

APPLICATION FOR APPEAL ZONING BOARD OF ADJUSTMENT

Applicant is:					
Applicant Nimai Alicer/ Kimley-Horn					
Address / Phone #_401 B Street #600, San Diego, CA, 619-234-9411					
E-mail_nimai.alicer@kimley-horn.com					
Property Owner Allerga Iowa, LLC / Sofia Pons					
Address / Phone # 6900 Westown Pkwy, West Des Moines, IA 50266					
E-mail spons@exancapital.com					
(Owner must sign the application or submit a letter of authorization)					
To the Members of the Board of Adjustment: I hereby appeal from the decision of the Zoning Administrator rendered on day of, 20					
Location (address) of the proposed variance 7310 SE Crosswinds Drive, Ankeny, IA 50021					
Legal description (Plat & Lot #) TT PRT LOT 1 FRMRLY LOT 1 CROSSWINDS PLAT 1 CROSSWINDS PLAT 2					
Zoning PUD Principal Use of property Warehouse Storage					
I request a variation from the current zoning requirement for: ☐ Front Yard ☐ Side Yard ☐ Rear Yard ☐ Fence ☒ Sign ☐ Parking ☐ Height ☐ Other					
Ankeny Zoning code Section # which state(s) which state(s)					
shall be permitted in any multi-family, commercial, industrial, or institutional zoning district for the purpose of directing vehicular or pedestrian traffic in a safe and convenient manner.					
I would propose the following in lieu of that required: Three 20 square feet directional signs signs along					
SE Crosswinds Drive.					
Attached hereto and made a part of this appeal, I submit the following: a) A statement indicating the reasons for my appeal. b) A drawing showing proposed variance requested. c) A letter of authorization from the owner or lessee, if applicable.					
AFFIDAVIT State of County					
I hereby deposit and say that all of the above statements and the statements contained in the papers submitted herewith are true.					
(Signature of Applicant) CANDELARIA T. ALDAN day of february , 20 23. Commission No. 2317549 NOTARY PUBLIC - CALIFORNIA SAN DIEGO COUNTY SAN DIEGO COUNTY Commission Expires January 2, 2024					
Date received 2-21-2023 Paid Gash Geleck# Office Use Only					
Filing # <u>23-02</u> Scheduled Meeting Date <u>3-7-2023</u>					



MEMORANDUM

To: City of Ankeny

From: Nimai Alicer

Kimley-Horn and Associates, Inc.

Date: February 20, 2023

Subject: 7310 SE Crosswinds Drive (DIA5) Wayfinding Memo

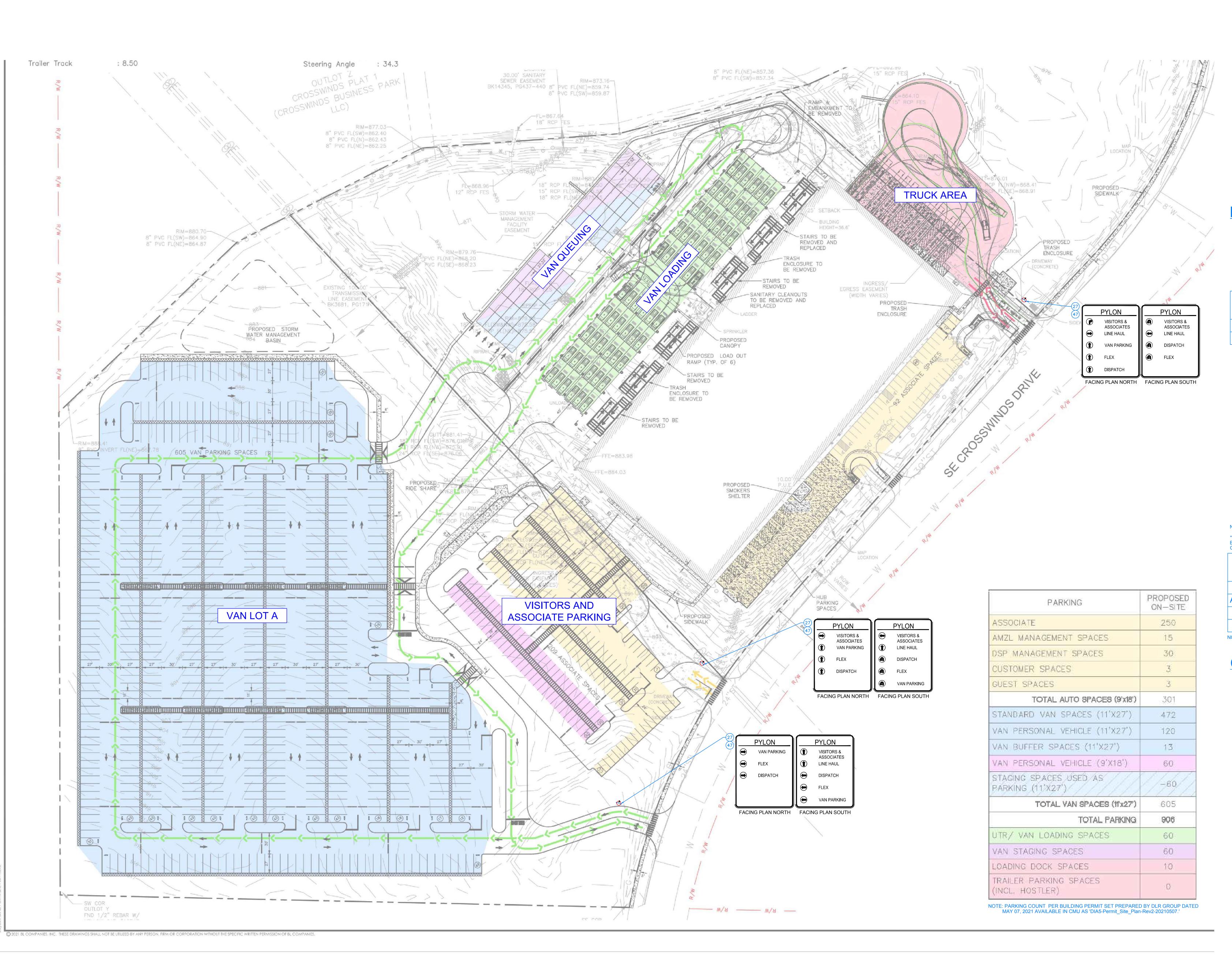
The proposed project involves the addition of wayfinding signage at the property located at 7310 SE Crosswinds Drive in the City of Ankeny. The existing use is an industrial facility and is 10.51 acres. The facility is located at the southwest corner of SE Corporate Woods Dr and SE Crosswinds Dr. To the north of the facility is a training facility and to the west and east are warehouses.

Per Section 195.03.03 of the City of Ankeny's municipal code, directional signs that are greater than 2sf are considered ground signs. It is understood that only one (1) ground sign is allowed for this address. The project involves proposing the addition of three (3) pylons signs (proposed at 7ft in height and 20sf) along from SE Crosswinds Drive. The applicant respectfully requests the additional signage in an effort to efficiently direct vehicles to their respective areas due to the scale of the site.

Letter of Owner Authorization

Application for the Development/Construction Permits

below, does hereby au contractors, for the p permitting processes the purpose of installing w as required. I understal conditions or modificat	thorize Amazon, Kimley-Hourpose of filing and comples are necessary to ensure ayfinding signage, parking sond that the application may	orn & Associates Inc., a eting any forms or ap its ability to use the pr tall numbering, and rel be modified or approve or to the issuance of an	ntative of the property described and their employees, agents are oplications for land use and the coperty leased by Amazon for the lated equipment on the proper- ed with conditions and that those my construction permits. Amazon my required approvals.	nd ne ne ty se
Amazon Site Code: <u>D</u>			_	
Property Located at:	310 SE Crosswinds	Drive, Ankeny,	<u>I</u> A 50021	
Signature and Title of	•	(Authorized Sig	iner)	
Owner's name (print):	Jose Maria Riesgo (Authorized	i signer /	_	
Signature:			_	
Date:				



GENERAL NOTES

- DRIVER FLOW PLAN UTILIZES BUILDING PERMIT SET PREPARED BY DLR GROUP MAY 07, 2021 AVAILABLE IN CMU AS 'DIA5-Permit_Site_Plan-Rev2-20210507.' 2. PARKING STALL NUMBERING AND WAYFINDING SIGNAGE IN ACCORDANCE
- WITH THE LATEST VERSION OF "WWD EXTERIOR SIGNAGE STANDARDS" IN ADDITION TO THE GUIDELINES / TENETS PROVIDED BY AMZL.
- 3. NO SITE VISIT WAS PERFORMED IN PREPARATION OF THE DRIVER FLOW PLAN. KIMLEY-HORN WILL RELY ON THE AVAILABILITY AND ACCURACY OF CLIENT-PROVIDED DRAWING. 4. FOR AS-95'S AND AS-16 SIGNAGE, VENDOR TO VERIFY ALL NUMBERING AND
- DIRECTION AS DETAILED IN THE PLAN IS CONSISTENT WITH STALL NUMBERING IMPLEMENTED ONSITE AND THAT SIGN LOCATION IS FEASIBLE PRIOR TO FABRICATION AND INSTALLATION.
- 5. SIGN LOCATIONS SHOWN ON PLANS ARE SCHEMATIC IN NATURE. WHERE PLACEMENT OF PROPOSED SIGNAGE CONFLICTS WITH EXISTING CONDITIONS, CONTRACTOR TO USE REASONABLE DISCRETION ADJUSTING LOCATION.
- 6. CONTRACTOR TO WORK WITH SITE OPERATIONS ON INSTALLING IN LOGICAL AND VISIBLE LOCATION THAT DO NOT IMPACT PEDESTRIAN OR VEHICULAR FLOW, WIDTHS, SAFETY, OR VISIBILITY. SIGNAGE INSTALLATION SHALL MAINTAIN 30' MIN. DRIVE AISLE WIDTHS AND 11' MIN. VAN PARKING WIDTHS.
- CONTRACTOR TO COORDINATE WITH SITE OPERATIONS ON NOT INSTALLING THE SIGN IF THESE CRITERIA CANT BE MET.

7. PER DIRECTION FROM AMAZON ON 10/19/2021, FOR SIGNAGE INSTALLATION

INTERIOR TO THE BUILDING, CONTRACTOR TO PRIORITIZE SIGN INSTALLATION

- LOCATION IN FOLLOWING ORDER: a) INSTALL SIGNAGE ON COLUMN ADJACENT TO PARKING STALL.
- b) INSTALL SIGNAGE ON WALLS IF PARKING STALLS ARE ALIGNED WITH AN ADJACENT WALL.
- c) INSTALL SIGNAGE ON THE FLOOR, MAINTAIN 30' DRIVE AISLE, 11'W X 27'L PARKING STALL STANDARDS ARE NOT VIOLATED. IF NO BUFFER SPACE IS AVAILABLE FOR SIGNAGE INSTALLATION, CONTRACTOR TO COORDINATE
- WITH SITE OPERATIONS ON NOT INSTALLING THE SIGN. 8. SIGNS SHOULD BE PLACED ON PRIVATE PROPERTY ONLY OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- 9. CONTRACTOR TO WORK WITH SITE OPERATIONS ON DISPOSITION OF EXISTING SIGNAGE THAT CONFLICTS WITH THE PROPOSED SIGNAGE SHOWN ON PLAN.
- 10. THE PRESENCE AND LOCATION OF EXISTING UNDERGROUND UTILITIES IS UNKNOWN. CONTRACTOR TO CALL 811 PRIOR TO INSTALLATION.

— — — 3' RADIUS UTILITY POTHOLE AROUND SIGN LOCATION



WAYFINDING SIGNAGE COUNT

SIGNAGE TYPE	QUANTITY
PYLON	3

NOTE: PRELIMINARY SIGNAGE COUNT PER CONCEPT PLAN. MAY VARY AT FINAL IMPROVEMENT PLAN. *IN ADDITION TO SIGNS BEING PROPOSED HEREON, SEE DETAILS PAGES FOR ADDITIONAL SIGNAGE BEING PROPOSED. LOCATION TO BE DETERMINED IN FIELD BASED ON COORDINATION WITH SITE

VAN PARKING COUNT VERIFICATION **QUANTITY** SOURCE AMZL PROVIDED QUANTITY

NOTE: WAYFINDING PLAN IS DESIGNED BASED ON STALL QUANTITIES SHOWN ON PERMIT SITE PLAN. STALL QUANTITY DEVIATIONS TO BE REVIEWED BY AMZL

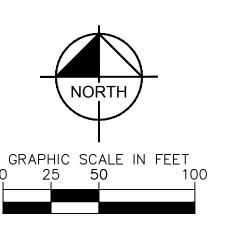
CONSTRUCTION NOTES

27) INSTALL 7' NON-ILLUMINATED PYLON SIGN PER DETAIL 26, SHEET WF4. MANUFACTURER AND INSTALLER TO REVIEW NUMBERING AND ARROW DIRECTION ON PLANS BEFORE MANUFACTURING AND INSTALLATION.

(47) REMOVE EXISTING WAYFINDING SIGN.

PERMIT SITE PLAN

WAYFINDING PLAN



INFORMATIONAL **PURPOSES**

CROSSWINDS 0

SHEET NUMBER WF1(R2)

 \mathcal{C}

