LEGAL DESCRIPTION

LOT 1, ANKENY DMOS OFFICE PARK, AN OFFICIAL PLAT IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND CONTAINING 2.60 ACRES.

PROJECT SITE ADDRESS

ZONING

THE WOODLAND RESERVE PUD

BULK REGULATIONS

FRONT YARD

= 45 FEET FROM NE 36TH STREET = 30 FEET FROM NE TRILEIN DRIVE = FEET = 30 FEET FROM WEST LOT LINE

OWNER / APPLICANT

SHERMAN HILLS REAL ESTATE PARTNERSHIP CONTACT: KEVIN DERONDE, DMOS WEST DES MOINES 1601 BRYAN STREET, 15TH FLOOR DALLAS, TEXAS 75201 PH. (515) 224-5131

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC CONTACT: BRAD KUEHL 3405 SE CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PH. (515) 369-4400 FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC CONTACT: MIKE BROONER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111 PH. (515) 369-4400 FX. (515) 369-4410

ARCHITECT

ENVIRONMENTAL DESIGN GROUP, LTD. CONTACT: RICH AYERS 6601 WESTOWN PARKWAY WEST DES MOINES, IOWA 50266 PH. (515) 224-4022 FX. (515) 224-9254

SUBMITTAL DATES -SITE PLAN SUBMITTAL TO CITY #1

-SITE PLAN SUBMITTAL TO CITY #3:

-SITE PLAN SUBMITTAL TO CITY #5:

-SITE PLAN SUBMITTAL TO CITY #4

3/21/16 4/25/16

5/09/16

5/26/16

DEVELOPMENT SUMMARY

AREA:

2.60 ACRES (113,082 SF)

THE WOODLAND RESERVE PUD

OPEN SPACE CALCULATION: TOTAL SITE:

= 113,082 SF (2.60 ACRES) OPEN SPACE REQUIRED (20%) = 22.616 SF PARKING/DRIVES = 53,925 SF = 3,500 SF

SHARED USE PATH = 2.900 SF

PARKING:

1 SPACE PER 200 SF GROSS FLOOR AREA (16,880 SF)

TOTAL REQUIRED TOTAL PROVIDED

ERU CALCULATION

IMPERVIOUS SURFACES:

PAVEMENT (PARKING/DRIVES) SIDEWALK SHARED USE PATH

= 52.640 SF

TOTAL IMPERVIOUS AREA

= 75,920 SF ERU-SITE (IMPERVIOUS AREA/4000)

CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111 PH: (515) 369-4400 Fax: (515) 369-4410 PROJECT NO. 1506288

ANKENY, IOWA

DESCRIPTION

INDEX OF SHEETS

- COVER SHEET
- DIMENSION PLAN AND GENERAL NOTES
- GRADING PLAN
- UTILITY PLAN
- LANDSCAPE PLAN

DATE OF SURVEY

JUNE 10, 2015

BENCHMARKS

- 1. IDOT DISC @ NW RAILING BRIDGE OVER FOUR MILE CREEK &
- 2. NW BOLT ON HYDRANT @ NW CORNER 36TH STREET & NE TRILEIN DRIVE. ELEVATION=930.78



1-800-292-8989 www.iowaonecali.com



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

GENERAL LEGEND

PROJECT BOUNDARY LOT LINE SECTION LINE CENTER LINE RIGHT OF WAY PERMANENT EASEMENT TEMPORARY FASEMENT TYPE SW-501 STORM INTAKE TYPE SW-503 STORM INTAKE TYPE SW-505 STORM INTAKE TYPE SW-506 STORM INTAKE TYPE SW-513 STORM INTAKE 1 TYPE SW-401 STORM MANHOLE TYPE SW-402 STORM MANHOLE TYPE SW-301 SANITARY MANHOLE **(S)** STORM/SANITARY CLEANOUT WATER VALVE FIRE HYDRANT ASSEMBLY DETECTABLE WARNING PANEL (ST-) STORM SEWER STRUCTURE NO. STORM SEWER PIPE NO. (L-10) (§-10) SANITARY SEWER STRUCTURE NO. (P-10) SANITARY SEWER PIPE NO. SANITARY SEWER WITH SIZE -8"s -SANITARY SERVICE ---s---s----s---STORM SEWER STORM SERVICE --- ST ----- ST -----WATERMAIN WITH SIZE WATER SERVICE SAWCUT (FULL DEPTH) SILT FENCE

SANITARY MANHOLF 0 WATER VALVE BOX FIRE HYDRANT WATER CURB STOP WELL STORM SEWER MANHOLE (3) STORM SEWER SINGLE INTAKE STORM SEWER DOUBLE INTAKE FLARED END SECTION ROOF DRAIN/ DOWNSPOUT (ED) Ŭ ₩ DECIDUOUS TREE CONIFEROUS TREE DECIDUOUS SHRUB 6 CONIFEROUS SHRUB 0 ELECTRIC POWER POLE -GUY ANCHOR STREET LIGHT POWER POLE W/ TRANSFORMER \$ UTILITY POLE W/ LIGHT ELECTRIC BOX FLECTRIC TRANSFORMER F ELECTRIC MANHOLE OR VAULT (E) TRAFFIC SIGN TELEPHONE JUNCTION BOX (1) TELEPHONE MANHOLE/VAULT TELEPHONE POLE GAS VALVE BOX CABLE TV JUNCTION BOX īv (v) CABLE TV MANHOLE/VAULT MAIL BOX BENCHMARK SOIL BORING UNDERGROUND TV CABLE GAS MAIN FIBER OPTIC UNDERGROUND TELEPHONE OVERHEAD ELECTRIC UNDERGROUND ELECTRIC FIELD TILE SANITARY SEWER W/ SIZE ——— 8"S — _____15<u>* RCP</u>____ STORM SEWER W/ SIZE WATER MAIN W/ SIZE

EXISTING

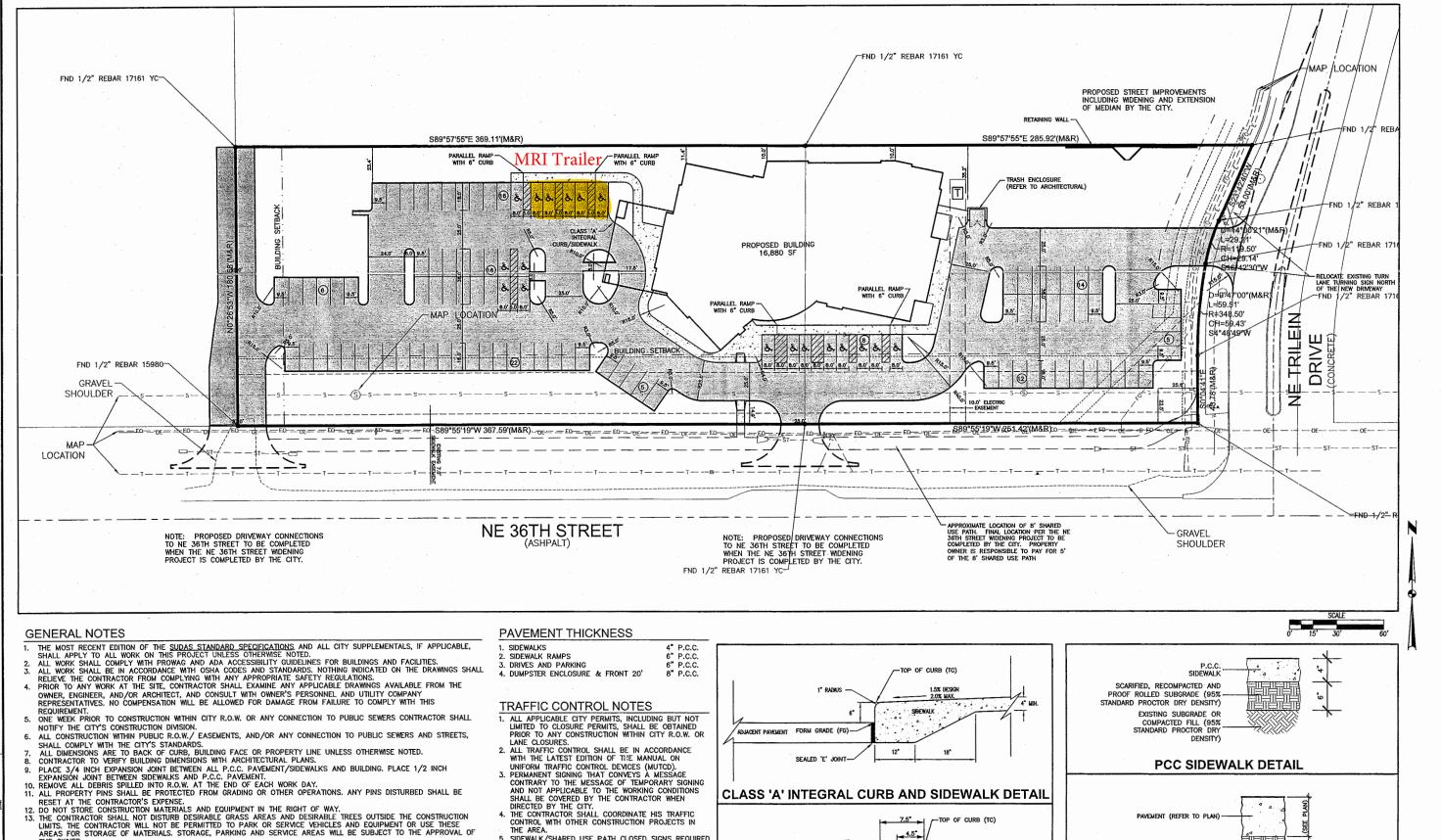
THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF ANKENY GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE <u>SUDAS STANDARD SPECIFICATIONS</u>. THE <u>PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDEUNES</u> (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.

ANKENY DMOS



- RESET AT THE CONTRACTOR'S EXPENSE.

 12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.

 13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION
 LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE
 AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF
- AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.

 14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK. NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.

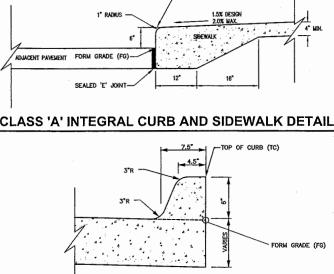
 15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR
- 16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.

 17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT.
- CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.

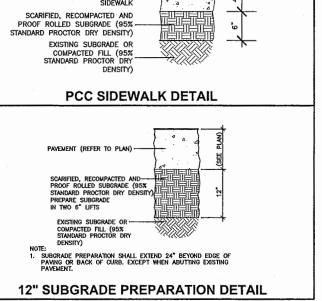
 18. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS. INSTALL SOD UNDER ALL SCOUR STOP AND TURF REINFORMENT MAT (TRM).

 19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

- 5. SIDEWALK/SHARED USE PATH CLOSED SIGNS REQUIRED FOR ALL SIDEWALK/SHARED USE PATH CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
 6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURE THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
 7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT. 5. SIDEWALK/SHARED USE PATH CLOSED SIGNS REQUIRED

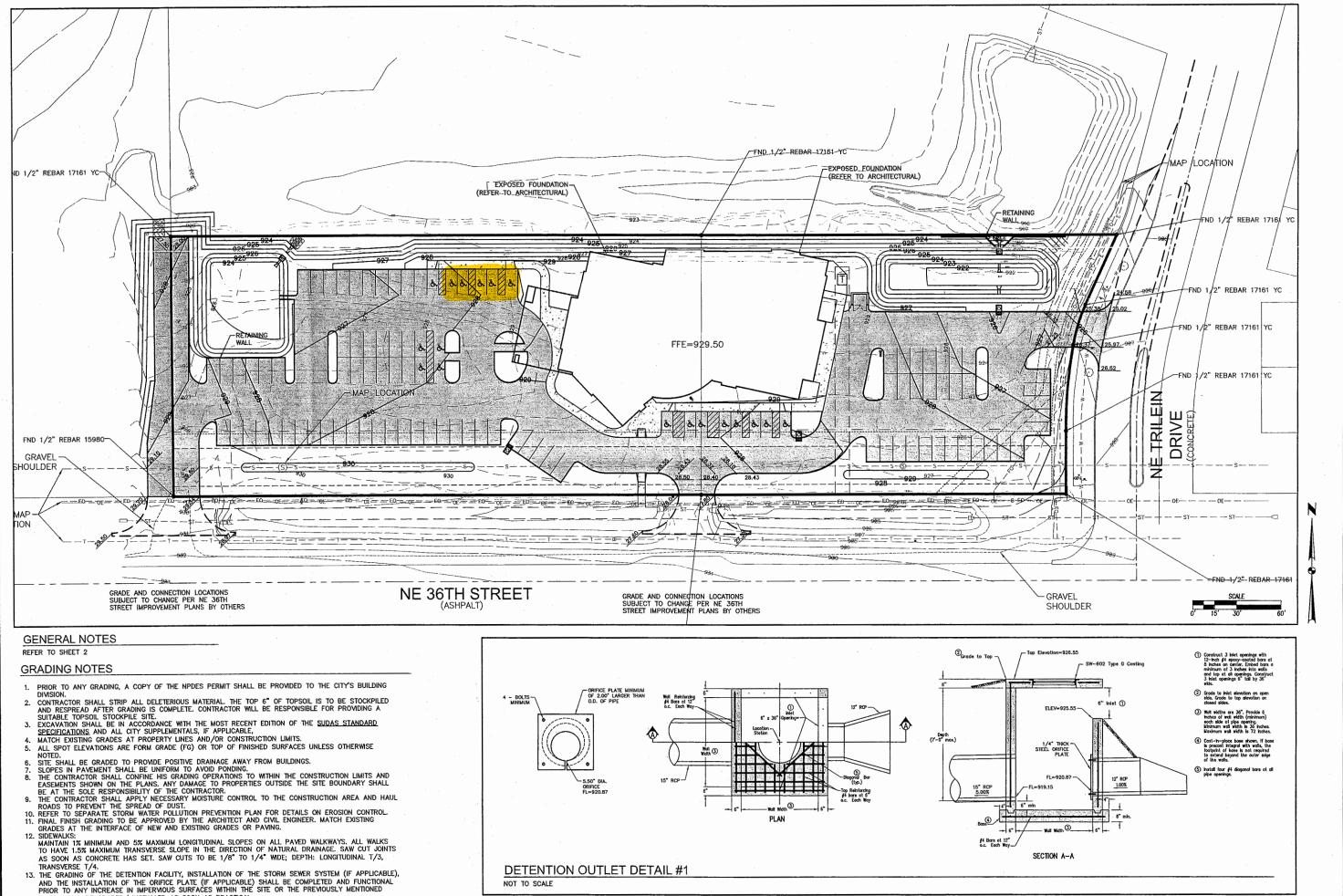


6" PCC INTEGRAL CURB



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SUBMITTAL#4 TI
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SUBMITTAL#3 TI

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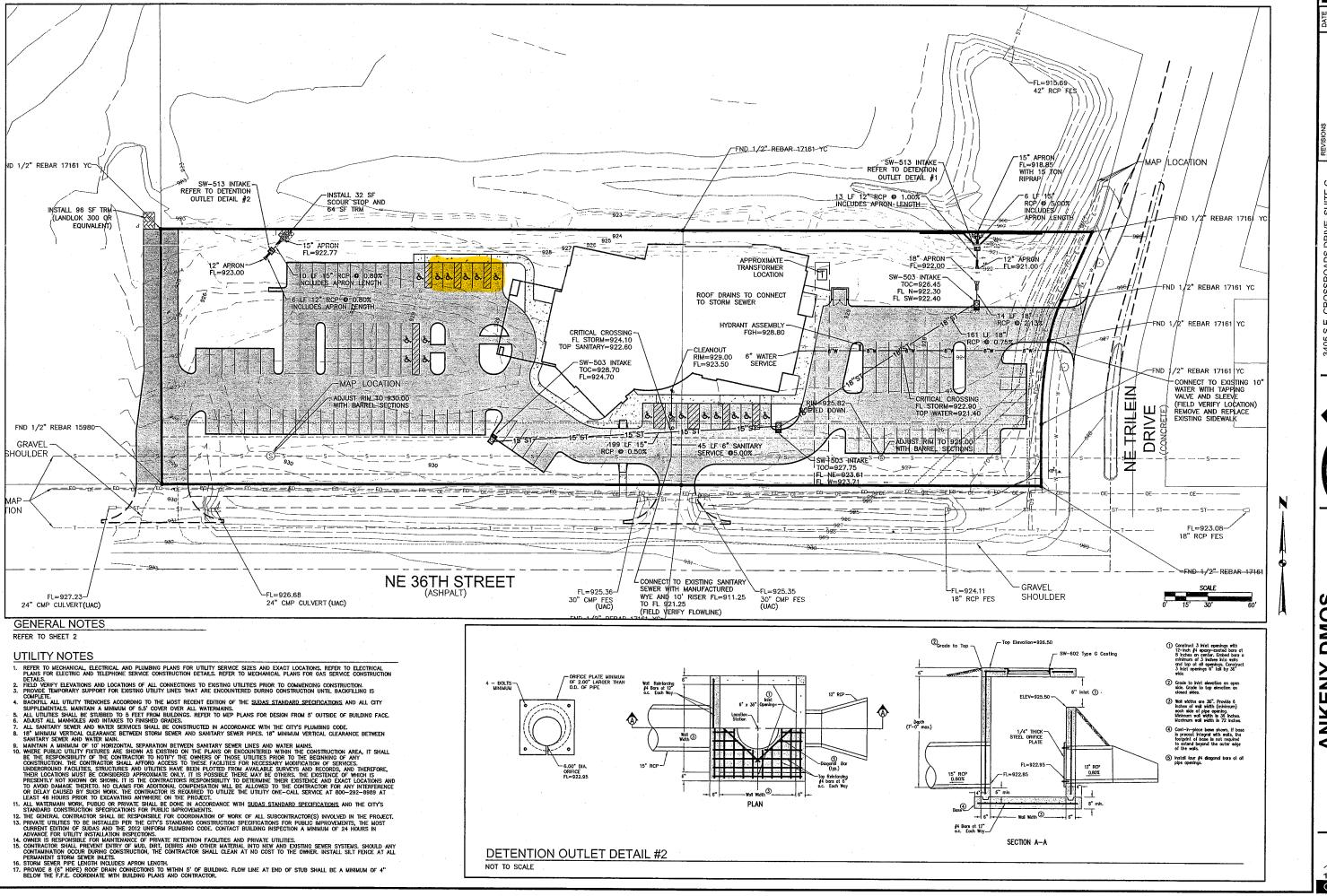
ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.

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3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410

ANKENY DMOS NE 36TH STREET GRADING PLAN

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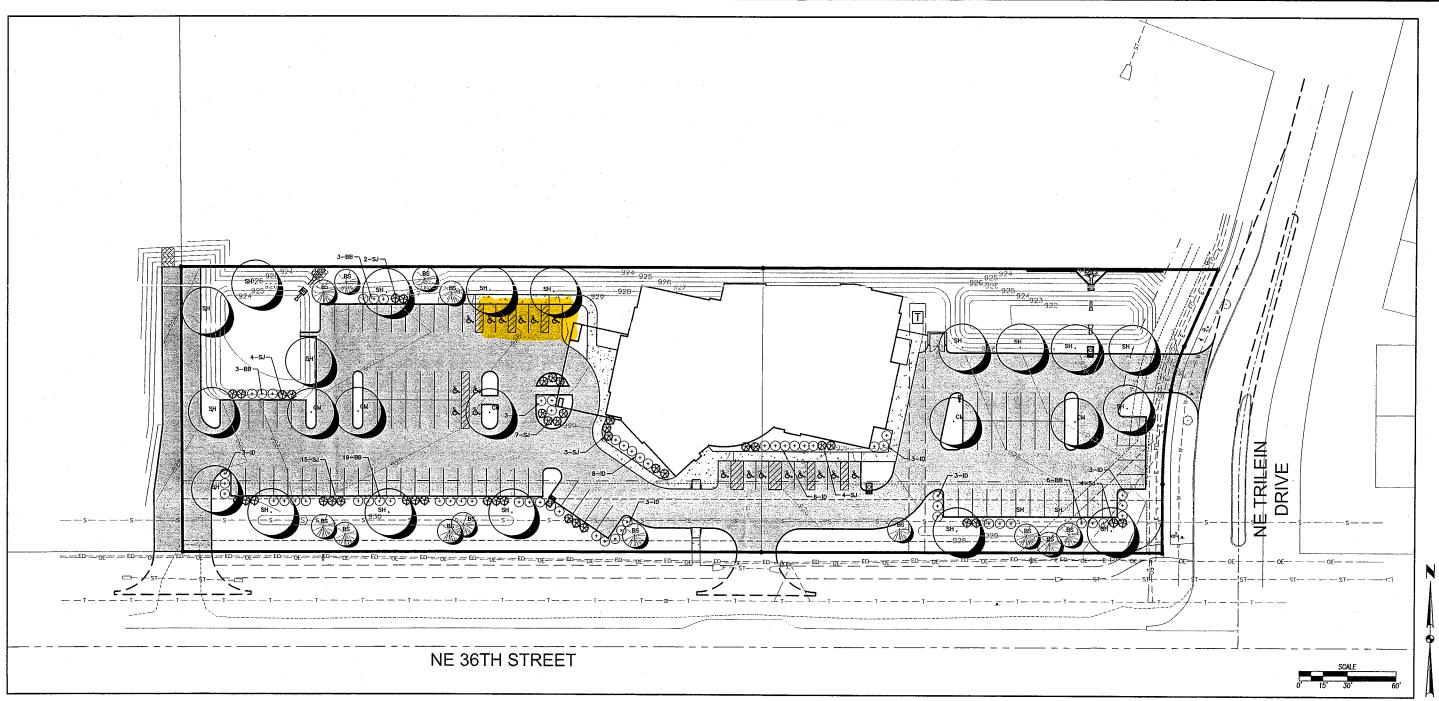


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ANKENY DMOS NE 36TH STREET UTILITY PLAN

5 1506288



GENERAL NOTES

REFER TO SHEET 2

OPEN SPACE/ LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIREMENTS OPEN SPACE REQUIRED (20%) OPEN SPACE PROVIDED

OF REQUIRED OPEN SPACE)

= 22,616 SF = 37,162 SF (32.9%)

OPEN SPACE PLANTING REQUIREMENTS (2 TREES & 6 SHRUBS PER 3,000 SF

REQUIRED TREES SHRUBS = 15 TREES = 45 SHRUBS

PROVIDED TREES

= 16 TREES = 45 SHRUBS = 56 SHRUBS

PARKING LOT SCREENING

PAVEMENT SHADING REQUIREMENTS

PRIVATE STREET/PARKING
TOTAL PAVEMENT

20% OF PAVEMENT = 10,528 SF 10,528 SF/ 706 (30' DIA. TREE) = 15 TREES TREES PROVIDED = 20 TREES

LANDSCAPE NOTES

LOCATE ALL UNLITES BEFORE ANY PLANTING BEGINS.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS ON DIFFEMSE NOTED.

TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANS (260.1)

ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.

SEED OR SOO ALL DISTURBED AREAS AS DIRECTED BY OWNER.

SEED OR SOO ALL DISTURBED AREAS AS DIRECTED BY OWNER.

BACKFILL TO TOP OF CURR, (MINUS 1 1/2" FOR SOO, IF REQUIRED.)

WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.

SHIREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".

9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC RICHT-OF-WAY SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL MARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

SEEDBED PREPARATION

TOPSOIL:

N ORDER TO PROVIDE AN ADEQUATE GROWING MEDIUM, <u>A MINIMUM OF 6 INCHES</u> OF TOPSOIL SHOULD BE PLACED OVER THE
DISTURBED AREA PRIOR TO SEEDING, DEEPER TOPSOIL DEPTHS (8-12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE
ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING
BILITY OF THE SOIL. THESE EINEMETS WILL INCREASE THE DROUGHT TOLERANCE AND LONG-TERM HEALTH OF THE VEGETATION, WHERE
SUFFICIENT TOPSOIL IS NOT AVAILABLE, COMPOSTED MATERIAL MAY BE INCORPORATED AT THE RATE OF 1 INCH OF COMPOST FOR
EVERY 3 INCHES OF DETRICIENT TOPSOIL. THIS WILL INCREASE THE ORGANIC MATTER CONTENT OF THE SOIL, AND PROVIDE AN
ADEQUATE GROWING MEDIUM FOR VEGETATION.

PLANT SCHEDULE

I III OONEDOLL					
	_				
OOL	QTY	OVERSTORY TREES		SIZE	COND
CM	5	CRIMSON KING MAPLE	ACER PLATANOIDES	2° CAL	B&B
SH	18	SHADEMASTER HONEYLOCUST	CLEDITSIA TRICANTHAS INERMIS 'SHADEMASTER'	2" CAL	B&B
ODE OTYL EVERGREEN TREES			SIZE	COND	
35	13	COLORADO BLUE SPRUCE	PICEA PUNGENS	6' HT.	BAB
ODE	QTY	SHRUBS		SIZE	COND
38	31	DWARF BURNING BUSH	EUOUNYMOUS ALATAS COMPACTUS	30° HT.	CONT
0	29	IVORY HALO DOGWOOD	CORHUS ALBA		CONT
SJ	41	SEA GREEN JUNIPER	JUNIPEROUS CHINENSIS 'SEA GREEN'	30° HT.	

REVISIONS
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SUBMITTAL #1 TO CITY
SUBMITTAL #1 TO CITY
SUBMITTAL #3 TO CITY
SUBMITTAL #3 TO CITY

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ANKENY DMOS NE 36TH STREET LANDSCAPE PLAN

5 5 1506288