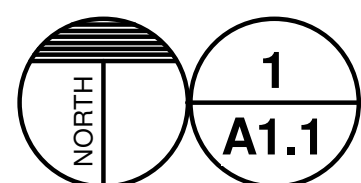


FLOOR PLAN KEY

- EXISTING - LIGHTER LINES
- REMOVE EXISTING WALL-PTM
- CURTAIN WALL (CW) WITH COLUMN
- CONCRETE MASONRY UNIT (CMU) OR (BCMU)
- INSULATION
- CONCRETE SIDEWALK
- 12' WIDE PERIMETER IN-FLOOR HEAT
- PRECAST CONCRETE CAP
- CT FLOOR

* SMFE
SURFACE MOUNTED FIRE EXTINGUISHER
FURNISHED BY OWNER INSTALLED BY
GENERAL CONTRACTOR (GC)

PLAN KEY
1" = 200'-0"



MAIN LEVEL FLOOR PLAN (300)

SCALE: 1/8" = 1'-0" 24x36

MAIN LEVEL FLOOR PLAN

MOM'S MEALS
WEST OFFICE ADDITION
3210 SE CORPORATE WOODS DRIVE ANKENY, IOWA 50021



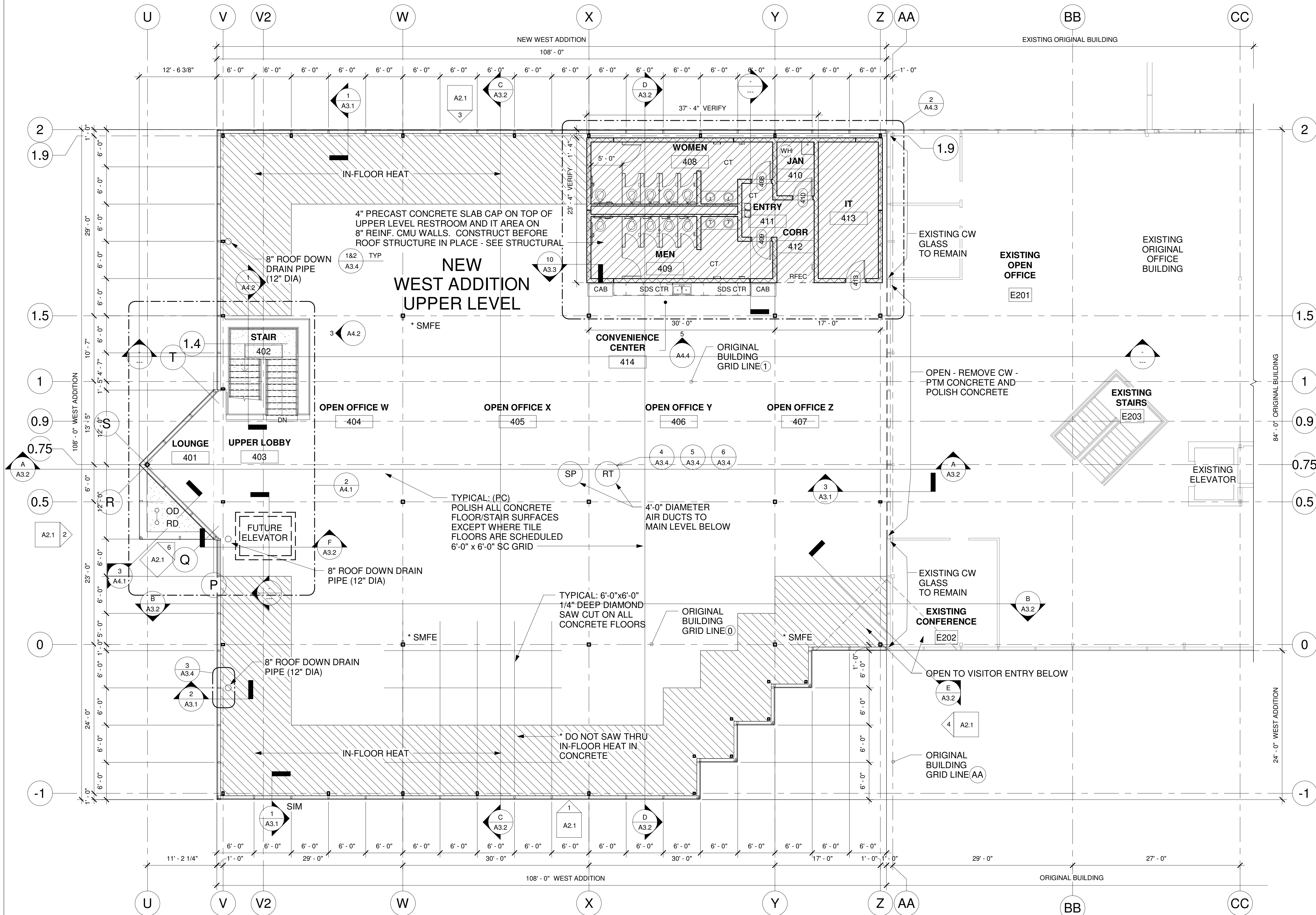
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Date: 04-03-2020	A1.1
Revisions:	

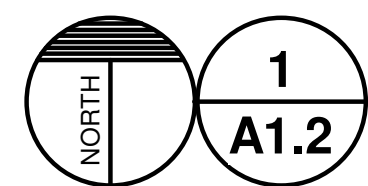
SHEET
A1.1
3 of 37

OP CONSTRUCTION, LLC
GENERAL CONTRACTOR FOR MOM'S MEALS, LLC
3809 NW 109TH STREET, SUITE D
URBANDALE, IOWA 50322
E-MAIL: lin.phelan@opconstruction.com Phone: 515-777-9391

Sires
architects, p.c.
1201 Oakwood Drive
Polk City, Iowa 50226
Phone 515-984-9961
E-MAIL: siresarch@aol.com



- FLOOR PLAN KEY**
- EXISTING - LIGHTER LINES
 - REMOVE EXISTING WALL-PTM
 - CURTAIN WALL (CW) WITH COLUMN
 - CONCRETE MASONRY UNIT (CMU) OR (BCMU)
 - INSULATION
 - CONCRETE SIDEWALK
 - 12' WIDE PERIMETER IN-FLOOR HEAT
 - PRECAST CONCRETE CAP
 - CT FLOOR
- * SMFE
SURFACE MOUNTED FIRE EXTINGUISHER
FURNISHED BY OWNER INSTALLED BY
GENERAL CONTRACTOR (GC)



UPPER LEVEL FLOOR PLAN (400)

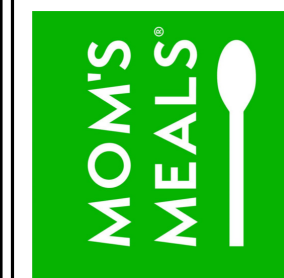
SCALE: 1/8" = 1'-0" 24x36

PLAN KEY
1" = 200'-0"

UPPER LEVEL FLOOR PLAN

**MOM'S MEALS
WEST OFFICE ADDITION**

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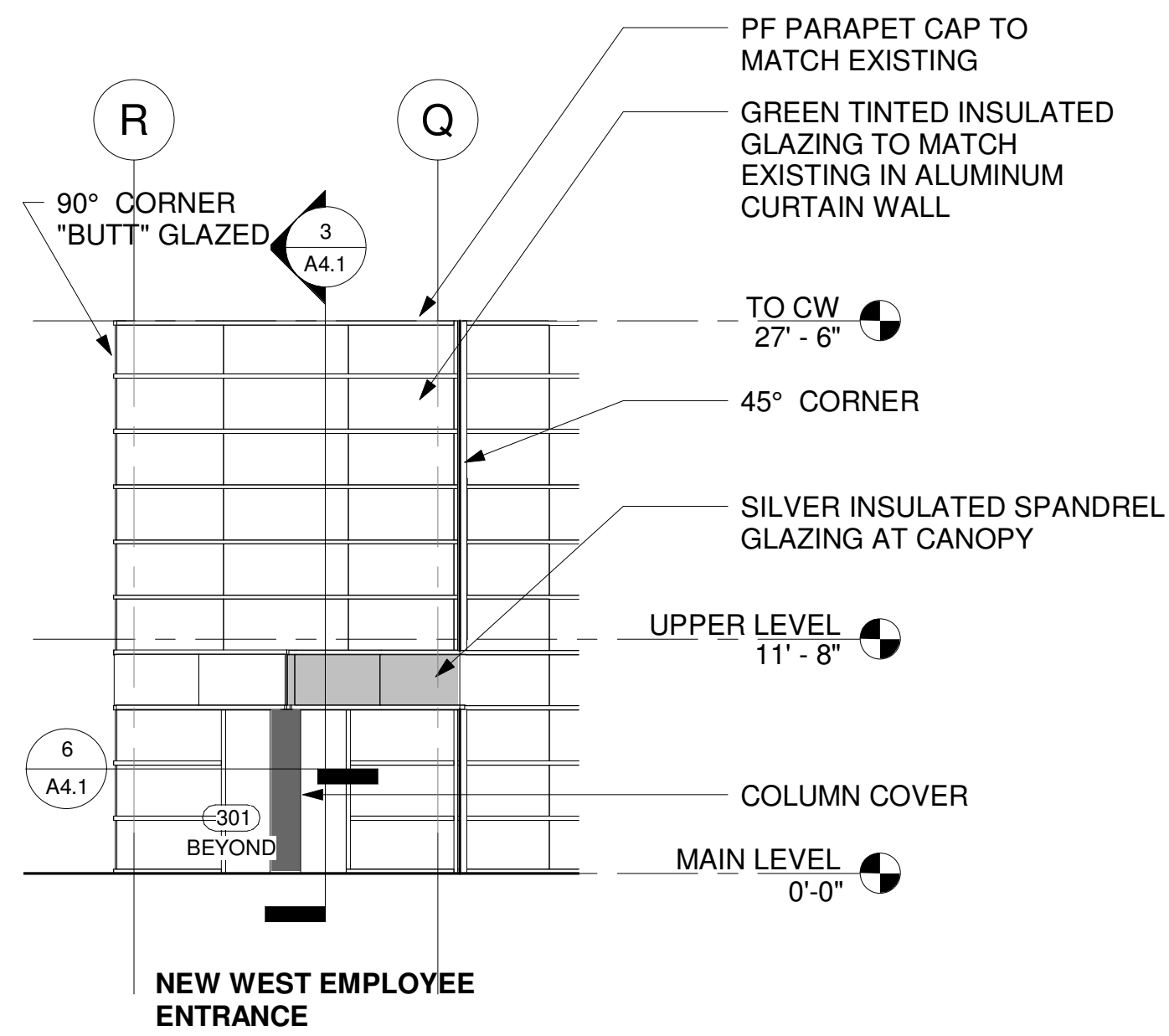
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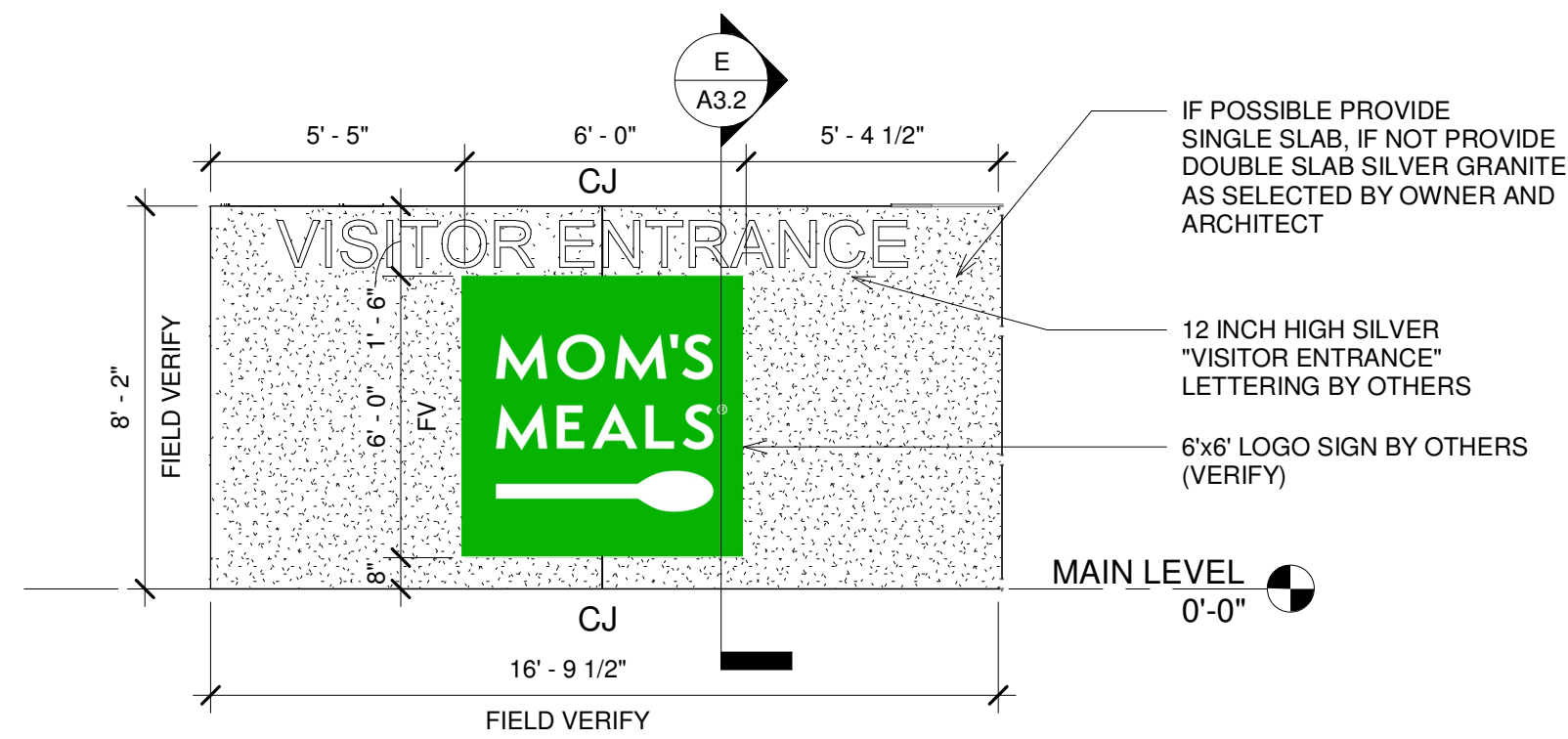
4 of 37

OP CONSTRUCTION, LLC
GENERAL CONTRACTOR FOR MOM'S MEALS, LLC
3809 NW 109TH STREET, SUITE D
URBANDALE, IOWA 50222
E-MAIL: lin.phillips@outlook.com Phone: 515-777-9391

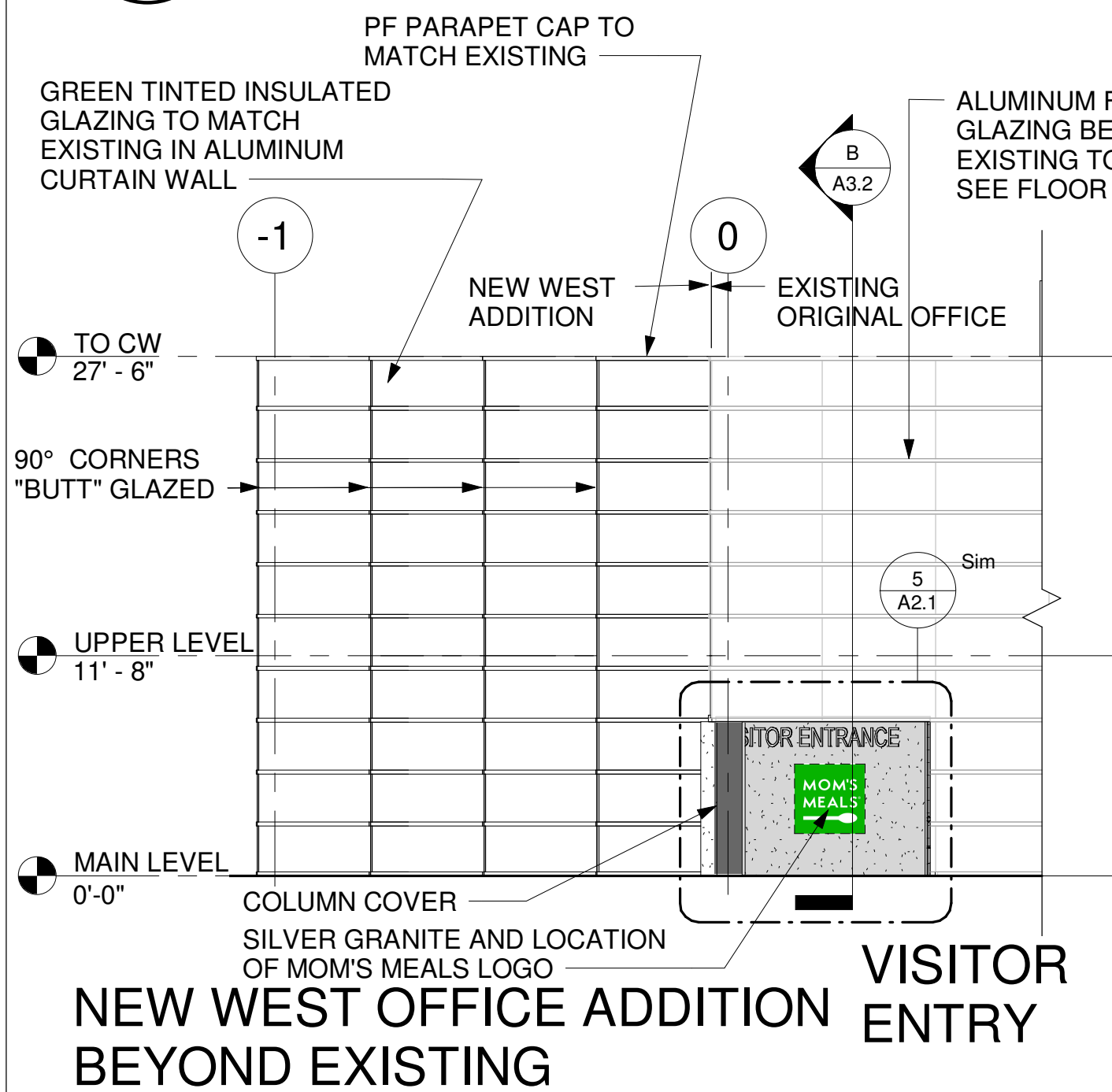
Sires
architects, p.c.
1201 Oakwood Drive
Polk City, Iowa 50226
Phone: 515-984-9861
E-MAIL: siresarch@aol.com



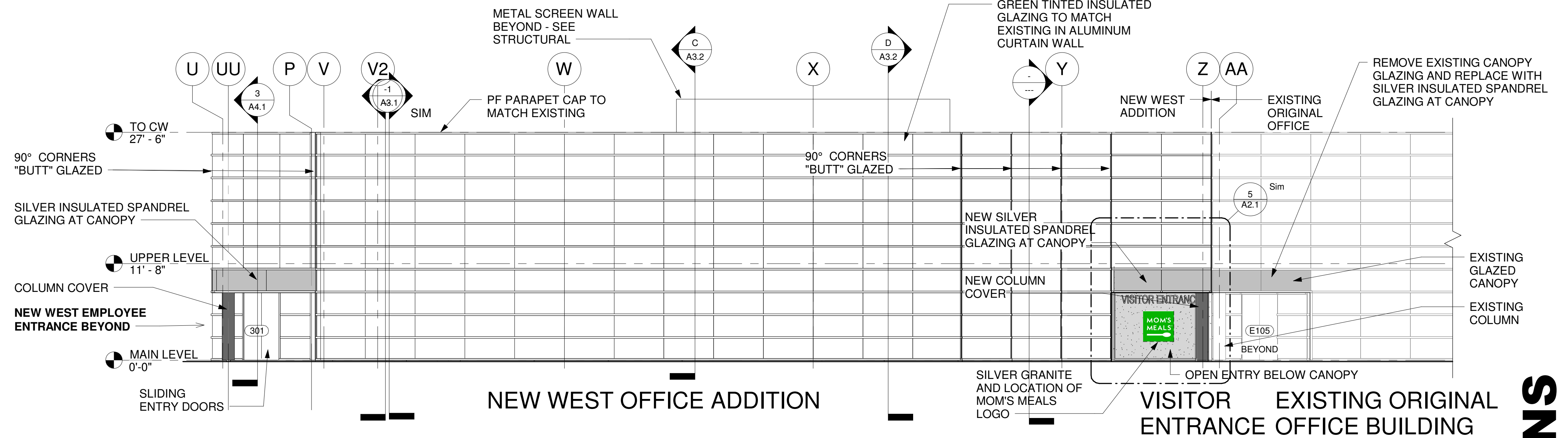
6 SOUTHWEST ELEVATION
A2.1 SCALE: 1/8" = 1'-0" 24x36



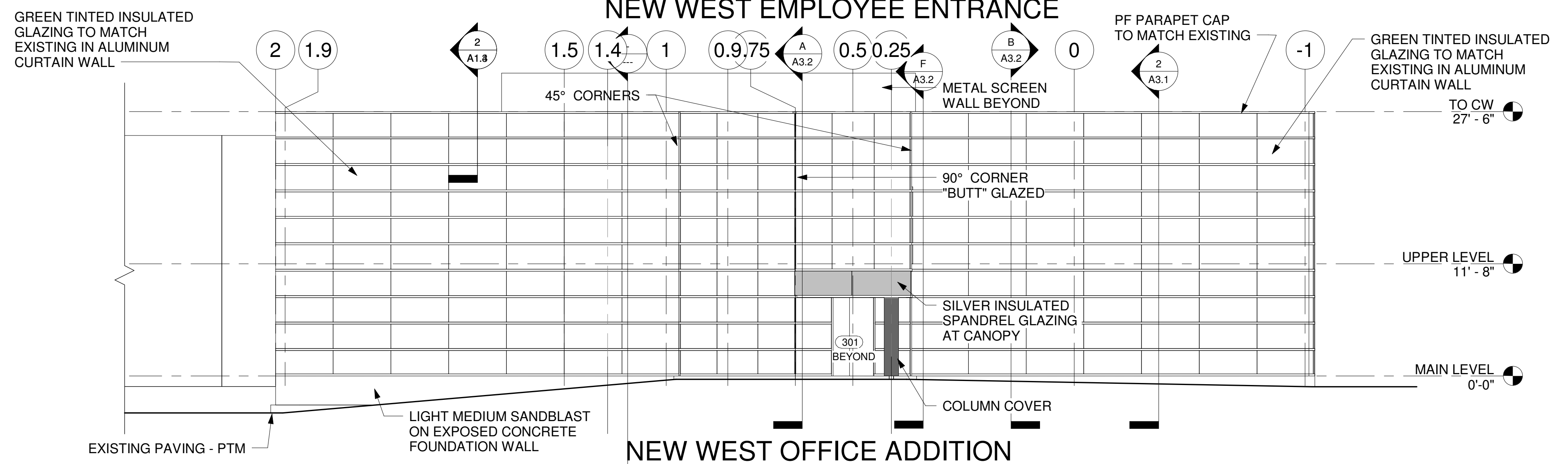
5 PARTIAL SOUTHEAST ELEVATION
A2.1 SCALE: 1/4" = 1'-0" 24x36



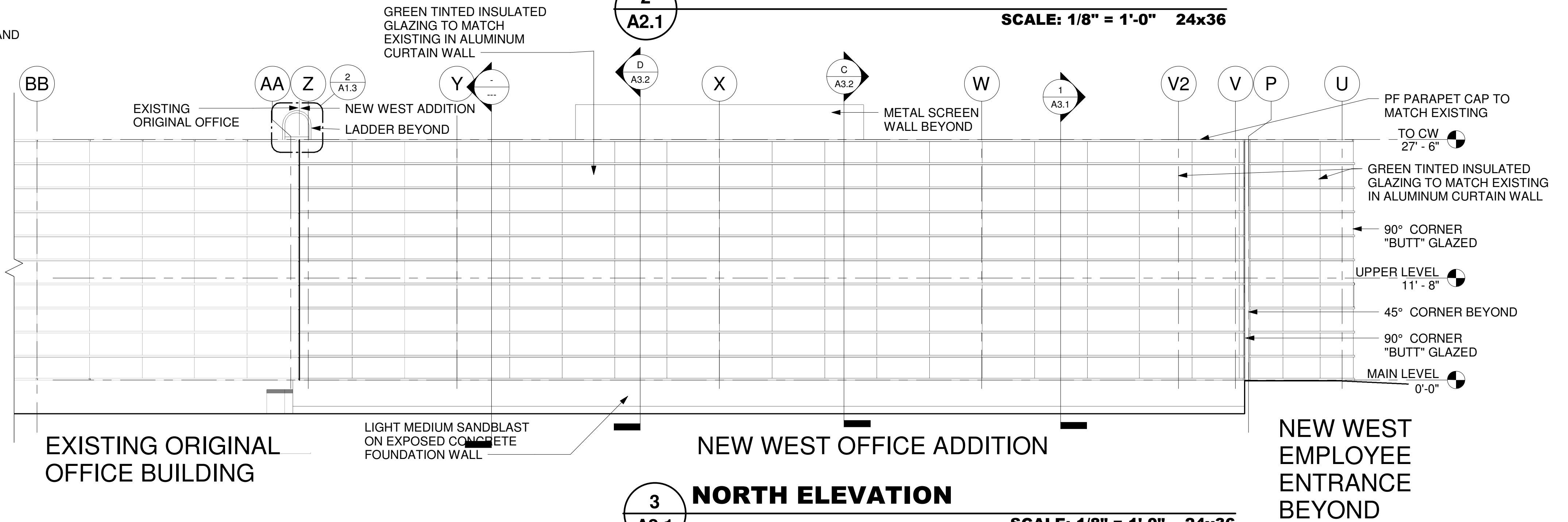
4 EAST ELEVATION
A2.1 SCALE: 1/8" = 1'-0" 24x36



1 SOUTH ELEVATION
A2.1 SCALE: 1/8" = 1'-0" 24x36



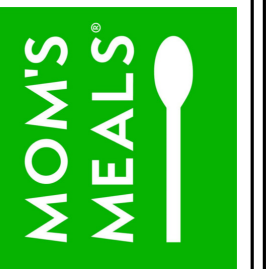
2 WEST ELEVATION
A2.1 SCALE: 1/8" = 1'-0" 24x36



3 NORTH ELEVATION
A2.1 SCALE: 1/8" = 1'-0" 24x36

EXTERIOR BUILDING ELEVATIONS

MOM'S MEALS
WEST OFFICE ADDITION
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OP CONSTRUCTION, LLC
GENERAL CONTRACTOR FOR MOM'S MEALS, LLC
3809 NW 109TH STREET, SUITE D
URBANDALE, IOWA 50022
E-MAIL: lin.phelan@opconstruction.com Phone: 515-777-9991

Sires
architects, p.c.
1201 Oakwood Drive
Polk City, Iowa 50226
Phone: 515-994-9961
E-MAIL: siresarch@aol.com

BUILDING ADDITION EXTERIOR MATERIALS AREA AND PERCENTAGES:

NORTH ELEVATION:

Glass Curtain Wall	2,970 sq. ft.	87.3%
Concrete Foundation Wall	432 sq. ft.	12.7%
Total North Wall Area	3,402 sq. ft.	100%

WEST ELEVATION:

Glass Curtain Wall	3,170 sq. ft.	96.9%
Concrete Foundation Wall	100 sq. ft.	3.1%
Total West Wall Area	3,270 sq. ft.	100%

SOUTH ELEVATION:

Glass Curtain Wall	3,670 sq. ft.	100%
Concrete Foundation Wall	0 sq. ft.	0%
Total South Wall Area	3,670 sq. ft.	100%

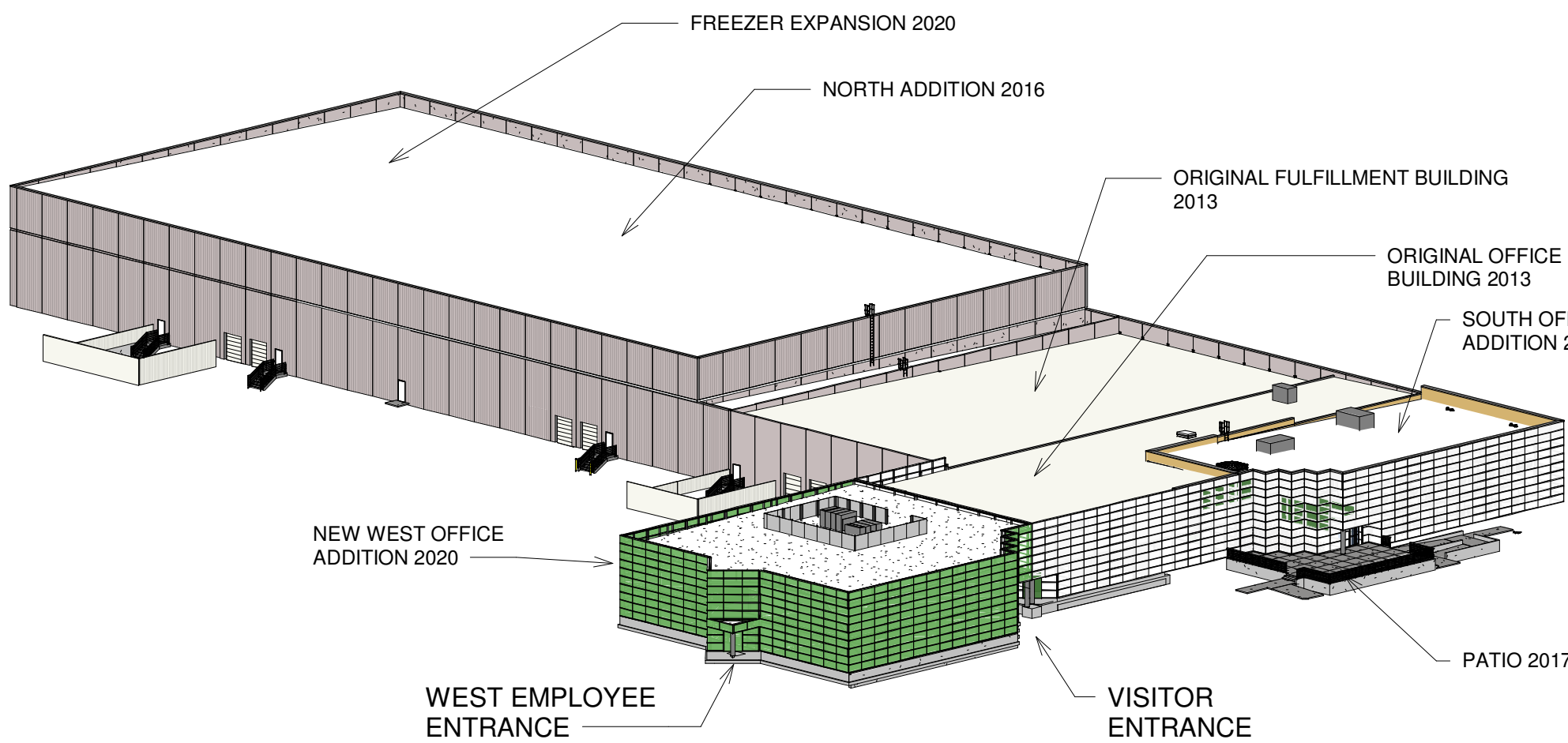
***EAST ELEVATION:**

Glass Curtain Wall	0 sq. ft.	0%
Concrete Foundation Wall	0 sq. ft.	0%
Total East Wall Area	0 sq. ft.	0%

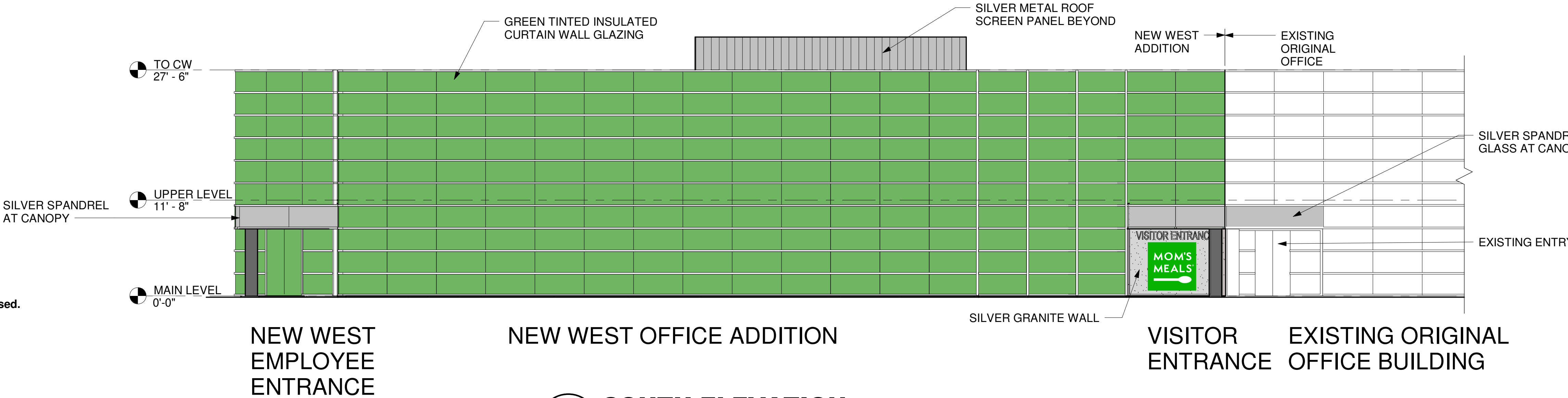
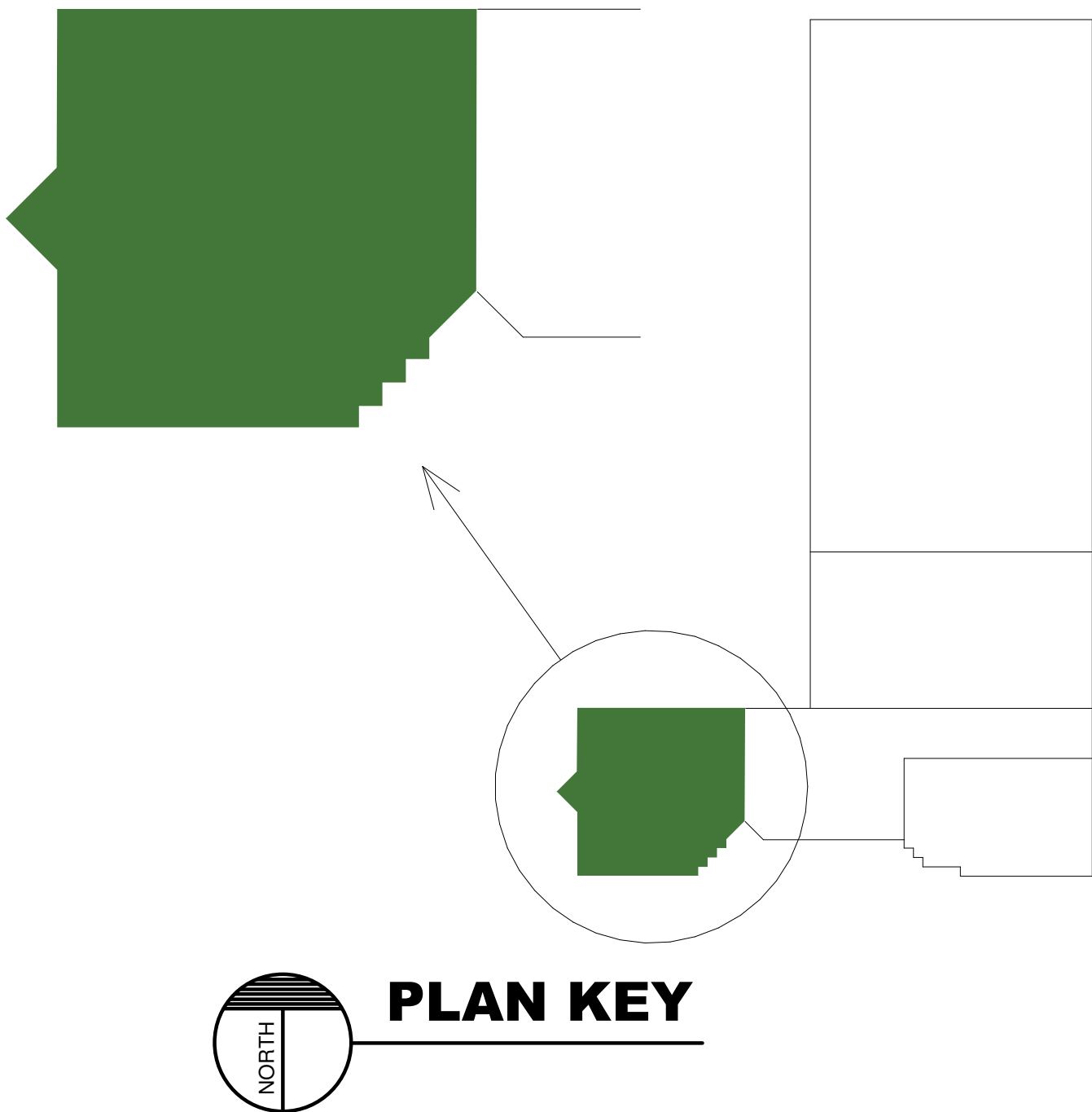
*East Wall is attached to the West Wall of the existing building, thus not exposed.

TOTAL EXPOSED EXTERIOR WALLS:

Total Glass Curtain Walls	9,810 sq. ft.	94.9%
Total Concrete Foundation Walls	532 sq. ft.	5.1%
Total Exposed Exterior Wall Area	10,342 sq. ft.	100%



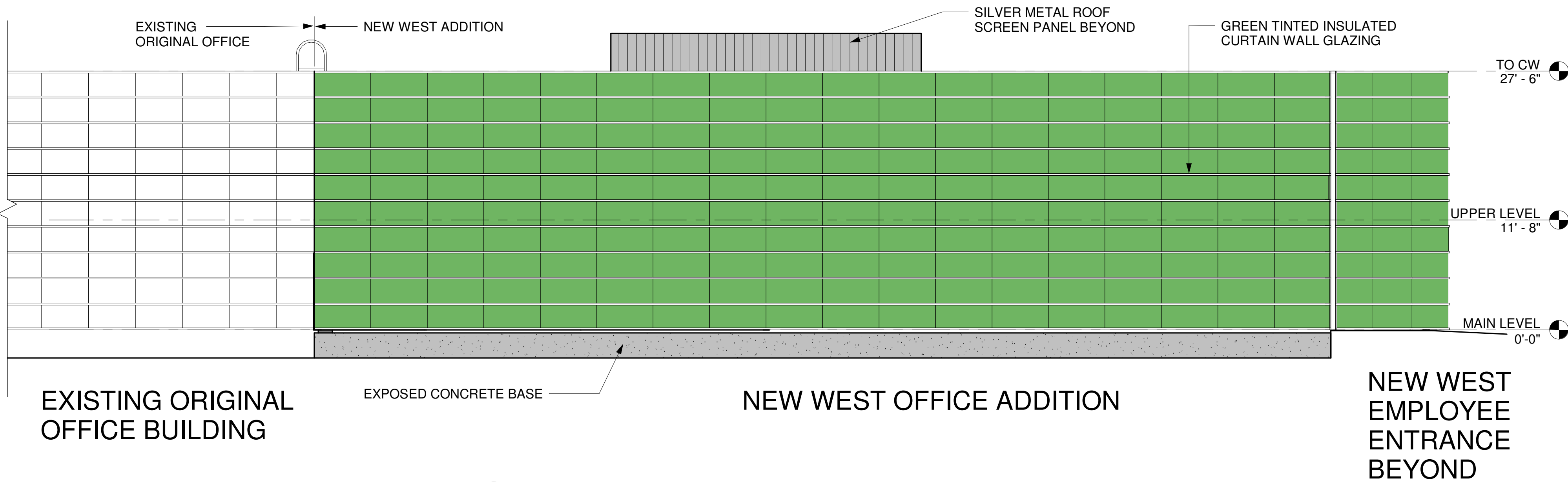
ISOMETRIC - ALL BUILDINGS
ANKENY CAMPUS NO SCALE



1 SOUTH ELEVATION
AC2.1 SCALE: 1/8" = 1'-0" 24x36



2 WEST ELEVATION
AC2.1 SCALE: 1/8" = 1'-0" 24x36



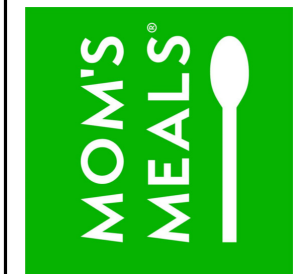
3 NORTH ELEVATION
AC2.1 SCALE: 1/8" = 1'-0" 24x36

EXTERIOR BUILDING ELEVATIONS - COLOR

Sires Architects, P.C.
1201 Oakwood Drive
Polk City, Iowa 50226
Phone 515-984-9861
E-MAIL: siresarch@aol.com

OP CONSTRUCTION, LLC
GENERAL CONTRACTOR FOR MOM'S MEALS, LLC
3809 NW 109TH STREET, SUITE D
URBANDALE, IOWA 50322
E-MAIL: lin.phelan@opconstruction.com Phone 515-777-9891

MOM'S MEALS
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A PURFOODS
COMPANY

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PROJECT NOTES

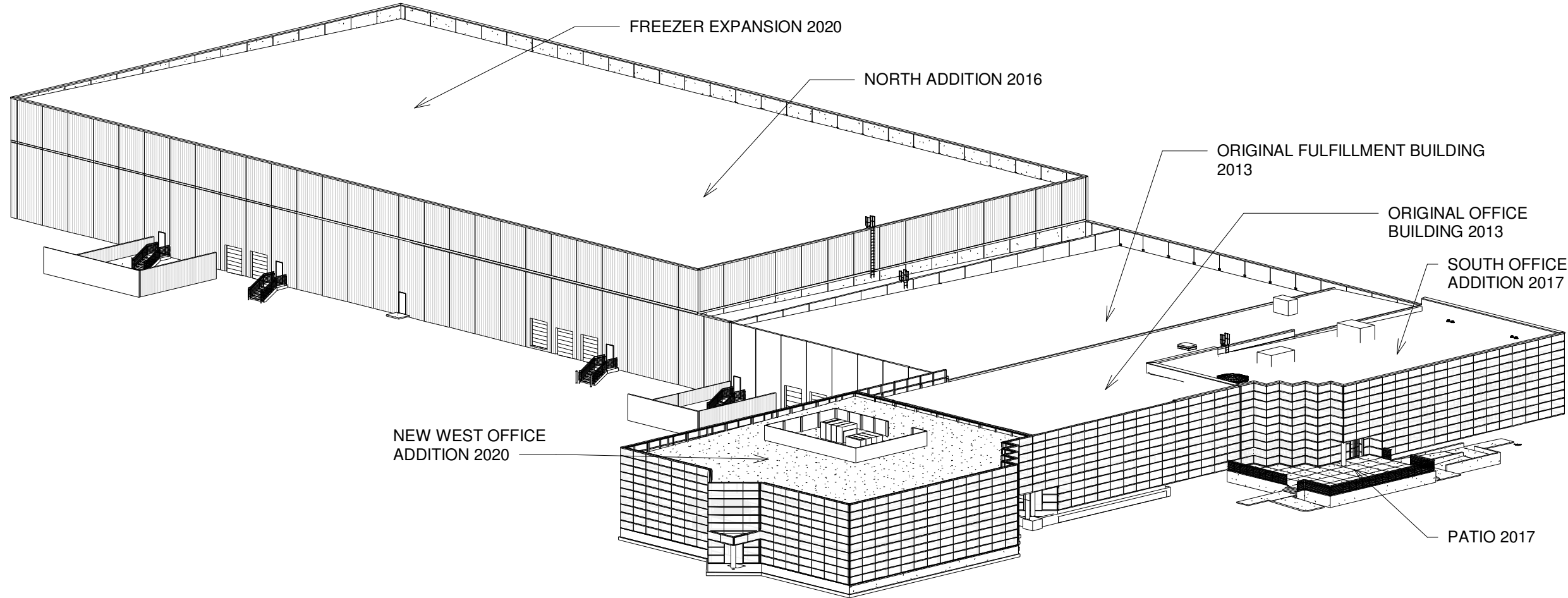
GENERAL AND TYPICAL NOTES FOR ALL PRIME AND SUB CONTRACTORS:

- EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS ARE TO BE VERIFIED BY THE CONTRACTORS. VERIFY ALL GIVEN AND ACTUAL DIMENSIONS. REPORT ANY DISCREPANCIES IN DIMENSIONS AND CONDITIONS TO THE GENERAL CONTRACTOR AND ARCHITECT BEFORE PROCEEDING.
- CONDITIONS AND MATERIALS MAY DIFFER. CONTRACTORS SHOULD VERIFY THE WORK REQUIRED TO COMPLETE THE PROJECT. IF CONDITIONS AND/OR MATERIALS DIFFER SUBSTANTIALLY, NOTIFY THE GENERAL CONTRACTOR (GC) AND THE ARCHITECT (A/E), SO ADJUSTMENTS CAN BE MADE IF REQUIRED. VERIFY EXISTING CONDITIONS FOR COMPLETION OF NEW WORK. CONTRACTORS SHOULD ALLOW FOR MINOR VARIATIONS IN THE REQUIRED WORK TO COMPLETE THE PROJECT. THE CONTRACTOR WILL BE GIVEN A CHANGE ORDER WHEN CONDITIONS ARE SUBSTANTIALLY DIFFERENT FROM THE CONSTRUCTION DOCUMENTS AND COULD NOT BE REASONABLY VERIFIED OR ASSUMED FROM DRAWINGS OR BY VISITING THE SITE BEFORE THE BID.
- THE CONTRACTORS ARE RESPONSIBLE FOR ANY DAMAGE TO THE SITE, MATERIALS, EQUIPMENT, OTHER CONTRACTORS WORK, OWNERS WORK, ETC. WHICH OCCURS AS A RESULT OF THEIR WORK ON THIS PROJECT. THEY SHALL REPLACE OR REPAIR OR PAY TO MATCH NEW, ANY SUCH DAMAGED ITEMS.
- CONTRACTORS ARE RESPONSIBLE FOR THE DEMOLITION OF ITEMS, REMOVING, OR RELOCTAION OF ANY ITEMS REQUIRED FOR THEM TO COMPLETE THEIR WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, THE REMOVAL OF SITE ITEMS, OLD FOUNDATIONS, SITE UTILITIES, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO VISIT THE SITE AND INCLUDE ANY NECESSARY DEMOLITION, OR RELOCATION OF ITEMS REQUIRED TO COMPLETE THE WORK. ANY WORK NOT INCLUDED SHALL BE CLARIFIED WITH THE SUBMITTAL OF THE CONTRACTORS BID.
- RESTORE DISTURBED AREAS AND ITEMS BACK TO THE ORIGINAL CONDITION. CONTRACTORS ARE ADVISED TO PHOTOGRAPH AND DOCUMENT WITH DATES OF ANY WORK IN QUESTION. OTHERWISE IT WILL BE UP TO THE ARCHITECT'S DISCRETION AS TO WHAT WAS THE ORIGINAL CONDITION.
- REPAINT PAINTED ITEMS IN THE AREA OF THE NEW WORK TO MATCH IF DISTURBED OR DAMAGED.
- THE CONTRACTORS ARE RESPONSIBLE FOR CLEAN UP OF THE PROJECT AREA AND REMOVAL AS A RESULT OF THEIR WORK ON A REGULAR BASIS. AREAS SHALL BE KEPT IN A CLEAN AND ORGANIZED MANOR AT ALL TIMES. SEE (GC'S) SCOPE OF WORK FOR OWNER FURNISHED TRASH CONTAINERS.
- COMPLY WITH ALL CURRENT APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ZONING, INCLUDING THE AMERICAN DISABILITIES ACT (ADA) REQUIREMENTS.
- THE CONTRACTORS ARE RESPONSIBLE FOR OBTAINING AND INCLUDING AS PART OF THEIR BID THE COST OF UTILITY CHARGES & FEES, AND ANY OTHER FEES OR PERMITS REQUIRED TO COMPLETE THE PROJECT UNLESS OTHERWISE NOTED. GENERAL BUILDING PERMIT WILL BE PAID FOR BY THE GENERAL CONTRACTOR.
- ITEMS SHOWN, BUT NOT NOTED, SHALL BE THE SAME AS SHOWN AND NOTED IN OTHER PARTS OF THE CONSTRUCTION DOCUMENTS INCLUDING DRAWINGS, SPECIFICATIONS, THE PROJECT MANUAL, AND THEIR BID PACKAGE.
- THE CONTRACTORS ARE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH OTHER AFFECTED TRADES THAT AFFECT THEIR WORK IN CONSULTATION WITH THE GENERAL CONTRACTOR.
- REMOVE ITEMS IDENTIFIED BY THE OWNER AND GENERAL CONTRACTOR TO OWNERS'S ON SITE STORAGE. OTHERWISE DISPOSED OF IF OWNER OR GENERAL CONTRACTOR CHOOSES NOT TO KEEP..
- "FURNISH" MEANS TO SUPPLY MATERIAL ITEMS.
- "INSTALL" MEANS TO INCLUDE LABOR TO BUILD THE FURNISHED MATERIAL.
- "PROVIDE" MEANS TO FURNISH AND INSTALL LABOR AND MATERIAL.
- "PTM" MEANS "PATCH TO MATCH" EXISTING MATERIALS LIKE NEW ADJACENT MATERIALS, OR REPLACE WITH NEW MATERIALS NECESSARY TO MATCH.
- SEE THE PROJECT MANUAL FOR ADDITIONAL PROJECT REQUIREMENTS.

MOM'S MEALS

WEST OFFICE ADDITION

3210 SE CORPORATE WOODS DRIVE ANKENY, IOWA 50021



ARCHITECT

Sires
architects, p.c.

ARCHITECT: DOUGLAS R. SIRES, AIA
1201 OAKWOOD DRIVE
POLK CITY, IOWA 50226
PHONE: (515) 984-9091
E-MAIL: siresarch@aol.com

SEAL	I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the state of Iowa.
Signature	Date
Printed or typed name DOUGLAS R. SIRES	
License number 1822	
My license renewal date is June 30, 2020	
Pages or sheets covered by this seal: T1.0, C1.0	
A1.0 - A5.1	

STRUCTURAL ENGINEER

KORPELA ENGINEERING - STRUCTURAL SERVICES

PROJECT ENGINEER: TIMOTHY J. KORPELA P.E.
1239 73rd Street - Studio C
Windsor Heights, Iowa 50324
PHONE: (515) 271-0655

E-MAIL: Tim@KorpelaEngineering.com

	I hereby certify that this Plan, Specification or Report was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
	Timothy J. Korpela # 12119
	My Registration Renewal Date Is December 31, 2020.
	Sheets covered by this seal: All "S" Sheets
	Date Issued: _____

MEP ENGINEER

BUTLER ENGINEERING CONSULTANTS

MEP ENGINEER:
JOSEPH M. BUTLER, P.E.
413 TYLER STREET
POLK CITY, IOWA 50226
PHONE: (515) 473-0030 OR (515) 984-9194
FAX: (515) 282-5829
E-MAIL: butlerengineering@mchsi.com

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
SIGNATURE	DATE
JOSEPH M. BUTLER, P.E. #13000	
LICENSE RENEWAL DATE IS DECEMBER 31, 2020	
PAGES OF SHEETS COVERED BY THIS SEAL: "P, M, AND E" SHEETS.	
DATE ISSUED: _____	

SCHEDULE OF DRAWINGS

TITLE, COVER AND PROJECT INFORMATION SHEET:

T1.0 TITLE SHEET, INDEX, LOCATION
MAP, SEALS AND PROJECT NOTES 1

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A1.2 UPPER LEVEL FLOOR PLAN 4
A1.3 ROOF PLAN - BASE BID 5
A1.4 ROOF PLAN - ALTERNATE #1 6
A2.1 EXTERIOR ELEVATIONS 7
A3.1 WALL SECTIONS 8
A3.2 BUILDING SECTIONS 9
A3.3 WALL DETAILS 10
A3.4 PLAN DETAILS AND ABBREVIATIONS 11
A4.1 ENTRY PLANS AND DETAILS 12
A4.2 STAIR SECTIONS 13
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A4.4 INTERIOR ELEVATIONS 15
A5.1 ROOM FINISH, DOOR AND FRAME
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S5.5 STRUCTURAL DETAILS-ROOF LEVEL 26
S5.6 STRUCTURAL DETAILS-ROOF LEVEL 27
S9.1 STRUCTURAL NOTES 28

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P3 PLUMBING NOTES 31

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M1 MAIN LEVEL HVAC PLAN 32
M2 UPPER LEVEL HVAC PLAN 33
M3 HVAC NOTES AND SCHEDULES 34

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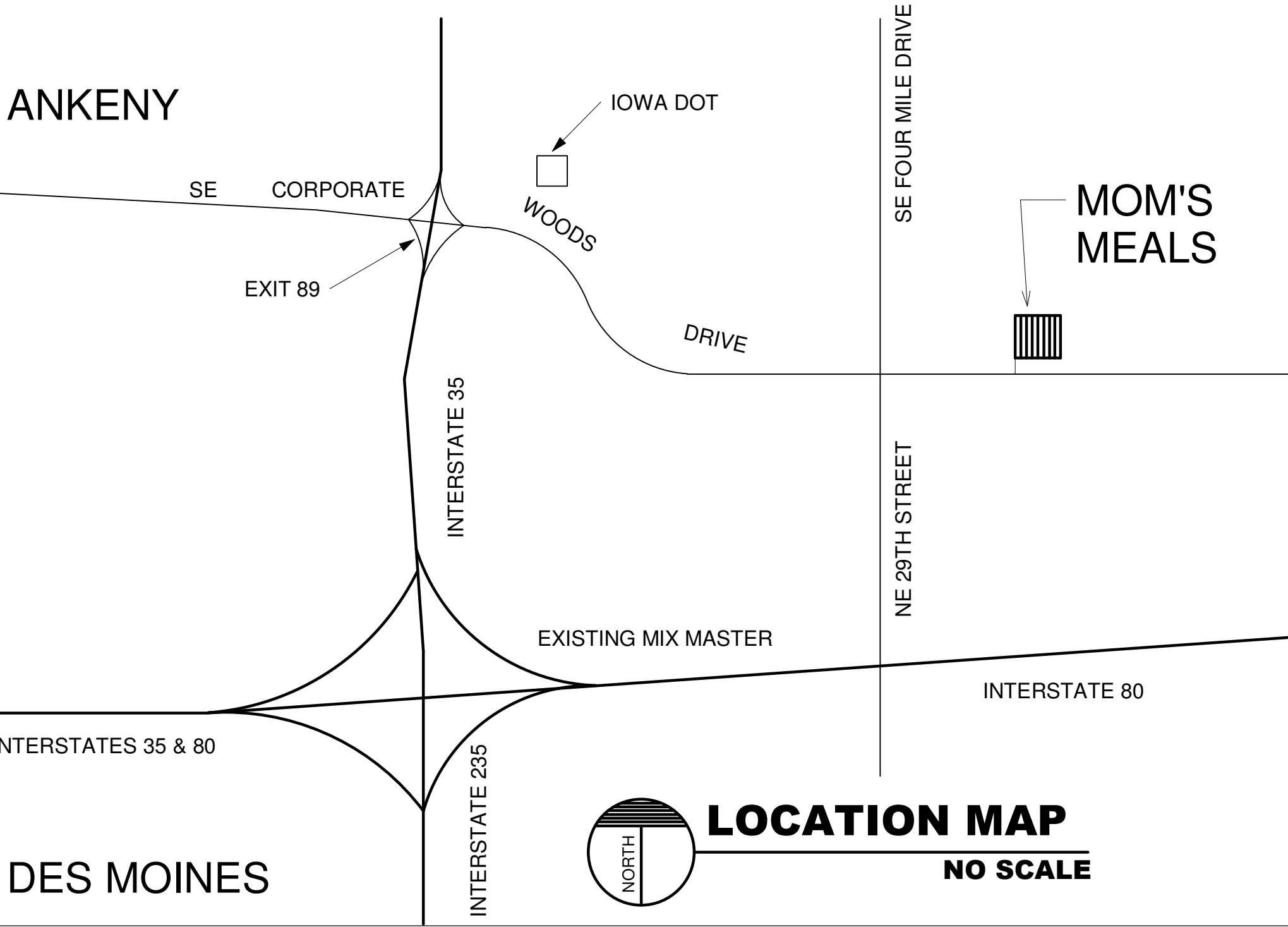
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E2 UPPER LEVEL ELECTRICAL PLAN 36
E3 ELECTRICAL NOTES 37

CIVIL SITE PLAN AND LANDSCAPE SHEETS:

1.X CIVIL AND LANDSCAPE SITE SHEETS:
PLANS BY SNYDER AND ASSOCIATES
UNDER SEPERATE COVER AND SEAL

AREA CALCULATIONS

MAIN LEVEL	11,232 SF
UPPER LEVEL	11,304 SF
TOTAL FLOOR AREA	22,536 SF



GENERAL CONTRACTOR

OLP CONSTRUCTION

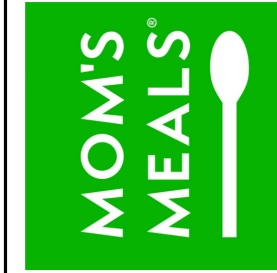
TIM JOHNSTON
3809 NW 109TH STREET SUITE D
URBANDALE, IOWA 50322
PHONE: (515) 777-9391
E-MAIL: tim.johnstonolp@outlook.com

ARCHITECTS # 2001

Sires
architects, p.c.

OLP CONSTRUCTION, LLC
GENERAL CONTRACTOR FOR MOM'S MEALS, LLC
3809 NW 109TH STREET, SUITE D
URBANDALE, IOWA 50322
E-MAIL: tim.johnstonolp@outlook.com Phone 515-777-9391

MOM'S MEALS
WEST OFFICE ADDITION
3210 SE CORPORATE WOODS DRIVE ANKENY, IOWA 50021



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