

## GENERAL NOTES

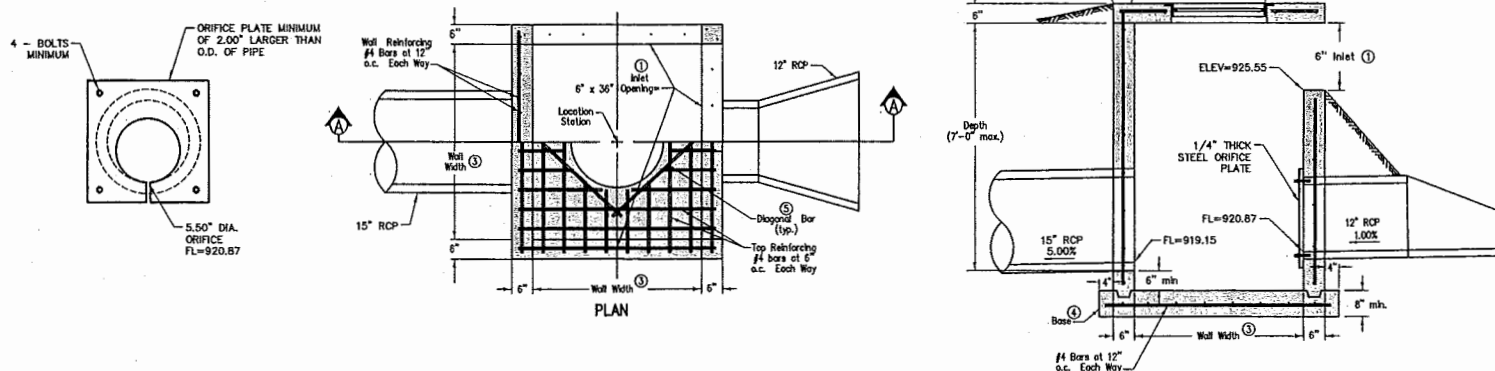
REFER TO SHEET 2

## GRADING NOTES

- PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
- CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
- FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
- SIDEWALKS:  
MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.5% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
- THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.

## DETENTION OUTLET DETAIL #1

NOT TO SCALE



- Construct 3 inlet openings with 12-inch #4 epoxy-coated bars at 8 inches on center. Embed bars a minimum of 3 inches into walls and top of all openings. Construct 3 inlet openings 6" tall by 36" wide.
- Grade to inlet elevation on open side. Grade to top elevation on closed sides.
- Wall widths are 36". Provide 6 inches of wall width (minimum) each side of pipe opening. Minimum wall width is 36 inches. Maximum wall width is 72 inches.
- Cast-in-place base shown. If base is present integral with walls, the footprint of base is not required to extend beyond the outer edge of the walls.
- Install four #4 diagonal bars at all pipe openings.

**ANKENY DMOS**  
**NE 36TH STREET**  
**GRADING PLAN**

**3**  
**5**  
1506288

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**ANKENY DMOS**  
CIVIL DESIGN ADVANTAGE

ENGINEER:

TECH:

REVISIONS	DATE	DESCRIPTION
SUBMITTAL #5 TO CITY	6/14/16	
SUBMITTAL #5 TO CITY	6/09/16	
SUBMITTAL #4 TO CITY	5/26/16	
SUBMITTAL #4 TO CITY	5/09/16	
SUBMITTAL #2 TO CITY	4/25/16	
SUBMITTAL #1 TO CITY	3/21/16	







