



APPLICATION FOR APPEAL ZONING BOARD OF ADJUSTMENT

Applicant is: ☐ Property Owner ☐ Tenant ☒ Other Consultant

Applicant Nimai Alicer/ Kimley-Horn

Address / Phone # 401 B Street #600, San Diego, CA, 619-234-9411

E-mail nimai.alicer@kimley-horn.com

Property Owner Allerga Iowa, LLC / Sofia Pons

Address / Phone # 6900 Westown Pkwy, West Des Moines, IA 50266

E-mail spons@exancapital.com

(Owner must sign the application or submit a letter of authorization)

To the Members of the Board of Adjustment:

I hereby appeal from the decision of the Zoning Administrator rendered on _____ day of _____, 20____

Location (address) of the proposed variance 7310 SE Crosswinds Drive, Ankeny, IA 50021

Legal description (Plat & Lot #) TT PRT LOT 1 FRMRLY LOT 1 CROSSWINDS PLAT 1 CROSSWINDS PLAT 2

Zoning PUD Principal Use of property Warehouse Storage

I request a variation from the current zoning requirement for:

☐ Front Yard ☐ Side Yard ☐ Rear Yard ☐ Fence ☒ Sign ☐ Parking ☐ Height
☐ Other _____

Ankeny Zoning code Section # 195.03.3 which state(s) _____ On-site directional signs, not exceeding a maximum of two square feet per sign, shall be permitted in any multi-family, commercial, industrial, or institutional zoning district for the purpose of directing vehicular or pedestrian traffic in a safe and convenient manner.

I would propose the following in lieu of that required: Three 20 square feet directional signs signs along SE Crosswinds Drive.

Attached hereto and made a part of this appeal, I submit the following:

- A statement indicating the reasons for my appeal.
- A drawing showing proposed variance requested.
- A letter of authorization from the owner or lessee, if applicable.

Complete submittals are required for review.

AFFIDAVIT

State of California)ss
County of San Diego)

I hereby deposit and say that all of the above statements and the statements contained in the papers submitted herewith are true.

(Signature of Applicant)



Signed and sworn to before me, this

20th day of February, 20 23
[Signature]
(Notary Public)

Date received 2-21-2023

Paid CC \$240.00

Office Use Only

Filing # 23-02

Scheduled Meeting Date 3-7-2023



MEMORANDUM

To: City of Ankeny

From: Nimai Alicer
Kimley-Horn and Associates, Inc.

Date: February 20, 2023

Subject: 7310 SE Crosswinds Drive (DIA5) Wayfinding Memo

The proposed project involves the addition of wayfinding signage at the property located at 7310 SE Crosswinds Drive in the City of Ankeny. The existing use is an industrial facility and is 10.51 acres. The facility is located at the southwest corner of SE Corporate Woods Dr and SE Crosswinds Dr. To the north of the facility is a training facility and to the west and east are warehouses.

Per Section 195.03.03 of the City of Ankeny's municipal code, directional signs that are greater than 2sf are considered ground signs. It is understood that only one (1) ground sign is allowed for this address. The project involves proposing the addition of three (3) pylons signs (proposed at 7ft in height and 20sf) along from SE Crosswinds Drive. The applicant respectfully requests the additional signage in an effort to efficiently direct vehicles to their respective areas due to the scale of the site.

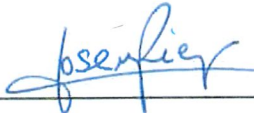
Letter of Owner Authorization

Application for the Development/Construction Permits

The undersigned, Allegra Iowa LLC, owner/representative of the property described below, does hereby authorize **Amazon, Kimley-Horn & Associates Inc.**, and their employees, agents and contractors, for the purpose of filing and completing any forms or applications for land use and the permitting processes that are necessary to ensure its ability to use the property leased by Amazon for the purpose of installing wayfinding signage, parking stall numbering, and related equipment on the property as required. I understand that the application may be modified or approved with conditions and that those conditions or modifications must be completed prior to the issuance of any construction permits. Amazon, and the contractor, will be responsible for all fees incurred in securing any required approvals.

Amazon Site Code: DIA5

Property Located at: 7310 SE Crosswinds Drive, Ankeny, IA 50021

Signature and Title of Owner:  (Authorized Signer)

Owner's name (print): Jose Maria Riesgo (Authorized Signer)

Signature: _____

Date: 12/22/22

