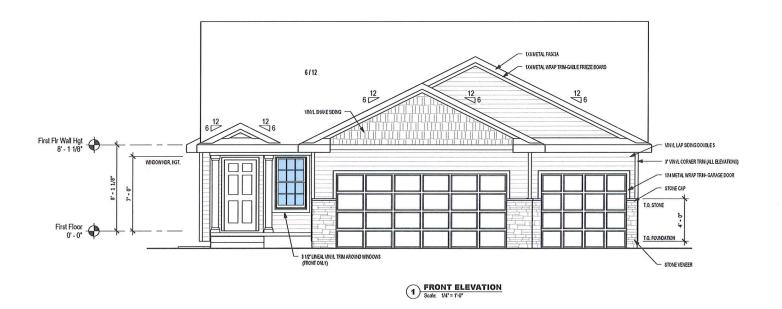
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A.O

DRAWING LIST Elevations
Elevations
Foundation
Main Floor
Building Section



ESTIMATE	D AREA -	NALL CLA	DDING
MATERIAL TYPE	MATERIAL SF	MATERIAL %	MATERIAL ELEVATION
Lap Siding - 6"	1966 SF	100.0%	
Lap Siding - 6"	109 SF	65.6%	Front
Shake Material - Staggered	57 SF	34.4%	Front

 SOUNTE POOT AGE OF CLUCOS GOSDING IS TAY EN FROM THE EIPPOSED DUFFACE OF THE 1. THE AREA BACLACES OFFICES SELON DECORATING TRANSCAPOS.
 2. THE AREA BACLACES AND DOWN AND DOOR OFER IN GS.



PLUM DESIGN SERVICES 1100 SE ALKE'S ROAD. WALKEE, IOWA 50263 TELEPHONE 515 978 6260 FAX 515 978 6261

PLUM DESIGN ET 97.9'8 (BED Y R.Y. 919.9'8 (BE)

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MEMBER



AMERICAN INSTITUTE of BUILDING DESIGN Creating where people live

Classic Builders U.S. Grant Plan

> PROJECT ID: PDS 3523

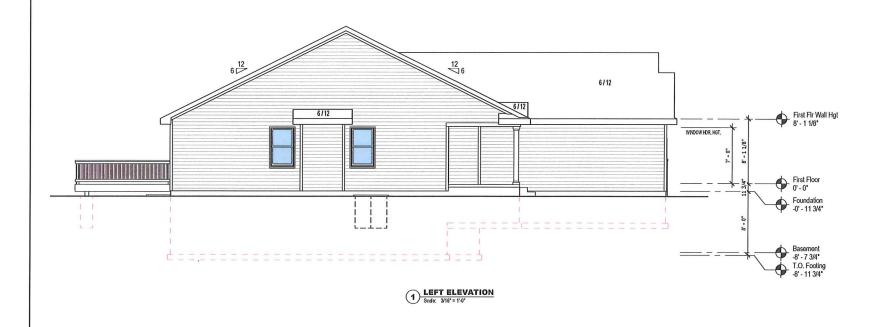
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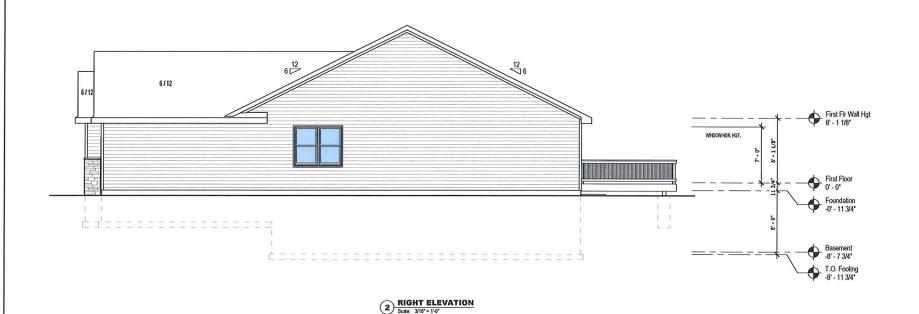
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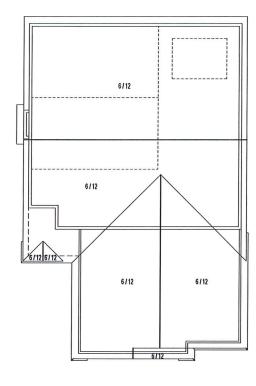
1/4" = 1'-0"

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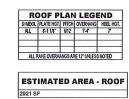








3 ROOF PLAN
Scale: 1/8" = 1'-0"



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1100 SE ALICE'S ROAD. WALKEE, IOWA 50263
TELEPHONE 515 978 6260 FAX 515 978 6261

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Elevations

As indicated

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EXTERIOR COLOR PACKAGE

- Royal White
- Graphite
- Slate
- Greystone



JACKSON

ADJUSTABLE
AWNENG
BOTTOM
BASEMENT
BETWEEN
CASEMENT
CANTILEVER
CABINET
CENTERLINE
CELLING
CASED OPERING
COLUMN
CONCRETE
DRVER
DIAMETER
DOWN
DOUBLE HUNG

DOMESTER HANG
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FLOOR DEAN
FLOOR
FEET
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HEJSTI
HEJ ROUGH OPENIN ROOM SHEEF AND ROU SCHARE FEET SUMP PIT STEEL TYPICAL TRANSOM UNEXCAVATED VANTY WASHER WITH WATER HEATER

ELECTRIC SYMBOLS

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)	SENGLE RECEPTACLE OUTLET DUPLEX PECEPTACLE OUTLET
Š =	24) VOLT RECEPTACLE PHONE OUTLET
-	PROME OUTLES

CASLE OUTLET EXHAUST FAN LIGHT WITH E. FAN SMOKEMENT DETECTOR

GARAGE DOOR OPENER ELECTRIC PANEL CELLING MOUNTED LIGHT \diamondsuit_{rc} PULL CHAIN LIGHT RECESSED FIGHT
 MATT MONULED IN

WATE MONULED FICH. ØH W.M. MOTION DETECTOR LIGHT R.GRESCENT LIGHT
BAR LIGHT

MISC. SYMBOLS

#	FROST PROOF HOSE BIB
	PLOOR LINE ABOVE
CT21613 Niley Cities CT222	STRUCTURAL BEAMMEADER OR GROER TRUSS

DRAWING LIST

10	Cover Page
l1	Elevations
1.2	Elevations

Foundation Plan Main Floor Plan Building Sections Detail Electrical





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GENERAL CONSTRUCTION NOTES

1. GENE	RAL
A.	ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2016, LOCAL BUILDING CODES MAY HAVE
	DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IRCXXII, THESE LOCAL
	REGURBAENTS WILL SUPERSEDE THE IRC 2006, SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES,

CONTRICTOR TO COLEPTA THE GUEST, SYLVING AND SPECIES OF LUBBERO & LUB STRUCTURAL NOT PROVIDED CONTRICTOR TO COLEPTA THE GUEST, SYLVING AND SPECIES OF LUBBERO & LUS STRUCTURAL NOT PROVIDED UNDERSON, AND STRUCTURAL AND PRIMARY SUBJECTS NOT BOOKATED ARE TO be STUDIED FOR ADMINISTRATION THE COMMERCIATION OF STRUCTURAL DEPTA THE WARRANTERING SECONDODINION. ALL PROVIDED AT THE STRUCTURAL DEPTA THE WARRANTERING SECONDODINION. ALL MEDIANCIAL TUMBERS, AND ELECTRICAL STRIBLE ARE TO BE DESIGNED BY OTHERS.

2. DESIGN CRITERS
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AS PRESCREED IN THIS CODE, POINT.]
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20 PSF 10 PSF 40 PSF 50 PSF 200 PSF 40 PSF 50 PSF 40 PSF 20 PSF 30 PSF 24 PSF ROOF TRUSS LIVE LOAD GROUND SHOW(Pg) FLAT ROOF SNOW (Pf) ATTIC WITHOUT STORAGE
DECKS
EXTERIOR BALCONES
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STARS DEFLECTION CRITERIA

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ROOF TOTAL LOAD	1,/240	E) POSURE CATEGORY	В
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TO BE DESIGNED WITH THE ABOVE DEFLEC	TION CRITERUA		
D. DEAD LOADS ANY ADDITIONAL OR CHANGES TO	LUATEDIU NEEDS T	THE ATTRICTOR TO THE RELIGION ON CHILD IN ATTRICT	
FLOOR-TOP CHORD	MANUAL ILLES II	ROOF-TOP CHORDS	
CARPET AND PAD	1,5 PSF	ROOFING-SHINGLES(220 LBS) 2 LAYER	4.40 PSF
3/4" CERAMIC TREATA" BACKER BD.	10 PSF	361BS.FELT	0.30 PSF
34° HARDWOOD FLOOR	4.0 PSF	1/2" OSB OR COM PLYWOOD	1,65 PSF
SUEFLOOR-34" OSB OR COM-PLYCOD	20 PSF	1/2 ROOF TRUSS-2X4	1.10 PSF
1/2 FLOOR TRUSSA-JOIST SYSTEM	1.5 PSF	COPRECTION FOR SLOPE (12/12)	1.55 PSF
TOTAL WATH CARPETIPAD	5.5 PSF	TOTAL	9.00 PSF
TOTAL WITH TILEBACKER 60.	13.5 PSF		
TOTAL WITH HARDWOOD FLOOR	7.5 PSF	ROOF-BOTTOM CHORDS	
		1/2 ROOF TRUSS-2X4	1.10 PSF
FLOOR-BOTTOM CHORD		56' GYPSOARD	2.8 PSF
1/2 FLOOR TRUSSIFJOIST SYSTEM	1,5 PSF	MENTALAN FOR MISC MECHANICAL/FLEC.	1.5 PSF
58" GYPBOARD	2.8 PSF	16" BATT/ELGYAN INSULATION	1,60 PSF
MANAGE FOR USSO MECHANICAL/ELEC.	0.7 PSF		
TOTAL	5.0 PSF	TOTAL	7.00 PSF

3. ROW REQUIREUENTS
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CLEAR RESAL MODERS ARE REQUIRED E THE WIELL IS OVER 4F DEEP, LUDDERS SWILL BE AVING OF IT WIDE.

BUILDING RECURRENDETS

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: Builders Base Plan-A) Stone Haven Jackson B Villas @ ! Classic I

PROJECT ID: PDS 3005

ISSUE DATE: DATE: 05-06-15 DATE: 11-13-15 DATE:

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> Cover Page As indicated





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Classic Builders Jackson Base Plan-A Villas @ Stone Haven

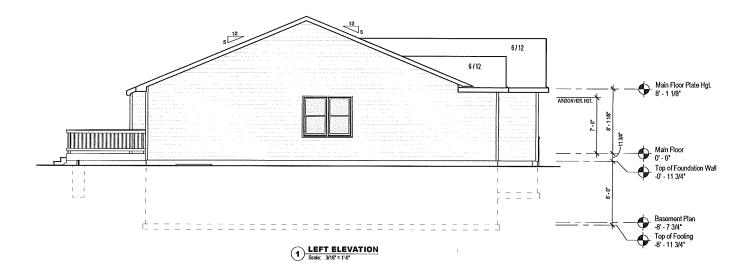
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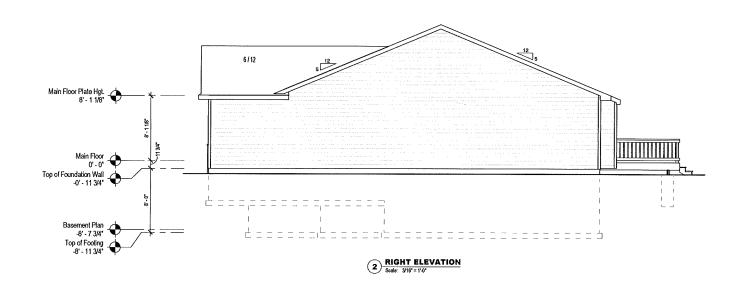
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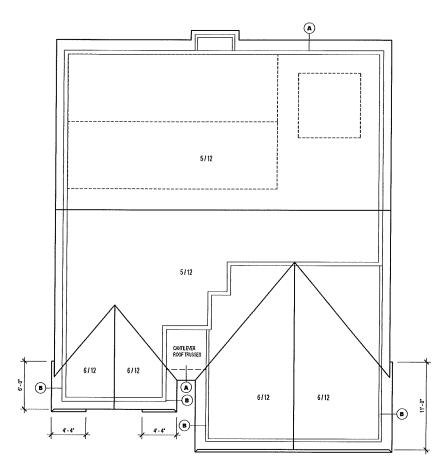
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Elevations 3/8" = 1'-0"









3 ROOF PLAN Scale: 3/16" = 1'-0"







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Classic Builders Jackson Base Plan-A Villas @ Stone Haven

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> Elevations As indicated

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ELECTRIC SYMBOLS

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D!	RAWING
A.0	Cover Page
A.1	Elevations
A2	Elevations
A3	Foundation Plan
A4	Main Floor Plan
A5	Building Sections
A6	Detail
E.1	Electrical
F.1	Floor Covering

MISC. SYMBOLS

₩-	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAUMEADER OR GROER TRUSS



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AND CHECK ALL NOTES, DETAILS, ELEVATIONS SECTIONS, AND FLOOR PLANS PRIOR TO SECTIOIS, AND FLOOR PLANS PROR TO CONSTRUCTION. THE CONTRACTOR ANDOR OWNER SHALL NOTIFY PLUM DESIGN SERVICE, INC. IMPEDIATELY FAMY FRONGS OR OMISSION FOR POSSIBLE CORRECTION ARE IDENTIFIED PRICED TO STATE OF CONSTRUCTION. TO WARRANTIES EMPRESS OR IMPUED INCLUDING COMPLIANCE WITH THIS PLANS WITH A PURILLAND WARRANTIES EMPRESS OR IMPUED INCLUDING COMPLIANCE WITH THIS PLANS WITH A PURILLAND WARRANTIES EMPRESS OR IMPUED INCLUDING COMPLIANCE WITH THIS PLANS WITH A PURILLAND WARRANTIES AND WARRANTIES OF SECUREMENTS ARE PLADE.

GENERAL CONSTRUCTION NOTES

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DESIGN	CRITERIA													
A	BUILDIN	G AND ST	RUCTURES	AND ALL PA	RTS THERE	OF, SHALL B	E CONSTRUC	TED TO SAFI	BLY SUPPORT A	LL LOADS	š.			
	PACLUCE	NG DEAD	LOADS LIV	ELOADS, RO	OFLOADS,	FLOCO LOA	DS, SWOWLAC	OS, WAND L	DADS, AND SER	MICLOA	ÓS			
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	SLEEPE	NG ROOM	IS			30 PSF	DURA	TION OF LO	D-SHOW		1.15	5		
	STAIRS					40 PSF								
	nea ea	TION CR	TCDF4				UNEA	LANCED AN	SNOW DRIFT	LOADING				
		MELOA				L#80	ACCO	POING TO A	SCE 7-05					
	B OOS	TOTALLO	140			L/353		DESIGN ME				ACSF 7-05		

FLOOR TOTAL LOAD	L/36)	HER DESIGNATERIOS - MARCO	
ROOFLIVELOAD	L/350		C-C HIBRED ACSE 7-05
ROOF TOTAL LOAD	1,7243	EXPOSURE CATEGORY	В
11001 101122012		DURATION OF LOAD-WIND	1,60
ALL BEAMS SUPPORTING FLOOR OR ROOF	LOADS ARE		
TO BE DESIGNED WITH THE ABOVE DEFLEC	TION CRITERIA		
D. D.C. D. J. S.			
D. DEAD LOADS ANY ADDITIONAL OR CHANGES T	U MATERIAL NEEDS TO		i.
FLOOR-TOP CHORD		ROOF-TOP CHORDS	
CARPET AND PAD	1.5 PSF	ROOFING-SHINGLES(220 LBS) 2 L	AYER 4.40 PSF
3/6" CERAVIC TILEAR? BACKER BD.	10 PSF	30 LBS, FELT	0.30 PSF
34" HARDWOOD FLOOR	4.0 PSF	1/2" OSB OR COM PLYWOOD	1,65 PSF
SUBPLOOR-31F OSB OR COM-PLYOOD	2.0 PSF	1/2 ROOF TRUSS-2X4	1.10 PSF
1/2 FLOOR TRUSSILJOIST SYSTEM	1.5 PSF	CORRECTION FOR SLOPE (12/12)	1.55 PSF
TOTAL WITH CARPETIPAD	5.5 PSF	TOTAL	9.00 PSF
TOTAL WITH TILEBACKER BD.	13.5 PSF		
TOTAL WITH HARDWOOD FLOOR	7.5 PSF	ROOF-BOTTOM CHORDS	
		1/2 ROOF TRUSS-2X4	1.10 PSF
FLOOR-BOTTOM CHORD		54° GYPBOARD	2.8.PSF
1/2 FLOOR TRUSSI-JOIST SYSTEM	1.5 PSF	MINIMUM FOR MISC MECHANICAL	ALEC 1.5 PSF
58° GYPBOARD	2.8 PSF	16" BATT/FLOVIN INSULATION	1.60 PSF
WINMAN FOR VISC HECHANICAL/ELEC.	0.7 PSF	TO CHILDCOINTERCOMPON	
water our state of the control of th			

3. ROCK RECORDEDITS

A. CELINO REGIST (BOX.1) WHET ALE ROCKUS (MALIKAYS, CORADORS, BATRROOKS, TOLET ROCKULAUDOR'S ROOKS, AND DASSPORTS SHALL MAYE A CELINO REGIST OF NOT LESS THAN IT FEET. THE RECORDED REGIST IS VESAURED FROM THANS IR CORE TO THE LOWEST FROM CETCHON THROUGH THE CELING.

FROM THANS IR CORE TO THE LOWEST FROM CETCHON FROM THE CELING.

LECKIPTON I. ELEWIS AND ORDERS SYMEDULES THAN HERE TO AN CENTER MAY PROJECT MOT MORE THAN IS NOLES BELOW THE RECORDED THAN IS NOLES.

ELECTION TO RESEMBLY MINKOUT NEWTRES SPACES MAY PROJECT WITHOUT SETEM SHOULD RECORD THE RECORDED THAN IS NOLES OF THE RECORDED THAN IS NOT THAN IS NOT

CLEAR REAL LODGES ARE RECURSED F THE WILL IS OUTS AF OF DEEP LODGES SHALL BE AUX OF IT WIDE.

BUILDING FROMEOWERS

A THE ACCESS PRAYS PROVIDE ACCESS TO ATTIC SPACE WITH AMACCESS DOOR AT LEAST 22' X 3' M M2EL LOCATE
THE ACCESS PRAYS PROVIDE ACCESS TO ATTIC SPACE WITH AMACCESS DOOR AT LEAST 22' X 3' M M2EL LOCATE
THE ACCESS PRAYS PROVIDE ACCESS TO ATTIC VERTIFICATION SPACE.

B. ATTIC WAS THE VENTILATED WITH TOTAL AREA OF ATTIC VERTIFICATION SPACE THIS SET, DEEP LOCATE AND AT EXAMINED AND AREA FOR SMANN ON THE PLAYS AREA OF THE ACCESS OF THE ACC

E. PROTOE OL GUTTERS DOM ROUTS, AD SPACHS ROCKS AS NECESSAY.

PROMADULATION OF THE SPACE OF S

NOF, FLOR, AND WALL SHEATHING.
WALL STIDS:
WALL PLATES:
DIMENSIONAL HEADERS:
WASHING SPERIOR DESCRIPTION.
WALL PLATES:
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WASHING SPERIOR DESCRIPTION.

UNITARIES UNDUS 97 20 RETER

E LIA HEDERS

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THE BOOGLAS PROBE RETER

HE WOOD TRUSSES SEVUL ES DESARDA NO UNAFFICHES DI NACORGIANE MIT SENCRES DE ENERRO CHINCOD OR

HERTA AND HOLLESS THAN I SINCES CONCINENTE, BOAG AND CONCINENTE, BOAG AND THE SENCRES PROBE CONCINENTE, BOAG AND THE SENCRES PROBE SEVUL ES DESARDA NO UNAFFICHES DI NACORGIANE MIT PARAMETER PROPERTI BOS PROBE RESPONDATION FOR MESS BERNOR AND HER SENCRES PROBE PROPERTI BOAG HE PROMISE PROBE SENCRES PROBE PROBE DI NO TROSSES SENCRES PROBE PROBE PROBLEM PROBLEMS PROBE PROBLEMS PROBLEMS

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TON SALVOOR	100	12	1	14	2	\$41	12	N.T-E.PC.202							
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II. TRUSSES SHALL BE COMECTED TO WALL BY USE OF APPROVED COMECTIORS NAVING A RESISTANCE TO UPILIT OF NOTICES THAN 1970 AUGUST AND 1970 THE MANUFACTURE SPECIFICATIONS.

PROTECTION FROU DECAY SHALL BE PROVIDED IN THE FLOUNDS LOCATIONS CANDING THE USE OF MATURALLY DURABLE OF PRESERVATION TREATED LUMBER. (2013.)

1. ALL NOOT PRAYING THAT REST OF OROCKNETIE CHEFOR PROBATION WALLS AND ARELESS THAN IT FROM THE

1. ALL WOOD PRAINS THAT SECT ON CONCRETE EXTEROR FOUNDATION WALES AND ARELESS TRANT FROM THE PROSED ROOM OF A CONCRETE SUB-THAT IS INDICED.

2. SLES AND A EXPENSION AND CONCRETE SUB-THAT IS INDICED. CONTRACT WITH THE GROUND UNLESS SEPARATED FROM JOING THAT IS AND THAT I

A. ALI STRUCTURA STEEL SHALL COMPON WITH ASTAN SPECIFICATION ASSI GRADE-SO OR EQUIL AND SHALL HAVE BRIDGE OLPPING
 AT A FEET ON CENTER TO RESIST LATERA DEFI ECTION.
 ALI LATING TO BE ATTACKED TO STRUCTURAL STEEL IN ACCORDANCE MITH GOVERNING CODES.

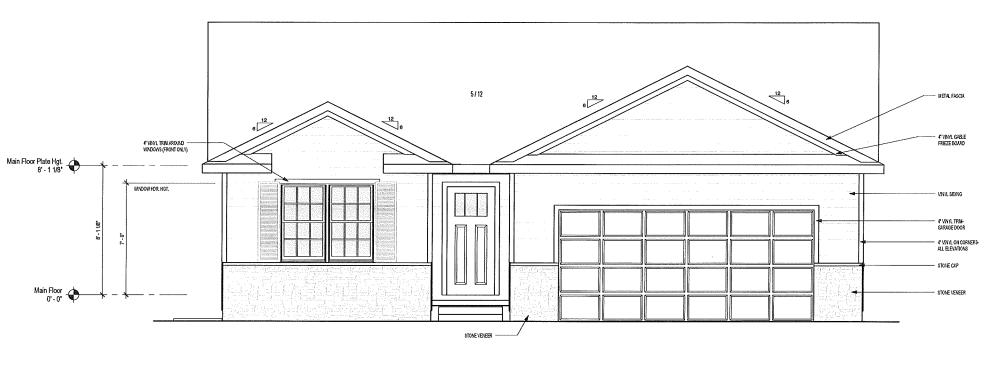
NOT FOR CONSTRUCTION

THESE PLANS HAVE NOT BEEN APPROVED FOR FINAL CONSTI PLEASE CALL OR SEE OWNER FOR UPDATED PLANS.

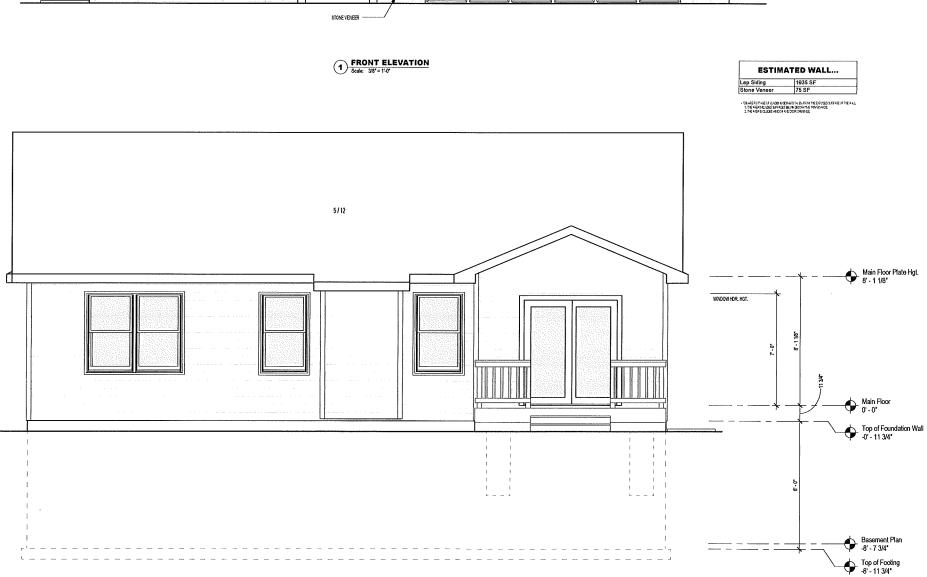
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Classic Builders Jackson Base Plan-B Villas @ Stonehaven

Cover Page As indicated



REAR ELEVATION
Scale: 3/8"= 1'-0"





PLUM DESIGN SERVICES
1100 ALKE'S ROAD. WALKEE, KWA 50263-1100
TELEPHONE 515 978 6260 FAX 515 978 6261

PLIM DESIGN SERVICE, INX. ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR DIMERSIONAL ERRORS OR OMISSIONIS. WE ARE NOT A LUCKEDE PAGHTEET OR REVINIER. THESE PLANS ARE PROVIDED ON AN "AS 15" ASS AND ITS ITS EGO. RESPONSIBILITY OF THE CONTRACTOR AND/OR ORNER TO VERFOR AND CHECK ALL NOTES, PLANS PROOR TO CONSTRUCTION. THE CONTRACTOR AND/OR ORNER SHALL NOTES PLANS PROOR TO CONSTRUCTION. THE CONTRACTOR AND/OR ORNER SHALL NOTES PLANS PROOR TO CONSTRUCTION. THE CONTRACTOR AND/OR ORNER SHALL NOTES PLANS PROOR OF CONSTRUCTION AND PROSON SERVICE. INC. IMPROVALED IT AND TO PROSPILE CORRECTION ARE DESITINED PROOR TO STRATE OF CONSTRUCTION NO REARRANTINES EXPRESS OR PMULED INCLUDING COMPLANKE WITH THIS PLANS THE CONSTRUCTION ARE DEPLANKE WITH THIS PLANS HAVE AND ARE MADE.

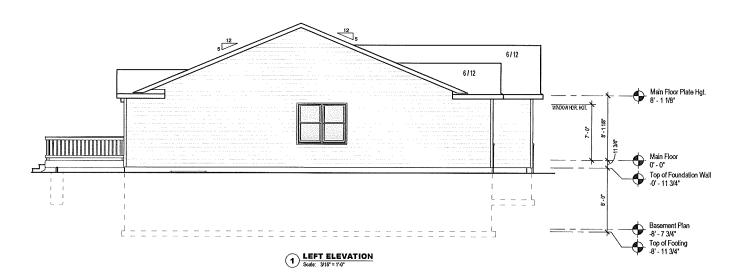
Classic Builders Jackson Base Plan-B Villas @ Stonehaven

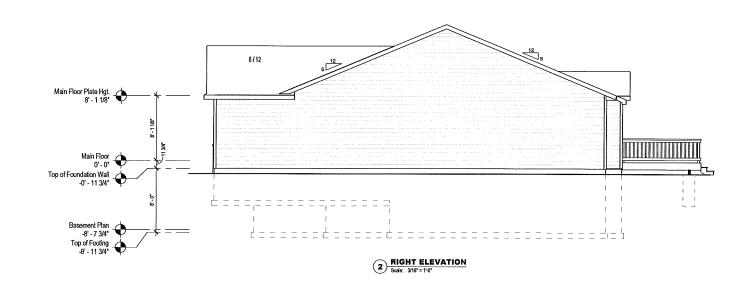
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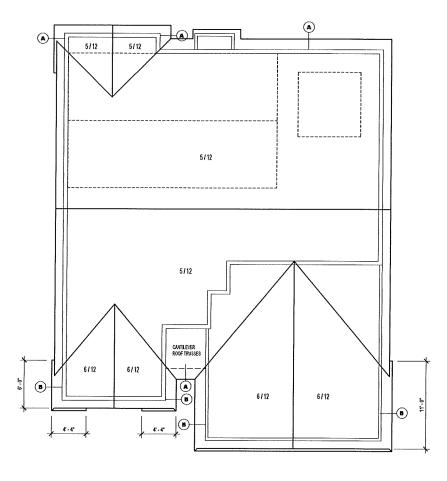
ISSUE DATE:
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DATE: 11-13-15
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Elevations 3/8" = 1'-0"

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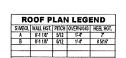






3 ROOF PLAN Scale: 3/16" = 1'-0"







PLUM DESIGN SERVICES 1100 ALKES ROAD. WALKEE, IOWA 50263-1100 TELEPHONE 515 978 6260 FAX 515 978 6261

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Classic Builders Jackson Base Plan-B Villas @ Stonehaven

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Elevations
As indicated

AD J	<i>ADJUSTABLE</i>
AHN.	AWNENG
BTM.	BOTTOM
BSMT.	BASEMENT
BTW.	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
CAR	CABINET
ç	CENTERLINE
à.c	CELLING
C.O.	CASED OPENING
COL	COLUMN
DONC.	CONCRETE
D	DEVER
DIA	DIAMETER



ELECTRIC SYMBOLS

best Blass	
₹ 73 73	SPAGLE POLE SWITCH THREE WAY SMITCH
Z ZDM	DAMMER SANTCH
⋺-	SENGLE RECEPTACLE OUTLET
庚	DUPLEX RECEPTACLE OUTLET

- 240 VOLT RECEPTACLE PHONE OUTLET CABLE OUTLET
- EXHAUST FAN LIGHT WITH E FAN SMOKEHEAT DETECTOR GARAGE DOOR OPENER BLECTRIC PANEL

 CELLING MOUNTED LIGHT
- Our PULL CHAN LIGHT RECESSED LIGHT CH MATT TROUNLED FICH
- ₩.W. MOTION DETECTOR LIGHT RORESCEN ALORESCENT LIGHT

MISC. SYMBOLS

#-	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAMMEADS OR GROER TRUSS

DRAWING LIST

A.0	Cover Page
A1	Elevations
42	Flevefore

Foundation Plan Main Floor Plan Building Sections Detail Electrical Floor Covering







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INFENSIONAL REBOOR OR OWNSOMS. WE ARE
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AND GHECK ALL HOTS, DETAILS, ELEVATIONS,
SECTIONS, AND FLOOR PLANS PROOR TO
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OWNERS SHALL INDITEY PLUM DESIGN SERVICE,
INC. IMPREDATE IF ANY ERRORS OR
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GENERAL CONSTRUCTION NOTES

i. Gene	
A	ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 2016, LOCAL BUILDING CODES WAY HAVE
	DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IRCXX6, THESE LOCAL
	REQUIREMENTS WILL SUPERSEDE THE IRC 20%, SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES,
	CONTRACTOR TO CONCERN THE SITES SOLONIC AND SOCIES OF HARRO OF ALL STRICTION AND EDAMINO

- B. CONTRACTOR TO CONFER THE SIZES, SPACHAS AND SPECIES OF ULBERG OF ALL STRUCTURAL ADD PRAINTS
 BEBERGS. AND STRUCTURAL AND FRANKING PROPERTIES OF THE STRUCTURAL ADD PROMISE
 C. THE OWNEDCONTRACTOR IS RESPONSED. FOR PROPERTIES WAS HE OF THE BUILD UP OF MINISTURE OR WILD
 ALL PRODUCTS ARE TO BE INSTILLED FOR THE WASHING FOR THE BUILD ADD THE MINISTRUCTURES.
 ALL WERMANCH, TUMBRIS, AND ELECTRICAL SISTEDS ARE TO BE DESCRIBED FOR THE BUILD.

DEPLECTION CRITERIA R.OOR LIVE LOAD

- 2. DESIGN CATEFAR

 A BULDING AND STRUCTURES, AND ALL PARTS THEREOF, SWALL BE CONSTRUCTED TO SUFELY SUPPORT ALL LOVOS,
 INCLUDING DEPOLOOPS, LIVELONDS, ROOF LOVOS, FACO LOVOS, SKOWLADOS, MIND LOJOS, AND SESSINC LOVOS
 AS PRESCREDED BY THIS COOK, PLEASEDS PROM THE CITY OF DES MONES, KOMA.

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10.20	5	10		WATE	c	48% (000)	MODELY E	47 .	16	19.75H 1994	1223	€17			
N/A	an ar e	MEIO	MANS (R35	1,5) IRC 2005			MNU	UM ROOF H	VELOADS(R.W	1 6 ERC 20	36				
			ED STORA			20 PSF		TRUSSLINE							
ATT	CWIT	HOUT	STORAGE			10 PSF	GROU	NO SHOMP	g)		30 F	SF			
DEC	XS.					4) PSF	RAT	ROOF SNOW	(Pf)		SE.				
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S.E	PNG	ROOM	S			30 PSF	DUPA	TION OF LOA	D-SNOW		1.15	i			
STA	æs					43 PSF									

FLOOR TOTAL LOAD	L/360	URA REMOVERENCE. MUTOUR OF	6 TON 4005 7
ROOFLIVELOAD	L/360		NERED ACSE 7-
ROOF TOTAL LOAD	L/245	DIPOSURE CATEGORY	8
		DUPATION OF LOAD-WIND	1,60
ALL BEAMS SUPPORTING FLOOR OR ROO	FLOADS ARE		
TO BE DESIGNED WITH THE ABOVE DEFLE	ECTION CRITERIA		
D. DEAD LOADS ANY ADDITIONAL OR CHANGES	TO MATERIAL NEEDS TO	BE ADJUSTED TO THE BELOW CALCULATIONS.	
FLOOR-TOP CHORD		ROOF-TOP CHORDS	
CARPET AND PAD	1.5 PSF	ROOFBYG-SHINGLES(220 LBS) 2 LAYER	4,40 PSF
3/6" CERAMIC TILE/1/2" BACKER BD.	10 PSF	30183.FB.T	0.30 PSF
34" HARDWOOD FLOOR	4.0 PSF	1/2" OSB OR COM PLYWOOD	1,65 PSF
SUBPLOOR-34" OSB OR COM-PLYCOD	20 PSF	1/2 ROOF TRUSS-2X4	1.10 PSF
1/2 FLOOR TRUSSA-XXIST SYSTEM	1.5 PSF	COPRECTION FOR SLOPE (12/12)	1.55 PSF
TOTAL WITH CARPETINAD	5.5 PSF	TOTAL	9.00 PSF
TOTAL WITH TLEBACKER BD.	13.5 PSF		
TOTAL WITH HARDWOOD FLOOR	7.5 PSF	ROOF-BOTTOM CHORDS	
		1/2 ROOF TRUSS-2X4	1.10 PSF
FLOOR-BOTTOM CHORD		5.5" GTPBOARD	2.8 PSF
1/2 FLOOR TRUSSA-JOIST SYSTEM	1.5 PSF	UNIVARIAN FOR MISC MECHANICAL/FLE	0. 1.5 PSF
55' GYPROARD	2.8 PSF	16" BATTELOWN INSULATION	1.60 PSF
MANAGE FOR MISC MECHANICAL/FLEC.	0.7 PSF		
TOTA	5 6 PSF	TOTAL	7.00 PSE

1. ROOM REQUIREMENTS
A CELING REGIST BY SALL HARSTHARE BROWNS INJURIES COREDORS, BATHROOMS, TOLET BROWNLAWDERY BROWNS, A CELING REGIST BY AND A CELING REGIST OF THY LEET. THE REQUIRED MERGHT IS URSURED FROM ITS URSURED FROM ITS WEST BY A CELING REGIST BY AND A CELING REGIST BY A CELING REGIST BY AND A CELING REGIST BY A CELING REGIST BY AND A CELING REGIST BY AND A CELING REGIST BY A CELING REGIST BY A CELING REGIST BY AND A CELING REGIST BY A CE

CLEAR IN MYTHOROGONIA (DIMENSION, THE WINNAM AFEACE ANT WESTIABLE ROOM SHALL NOT BELLESS THAN TO SO, FEET, DEEPT INTO HIS HEAVY.)

LIGHT NOT VENTILATION (RISIN) IN METITAE EROOMS, PROME HATTER, LIGHT AND VENTILATION WITHOUS HEAVY ENDOUGH AREA OF A PROME HATTER WINNOWS HEAVY ENDOUGH AREA OF A PROME HATTER WINNOWS HEAVY ENDOUGH AREA OF A PROME HATTER ROOMS, PROME STAN HAND AND HATTER ROOMS HATTER ROOMS, PROME STAN HONGON HATTER HAND HATTER ROOMS HATTER H

CLER AREA. LADORES ARE REQUIRED IF THE WILL IS OVER 41" DEPT. LADORES SHALL BE A VIOL OF 12" WIDE.

A JATIC ACCESS (RUST) PROVED ACCESS TO ATTER SHARK WITH AN AACCESS DOOR AT LEAST 27" AS "IN SIZE. LOCATE
THE PACCESS (RUST) PROVED ACCESS TO ATTER SHARK WITH AN AACCESS DOOR AT LEAST 27" AS "IN SIZE. LOCATE
THE PACCESS (RUST) PROVED ACCESS THE RUST SHARK PLOSS TO BE ALL RUST SHARK PLOSS TO BE ALL RUST SHARK PLOSS ON THE PACKET SHARK

E PROVEE GLIGHTERS, DOMI SPOUTS, AND SHASHIR COOS AS MIXEESSEM.

FONDATION CONCRETE

A MARSAS LIGHT TO THAT EXPANSING COUPRESSELE, SHETTING OR OTHER MINNOVIN SOLL CHARACTERISTICS, THE BUILDING OTHER UNLINE HER HER HER AS OLL TESTIS RESOURCE, PARTI AJS SOLL CHARACTERISTICS, THE BUILDING OTHER CONCRETE SHALL INCENTRATE AND THE TESTIS OF AT 23 DAYS, GRANGE ROOM BLASS SHALL BE 3,500 AT 23 DAYS, ROCKEGE SCHOOL REAS AND STEPS ENDOSED TO THE MEMBERS SHALL BE 3,500 AT 20 DAYS, BONCEGE SCHOOL REAS AND STEPS ENDOSED TO THE MEMBERS SHALL BE 3,500 AT 20 DAYS, BONCH BONC

PER SELL PLATE MITHIS OLTS SPACED AT ALAMANIA OF FEET ON CONTENTIA MITHIA ALAMANIA OF OLE OCI THO TURGE THAI I SENCES FOUN TEED OBD AT ILESSATI IS PROSES FROM DO OF SELL PLATE PRAIS ALG. ALEMANIE FOUNDAMON STRAPS MAY BE USED, SPECIFICATION TO PROVIDE ECUNALISTIANCHOR TO A 1/2 OAMETER ANCHOR BOLTS. CONCRETE FOUNDAMION WELLS SHALL BE COSTRIANCIDE AS SET FORTH IN TABLE RIVALI, (§), REPER TO THYPICAL WALL SCHOOL IN THE PLATFOR SPECIFICATION.

MOOD FRAMENS
A ROOF, ROOR, ADD WILL SHEATHING
B. WALL STUDS:
WARMAN SPF STID OR DOWN, AS FRI LARCH STID.
WARMAN SPF ST OR DETTER.
2D DWENSON, HEADERS.
2D DW

INDIVISARI RO REFITIES.

IN EDOUGAL RR OR REFITIES.

IN EDOUGRAP ROWER SERVICE PROPRIETE SEET TO SUPPORT THE LOUD, INSULA, AND TE LOOD RAVALLE BEARING PARTITIONS SHALL BE OF REPORTED SEET TO SUPPORT THE LOUD, INSULA, OR THE BEGGO FECKIN, KIEST, BEARL AND ROWER SHALL HAVE NOT LESS THAN INSULES OF SHALL PROSE AND HOUSE OF THE MAN INCOME THE SINGH SHALL BE DESIGNED HOUSE FROM PACKET OF THE MAN INFULL THE SEET TO THE NOUTH THIS SEES SHALL BEFORE THE OWN THE BEAR AND HALT ROOMSETTING OF GENERA, BEST 10THE NOUTH THIS SEES SHALL BEARD AND PACKET AND HE WITE AND THE SEES.

NO CUTS, NOTCHES, AND HALES BORED HITO TRUSSES, STRUCTURAL COMPOSITE LIMBER, QUEL-LAUNATED.

NO OLDS NOTICES AND HELESORED HID TRISSES, STRICTURAL COMPOSITE LIMBER, QUIE L'AURANTED MEDIERS, QUIE L'AURA PER PONETIELD ECRET HIRSE FENDINED DE IT HE MAPIACTICITES RECOUNDION OF RESIDENTE PROFESSIONAL, (1962), 12, 14 PRESE DOURIS DE VILLE E PROVIDE DE OUT OF FALL CONCEPLED DRIFT OPENES (BOTH VERTICAL AND HORSE DOWNERS). AND 10 PROM AN EFFECTIOR FER EXPRESE RETINED STORIES, AND EXTENSIS IN DOS STORIES AND EXPRESSION AND 10 PROFESSION AND

ESTERNICACION ESTERNICACION ESTERNICACION FOOF CBLF & A B To GEAR SAN ROOM ROS OBJECTO TROCKISH BARRE BASKS ROOF CELL GROOM E ROSE CONTRACTOR

TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTIONS NAVING A RESISTANCE TO UPLIET OF NOT LESS THAN ITS POUNDS AND PER THE MANAFACTURE SPECIFICATIONS.
 PROTECTION FROM DECAY SHALL BE PROVIDED IN THE COLUMNIC LOCATION BY THE USE OF MATURALLY DURING CAP PRESERVATION TREATED LUMBER.
 (8) PRESERVATION TREATED LUMBER.
 (8) 13.1
 1.4 LIN COLO PRIMARING THAT EAST OF CONNECTE EXTERNOR FOUNDATION WALLS AND ASELESS THAN IT FROM THE DEPOSED GROUND.
 1.4 LIN COLO PRIMARING THAT EAST OF MONTHS THE STREAM FOUNDATION WALLS AND ASELESS THAN IT FROM THE DEPOSED GROUND.
 1.4 LIN COLO PLANT AND THAT HAS THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED.
 1.4 LIN CAP LAST BEFORE THAT THE WAS AND THAT THE PROVIDED WALLS SEPARATED.

4 WOOD SOING, SHEATHER AD INVALE PRANSHOON THE EXTERSION OF A BUILDING HAVING A CLEANANCE OF LESS THAN BROWSES FROM THE GROUND.

3. ALL LIVERS IN CONTACT WITH THE GROUND, DREEDED IN CONCRETE IN DIRECT CONTINCT WITH THE GROUND OR BUILDING THE CONCRETE PROVIDED TO THE REAL SHEATHER HAVE A SHEATHER THAN SHEATHER HAVE A SHEATHER HAVE A

STRUCTURAL STEEL

STRICTURAL STEEL.

A ALL STRICTURAL STEEL SHALL COMPORAL WITH ASTAL SPECIFICATION AND GRADE-50 OR EQUAL AND SHALL HAVE GRIDGE CLEFTING
AT A FREET ON CONTER TO RESIST LATERAL DEFLECTION.
B. ALL FRANKEN TO DE ATTRICTED TO STRUCTURAL STEEL IN ACCORDANCE WITH GOVERNING CODES.

NOT FOR CONSTRUCTION

THESE PLANS HAVE NOT BEEN APPROVED FOR FRIAL CONSTRUCTION PLEASE CALL OR SEE OWNER FOR UPDATED PLANS,

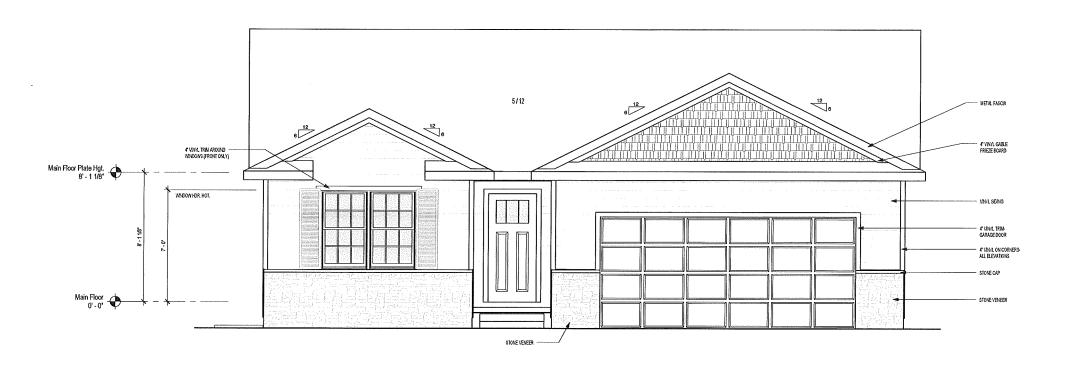
: Builders | Base Plan-C | Stonehaven Classic Flackson B

PROJECT ID: PDS 3005

ISSUE DATE: DATE: 05-07-15 DATE: 11-13-15 DATE DATE:

REVISIONS: DATE: DATE: DATE:

> Cover Page As indicated





PLUM DESIGN SERVICES
1100 ALKES ROAD. WALKEE, KWA 50263-1100
TELEPHONE 515 978 6280 FAX 515 978 6261

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Classic Builders Jackson Base Plan-C Villas @ Stonehaven

PROJECT ID: PDS 3005

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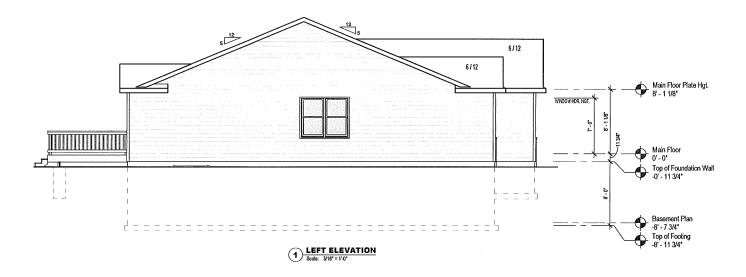
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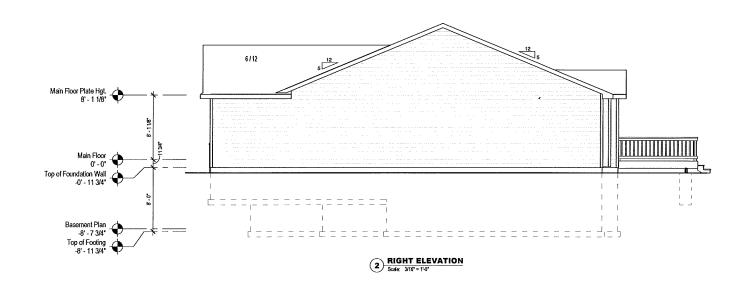
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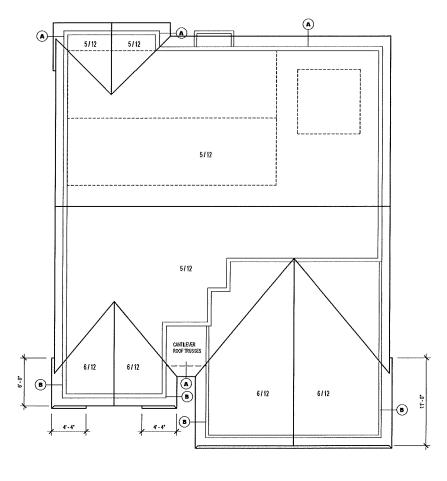
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Elevations 3/8" = 1'-0"









3 ROOF PLAN





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Classic Builders Jackson Base Plan-C Villas @ Stonehaven

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REVISIONS:
DATE:
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Elevations As indicated





www.ClassicBuildersIowa.com

EXTERIOR COLOR PACKAGE

- Royal White
- Graphite
- Slate
- Greystone

MADISON



AD J	ADJUSTABLE
ANYL	AVMENG
BTM.	BOTTOM
BSMT.	Basement
BTW.	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
C48.	CABINET
ę	CENTER LINE
ã.c	CEILING
C.O.	CASED OPERANG
COL	COLUMN
CONC.	CONCRETE
В	DRVER

Grier Orini Down Down

ELECTRIC SYMBOLS

→ £4 MIG4 → → ■ ^	SINGLE POLE SWITCH THREE WAY SWITCH DAWLER SWITCH SINGLE RECEPTAGLE OUTLET DUPLEN RECEPTAGLE OUTLET 24 WOLT RECEPTAGLE PHONE OUTLET
>	PHONE OUTLET
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LIGHT WITH E, FAN SMOKEMENT DETECTOR GARAGE DOOR OPENER ELECTRIC PANEL

- 0 CELLING MOUNTED LIGHT \diamondsuit_{FC} PULCHANUSHT © RECESSED LIGHT

 OH WALL MOUNTED LIGHT
- MAN MOTION DETECTOR LIGHT RLORESCENT LIGHT
 BAR LIGHT

MISC. SYMBOLS

#-	FROST PROOF HOSE BB
	FLOOR LINE ABOVE
	STRUCTURAL BEAMAEADER OR GIFDER TRUSS

DRAWING LIST

A.0	Cover Page
A.1	Elevations
A2	Elevations
A.3	Foundation Pla
A.4	Main Floor Plan
A.5	Building Section
A.6	Detail
E.1	Electrical
F.1	Floor Covering





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GENERAL CONSTRUCTION NOTES

- GENERAL
 A LICONSTRUCTION AND MATERIA'S SHALL WHET OR DICEED IRC 2014, LOCAL BUILDING COORS MAY HAVE DIFFERENT SPECEFICATIONS AND RECORDSHEDS THAN HAVE IS USITED IN THE RECOVAL THESE LOCAL RECORDSHIPS TO MAY HAVE A DEPOSITION OF THE RECOVAL THESE LOCAL RECORDSHIPS TO HOLD AND THE SECSO SECTIONS AND EXPENSE OF THE SECSO SECTIONS AND EXPENSE AND FRANCIS OF THE SECSO SECTIONS AND THE SECSO SECTIONS AND THE SECSO SECTION OF THE SECSO SECSO

- 2. DESIGN CATERSA
 A BULDING MO STRUCTURES, MO ALL PARTS THEREOF, SUIVLI DE CONSTRUCTED TO SUFELY SUPPORT ALL LOADS,
 INCLUMED EDUCIDOS, LITECUROS, ROCH LOADS, ROCH LOADS, SWINI LACOS, NIND LOADS, AND SESSING LOADS
 AS PRESCREED BY THIS CODE, EDINLI]
 TO THE SIN LIGHT EDUCIDA SUBSESTIFICIAL THE CITY OF DES MONES, KNINA.
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	ATTICY	MIHLM	TED STORA	ĠÉ		20 PSF			VELOAD&			PSF
	ATTICY	TUCHTIN	STORAGE			10 PSF	GROU	HON2 GR	(Pa)		39	PSF
	DECKS					40 PSF	FLAT	ROOF SWO	W (PI)		24	PSF
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		TOTAL LO				1,060						
		VELOAD				LOSO	WMD	DESIGNM	ETHOO:	MWFRS/C-	C K1BRID	ACSE 74
		OTHELON				1000	EP0	SURE CAT	EGORY		В	

R	OOF TOTAL LOAD	L/240	DURATION OF LOAD-WARD	1,60
	LL BEAMS SUPPORTING FLOOR OR ROOF I O BE DESIGNED WITH THE ABOVE DEFLEC			
D. DEAL	LOADS ANY ADDITIONAL OR CHANGES TO	NATERIAL NEEDS TO	BE ADJUSTED TO THE BELOW CALCULATIONS.	
£	LOOR-TOP CHORD		ROOF-TOP CHORDS	
č	ARPET AND PAD	1.5 PSF	ROOFING-SHINGLES(220 LBS) 2 LAYER	4.40 PSF
3	A" CERAMIC TILEMA" BACKER BD.	10 PSF	30 LBS, FELT	0.30 PSF
3	A" HARDWOOD FLOOR	4.0 PSF	1/2" OSB OR COM PLYWOOD	1,65 PSF
\$	UBPLOOR-3/4° OSB OR COM-PLYOOD	2.0 PSF	1/2 ROOF TRUSS-2X4	1.10 PSF
1	72 FLOOR TRUSSA-JOIST SYSTEM	1.5 PSF	CORRECTION FOR SLOPE (12/12)	1.55 PSF
	TOTAL WITH CARPETAPAD	5.5 PSF	TOTAL	9.00 PSF
	TOTAL WITH TILEBACKER BO.	13.5 PSF		
	TOTAL WITH HARDWOOD FLOOR	7.5 PSF	ROOF-BOTTOM CHORDS	
			1/2 ROOF TRUSS-2X4	1.10 PSF
F	LOOR-BOTTOM CHORD		5/4" GYPBOARD	2.8 PSF
1	2 FLOOR TRUSSILJOIST SYSTEM	1.5 PSF	URBANAN FOR MISC MECHANICALIFLEC.	1.5 PSF
5	8° GYPBOAPD	2.8 PSF	16" BATT/SLOWN INSULATION	1.60 PSF
V	PARAMI FOR MISC MECHANICAL/ELEC,	0.7 PSF		
	0711	CARC	7074	144.000

- 1, ROOM REQUEREMENTS

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- WOOD FRAMING
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- DIVISIONAL FEDERS DE LOS GROBER SHALL HAVE NOT LESS THAL IS NORTES OF BEARRA ON INCODO OR BETER A ON DIVISIONAL SES THAL IS NORTES OF BEARRA ON INCODO OR BETER A ON DIVISIONAL SES THAL IS NORTES OF BEARRA ON INCODO OR BETER A OR DIVISIONAL SES THAL IS NORTES DE DIVISIONAL SES THAL IS NORTES OF BEARRA ON INCODO OR BETER TO THE ROYAULT RESSONAL SES THAT PRACTICES OF BEARRA ON THE RESPONSIVE DIVISIONAL SES THAT PRACTICES OF BECOMBING THE RESPONSIVE DIVISIONAL SES THAT PLANT TRUSS SES OF BEARRA ON THE SES OF BEA

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- TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTIONS HAVING A RESISTANCE TO URLIFT
 OF HOT LESS THAN 175 POUNDS AND PER THE MANAPACINE SPECIFICATIONS.

 PROTECTION PROVIDED AND PER THE MANAPACINE SPECIFICATIONS.

 PROTECTION PROVIDED AND PER THE MANAPACINE SPECIFICATIONS.

 1. ALL NOOD PRANNOT THAT REST ON CONCRETE EMPEROR FOUNDATION WALLS AND ARE LESS THAN 1'FROM THE
 DEPOSED GOOD.

 2. SELS AND RESPERS ON A CONCRETE SHAP THAT IS NOTIFIED CONTACT WITH THE GROAD UNLESS SEPARATED
 FROM SHORT AND PLAN THE MEMORY SHAP THAT IS NOTIFIED WALLS WANNO CLEARANCE OF LESS THAN 1'S NOT HOT
 TOPS SHEER AND PLAN PERSONS OFTEN BOTTED TO CONTRETE WALLS HAVING OLERANCE OF LESS THAN 1.5 NICH ON
 TOPS SHEER AND PLAN
- 1. THE DISK OF WOOD GEODE ENTERING ENTERING CONCRETE WALLS HANNING CLEARNICE OF LESS THAN 5 NOH ON TORS SIDES AND BOTS.

 4. WOOD SIDING, SHEATHING ARD WALL FRANKING ON THE EXTENSIOR OF A BUILDING HANNING A CLEARNICE OF LESS THAN 18 PRIZES FROM THE GROUND.

 5. ALL LIMERER TO MOTHER WITH THE GROUND, DREEDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR DIBBODIO IN CONCRETE ENDOUGH THE GROUND OR BUILDING THE WORLD THE TO BE THE FOR THE WOOD OR THE WORLD THE WOOD FROM THE SHALL BE INSULATED WITH THE SAME MATERIAL USED FOR BUTTERON WALLS ALL DITERONS CONCRETA AND INTERPREPARATIONS TO ENTERON WALLS ALL DITERONS CONCRETA AND INTERPREPARATIONS TO ENTERON WALLS ALL DITERONS CONCRETA AND INTERPREPARATIONS TO ENTERON WALLS ALL DITERONS CONCRETA AND INTERPREPARATIONS.

 ALL NAMED AND FASTONING SHOULD COUNTY WITH THE FIRST TABLE RISKS ALL THE SCHEDULE FOR SCHENCTURAL MARKERS*
- P. ALL INALING ACT PASIENTS WAS ASSESSED.

 STRUCTURAL SITE.

 ALL STRUCTURAL SITE. SHALL COMPOSE WITH ASTIL SPECIFICATION AST) CAUDE-50 OR EQUIL, AND SHALL HAVE BRIDGE OLD PRIVS AT A FEET ON CENTER TO RESIST LATERAL DEFLECTION.

 B. ALL FRANKO TO BE ATTACHED TO STRUCTURAL SITE. IN ACCORDANCE WITH GOVERNING CODES.

NOT FOR CONSTRUCTION

THESE ARE FLANS ARE CONCEPTIONAL PLANS AND HAVE NOT BEEN APPROVED AS A BID SET OR FOR CONSTRUCTI

Classic Builders Madison Base Plan Villas at Stonehaven

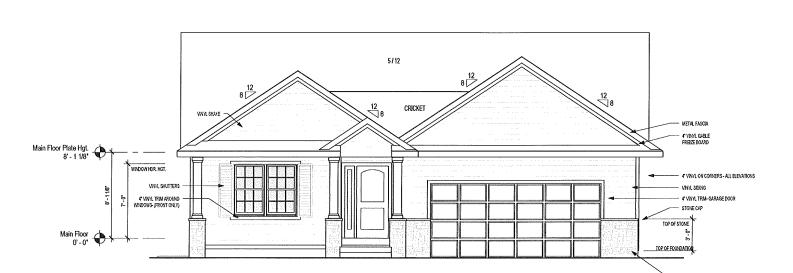
PROJECT ID: PDS 1904

ISSUE DATE: DATE: 05-12-15 DATE: DATE: REVISIONS:

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DATE: DATE DATE

> Cover Page As indicated



1 FRONT ELEVATION
Scale: 1/4'=1'-0'

ESTIMATED 1	WALL CLADDING SF				
Stone Veneer	70 SF				
Vinyi Siding	2323 SF				

- COLUMBROVALE OF CAUTH COURSE OF MY, FOUNT-ELEVATED SUFFICE OF THE MALL LIVE WAS POLICIES SUFFICIES BLOW DECOMPRETED SUFFICE LIVE WAS POLICIES AND ON MY COURS THE BOST



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Classic Builders Madison Base Plan Villas at Stonehaven

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Elevations 1/4" = 1'-0"

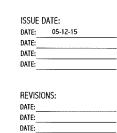




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Classic Builders Madison Base Plan Villas at Stonehaven

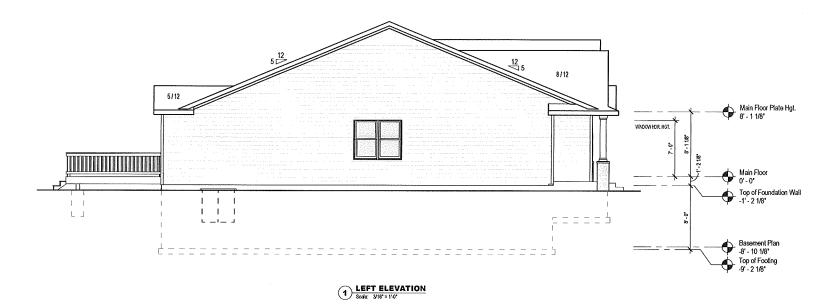
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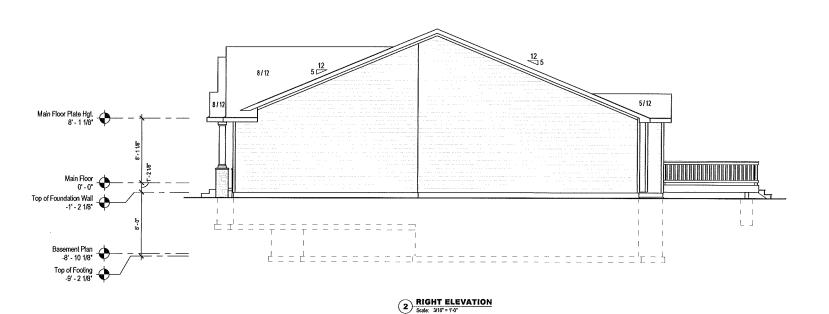


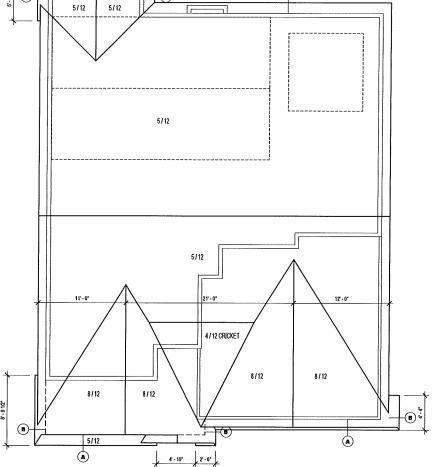
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Elevations As indicated

A.2







3 ROOF PLAN
Scale: 3/16" = 1'-0"

ESTIMATED ROOF SF

2820 SF
- SHAFFENING SPECIAL BLANCH CONTROL SPECIAL CONTROL BLANCH CONTROL BL

* * ***	
AD J	AD JUST ARLE
AYN	AJM: AMG
BTM.	BOTTOM
BSMT.	BASEMENT
BTW,	BETWEEN
CA	CASEMENT
CANT.	CANTLEVER
CAB.	CABINET
£	CENTER LINE
άG	CEILING
C.O.	CASED OPENING
COL	COLUMN
CONC.	CONCRETE
D	DRVER
DEA	DIAMETER
DN	DOWN
DH	DOUBLE HUNG
DH	DISHWASHER
FO.	FLOOR DRAW

URSMASSERY
ROOR RELEASE
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UNEXCAVATED
VANITY
WASHER
WITH
WATER HEATER

ELECTRIC SYMBOLS

₹ \$2\$	SPIGLE POLE SYNTCH THREE WAY SWITCH
Ā	DAMNER SMITCH
Э-	SINGLE RECEPTACLE OUTLET
⋺	DUPLEX RECEPTACLE OUTLET
9=	24) VOLT RECEPTACLE
>	PHONE OUTLET
▶	CABLE OUTLET
Z	ECHAUST FAN
en.	LIGHT WITH E FAN
ව	SMOKEMENT DETECTOR
8	GARAGE DOOR OPENER
	ELECTRIC PANEL
>	CELLING WOUNTED LIGHT

OFC PULCHANLIGHT RECESSED LIGHT

CH WALL MOUNTED LIGHT ☑H WAL MOTION DETECTOR LIGHT RORESCENTUGHT @ BARUGHT

MISC. SYMBOLS

---- ROORUNE ABOVE STRUCTURAL BEAUMEADER
OR GROER TRUSS

DRAWING LIST

F-0 11 4	TO-ARRIGA C
A0	Cover Page
A1	Elevations
A.2	Elevations
A.3	Foundation Pla
A.4	Main Floor Plan
A5	Building Section
A6	Detail
E.1	Electrical
F.1	Floor Covering





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CONSTRUCTION. NO WARRAMITIES EXPRESS OR
REPLIED NICLUSING CORPLIANCE WITH THIS
PLAY WITH APPLICABLE BUILDING CODES
REPORSEPHENT ARE MADE.

CORENA.
 A. ALL CONSTRUCTION AND MATERIA'S SHALL WIET OR EXCEED INC 2005, LOCAL BUILDING CODES MAY HAVE
DIFFERENT SPECEPLATIONS AND RECURRENCING THAN WHAT IS LISTED IN THE RECOVE, THESE LOCAL
RECURRENCING MAIL SPECESSER THE RECOVE SET FLECKED BUILDING DEPARTMENT FOR CHANGES.

B. CONTRACTION TO COME FIRST RECOVER SHALL AND SPECESSES OF LUBBERS OF LALL STRUCTURES AND FRANCH

BERGESS. ANY STRUCTURES AND PREVAINED WEBSELDS FOR DEPARTMENT PARK TO BE STEED IT OMNOCONTRACTOR.

C. THE OWNOCONTRACTOR SHALL AND SHALL AND SHALL BUILDING RECOVERS TO THE STEED SHALL BUILDING REVOLUTIONS.

THE PROPERTY OF THE STRUCTURES AND THE STRUCTURE SHALL BUILDING BUILDING REVOLUTIONS.

THE OWNOCONTRACTOR SHALL BUILDING REVOLUTION OF THE STEED SHALL BUILDING REVOLUTION OF THE STATE OF THE BUILDING OF THE STRUCTURE OF THE BUILDING OF THE

GENERAL CONSTRUCTION NOTES

- 2. DESCRICENTERA
 A BULDING ALD STRUCTURES, AD ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS,
 INCLUDING DEPOLODES, LIVELONDS, PROFILODES, PLOCOLODES, SHOW LOODS, WINDLOADS, AND SESSINCLOADS.
- AS PRESCRIBED BY THIS CODE (R371.1)

 B. TABLE 331.2(1) IRC 2X/6, VALUES BASED FROM THE CITY OF DESIMONES, KWA. | CO15|| 40 2005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 1005 | 100

	30,705	90		52.676	c c	+617	MOELLE	4F	162	134	1530	€1.5
C.	VANA	NUMEU	DADS, (R30)	LS) IRC 2006			rear	UM ROOF!	NELOADSRX	1.6JERC 20	06	
	ATTIC	MIHLM	TED STORA	GÉ		20 PSF	ROOF	TRUSSEM	ELOADAri		201	PSF
	ATTICY	NUCHTIN	STORAGE			10 PSF	GR01	IND SNOW	² 0)		301	PSF
	DECKS					4) PSF	FLAT	ROOF SHOW	V (Pt)		241	PSF
	EXTER	OR EALC	ONES.			60 PSF						
	GUAPD	RAL AND	HANDRAL	ŝ		200 PSF	THER	MAL CONDI	non		Ct:	= 1.0
	ROOM	OTHER TI	WH SLEEPS	NG ROOMS		40 PSF	TERR	AN EXPOSI	IRE		В	
	SLEEPE	NG ROOM	IS			30 PSF	DURA	TION OF LO	AD-SNOW		1.1	5
	STAIRS					40 PSF						
	DEG EC	TION CRI	15051				LNBA	LANCED AN	D SNOW DRIFT	LOADING		
		MELOA				1,480	ACCO	FEING TO A	SCE 7-05			
		TOTAL LO				L/362						
		MELOAD				L/360	WAD	DESIGN NE	THOD: 1	MFRSC-0	HIBRED	ACSE 7-05
		OTAL LOA				1/240	E/P0	SURE CATE	GORY		8	
	KOOF I	OTHER TON	40			17247	DIEDA	TION OF LO	to staro		1 22	

		DOMAING OF LOND-HIPE	1.02
ALL BEAMS SUPPORTING FLOOR OR ROOF TO BE DESIGNED WITH THE ABOVE DEFLEC			
D. DEAD LOADS ANY ADDITIONAL OR CHANGES TO	MATERIAL NEEDS TO	BE ADJUSTED TO THE BELOW CALCULATIONS.	
FLOOR-TOP CHORD		ROOF-TOP CHORDS	
CARPET AND PAD	1.5 PSF	ROOFING-SHINGLES(220 LBS) 2 LAYER	4.40 PSF
3/6" CERAMIC TILEAM" BACKER BD.	10 PSF	30LBS.FELT	0.30 PSF
34" HARDWOOD FLOOR	4.0 PSF	1/Z* OSB OR COMPLYWOOD	1.65 PSF
SUBPLOOR-3/4" OSB OR COM-PLYCOD	2.0 PSF	1/2 ROOF TRUSS-2X4	1,10 PSF
1/2 FLOOR TRUSSILIOIST SYSTEM	1.5 PSF	COPRECTION FOR SLOPE (12/12)	1.55 PSF
TOTAL WITH CARPETIPAD	5.5 PSF	TOTAL	9.00 PSF
TOTAL WITH TILEBACKER BD.	13.5 PSF		
TOTAL WITH HARDWOOD FLOOR	7.5 PSF	ROOF-BOTTOM CHORDS	
		1/2 ROOF TRUSS-2X4	1,10 PSF
FLOOR-BOTTOM CHORD		5/4" GYPBOARD	2.8 PSF
1/2 FLOOR TRUSSA-JOIST SYSTEM	1.5 PSF	VINAMAN FOR VASC NECHARCAL/ELEC.	1.5 PSF
5A* GYPBOAPD	2.8 PSF	15" BATTIELOWN INSULATION	1.60 PSF
WANTAUN FOR MISC MECHANICALIEL EC.	0.7 PSF		
TOTAL	E A DOC	TOTH	7 66 000

1. ROOM RECURRENAINS

A CELINO HEART (RISK) I (MERTINALE ROOMS, MALINAN'S, CORRODORS, BATHROOMS, TOLET ROOM LAUGHER ROOMS, AND ASSEMBLIOS SHYLL HAVE A CREINO HEART OF MOTILESS THAN I FEET. THE REQUIRED HEARTH IS MEASURED FROM PRISAN FROM TO THE LOWEST PROJECTION FROM THE CELING.

- CHECK PROMISE CHECK SHOWS CHECK SHOWS HAVE THE CREINING.

- CLEIN FOR HEARTH SHOWS CHECK SHOWS BUT PROJECT WITH HEET RINGES OF ROWSHED A COR.

- CLEIN FOR HEARTH SHOWS HAVE THE SPICES OF THE RESPONSED FOR AREA OF THE RESPONSED FOR THE RESPONSED FOR AREA OF THE RESPONSED FOR THE RESP

CLEAR NAY HARZONIAL DURINSON. THE UNIXOU MEAN OF MY HARTHAGE ROOM SHALL NOT BE LESS THAN TO SO.

FEET, DECENT THORSH SHALL,

LIGHT AND VENTLATION (RISSIS) HARTHAGE ROOMS, ROWDE MATURAL LIGHT, AND VENTLATION HARTHAGE ROOMS.

HARDONS AND ROOMS SHALL NOT BE LESS THAN IS OF THE PLOOR READ OF EACH ROOM, IN THE REQUIRED WHO DOWN AREA

SHALL BE OFFERHE TO THE DETEROR FOR VENTLATION, BATHEROOMS MAY HAVE AN OPERALE ROOM OF 15 S.F. IN

FEAR A NOR-HITERIAE ROOMS, PALLODED BATHEROOMS, MAY BE VENTLATED WITH SHOWN IT FAN AND HARTHAGE LIGHT.

BURGENCY ESCAPE KNOOWS, BIANG BEASHORT AND EACH SEEPING AREA SHALL HAVE AN EUROSCHIC FEALURE

HOROOM TRAITS ALESSAT ZIN WHOM THEIGH, ZIN HITERIATING HARD OFFER OFFER AND REAGNED AT

LEAST 3. SOURCE FEET IN AREA. LESCAPE WINDOWS SHALL ER INSTALLED MITH A SELL HEISHIF OF BOMPOET CHAIL AND

CAPACITY FOR CORRESS MONOW MISSIANS FROM SCENARIAM OF 57 YAN DONDOOD OWNERS OFT, OF HET

CLEAR AREA. LODGESS AREA ESCAPE WINDOWS SHALL EN AND HARD AND SHALL BE AND OFT IT WINE.

LIDNOR ENCORPORATION.

CLEAR APEL LODGES ARE RECURSED FINE WILL IS OFFER HO DEET, LODGES SWILL BE ANNLO FIT? WIDE

BLINDN'S REPORTED STATE OF THE WIDE APEL WITH AN ACCESS DOOR AT LEAST 27 X X YN SIZE LOCATE

IN EXCESS (RISIN) RANDE ACCESS TO ATTICE SPACE WITH AN ACCESS DOOR AT LEAST 27 X X YN SIZE LOCATE

IN EXTREME ON THE WITH A STATE AND A STATE AND

FOUNDAMENCOUNCETE

A NARSALIREA Y DO MAYE DEPAISANC COMPRESSELE, BHITING OR OTHER UNKNOWN SIGL CHRACTERISTICS, THE BUILDING OFFICE AND A SIGL CHRACTERISTICS, THE BUILDING OFFICE AND A SIGL CHRACTER OF ZOO PRIS ASSULDED.

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ALL FOOTION SHALL BE AND STEP AND STEP OFFI AND CONTROL.

CALL FOOTION SHALL BE A SIGH FUELDING AND THE WIDE AND THE PAID OFFI AND THE PAID

TO MIDE A DIDEP FOR A 2 STOKE BUILDING AND TO THE A 5 DEEP FOR A 5 STOKE BUILDING GROUP AND ASSESSMENT OF THE ASSESSMENT AND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS
ALL ANCHOR BOLTS SHALL BE 12" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE. USE TWO BOLTS A REASON FOR THE PURPOSE OF THE PROPERTY OF THE PERFORMANCE OF THE PER NOT COLLEGIO DE CELEGIO DE CELEGI ACCEUMBARCO DE QUARTENAÇÕO

L TRUSSES SHALL BE CONNECTED TO WALL BY USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLET OF NOT LESS THAN ITS PROMOS AND PER THE MUNIFICATIONS DESCRIPTIONS.

IN PROTECTION PROVIDED AT SHALL BE PROVIDED IN THE POLLOWING CONTINUE BY THE USE OF NATURALLY DURVALLE OR PRESENTANT TEXTED LINEAGE.

(BY THE SHAPE WAS THE TEXTED LINEAGE.

1. THE OBJECT OF THE SHAPE OF CONNECTIES ALSO FROM A THAT IS THE GROUND UNLESS SEPARATED FROM SHAPE ON A CONNECTIES ALS THAT IS IN DISPECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SHAPE ON A GROWN DISPOSITION SHAPE AND A SHAPE

AR ARTHE SHEATHING
A RORE FLOOR FLOOR AND WALL SHEATHING
A ROLL STIDES
AND ALL ST

FOOR CELLIG AND THE CLEAR SPAN

FOOT OBLIGHT THO DEVELOPING BLOOM

1. THE EDIDS OF MOOD GREET ENTERING ENTERING ENTERING CONCRETE WALLS HAVING CLEARANCE OF LESS THAN 5 INCH ON TORS, SISSE JAMP BOSS.

4 WOOD SERVIS, SHEATHEN AND WALL FRAWING ON THE ENTERING OF A BILLIONS HAVING ALCLERANCE OF LESS THAN 16 SHEADERS FROM THE GOOD BOOD ON THE SHEADER SHEAD

NOT FOR CONSTRUCTION

THESE ARE PLANS ARE CONCEPTIONAL PLANS AND HAVE NOT BEEN APPROVED AS A BID SET OR FOR CONSTRUCTION

Classic Builders Aadison Base Plan-B Villas at Stonehaven Madison F Villas at S

PROJECT ID: PDS 3006

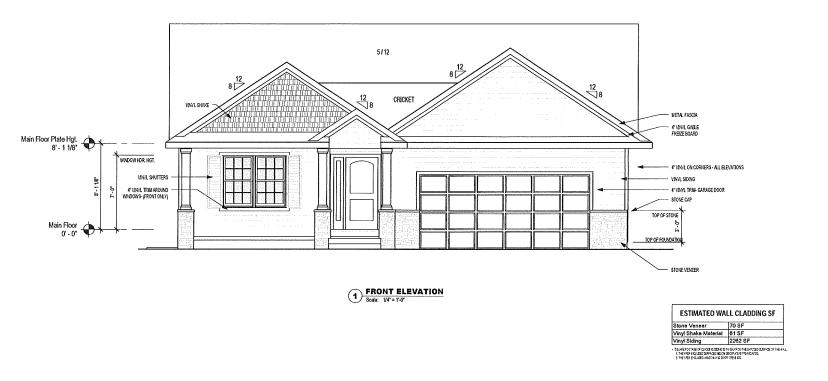
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1100 ALKE'S ROAD, WALKEE, KIMA 50263-1100
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Classic Builders Madison Base Plan-B Villas at Stonehaven

PROJECT ID: PDS 3006

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DATE:

Elevations 1/4" = 1'-0"



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Classic Builders Madison Base Plan-B Villas at Stonehaven

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REVISIONS:

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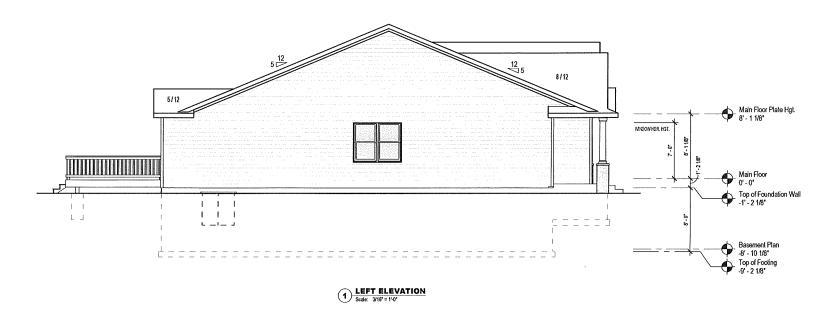
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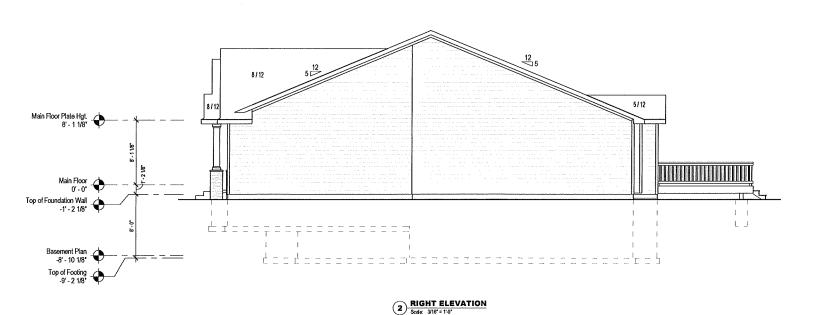
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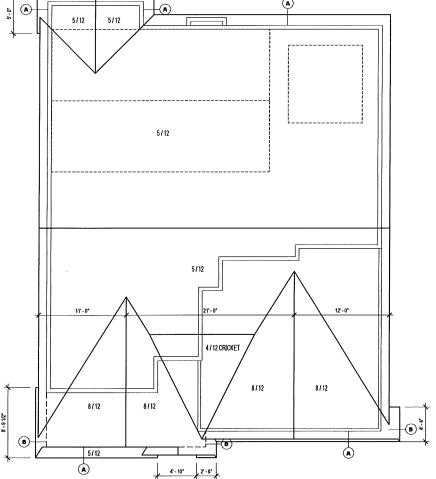
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Elevations
As indicated

A.2







ESTIMATED ROOF SF

2820 SF

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ELECTRIC SYMBOLS

SENGLE POLE SWITCH THREE WAY SMITCH DAMLER SWITCH SENGLE RECEPTABLE OUTLET

DUPLEX PECEPTACLE OUTLET 243 VOLT RECEPTACLE PHONE OUTLET EDHAUST FAN LIGHT WITH E FAN

SHOKEHEAT DETECTOR GARAGE DOOR OPENER BLECTRIC PANEL

CELLING MOUNTED I CELLING MOUNTED LIGHT OFC PULLCHANUSHT

© RECESSED LIGHT

OH WALL MOUNTED LIGHT ☑→ W.M. MOTION DETECTOR LIGHT R. ORESCENT LIGHT

MISC. SYMBOLS

FROST PROOF HOSE BIB ---- ROORINEASONE STRUCTURAL BEAUMEADER
OR GEDER TRUSS

DRAWING LIST

Bevations
Evations
Foundation Plan
Main Floor Plan
Building Sections
Detail
Electrical
Floor Covering





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GENERAL CONSTRUCTION NOTES

GENERAL
 A ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IRC 24/4, LOCAL BUILDING CODES MAY HAVE
 AUTOMORPH COCCEPTATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE RICZY/S, THESE LOCAL

2. DESIGN ORTHERA

A BIALDING AND STRUCTURES AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEVELOUS LIFELUIDS ROOF LOADS, ROOL LOADS, SHOWLLOADS, WIND LOADS, AND SESSIOLOADS

AS PRESCRIBED BY THIS CODE (R3V1.1)

B. TABLE 391.2(1) IRC 23/4, VALUES BASED FROM THE CITY OF DESIMONES, KNYA. GEORGE SEEST TO DANGE FROM \$5.00 BD\$PEEP F.000 AP LEAV

	100	CAP.	O TEXA	48+1484 G	PROFITE DETH	504.5	DEC#1	1249.	FEDUPED P	NACAPUS	1CE	4Et
	2012	90	4	2555	c	103943 160	ACCENCE STOLE	47 1	13	MARCH TEM	152	417
C.	ATTIC Y ATTIC Y DECKS	ATHUM	TED STORA STORAGE	1.5) IRC 2004 IGE		20 PSF 10 PSF 40 PSF 60 PSF	ROOF GROU	TUM ROOF LE TRUSS LEVE NO SNOW,P ROOF SNOW	a) ` `	1. <i>6 j</i> RC 20	06 201 301 241	SF

200 PSF 40 PSF 30 PSF 40 PSF UNBALANCED AND SNOW DRIFT LOADING ACCORDING TO ASCE 1-VS DEFLECTION CRITERIA B. OOR LIVE LOAD WAND DESIGN METHOD: MWFRS/C-C HYBRID ACSE 7-05

ROOF TOTAL LOAD	U240	EXPOSURE CATEGORY DURATION OF LOAD-WIND	B 1,60
ALL BEAMS SUPPORTING FLOOR OR ROOF L TO BE DESIGNED WITH THE ABOVE DEFLECT			
D. DEAD LOADS ANY ADDITIONAL OR CHANGES TO	WATERIAL NEEDS TO		
FLOOR-TOP CHORD		ROOF-TOP CHORDS	
CARPET AND PAD	1.5 PSF	ROOFING-SHINGLES(220 LBS) 2 LAYER	44) PSF
3/8" CERAMIC TILE/1/2" BACKER BD.	10 PSF	30 LBS, FBLT	0.30 PSF
34" HARDWOOD FLOOR	4.0 PSF	1/2" OS8 OR COM PLYWOOD	1,65 PSF
SUERLOOR-34" OSB OR COM-PLY000	20 PSF	1/2 ROOF TRUSS-2X4	1.10 PSF
1/2 FLOOR TRUSSALJOIST SYSTEM	1.5 PSF	COFFECTION FOR SLOPE (12/12)	1.55 PSF
TOTAL WITH CARPETIPAD	5.5 PSF	TOTAL	9.00 PSF
TOTAL WITH TLEBACKER BD.	13.5 PSF		
TOTAL WITH HARDWOOD FLOOR	7.5 PSF	ROOF-BOTTOM CHORDS	
		1/2 ROOF TRUSS-2X4	1.10 PSF
FLOOR-BOTTOM CHORD		5/9" GYPBOARD	2.8 PSF
1/2 FLOOR TRUSSA-JOIST SYSTEM	1,5 PSF	UNIVALAN FOR MISC MECHANICAL/ELEC.	1.5 PSF
5.6' GYPBOARD	2.8 PSF	16" BATT/ELOWN INSULATION	1.60 PSF
MINIMUM FOR MISC MECHANICAL/ELEC.	0.7 PSF		
TOTAL	5.0 PSF	TOTAL	7.00 PSF

ROOM REQUIREMENTS
 A. CELING HEIGHT (RISKS) (I MERTINE ROOMS, MULTIMATS, CORRIDORS, BATHROOMS, TOLET ROOM LAMBAR FROOMS, AND ANS SHOPPING SWILL HAVE A CILING HEIGHT OF HOT LESS THAN I FEET. THE REQUIRED HEIGHT IS MUSSINGED FROM THIS HOURS TO THE LOWEST FROM CETOM FROM THE CELING.
 DEPENDING THE BUILDING HEIGHT SHOPPING FROM THE RECORD FROM THE RECORD FROM THE RESOURCE SWILLIAM FROM THE RECORD FROM THE RESOURCE SWILLIAM FROM THE RECORD FROM THE RESOURCE FROM THE RESOURCE FROM THE RESOURCE FROM THE RECORD FROM THE RESON THAN THE RESON T

CLEAR IN ANY HORSZONTAL DUMINISON. THE UNBAWA HERA OF ANY HISTIALE ROOM SHALL NOT BELLESS TRAY TO SO, THEFT, DEEPT INDOOR HISTIALS.

LIGHT AND VENTLATION PRISISIAN HISTIALE ROOM, SPROVIDE NATURAL LIGHT AND VENTLATION HITH OFERALE HOUGH AND VENTLATION HISTIALS HAVE AND SHALL TO BE ESTEROIS FOR VENTLATION. BATHOROUS HAVE AND CREATE HOUGHOUT SEA. SHALL BE OFFERALE FOOL HIS, DOLONG BATHOONS JAW YE CHIVILITATION HITH DEPUT STAYS AND ARTHROUGH LIGHT.

BELLEGENCY ESCAPE HINDOONS (RIVIN) BASSINIST AND LIGHT SEEPING AREA SHALL HAVE AN BEREGRON'S ESCAPE HOUGH SHALL HAVE AN BEREGRON'S ESCAPE HOUGH SHALL HAVE AN BEREGRON'S HOUGH HAVE AND AND HER HOUGH THE AND AND HER HOUGH THE AND AND HER HOUGH SHEES HAVE HOUGH THE AND AND HER HOUGH SHEES HAVE AND HER HOUGH THE AND HER HOUGH SHEES HAVE AND HER HOUGH THE AND HER HOUGH THE AND HER HOUGH SHEES HAVE AND HER HOUGH THE AND HE HAVE AND HER HOUGH THE AND HER HOUGH THE AND HE HAVE AND HAVE AND HE HAVE AND HE HAVE AND HE HAVE AND HAVE AND HE HAVE AND HAVE

CLEAR REAL LOOSES ARE REQUIRED FINE WILL IS OVER AF DEEP LOOSES SHALL BE AN U. OF IT WIDE.

BUILDING ROOMERDETS

A AITO ACCESS (RAIS) ROOMER ACCESS TO AITIC SPACE WITH AN ACCESS DOOR AT LEST VEX. X' IN SIZE. LOCATE

THE ACCESS (RAIS) ROOMERDET REPRESE BAT LEST X' OF OPERA FLEAS SHACE.

B. AITIC MAST REC VERTILATED WITH TOTAL AREA OF AITIC VERTILA SHACE.

C. SHOVE ALARIS ARE RECURSED IN ALL BERMOONS, AT ALL HALLWAST LEWAY TO BERMOONS. AND AT EXCHLENG

BUILDING DEPARTMENT, GROVE ALARIS SHALL BERMOONS, AT ALL HALLWAST LEWAY TO BERMOONS. AND AT EXCHLENG

BUILDING DEPARTMENT, GROVE ALARIS SHALL BERMOONS, AT ALL HALLWAST LEWAY TO BERMOONS. AND AT EXCHLENG

BUILDING DEPARTMENT, GROVE ALARIS SHALL BERMOONS, AT ALL HALLWAST LEWAY TO BE SHATH BATTERY DOCK UP \$13.5

BUILDING DEPARTMENT, GROVE ALARIS SHALL BERMOONS, AT ALL HALLWAST LEWAY TO BE SHATH BATTERY DOCK UP \$13.5

BUILDING DEPARTMENT, GROVE ALARIS SHALL BERMOON SHATH MAN ALL BROWN BATTERY DOCK UP \$13.5

BUILDING DEPARTMENT AND SHALL BERMOON SHATH MAN ALL BROWN BATTERY DOCK UP \$13.5

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BUILDING DEPARTMENT OF SHATH SHATH MAN ALL BROWN BATTERY BOOK BATTERY DOCK UP \$13.5

BUILDING DEPARTMENT OF SHATH SHATH MAN ALL BROWN BATTERY BOOK BATTERY BOOK

E PROVES CLI GHITERS, DOWN SPOUTS, AND SHACH INCLASS AS NECESSAMS.

FORMATION CONCRETE

A MARKAS LIGHT YOUNG EXPANSE, COUPRESSALE, SHIFTING OR OTHER WOMAN SIX, CHARACTERSTICS, THE BILLDOW
OFFICE, SHALL HERE AND MENT IS REQUIRED, REVEL, IS AND CAPACITY OF ZOO PRISE ASSIMED.

B. CONCRETE SHALL HAVE AND MAIN STENDARD OF SOOD JANT 2D DAYS, GRACE FLOOR SLASS SHALL ES 1,500
AT 2D DAYS, PROVERES CAPACITY SUSKS AND STEPS EXPONED TO THE MEATHER WHILE 25.500 pt. AT 23 DAYS, RANGE,
CONCRETE SHALL BE REPRINANCED WHILE STAY TO THE ART CONTINUE.

CALL FRONTING SHALL BE FLOOR OF WINDOW, AND IT WIND CAN THE CONTINUE OF THE ART OF THE A

AS ANYMONOUS DAMES OF A THOUGH IN AND SHILL EXTED ANYBORN OF 7 INTO COKRETEL USE TWO DOLTS FOR SLL PLATE INTO CLIS SAME DATA ANABORNO OF RECEING THE OTHER PROPRIES OF THE OTHER DE-THAN I DROKES FROM THE DID DIT AT LESST I IN DIVESS FROM DID OF SLL PLATE (2011.), A LITEMATE FOUNDATION STAPS DIAM'RE ELEMP, SECON, AND THE OWNER DEATH OF AN EARLY TO A THE OWNER ANABORNO SILL COKRETE FOUNDATION HALL SHALL BE CONSTRUCTED AS SET FORTH IN TABLE RANA 1.1(5), REPER TO THYPICAL WALL SECTION IN THIS TALL PROS SECON, AND THE OWNER DAMES OF THE OWNER AND THE OWNER

OF FRANDS
ROOF, ROOF, AND WALL SHEATHING
WALL STUDS:
WALL STUDS:
WALL STUDS:
WALL STUDS:
WANDAM SPECIAL OF BETTER,
FOUNDAIS SHE OR BETTER,
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2. SLES AND SLEPPERS ONLOCKERETE SLAS THAT IS IN DISPECT CONTACT WITH THE GROUND ULLESS SEPARATED FROM SOURL AS ARE IN ASSISTANCE SHAPE SHAPE.

3. THE DUSS OF MOOD ORDER THIS PROPERTY CONNECTE WALLS HAVING CLEARNACE OF LESS THAN IS NOT NOT THE SUBSTITUTE SHAPE SHAPE SHAPE AND DISC.

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8. ALI FRANKO TO SE ATTACHED TO STRUCTURAL STEEL IN ACCORDANCE WITH GOVERNING CODES.

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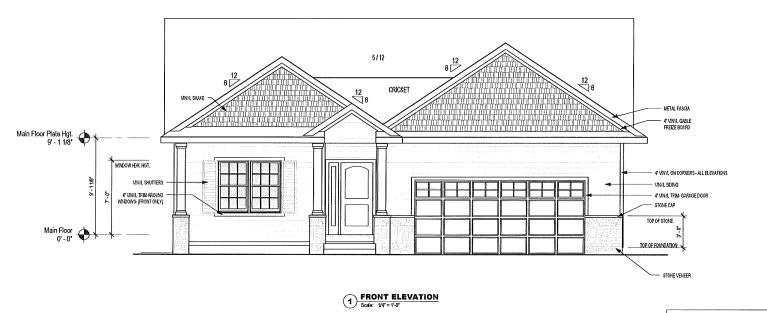
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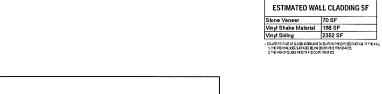
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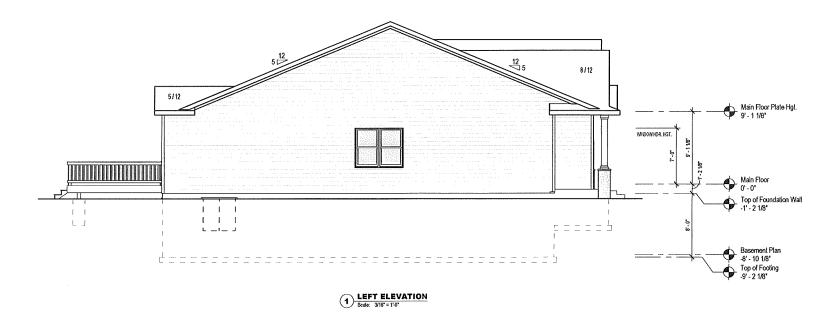
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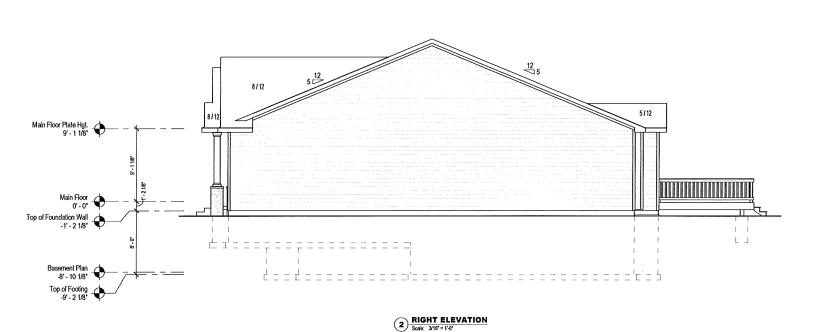


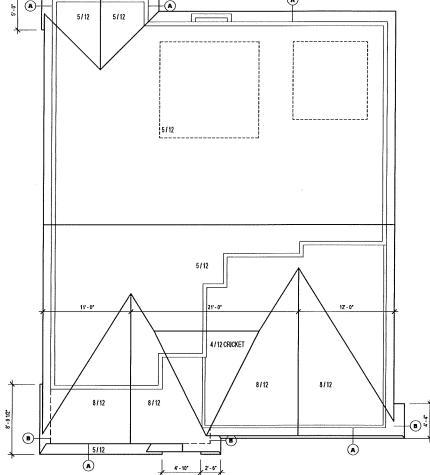
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