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CITY OF ANKENY



CIVIL ENGINEER
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ANKENY, IA 50023
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ARCHITECT AND INTERIOR DESIGNER
ETHOS DESIGN GROUP, INC.
119 SECOND STREET, PO BOX 169
POLK CITY, IA 50226
Tel. 515.984.3077

STRUCTURAL ENGINEER
SAUL ENGINEERING, INC.
604 LOCUST STREET, SUITE 202
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Tel. 515.279.3900

MECHANICAL / ELECTRICAL ENGINEER
BAKER GROUP
1600 SE CORPORATE WOODS DRIVE
ANKENY, IA 50021
Tel. 515.262.4000



PROJECT NAME:
NEW OFFICE / WAREHOUSE
BUILDING FOR METRO CROSSING
1615 SE CORTINA DRIVE
ANKENY, IOWA 50021

OWNER:
CERTAIN DEVELOPMENT

DRAWING ISSUE INFORMATION.
 ISSUE FOR : Bidding & Construction
 ISSUE DATE : 01/07/2019

MANAGEMENT INFORMATION.

PROJECT NO: 2018.100

PRINCIPAL PROJECT
IN CHARGE : TIM OLSON ARCHITECT : TIM OLSON

DRAWN BY : HRH CHECKED BY : TO

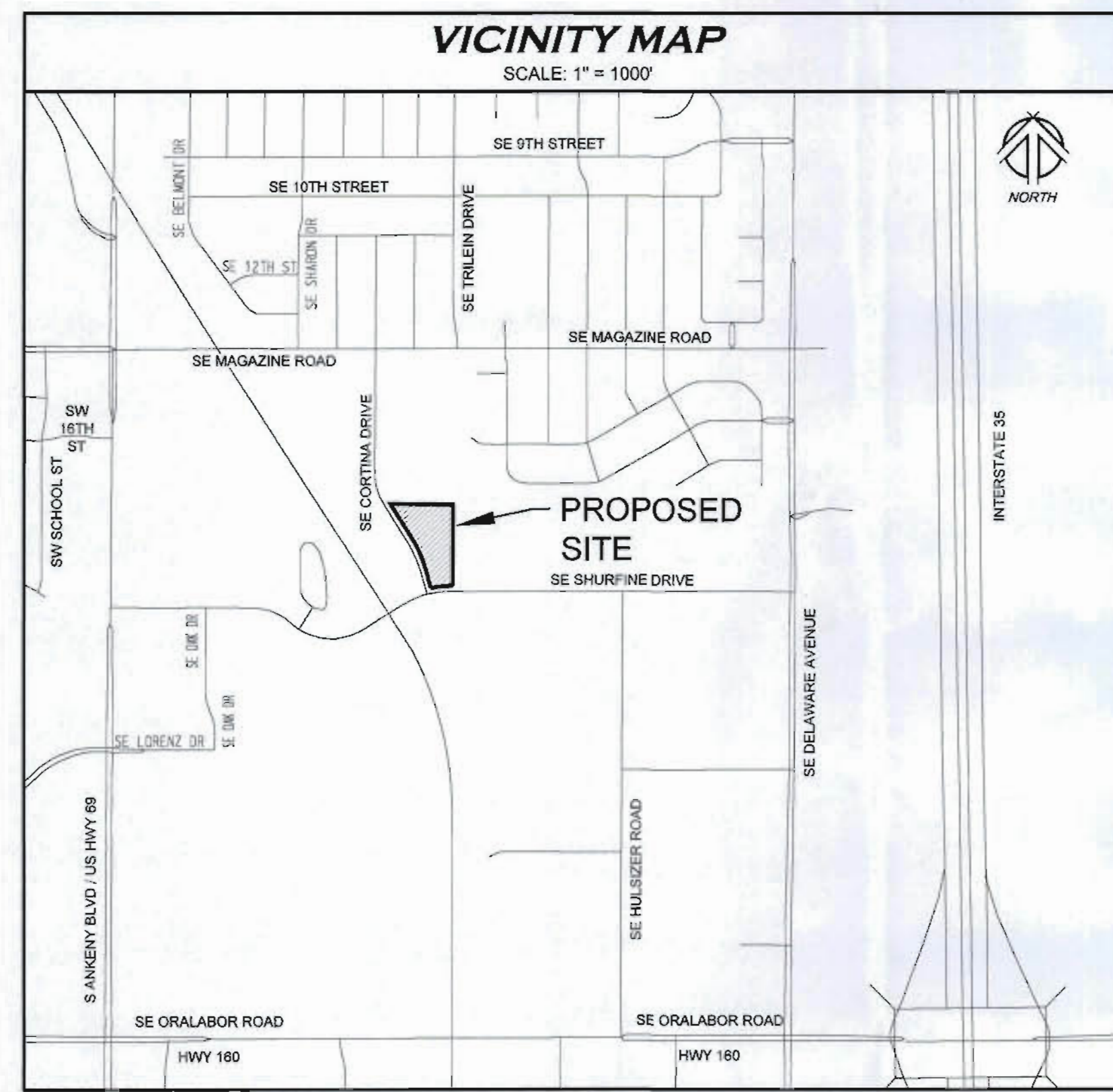
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SHEET TITLE,	
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SITE PLAN COVER SHEET

SHEET NO.

C101



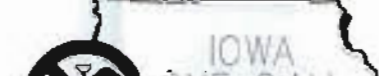
GENERAL NOTES

1. ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND:
A. CITY OF ANKENY
B. ETHOS DESIGN GROUP
2. ALL MATERIALS AND CONSTRUCTION RELATED TO WORK CONDUCTED AS PART OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE 2018 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), AND DETAILS SHOWN ON THIS PLAN UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REMOVAL, REPLACEMENT, OR REINSTALLATION OF ANY ITEM, BOTH ON- AND OFF-SITE, ADVERSELY AFFECTED BY FAILURE TO FOLLOW SAID SPECIFICATIONS, REPORTS, AND PLANS.
3. CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE INTENT OF THE WORK TO BE COMPLETED AND TO ADDRESS ANY QUESTIONS, CONCERNS, CONFLICTS, DISCREPANCY OR OTHER ISSUES THAT MAY AFFECT CONSTRUCTION WITH OWNER AND ENGINEER AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
4. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY ISSUE ENCOUNTERED DURING CONSTRUCTION THAT MAY AFFECT PROPOSED DESIGN. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
5. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
6. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF, AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING PAVEMENT, SIDEWALKS, TREES, LIGHT POLES AND OTHER EXISTING FEATURES. DAMAGE TO ANY EXISTING FEATURE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
8. THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE AND STORM DRAINS DISTURBED DURING CONSTRUCTION. RECONNECTIONS SHALL BE CONSIDERED INCIDENTAL TO PROJECT COST. NOTIFY CITY OF ANKENY AND NILLES ASSOCIATES PRIOR TO RECONNECTION SO THAT LOCATION OF RECONNECTION CAN BE DOCUMENTED AND INCLUDED ON RECORD DRAWINGS. REPAIRS TO TILE LINES ARE TO BE VERIFIED BY CITY OF ANKENY PERSONNEL.
9. DETAILS AND NOTES INCLUDED WITHIN THESE PLANS SHALL BE USED FOR CONSTRUCTION. FOR ITEMS WITH NO DETAILS OR NOTES INCLUDED WITHIN THIS PLAN SET, FOLLOW SUDAS DETAILS AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION.
10. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCY IS FOUND, NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING.
11. COORDINATE ALL WORK ACTIVITIES WITH ANY OTHER CONSTRUCTION PROJECTS IN THE AREA.
12. ANY DAMAGE TO PROPERTY THAT OCCURS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES OR ACTIONS SHALL BE REPAIRED AND RESTORED IN KIND, AT NO ADDITIONAL COST.
13. THE CONTRACTOR SHALL PROTECT AND/OR PROVIDE SUPPORT TO UTILITY POLES NEAR CONSTRUCTION ACTIVITIES AS REQUIRED.
14. FOR ALL WORK, THE CONTRACTOR SHALL PROVIDE ALL FIELD QUALITY CONTROL AND TESTING AS PER SUDAS. PROVIDE ENGINEER TESTING RESULTS.
15. PROVIDE TO THE PROJECT ENGINEER, ALL SHOP DRAWINGS FOR MATERIALS INCORPORATED IN THE WORK SUPPLIED BY THE CONTRACTOR.
16. THE CONTRACTOR SHALL FOLLOW THE STORMWATER POLLUTION PREVENTION PLAN PREPARED FOR THIS SITE.
17. CONTRACTORS ON-SITE SHALL BE RESPONSIBLE FOR DAILY CLEAN-UP OF SEDIMENT AND DEBRIS TRACKED OR WASHED ONTO PUBLIC RIGHTS-OF-WAY AND AREAS OUTSIDE PROJECT LIMITS.
18. DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY ETHOS DESIGN GROUP (TM OLSON / 515-984-3077) AND THE ENGINEER (NILLES ASSOCIATES / 515-955-0123) BEFORE THE SITE IS FURTHER DISTURBED.

EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

The logo for Iowa One Call is located in the bottom right corner. It features a black circle with a diagonal slash over a white outline of the state of Iowa. Inside the state outline, the text "IOWA ONE CALL" is written in a sans-serif font. Below the state outline, the phone number "1-800-252-8966" is printed.

SPECIFICATION REFERENCE

THE 2018 URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (SUDAS) AND THE CITY OF ANKENY STANDARD SPECIFICATIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

CONSTRUCTION SCHEDULE

SITE GRADING	SPRING 2019
UTILITY INSTALLATION	SPRING 2019
BUILDING CONSTRUCTION	SPRING-FALL 2019
SIDEWALK INSTALLATION	FALL 2019
FINISHED GRADING - LANDSCAPING	FALL 2019

PROJECT SUMMARY

SITE ADDRESS
1615 SE CORTINA DRIVE
ANKENY, IA 50021

SITE INFORMATION
TOTAL SITE AREA: 2.00 ACRES (87,136 SF)
PROPOSED USE: COMMERCIAL MIXED USE
FOOTPRINT: 20,052 SF

PARKING INFORMATION
TENANT 1 OFFICE USE : 6,519 SF MAIN FLOOR + 4000 SF MEZZANINE
REMAINING BUILDING TENANTS: 80% STORAGE / WAREHOUSE
20% OFFICE USE
REQUIRED PARKING:
OFFICE COUNTED AT 1 STALL PER 300 SF ASSUMING 50% OF OFFICES ATTRACT CUSTOMERS (1 PER 200 SF) AND
50% ATTRACT LITTLE OR NO CUSTOMERS (1 PER 400 SF)
TENANT 1 AT 1 STALL PER 300 SF = 35
REMAINING SPACE = 13,533 SF
20% OFFICE = 2,707 SF AT 1 STALL PER 300 SF = 9
80% WAREHOUSE = 10,826 SF AT 1 STALL PER 5,000 SF = 3
TOTAL PARKING REQUIRED = 47
TOTAL PARKING PROVIDED: 54 STALLS INCLUDING 3 ACCESSIBLE STALLS
16 OPTIONAL FUTURE PARKING STALLS PLANNED NORTH OF THE BUILDING.
TOTAL PARKING POSSIBLE WITH OPTIONAL STALLS ADDED = 70 STALLS.

OPEN SPACE INFORMATION
ON SITE PCC SIDEWALK & STOOPS: 3,349 SF
OFF SITE DRIVEWAY: 1,829 SF
PARKING AREA ON LOT: 33,163 SF
OPEN SPACE: 33,921 SF (38.9%)
GREENSPACE: 30,572 SF (35.0%)
IMPERVIOUS SURFACE: 56,564 SF
ERU'S = 15 (56,564 / 4,000) ROUNDED TO HIGHER WHOLE NUMBER

PROPERTY ZONING
CITY OF ANKENY: M-1 LIGHT INDUSTRIAL DISTRICT

RESTRICTIONS (I.E., BUILDING SETBACKS, HEIGHT AND BULK REGULATIONS, ETC.) SHOWN HEREON ARE BASED ON
INFORMATION PROVIDED AND ARE SUBJECT TO INTERPRETATION. WE CANNOT CERTIFY TO A RESTRICTION ON
THE BASIS OF AN INTERPRETATION OR THE OPINION OF ANOTHER PARTY.

BULK REGULATIONS:
FRONT SETBACK: 50 FEET
REAR SETBACK: 40 FEET
SIDE SETBACK: NONE REQUIRED, EXCEPT WHEN ADJACENT TO ANY P DISTRICT OR STREET RIGHT-OF-WAY
LINE, IN WHICH CASE 40 FEET

DEVELOPER
ETHOS DESIGN GROUP, INC.
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PROPERTY OWNER
CERTAIN HOLDINGS LLC
C/O TIM OLSON
119 2ND STREET
POLK CITY, IA 50226
PHONE: (515) 984-3077

SHEET LIST TABLE

SHEET TITLE	DESCRIPTION
C101	TITLE SHEET
C102	SITE OVERVIEW
C103	DIMENSION PLAN
C104	GRADING PLAN
C105	UTILITY PLAN
C106	LANDSCAPE PLAN
C107	SITE DETAILS

LEGEND

Existing / Proposed		Existing / Proposed	
● ▲	Found monument 5/8" IR with red cap #18530 unless otherwise noted	1234 1234	Address
○ △	Set monument 5/8" IR with red cap #18530 unless otherwise noted	900.2 900.2	Spot elevation
IR	Round iron rebar	⊗ ⊗	Sanitary sewer manhole
IP	Round iron pipe	⊗ ⊗	Cleanout
PCC	Portland cement concrete	⊗ ⊗	Storm sewer manhole
ACG	Asphaltic cement concrete	⊗ ⊗	Storm sewer intake
FL	Pipe flowline elevation	⊗ ⊗	Storm sewer baffle
RCP	Reinforced concrete pipe	⊗ ⊗	Flared end section
CMP	Corrugated metal pipe	⊗ ⊗	Water hydrant
CRP	Corrugated plastic pipe	⊗ ⊗	Water valve
PVC	Polyvinyl chloride pipe	⊗ ⊗	Water service shut-off
CIP	Cast iron pipe	⊗ ⊗	Water main manhole
P.U.E.	Public utility easement	⊗ ⊗	Monitoring well
S.W.F.E.	Surface water flow easement	⊗ ⊗	Yard hydrant
S/B	Back of curb to back of curb	⊗ ⊗	Well
---	Subject boundary line	⊗ ⊗	Gas meter
---	Section line	⊗ ⊗	Gas valve
---	Proposed boundary line	⊗ ⊗	Air conditioning unit
---	Existing boundary line	⊗ ⊗	Electric manhole
---	Future boundary line	⊗ ⊗	Electric meter
---	Underlying boundary line	⊗ ⊗	Electric pedestal
---	Proposed easement line	⊗ ⊗	Electric transformer
---	Existing easement line	⊗ ⊗	Utility hand hole
---	Setback line	⊗ ⊗	Utility pole
---	Barbed wire fence line	⊗ ⊗	Utility pole with light
---	Chainlink fence line	⊗ ⊗	Light pole
---	Staw Wall	⊗ ⊗	Ground up light
---	Silt fence	⊗ ⊗	Guy wire
---	Sanitary sewer & size	⊗ ⊗	Traffic signal
---	Storm sewer and size	⊗ ⊗	Traffic signal with light
---	Water main and size	⊗ ⊗	Traffic manhole
---	Gas main & size	⊗ ⊗	Communication pedestal
---	Overhead electric & wires	⊗ ⊗	Telephone booth
---	Overhead communication	⊗ ⊗	TV pedestal
---	Underground electric	⊗ ⊗	Billboard sign
---	Underground television	⊗ ⊗	Street sign
---	Underground communication	⊗ ⊗	Down spout
---	Contour elevation	⊗ ⊗	Tree shrub
---	Swale flowline	⊗ ⊗	Deciduous tree
---	Edge of water	⊗ ⊗	and trunk diameter
---	Edge of tree dripline	⊗ ⊗	Coniferous tree
---	Construction limits	⊗ ⊗	and trunk diameter
---	Construction fence	⊗ ⊗	

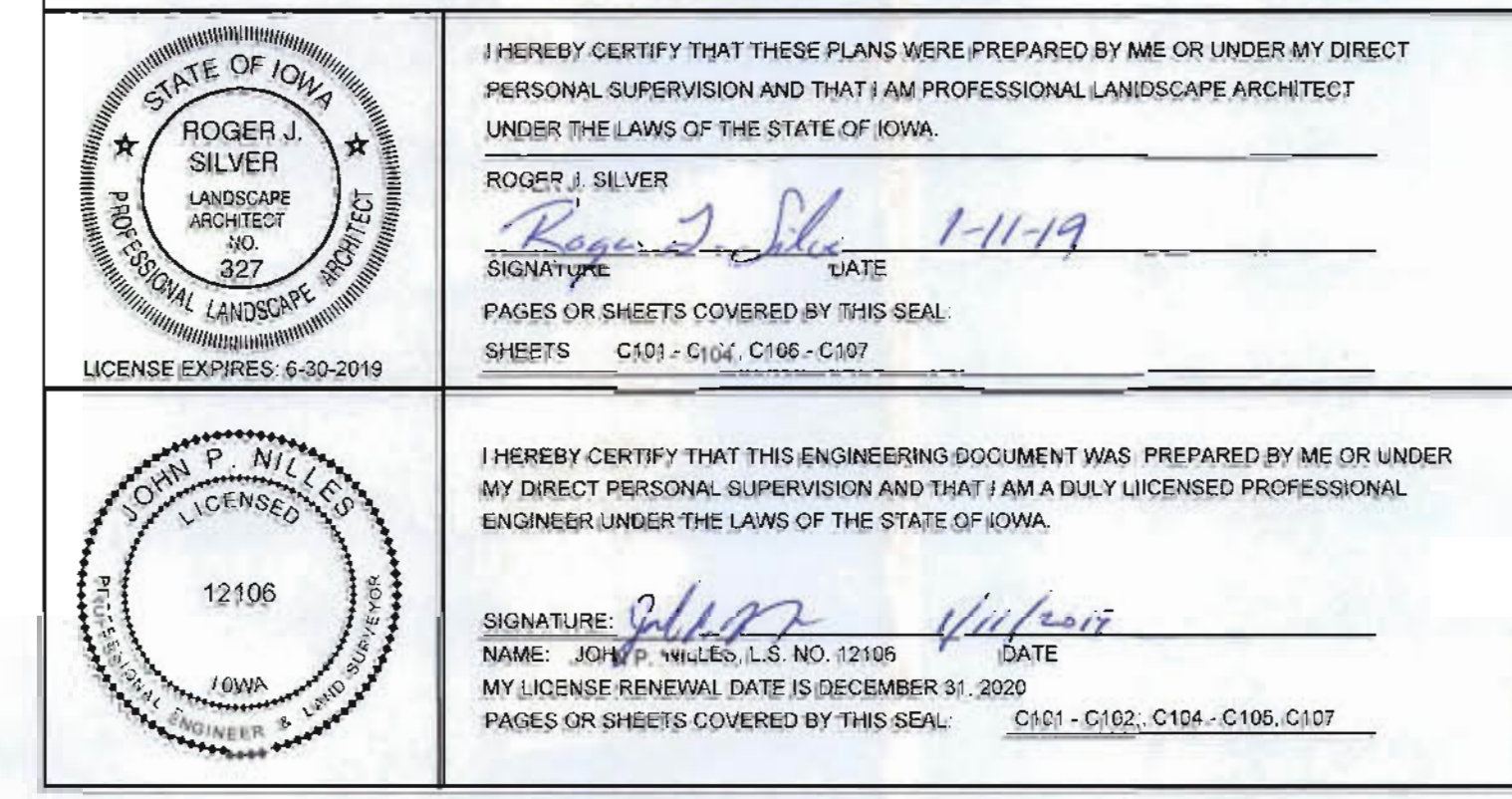
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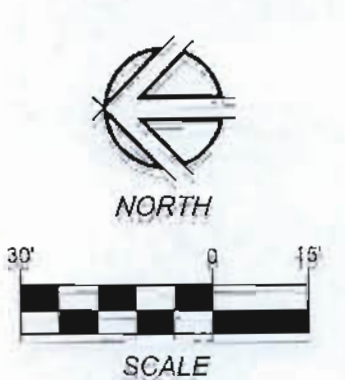
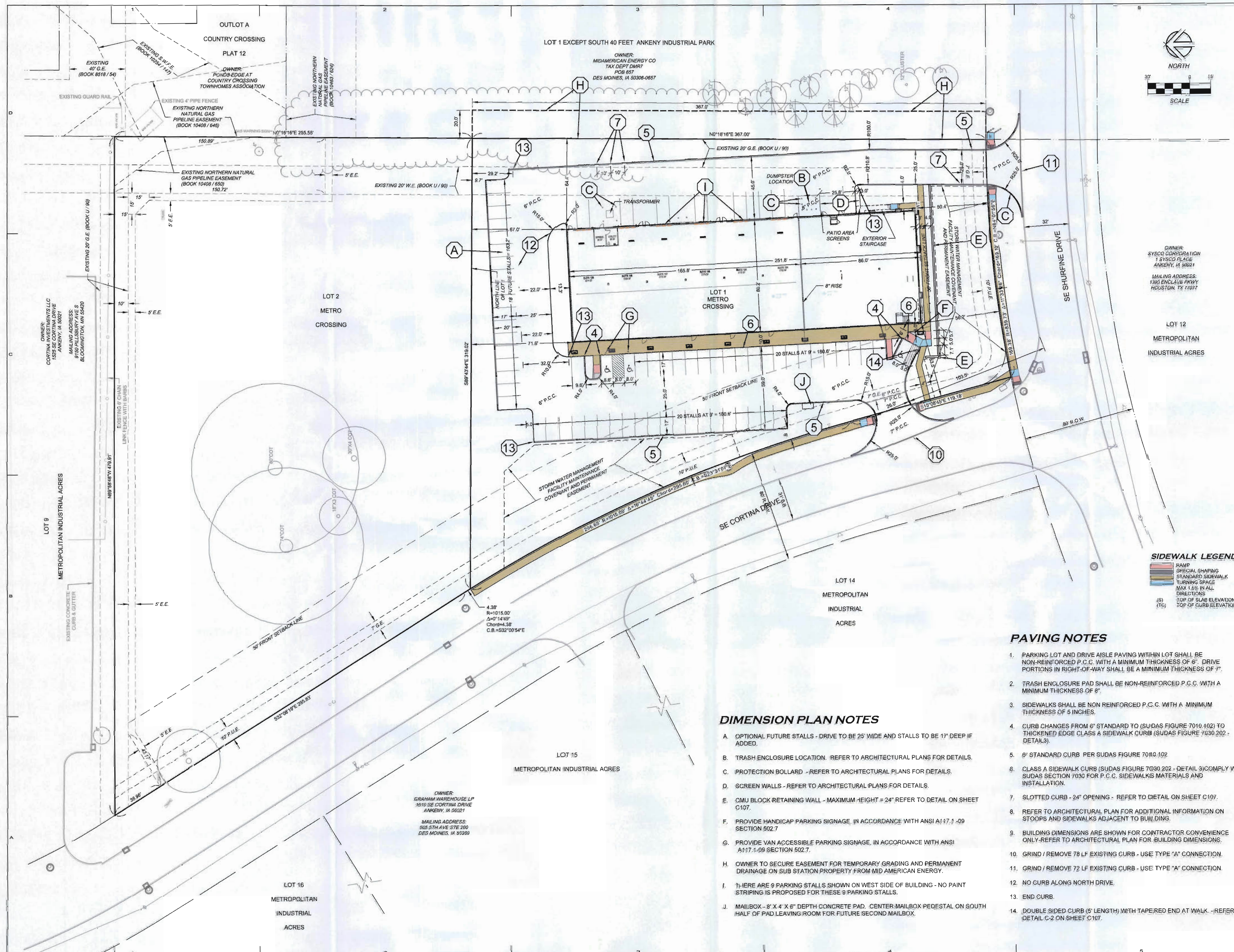
LOT 1, METRO CROSSING, AN OFFICIAL PLAT, IN AND FORMING A PART OF THE CITY OF ANKENY, POLK COUNTY, IOWA.

CONTAINING 2.00 ACRES MORE OR LESS.

SAID PARCEL IS ARE SUBJECT TO ANY AND ALL RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

CERTIFICATIONS





SIDEWALK LEGEND

[Symbol]	RAMP
[Symbol]	SPECIAL SHAPING
[Symbol]	STANDARD SIDEWALK
[Symbol]	TURNING SPACE
[Symbol]	MAX 1.5% IN ALL DIRECTIONS
(S)	TOP OF SLAB ELEVATION
(TC)	TOP OF CURB ELEVATION

DIMENSION PLAN NOTES

- A. OPTIONAL FUTURE STALLS - DRIVE TO BE 25' WIDE AND STALLS TO BE 17' DEEP IF ADDED.
- B. TRASH ENCLOSURE LOCATION - REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- C. PROTECTION BOLLARD - REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- D. SCREEN WALLS - REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- E. CMU BLOCK RETAINING WALL - MAXIMUM HEIGHT = 24" REFER TO DETAIL ON SHEET C107.
- F. PROVIDE HANDICAP PARKING SIGNAGE, IN ACCORDANCE WITH ANSI A117.1-09 SECTION 502.7.
- G. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE, IN ACCORDANCE WITH ANSI A117.1-09 SECTION 502.7.
- H. OWNER TO SECURE EASEMENT FOR TEMPORARY GRADING AND PERMANENT DRAINAGE ON SUB STATION PROPERTY FROM MID AMERICAN ENERGY.
- I. THERE ARE 9 PARKING STALLS SHOWN ON WEST SIDE OF BUILDING - NO PAINT STRIPING IS PROPOSED FOR THESE 9 PARKING STALLS.
- J. MAILBOX - 8' X 4' X 6" DEPTH CONCRETE PAD. CENTER MAILBOX PEDESTAL ON SOUTH HALF OF PAD LEAVING ROOM FOR FUTURE SECOND MAILBOX.

PAVING NOTES

- 1. PARKING LOT AND DRIVE AISLE PAVING WITHIN LOT SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 6". DRIVE PORTIONS IN RIGHT-OF-WAY SHALL BE A MINIMUM THICKNESS OF 7".
- 2. TRASH ENCLOSURE PAD SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 8".
- 3. SIDEWALKS SHALL BE NON REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 5 INCHES.
- 4. CURB CHANGES FROM 6" STANDARD TO (SUDAS FIGURE 7010.102) TO THICKENED EDGE CLASS A SIDEWALK CURB (SUDAS FIGURE 7030.202 - DETAILS).
- 5. 6" STANDARD CURB PER SUDAS FIGURE 7010.102.
- 6. CLASS A SIDEWALK CURB (SUDAS FIGURE 7030.202 - DETAIL 3) COMPLY WITH SUDAS SECTION 7030 FOR P.C.C. SIDEWALKS MATERIALS AND INSTALLATION.
- 7. SLOTTED CURB - 24" OPENING - REFER TO DETAIL ON SHEET C107.
- 8. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION ON STOOPS AND SIDEWALKS ADJACENT TO BUILDING.
- 9. BUILDING DIMENSIONS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY-REFER TO ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS.
- 10. GRIND / REMOVE 78 LF EXISTING CURB - USE TYPE "A" CONNECTION.
- 11. GRIND / REMOVE 72 LF EXISTING CURB - USE TYPE "A" CONNECTION.
- 12. NO CURB ALONG NORTH DRIVE.
- 13. END CURB.
- 14. DOUBLE SIDED CURB (5' LENGTH) WITH TAPEIRED END AT WALK. -REFER TO DETAIL C-2 ON SHEET C107.

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DRAWN BY: HRR CHECKED BY: TO

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SHEET TITLE:
**SITE PLAN
DIMENSION PLAN**

SHEET NO.

C103

GENERAL GRADING NOTES

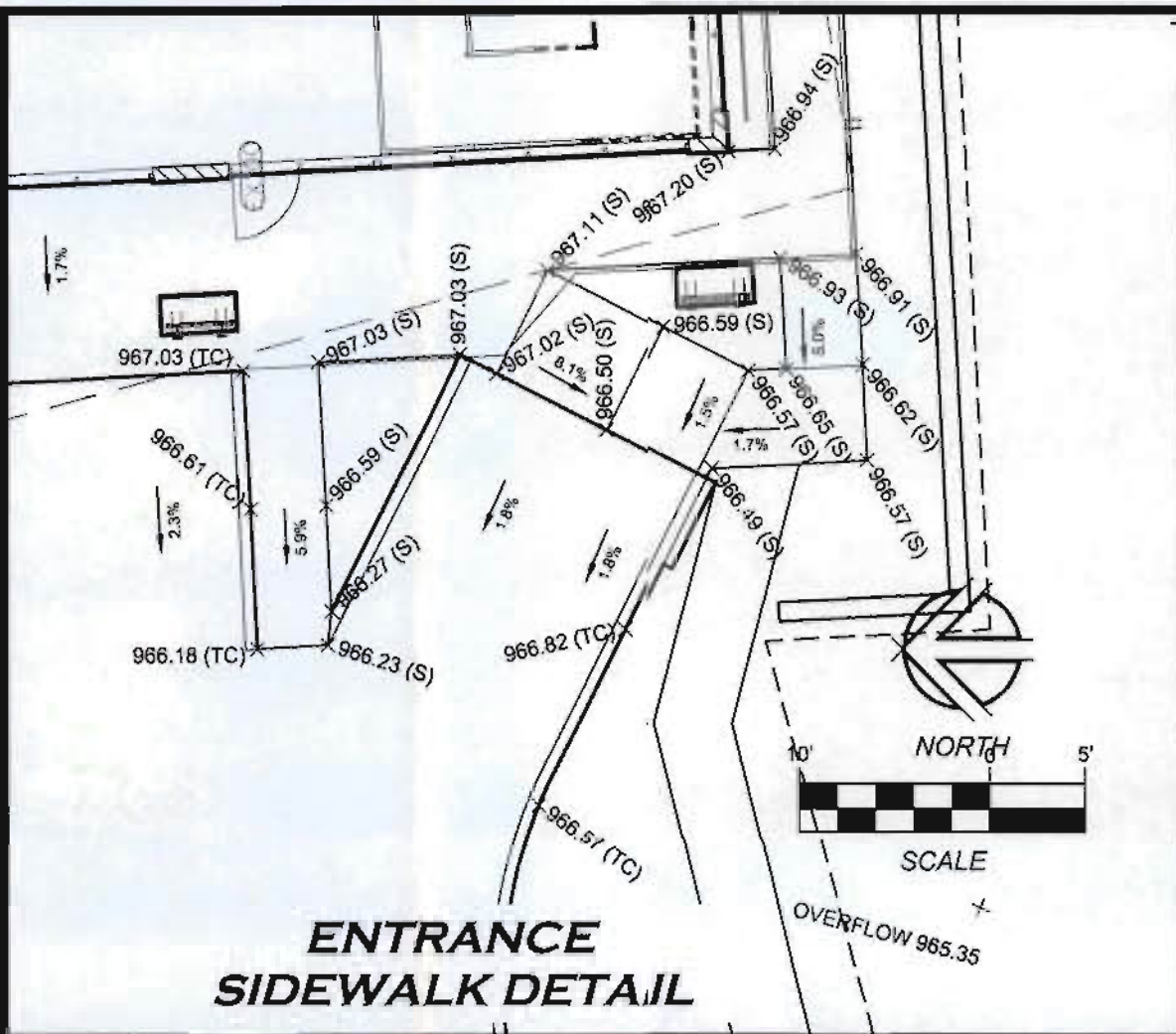
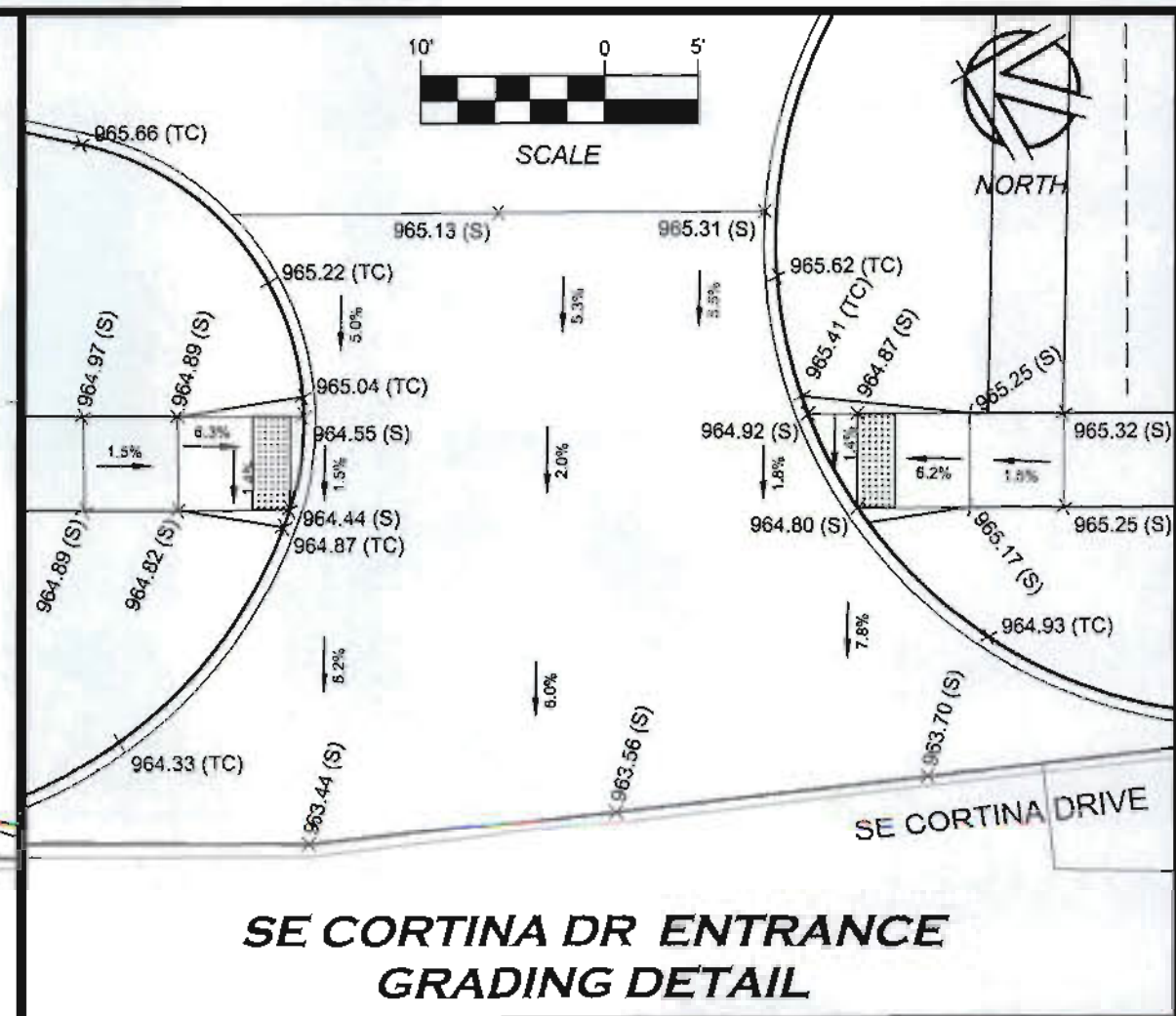
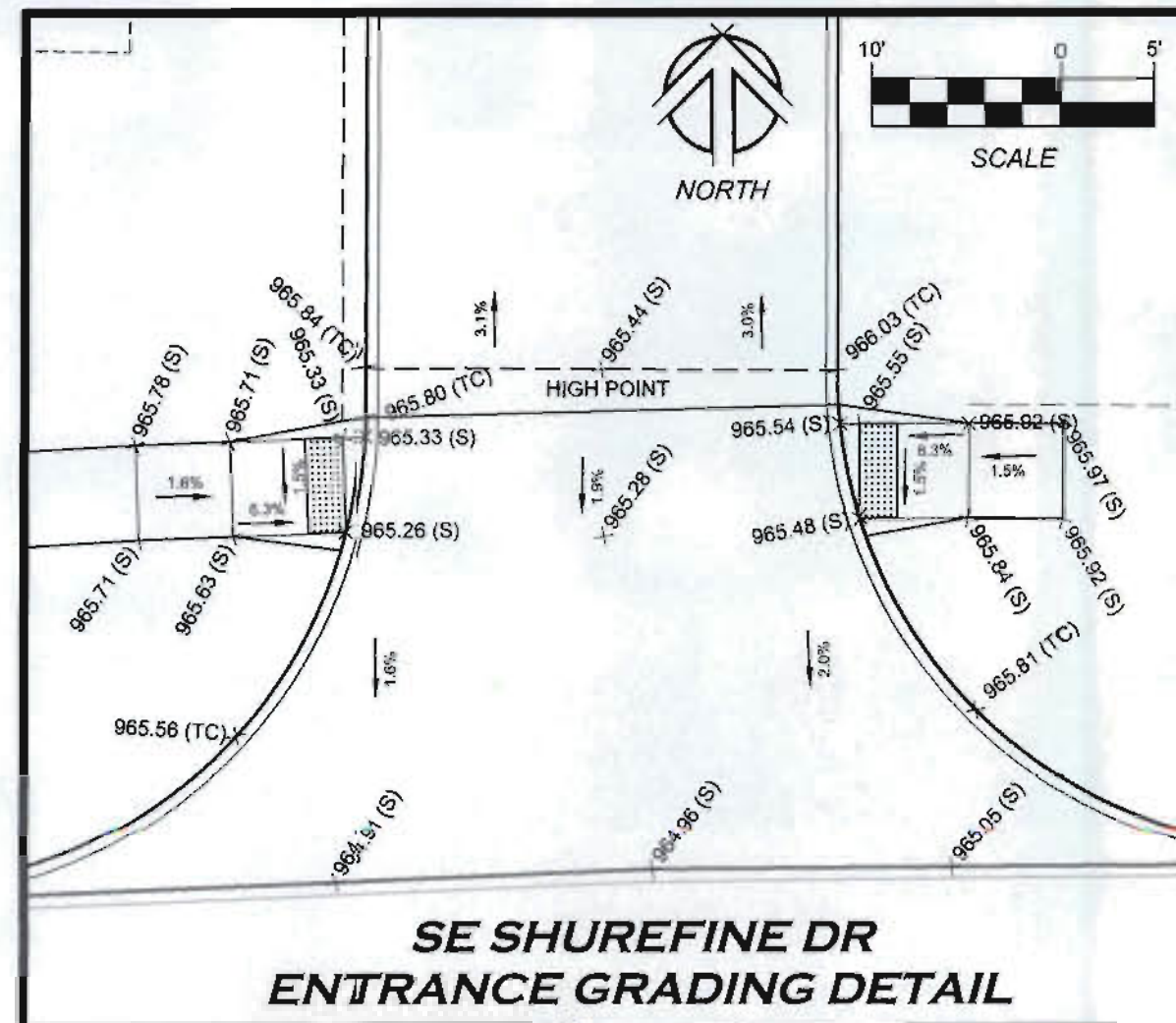
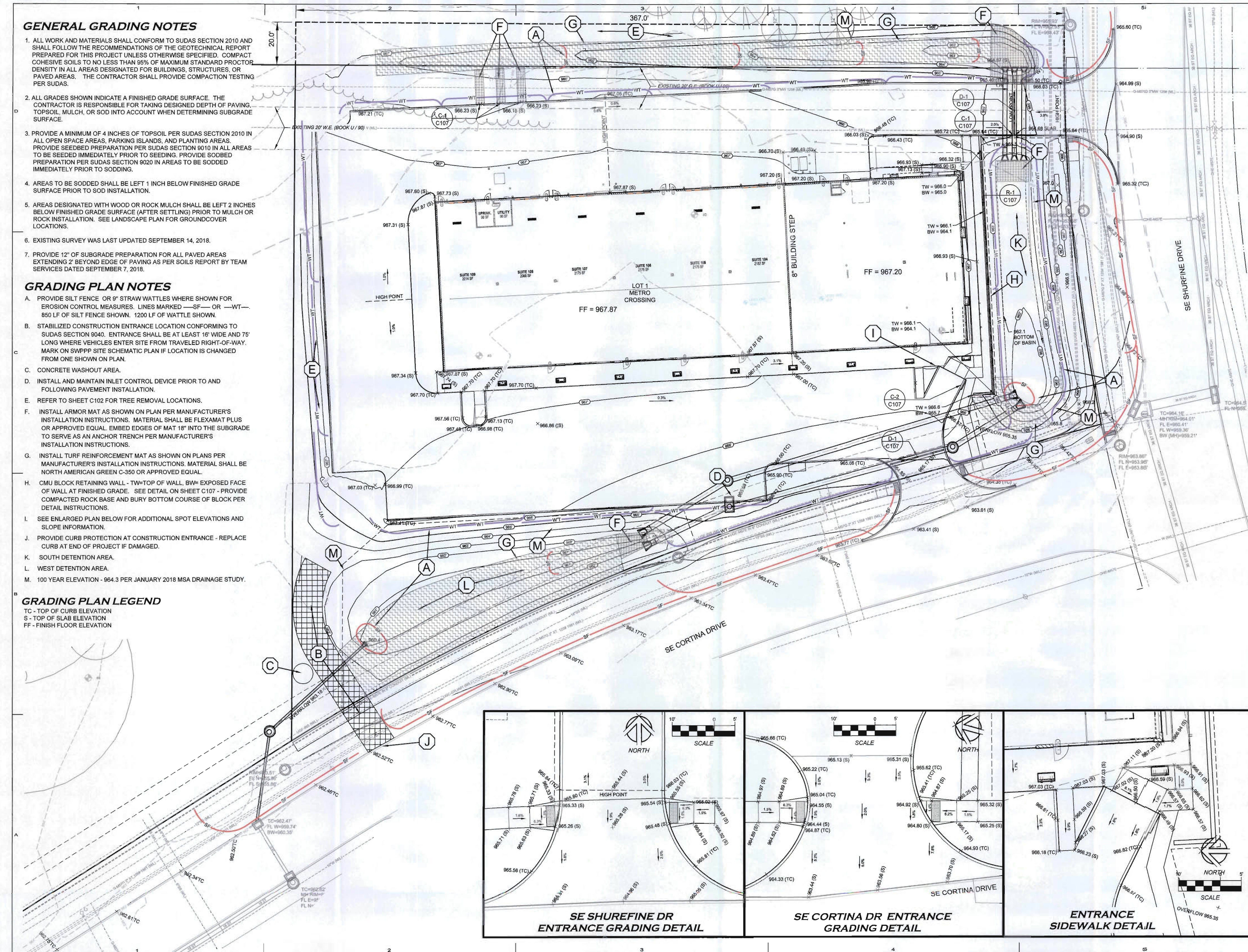
- ALL WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 2010 AND SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT UNLESS OTHERWISE SPECIFIED. COMPACT COHESIVE SOILS TO NO LESS THAN 95% OF MAXIMUM STANDARD PROCTOR DENSITY IN ALL AREAS DESIGNATED FOR BUILDINGS, STRUCTURES, OR PAVED AREAS. THE CONTRACTOR SHALL PROVIDE COMPACTION TESTING PER SUDAS.
- ALL GRADES SHOWN INDICATE A FINISHED GRADE SURFACE. THE CONTRACTOR IS RESPONSIBLE FOR TAKING DESIGNED DEPTH OF PAVING, TOPSOIL, MULCH, OR SOD INTO ACCOUNT WHEN DETERMINING SUBGRADE SURFACE.
- PROVIDE A MINIMUM OF 4 INCHES OF TOPSOIL PER SUDAS SECTION 2010 IN ALL OPEN SPACE AREAS, PARKING ISLANDS, AND PLANTING AREAS. PROVIDE SEEDBED PREPARATION PER SUDAS SECTION 9010 IN ALL AREAS TO BE SEEDBED IMMEDIATELY PRIOR TO SEEDING. PROVIDE SODBED PREPARATION PER SUDAS SECTION 9020 IN AREAS TO BE SODDED IMMEDIATELY PRIOR TO SODDING.
- AREAS TO BE SODDED SHALL BE LEFT 1 INCH BELOW FINISHED GRADE SURFACE PRIOR TO SOD INSTALLATION.
- AREAS DESIGNATED WITH WOOD OR ROCK MULCH SHALL BE LEFT 2 INCHES BELOW FINISHED GRADE SURFACE (AFTER SETTLING) PRIOR TO MULCH OR ROCK INSTALLATION. SEE LANDSCAPE PLAN FOR GROUND COVER LOCATIONS.
- EXISTING SURVEY WAS LAST UPDATED SEPTEMBER 14, 2018.
- PROVIDE 12" OF SUBGRADE PREPARATION FOR ALL PAVED AREAS EXTENDING 2' BEYOND EDGE OF PAVING AS PER SOILS REPORT BY TEAM SERVICES DATED SEPTEMBER 7, 2018.

GRADING PLAN NOTES

- PROVIDE SILT FENCE OR 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED —SF— OR —WT—, 850 LF OF SILT FENCE SHOWN. 1200 LF OF WATTLE SHOWN.
- STABILIZED CONSTRUCTION ENTRANCE LOCATION CONFORMING TO SUDAS SECTION 9040. ENTRANCE SHALL BE AT LEAST 16' WIDE AND 75' LONG WHERE VEHICLES ENTER SITE FROM TRAVELED RIGHT-OF-WAY. MARK ON SWPPP SITE SCHEMATIC PLAN IF LOCATION IS CHANGED FROM ONE SHOWN ON PLAN.
- CONCRETE WASHOUT AREA.
- INSTALL AND MAINTAIN INLET CONTROL DEVICE PRIOR TO AND FOLLOWING PAVEMENT INSTALLATION.
- REFER TO SHEET C102 FOR TREE REMOVAL LOCATIONS.
- INSTALL ARMOR MAT AS SHOWN ON PLAN PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. MATERIAL SHALL BE FLEXAMAT PLUS OR APPROVED EQUAL. EMBED EDGES OF MAT 18" INTO THE SUBGRADE TO SERVE AS AN ANCHOR TRENCH PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- INSTALL TURF REINFORCEMENT MAT AS SHOWN ON PLANS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. MATERIAL SHALL BE NORTH AMERICAN GREEN C-350 OR APPROVED EQUAL.
- CMU BLOCK RETAINING WALL - TW=TOP OF WALL, BW= EXPOSED FACE OF WALL AT FINISHED GRADE. SEE DETAIL ON SHEET C107 - PROVIDE COMPACTED ROCK BASE AND BURY BOTTOM COURSE OF BLOCK PER DETAIL INSTRUCTIONS.
- SEE ENLARGED PLAN BELOW FOR ADDITIONAL SPOT ELEVATIONS AND SLOPE INFORMATION.
- PROVIDE CURB PROTECTION AT CONSTRUCTION ENTRANCE - REPLACE CURB AT END OF PROJECT IF DAMAGED.
- SOUTH DETENTION AREA.
- WEST DETENTION AREA.
- 100 YEAR ELEVATION - 964.3 PER JANUARY 2018 MSA DRAINAGE STUDY.

GRADING PLAN LEGEND

TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION
FF - FINISH FLOOR ELEVATION



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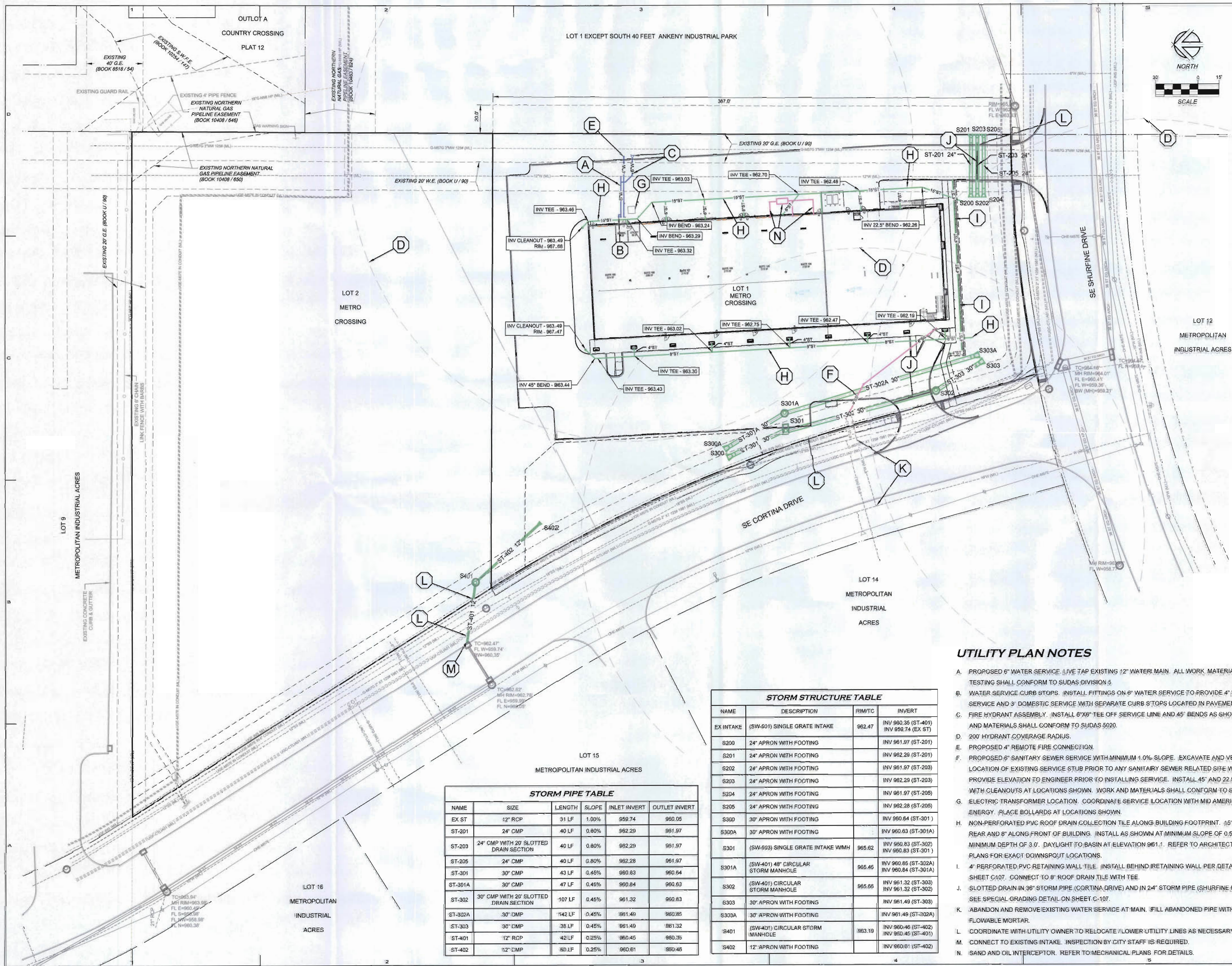
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SHEET TITLE:
**SITE PLAN
GRADING PLAN**

SHEET NO.:

C104



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PROJECT NAME:
**NEW OFFICE / WAREHOUSE
BUILDING FOR METRO CROSSING
1615 SE CORTINA DRIVE
ANKENY, IOWA 50021**

OWNER:
CERTAIN DEVELOPMENT

DRAWING ISSUE INFORMATION:
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MARK	DATE	DESCRIPTION

MANAGEMENT INFORMATION:
PROJECT NO.: 2018.100
PRINCIPAL IN CHARGE: TIM OLSON
PROJECT ARCHITECT: TIM OLSON
DRAWN BY: HRH
CHECKED BY: TO

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SHEET TITLE:
**SITE PLAN
UTILITY PLAN**

SHEET NO.:

C105

UTILITY PLAN NOTES

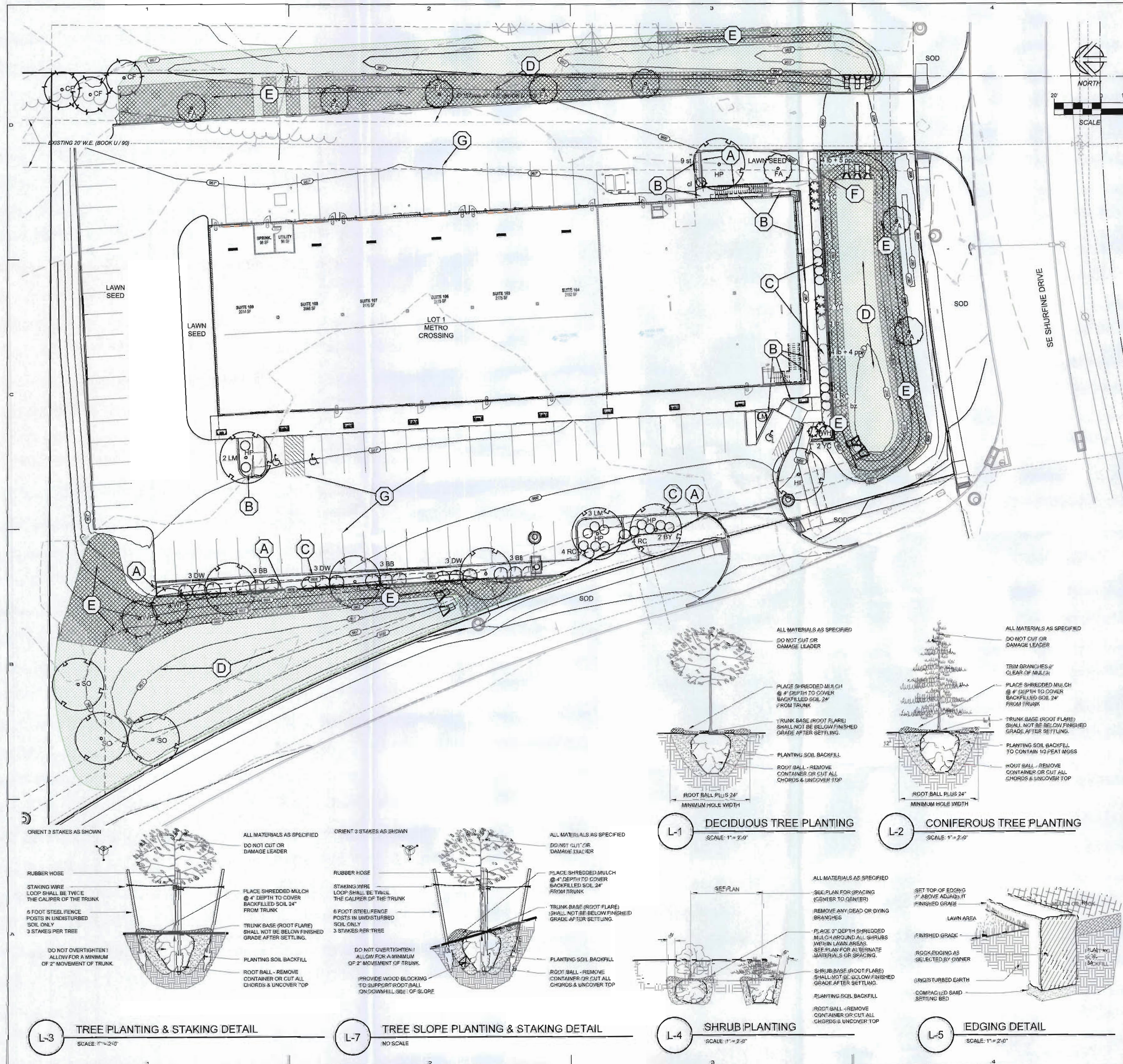
- A. PROPOSED 6" WATER SERVICE. LIVE TAP EXISTING 12" WATER MAIN. ALL WORK, MATERIALS, AND TESTING SHALL CONFORM TO SUDAS DIVISION 5.
- B. WATER SERVICE CURB STOPS. INSTALL FITTINGS ON 6" WATER SERVICE TO PROVIDE 4" FIRE SERVICE AND 3" DOMESTIC SERVICE WITH SEPARATE CURB STOPS LOCATED IN PAVEMENT.
- C. FIRE HYDRANT ASSEMBLY. INSTALL 8"x8" TEE OFF SERVICE LINE AND 45° BENDS AS SHOWN. WORK AND MATERIALS SHALL CONFORM TO SUDAS 5020.
- D. 200' HYDRANT COVERAGE RADIUS.
- E. PROPOSED 4" REMOTE FIRE CONNECTION.
- F. PROPOSED 6" SANITARY SEWER SERVICE WITH MINIMUM 1.0% SLOPE. EXCAVATE AND VERIFY LOCATION OF EXISTING SERVICE STUB PRIOR TO ANY SANITARY SEWER RELATED SITE WORK. PROVIDE ELEVATION TO ENGINEER PRIOR TO INSTALLING SERVICE. INSTALL 45° AND 22.5° BENDS WITH CLEANOUTS AT LOCATIONS SHOWN. WORK AND MATERIALS SHALL CONFORM TO SUDAS 4010.
- G. ELECTRIC TRANSFORMER LOCATION. COORDINATE SERVICE LOCATION WITH MID AMERICAN ENERGY. PLACE BOLLARDS AT LOCATIONS SHOWN.
- H. NON-PERFORATED PVC ROOF DRAIN COLLECTION TILE ALONG BUILDING FOOTPRINT. 15" ALONG REAR AND 8" ALONG FRONT OF BUILDING. INSTALL AS SHOWN AT MINIMUM SLOPE OF 0.5% AND MINIMUM DEPTH OF 3.0". DAYLIGHT TO BASIN AT ELEVATION 961.1. REFER TO ARCHITECTURAL PLANS FOR EXACT DOWNSPOUT LOCATIONS.
- I. 4" PERFORATED PVC RETAINING WALL TILE. INSTALL BEHIND RETAINING WALL PER DETAIL ON SHEET C107. CONNECT TO 8" ROOF DRAIN TILE WITH TEE.
- J. SLOTTED DRAIN IN 36" STORM PIPE (CORTINA DRIVE) AND IN 24" STORM PIPE (SHURFINE DRIVE) - SEE SPECIAL GRADING DETAIL ON SHEET C-107.
- K. ABANDON AND REMOVE EXISTING WATER SERVICE AT MAIN. FILL ABANDONED PIPE WITH FLOWABLE MORTAR.
- L. COORDINATE WITH UTILITY OWNER TO RELOCATE / LOWER UTILITY LINES AS NECESSARY.
- M. CONNECT TO EXISTING INTAKE. INSPECTION BY CITY STAFF IS REQUIRED.
- N. SAND AND OIL INTERCEPTOR. REFER TO MECHANICAL PLANS FOR DETAILS.

STORM STRUCTURE TABLE

NAME	DESCRIPTION	RIM/TC	INVERT
EX INTAKE	(SW-501) SINGLE GRATE INTAKE	962.47	INV 960.36 (ST-401) INV 959.74 (EX ST)
S200	24" APRON WITH FOOTING		INV 961.97 (ST-201)
S201	24" APRON WITH FOOTING		INV 962.28 (ST-201)
S202	24" APRON WITH FOOTING		INV 961.97 (ST-203)
S203	24" APRON WITH FOOTING		INV 962.28 (ST-203)
S204	24" APRON WITH FOOTING		INV 962.28 (ST-205)
S205	24" APRON WITH FOOTING		INV 962.28 (ST-205)
S300	30" APRON WITH FOOTING		INV 960.84 (ST-301)
S300A	30" APRON WITH FOOTING		INV 960.83 (ST-301A)
S301	(SW-503) SINGLE GRATE INTAKE WMH	965.62	INV 960.83 (ST-302) INV 960.83 (ST-301)
S301A	(SW-401) 48" CIRCULAR STORM MANHOLE	965.46	INV 960.85 (ST-302A) INV 960.84 (ST-301A)
S302	(SW-401) CIRCULAR STORM MANHOLE	965.66	INV 961.32 (ST-303) INV 961.32 (ST-302)
S303	30" APRON WITH FOOTING		INV 961.49 (ST-303)
S303A	30" APRON WITH FOOTING		INV 961.48 (ST-302A)
S401	(SW-401) CIRCULAR STORM MANHOLE	963.19	INV 960.46 (ST-402) INV 960.45 (ST-401)
S402	12" APRON WITH FOOTING		INV 960.61 (ST-402)

STORM PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT
EX ST	12" RCP	31 LF	1.00%	959.74	960.05
ST-201	24" CMP	40 LF	0.80%	962.29	961.97
ST-203	24" CMP WITH 20' SLOTTED DRAIN SECTION	40 LF	0.80%	962.29	961.97
ST-205	24" CMP	40 LF	0.80%	962.28	961.97
ST-301	30" CMP	43 LF	0.45%	960.83	960.84
ST-301A	30" CMP	47 LF	0.45%	960.84	960.83
ST-302	30" CMP WITH 20' SLOTTED DRAIN SECTION	107 LF	0.45%	961.32	960.83
ST-302A	30" CMP	142 LF	0.45%	961.49	960.85
ST-303	30" CMP	38 LF	0.45%	961.49	961.32
ST-401	12" RCP	42 LF	0.25%	960.45	960.35
ST-402	12" CMP	60 LF	0.25%	960.61	960.46



LANDSCAPE PLAN NOTES

- 4" WIDE, VARIABLE LENGTH IOWA BUFF LIMESTONE EDGING AS SHOWN ON PLAN - SEE DETAIL L-5 ON THIS SHEET, 250 LF TOTAL.
- PLANTING BEDS WITHIN PARKING ISLANDS OR ADJACENT TO BUILDING SHALL BE A 3/4" DIAMETER GRAY TRAP ROCK.
- PLANTING BEDS WITHIN EDGING BORDER SHALL BE A SHREDDED HARDWOOD OR CEDAR MULCH AT 3" DEPTH.
- NATIVE WETLAND SEEDING AND BFM HYDROMULCH - REFER TO GENERAL LANDSCAPE NOTES AND WETLAND SEED MIX ON DT-1 DETAILS SHEET, 22,526 SF (5 ACRES) TOTAL, 12,886 SF TOTAL BFM HYDROMULCH AREA.
- SLOPE BIODEGRADABLE EROSION CONTROL BLANKETS, 9,870 SF TOTAL. MATERIAL SHALL BE NORTH AMERICAN GREEN BIONET S75BN OR APPROVED EQUAL. INSTALL AFTER SEEDING AND FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS. NO BFM HYDROMULCH IN THESE AREAS.
- RETAINING WALL TRANSITIONS TO RETAINING WALL CAP EDGER ON COMPACTED SAND SETTING BED. SEE GRADING PLAN AND DT-1 DETAILS SHEET.
- PAINT STRIPING.

TREE & SHRUB PLANTING SCHEDULE

Key	Common / Scientific name	Minimum Size	No.	Root/Comment
CF	Concolor Fir	6" Height	3	B & B or SP/PAVE
FA	Freeman Maple	2" Caliper	1	B&B or Container
HP	Hophornbeam / Ironwood	2" Caliper	2	B&B or Container
WP	White Pine	6" Height	2	B & B or SPADE
SO	Swamp White Oak	2" Caliper	6	B&B or Container
SB	Shawnee Brave Bald Cypress	6" Height	4	B & B or SPADE
BY	Black Chokeberry	24" Height	8	Container
BB	Beautyberry	24" Height	9	Container
WH	Common Witch Hazel	3-4" Height	1	Container
DW	Dwarf Blue Leaf Arctic Willow	24" Height	9	Container
RC	Prairie Flame Sumac	24" Height	12	Container
LM	Linenound Spiraea	24" Height	8	Container
YC	Yucca	12" Height	7	Container

PERENNIAL & GROUNDCOVER PLANTING SCHEDULE

Key	Common / Scientific name	Minimum Size	No.	Root/Comment
st	Bluestar	#1	9	Container
cd	Clematis	#1	1	Container
bz	Prairie Blackgum	2.5"x2.5" Pots	8	Container (3-packs)
pp	Purple Phlox	2.5"x2.5" Pots	9	Container (3-packs)
lb	Little Blue Star	#1	14	Container

GENERAL LANDSCAPING NOTES

- ALL GRADES AND DETENTION BASIN STORAGE VOLUMES SHALL BE VERIFIED PRIOR TO ANY SEEDING, LANDSCAPING, OR EROSION CONTROL MAT BEING PLACED.
- ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 900 OF THE IOWA STATE DESIGN AND SPECIFICATIONS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR FOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
- PLANTINGS SHALL MEET THE MINIMUM SIZES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
- ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
- PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTIONS.
- DECIDUOUS TREES IN EXCESS OF 2" CALIPER AND CONIFEROUS TREES IN EXCESS OF 6 FEET IN HEIGHT SHALL BE STAKED OR GUYYED. STAKING PROCEDURE SHALL ENSURE TRUNKS ARE PROTECTED FROM DAMAGE. STRAPS OR WIRES SHALL NOT BE OVERLY TIGHTENED TO ALLOW FOR SOME LATERAL TRUNK MOVEMENT.
- ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIALTY PLANTING AREAS SHALL BE SEED OR SODDED AS DIRECTED BY THE PLAN.
- SODDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 902 OF THE IOWA STATE DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS).
- AREAS DESIGNATED FOR LAWN SEED / MULCH SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 901 OF THE IOWA STATE DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS). SEEDING SHALL BE TYPE 1 PERMANENT LAWN SEED MIX (SUDAS SECTION 2.02 A) AND MULCH SHALL BE BONDED FIBER MATRIX (BFM) (SUDAS SECTION 2.07 & 2) APPLIED AT THE SPECIFIED RATES.
- NATIVE WETLAND SEEDING TO COMPLY WITH SUDAS SECTION 9010. SEEDING WITH HYDROMULCHING AS PER SUDAS SECTION 9010 PART 2.07 B.1 AND SECTION 9040 PART 3.21.B. REFER TO CUSTOM SEED MIX ON LANDSCAPE DETAILS SHEET.
- ALL PLANTING BEDS DESIGNATED FOR MULCH - INCLUDING AREAS AROUND TREES & SHRUBS SHALL BE 3" DEPTH SHREDDED HARDWOOD - 4" DIAMETER (TREES) AND 2" DIAMETER (SHRUBS), A PRE-EMERGENT SUCH AS "PREN" OR APPROVED EQUAL HERBICIDE SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER MULCHING.
- ALL PLANTING BEDS DESIGNATED FOR DECORATIVE ROCK SHALL BE 3" DEPTH, 3/4" GRAY TRAP ROCK OVER WATER PERMEABLE GRANULAR FILL. A PRE-EMERGENT SUCH AS "PREN" OR APPROVED EQUAL HERBICIDE SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER SHREDDING ROCK.

LANDSCAPE CALCULATIONS

OPEN SPACE REQUIREMENT
TWO TREES AND 6 SHRUBS FOR EVERY 3,000 SF OF REQUIRED OPEN SPACE.
TOTAL LOT AREA: 87,130 SF @ 2.00 AC
135 X 200 (0.3) = 17,427 SF (REQUIRED OPEN SPACE)
17,427 / 3,000 = 5.8 - 6 PLANT UNITS
REQUIRED QUANTITY: 6 X 2 = 12 TREES, 12 PROVIDED
6 X 6 = 36 SHRUBS, 48 PROVIDED

PARKING LOT SHADING
PAVED PARKING AND DRIVE AREA IS 27,720 SF IN SIZE.
REQUIRED SHADING IS A MINIMUM OF 20% OF TIME PAVED AREA. 27,720 X 20% (2) = 5,544 SF
TREES PROVIDED WITHIN 15 FEET OF PAVED AREA ON 2 OR MORE SIDES COUNTED AT 100% OF COVER (900 SF = 4 (2,824 SF))
TREES PROVIDED WITHIN 15 FEET OF PAVING ON ONE SIDE COUNTED AT 50% OR 353 SF = 8 (2,824 SF)
TOTAL SF SHADED = 5,648 SF (20.1%)



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PROJECT ARCHITECT: TIM OLSON
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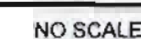
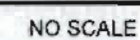
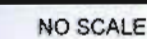
SHEET TITLE:
SITE PLAN
LANDSCAPE PLAN

SHEET NO.

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