

## APPLICATION FOR APPEAL ZONING BOARD OF ADJUSTMENT

Applicant is:  Property Owner  Tenant  Other  Consultant			
pplicant Nimai Alicer/ Kimley-Horn			
Address / Phone #			
-mailnimai.alicer@kimley-horn.com			
roperty Owner Allerga Iowa, LLC / Sofia Pons			
Address / Phone # 6900 Westown Pkwy, West Des Moines, IA 50266			
-mail spons@exancapital.com			
(Owner must sign the application or submit a letter of authorization)			
To the Members of the Board of Adjustment:  thereby appeal from the decision of the Zoning Administrator rendered on day of, 20			
Location (address) of the proposed variance 7310 SE Crosswinds Drive, Ankeny, IA 50021			
egal description (Plat & Lot #) TT PRT LOT 1 FRMRLY LOT 1 CROSSWINDS PLAT 1 CROSSWINDS PLAT 2			
oning PUD Principal Use of property Warehouse Storage			
request a variation from the current zoning requirement for: ] Front Yard □ Side Yard □ Rear Yard □ Fence ☑ Sign □ Parking □ Height ] Other			
ankeny Zoning code Section # which state(s) on-site directional signs, not exceeding a maximum of two square feet per signs.			
hall be permitted in any multi-family, commercial, industrial, or institutional zoning district for the purpose of directing vehicular or pedestrian traffic in a safe and convenient mann			
would propose the following in lieu of that required: Three 20 square feet directional signs signs along			
SE Crosswinds Drive.			
ttached hereto and made a part of this appeal, I submit the following:  a) A statement indicating the reasons for my appeal. b) A drawing showing proposed variance requested. c) A letter of authorization from the owner or lessee, if applicable.			
affidavit tate of Can Diego )ss ounty of Can Diego )			
hereby deposit and say that all of the above statements and the statements contained in the papers submitted herewith are true.			
(Signature of Applicant)  CANDELARIA T. ALDAN Commission No. 2317549 NOTARY PUBLIC - CALIFORNIA SAN DIEGO COUNTY Commission Expires January 2, 2024  Signed and sworn to before me, this  2011 day of February, 20 23.  (Notary Public)			
Date received 2-21-2023 CC #240,00 Office Use Onl			
Filing # 23-02 Scheduled Meeting Date 3-7-2023			



#### **MEMORANDUM**

To: City of Ankeny

From: Nimai Alicer

Kimley-Horn and Associates, Inc.

Date: February 20, 2023

Subject: 7310 SE Crosswinds Drive (DIA5) Wayfinding Memo

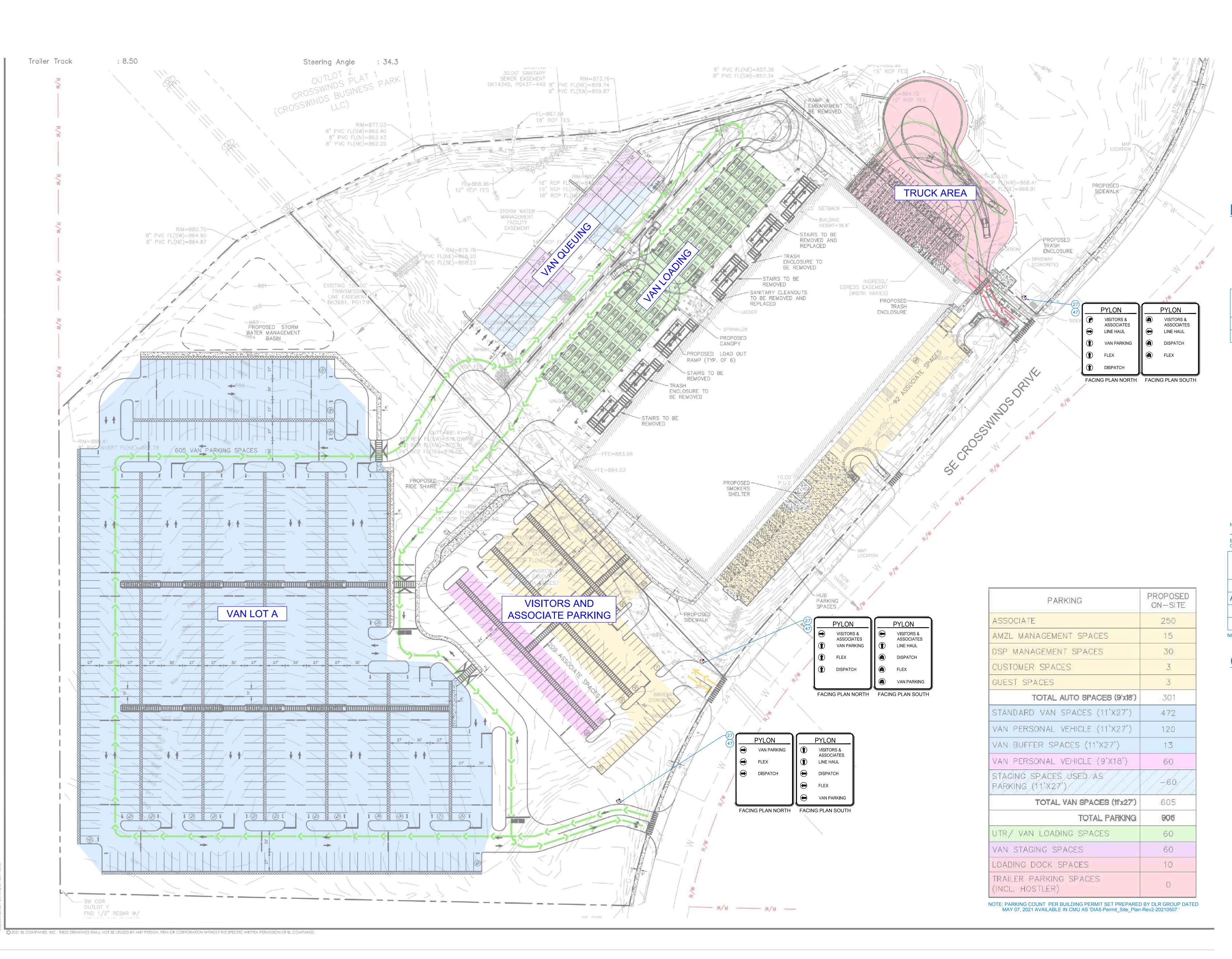
The proposed project involves the addition of wayfinding signage at the property located at 7310 SE Crosswinds Drive in the City of Ankeny. The existing use is an industrial facility and is 10.51 acres. The facility is located at the southwest corner of SE Corporate Woods Dr and SE Crosswinds Dr. To the north of the facility is a training facility and to the west and east are warehouses.

Per Section 195.03.03 of the City of Ankeny's municipal code, directional signs that are greater than 2sf are considered ground signs. It is understood that only one (1) ground sign is allowed for this address. The project involves proposing the addition of three (3) pylons signs (proposed at 7ft in height and 20sf) along from SE Crosswinds Drive. The applicant respectfully requests the additional signage in an effort to efficiently direct vehicles to their respective areas due to the scale of the site.

#### **Letter of Owner Authorization**

#### Application for the Development/Construction Permits

The undersigned,	Allegra Iowa LLC	, owner/representative of the property described
		rn & Associates Inc., and their employees, agents and
		ting any forms or applications for land use and the
		ts ability to use the property leased by Amazon for the
		all numbering, and related equipment on the property
		e modified or approved with conditions and that those or to the issuance of any construction permits. Amazon,
		ncurred in securing any required approvals.
and the contractor, wi	The responsible for all rees .	mountain moutain in grant on approximation
Amazon Site Code: D	IA5	
	7210 SE Crocowinde	Drive Ankeny IA 50021
Property Located at:	3 10 3E CIOSSWIIIUS	Drive, Ankeny, IA 50021
	1 and lie	
Signature and Title of	Owner: bsenlie	(Authorized Signer)
Owner's name (print):	Jose Maria Riesgo (Authorized	
Signature:		
Date:12/22/22		



## **GENERAL NOTES**

- DRIVER FLOW PLAN UTILIZES BUILDING PERMIT SET PREPARED BY DLR GROUP MAY 07, 2021 AVAILABLE IN CMU AS 'DIA5-Permit\_Site\_Plan-Rev2-20210507.'
   PARKING STALL NUMBERING AND WAYFINDING SIGNAGE IN ACCORDANCE
- WITH THE LATEST VERSION OF "WWD EXTERIOR SIGNAGE STANDARDS" IN ADDITION TO THE GUIDELINES / TENETS PROVIDED BY AMZL.
- NO SITE VISIT WAS PERFORMED IN PREPARATION OF THE DRIVER FLOW PLAN. KIMLEY-HORN WILL RELY ON THE AVAILABILITY AND ACCURACY OF CLIENT-PROVIDED DRAWING.
   FOR AS-95'S AND AS-16 SIGNAGE, VENDOR TO VERIFY ALL NUMBERING AND DIRECTION AS DETAILED IN THE PLAN IS CONSISTENT WITH STALL
- PRIOR TO FABRICATION AND INSTALLATION.

  5. SIGN LOCATIONS SHOWN ON PLANS ARE SCHEMATIC IN NATURE. WHERE PLACEMENT OF PROPOSED SIGNAGE CONFLICTS WITH EXISTING CONDITIONS,

NUMBERING IMPLEMENTED ONSITE AND THAT SIGN LOCATION IS FEASIBLE

6. CONTRACTOR TO WORK WITH SITE OPERATIONS ON INSTALLING IN LOGICAL AND VISIBLE LOCATION THAT DO NOT IMPACT PEDESTRIAN OR VEHICULAR FLOW, WIDTHS, SAFETY, OR VISIBILITY. SIGNAGE INSTALLATION SHALL MAINTAIN 30' MIN. DRIVE AISLE WIDTHS AND 11' MIN. VAN PARKING WIDTHS. CONTRACTOR TO COORDINATE WITH SITE OPERATIONS ON NOT INSTALLING THE SIGN IF THESE CRITERIA CANT BE MET.

CONTRACTOR TO USE REASONABLE DISCRETION ADJUSTING LOCATION.

INTERIOR TO THE BUILDING, CONTRACTOR TO PRIORITIZE SIGN INSTALLATION LOCATION IN FOLLOWING ORDER:

a) INSTALL SIGNAGE ON COLUMN ADJACENT TO PARKING STALL.

7. PER DIRECTION FROM AMAZON ON 10/19/2021, FOR SIGNAGE INSTALLATION

- b) INSTALL SIGNAGE ON WALLS IF PARKING STALLS ARE ALIGNED WITH AN ADJACENT WALL.
- c) INSTALL SIGNAGE ON THE FLOOR, MAINTAIN 30' DRIVE AISLE, 11'W X 27'L PARKING STALL STANDARDS ARE NOT VIOLATED. IF NO BUFFER SPACE IS AVAILABLE FOR SIGNAGE INSTALLATION, CONTRACTOR TO COORDINATE
- WITH SITE OPERATIONS ON NOT INSTALLING THE SIGN.

  8. SIGNS SHOULD BE PLACED ON PRIVATE PROPERTY ONLY OUTSIDE OF THE
- PUBLIC RIGHT-OF-WAY.9. CONTRACTOR TO WORK WITH SITE OPERATIONS ON DISPOSITION OF EXISTING SIGNAGE THAT CONFLICTS WITH THE PROPOSED SIGNAGE SHOWN ON PLAN.
- 10. THE PRESENCE AND LOCATION OF EXISTING UNDERGROUND UTILITIES IS UNKNOWN. CONTRACTOR TO CALL 811 PRIOR TO INSTALLATION.

### **I FGFNI**

, — — — — 3' RADIUS UTILITY POTHOLE AROUND SIGN LOCATION



## WAYFINDING SIGNAGE COUNT

SIGNAGE TYPE	QUANTITY
PYLON	3

NOTE: PRELIMINARY SIGNAGE COUNT PER CONCEPT PLAN. MAY VARY AT FINAL IMPROVEMENT PLAN.

\*IN ADDITION TO SIGNS BEING PROPOSED HEREON, SEE DETAILS PAGES FOR ADDITIONAL SIGNAGE BEING PROPOSED. LOCATION TO BE DETERMINED IN FIELD BASED ON COORDINATION WITH SITE

# VAN PARKING COUNT VERIFICATION SOURCE QUANTITY

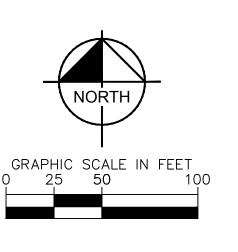
QUANTITY
454
605
605

NOTE: WAYFINDING PLAN IS DESIGNED BASED ON STALL QUANTITIES SHOWN ON PERMIT SITE PLAN. STALL QUANTITY DEVIATIONS TO BE REVIEWED BY AMZL

## **CONSTRUCTION NOTES**

INSTALL 7' NON-ILLUMINATED PYLON SIGN PER DETAIL 26, SHEET WF4.
NUMBERING AND DIRECTION SHOWN FOR REFERENCE ONLY. SIGN
MANUFACTURER AND INSTALLER TO REVIEW NUMBERING AND ARROW
DIRECTION ON PLANS BEFORE MANUFACTURING AND INSTALLATION.

47 REMOVE EXISTING WAYFINDING SIGN.



7310 SE CROSSWINDS DRIVE

SHEET NUMBER
WF1(R2)

AND ASSOCIATES, INC.

FOR INFORMATIONAL PURPOSES

195250504
DATE
11/19/2021
SCALE AS SHOWN
DESIGNED BY: HAP
ORAWN BY: HAP
CHECKED BY: JTA

WAYFINDING E IMPROVEMENT PLAN DIA5

