

WHEN RECORDED RETURN TO:

Michelle Yuska, City Clerk
City of Ankeny
410 W. First St
Ankeny, IA 50023

Preparer Information: Mitchell Wedell, 1210 NW Prairie Ridge Dr., Ankeny, Iowa 50023

(515) 963-3523

SPACE ABOVE THIS LINE FOR RECORDER

**DEVELOPMENT AGREEMENT BY AND BETWEEN
THE CITY OF ANKENY, IOWA, AND PARLAY ANKENY, LLC**

WHEREAS, the City of Ankeny, Iowa (hereinafter the “City”) has received a site plan and traffic impact study from Parlay Ankeny, LLC, a Missouri limited liability company (hereinafter the “Developer”) regarding the construction of a commercial project including an approximately 55,000 square foot retail building to be located on the property legally described on Exhibit A attached hereto (hereinafter the “Project”); and

WHEREAS, the December 15, 2022 Traffic Study approved by the City (“Current Traffic Study”) shows that additional traffic generated from the Project will require a traffic signal and additional right-of-way improvements (“Public Improvements”) at the intersection of SE Delaware Avenue and the private drive approximately 700’ north of SE 54th Street (the “Intersection”), according to the plans and specifications set forth on Exhibit B attached hereto (the “Approved Plans”); and

WHEREAS, the Public Improvements are currently not programmed in the City’s current Capital Improvement Program (“CIP”); and

WHEREAS, Developer has agreed that, except as expressly provided herein, as a condition to receipt of a final certificate of occupancy for the Project, the Public Improvements shall be constructed at the Intersection according to the plans approved by the City as provided herein.

NOW, THEREFORE, in consideration of the mutual promises of the parties contained herein, the Developer and the City hereby agree as follows:

1. The Public Improvements shall be constructed at the Intersection and completed and the Public Improvements shall be operational prior to the Project receiving a final certificate of occupancy. Notwithstanding anything to the contrary in the approved plans or elsewhere, the City shall not withhold or delay issuance of the temporary certificate of occupancy if the delay in completing the Public Improvements is the result of supply chain disruptions, delays in receiving materials, or other matters outside the reasonable control of Developer. Developer shall bid and construct the Public Improvements at the Intersection in accordance with the Approved Plans, and City shall reasonably cooperate with such efforts, including promptly issuing any necessary permits, and promptly reviewing any changes to the Approved Plans submitted by Developer. The City agrees to promptly review any changes to Developer’s Approved Plans for the Public Improvements, and to provide City’s approval or any comments to Developer within ten (10) business days after receipt by the City. The City acknowledges and agrees that the Public

Improvements are the only off-site public improvements required in connection with Developer's development and operation of the Project, and that no other off-site public improvements shall be required in connection therewith. Promptly upon Developer's completion of the Project and the Public Improvements, the City shall issue to Developer a final certificate of occupancy for the Project. Notwithstanding anything to the contrary herein, Developer shall have no obligation to bid or construct the Public Improvements unless and until Developer develops the Project, and if the Public Improvements are bid and constructed by another party prior to Developer developing the Project, Developer shall have no further obligation under this Agreement.

2. To the extent owned by Developer, the Developer agrees to provide the City with any right-of-way, permanent easement, and/or temporary construction easements (the "Right of Way") reasonably acceptable to Developer and consistent with the Project, which are necessary for any street, public utility, pedestrian ramp, or other improvements to the Intersection that are required to support the Public Improvements installation. The Right-of-Way will be determined during the preliminary design phase of the Public Improvements. The Right of Way provided by Developer shall be provided at no cost to the City.

3. The City agrees to reimburse the Developer fifty percent (50%) of the costs and expenses, not to exceed \$195,638.70, solely related to the traffic signal preparation, construction, and installation, as the City's contribution to the Public Improvements costs within thirty (30) days after the Public Improvements have been completed and accepted by the City Council, which acceptance shall not be unreasonably withheld, conditioned or delayed.

4. Upon completion of the Public Improvements and acceptance thereof by the City, the City shall, upon written request of Developer, execute and deliver to Developer a termination and release of this Agreement in the form attached hereto as Exhibit C.

5. This Agreement shall be governed by the laws of the State of Iowa.

6. In the event a party hereto fails to pay its obligations under this Agreement or breaches a covenant, warranty or representation of this Agreement, the other party shall give to the alleged defaulting party written notice of the alleged default and of the actions necessary to cure the default. If the default is not cured within 30 days from the date of notice, the party not in default may exercise all remedies available at law, or in equity, including specific performance. In the event that either party must file an action or suit to enforce this Agreement, the prevailing party shall be entitled to collect from the defaulting party all costs and expenses incurred by the prevailing party in connection with such action or suit (including attorney fees, court costs and expert witness fees).

7. This Agreement contains the entire agreement between the parties. This Agreement may not be changed or modified in any manner, unless a written instrument is executed by the parties.

8. The undersigned officers of the parties covenant and confirm that this Agreement has been approved, and its execution authorized, by the Developer and the City Council of the City of Ankeny, Iowa, and that the undersigned officers have been authorized to enter into and execute this Agreement on behalf of the Developer and the City.

9. The City has found and determined that this Agreement serves and accomplishes a public purpose and is in the best interests of the City and its citizens and residents.

10. The Developer agrees that this Development Agreement shall be effective and binding from and after the approval hereof by resolution of the City Council and shall be binding on any and all subsequent titleholders, transferees and assignees.

City:

City of Ankeny
1210 NW Prairie Ridge Drive
Ankeny, IA 50023
Attn.: Don Clark, PE

Developer:

Parlay Ankeny, LLC
101 Vine Street
Chillicothe, MO 64601
Attn.: Josh Copeland

Each properly addressed notice or request sent by certified mail shall be deemed given and served upon being actually received by the addressee or being rejected by the addressee. The City or the Developer shall have the right to send notices by overnight delivery which notices shall be deemed given and served upon actual receipt by the addressee or rejection by the addressee.

IN WITNESS WHEREOF, the parties hereto have caused the Agreement to be executed by their duly authorized representative on this the ____ day of _____, 2023.

PARLAY ANKENY, LLC

CITY OF ANKENY, IOWA

By: J. David Copeland
J. David Copeland, Manager

By: _____
Mark E. Holm, Mayor
Attest:

By: _____
Michelle Yuska, City Clerk

STATE OF Missouri
COUNTY OF Livingston, ss:

STATE OF IOWA
COUNTY OF POLK, ss:

On the 20 day of April, 2023,
before me, a Notary Public in and for said County and
State personally appeared J. David Copeland of Parlay
Ankeny, LLC, to me personally known, who being by me
duly sworn, did say that he is the Manager of Parlay
Ankeny, LLC, executing the within and foregoing
instrument and acknowledged that he executed the same as
his voluntary act and deed of the corporation, by it and by
him voluntarily executed.

On the _____ day of _____, 2023,
before me, the undersigned, a Notary Public in and for the
State of Iowa, personally appeared **MARK E. HOLM** and
MICHELLE YUSKA, to me personally known, who,
being by me duly sworn, did say that they are the Mayor
and Interim City Clerk of the City of Ankeny, Iowa, a
municipal corporation; that the seal affixed to the above and
foregoing instrument is the corporate seal of said municipal
corporation, and that said instrument was signed and
contained in the Resolution adopted by the City Council of
Ankeny, Iowa, on the _____ day of _____, 2023,
and the said **MARK E. HOLM** and **MICHELLE
YUSKA** acknowledged the execution of said instrument to
be their voluntary act and deed and the voluntary act and
deed of said municipal corporation, by it and by them
voluntarily executed.

Ashley Duncan
Notary Public in and for said State of Mo.

Notary Public in and for the State of Iowa

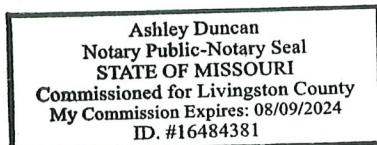


Exhibit A
Project Legal Description

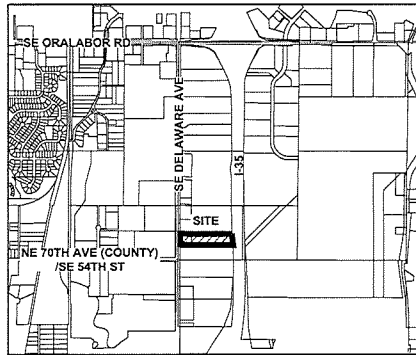
Lot 1, Delaware Landing Plat 1, an Official Plat in the City of Ankeny, Polk County, Iowa

Exhibit B
Public Improvements Approved Plans

CONSTRUCTION PLANS FOR: COPELAND COMMERCIAL INTERSECTION IMPROVEMENTS

ANKENY, IOWA

VICINITY MAP NOT TO SCALE



ANKENY, IOWA

OWNER

DENNY ELWELL FAMILY LLC
2401 SE TONES DR STE 17
ANKENY, IA 50021
CONTACT: CHRIS MURRAY
PH: (515) 984-1587

APPLICANT

COPELAND DEVELOPMENT AND CONSTRUCTION CO., INC
101 VINE STREET
CHILLICOTHE, MO 64601
CONTACT: JOSH COPELAND
PH: (816) 804-3885
EMAIL: JOSH@CCDCINC.COM

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: BOB WANDERLACH
EMAIL: BOB@CDA-ENG.COM
PH: (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE LLC
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCLOTHLEN
EMAIL: CHARLIE@CDA-ENG.COM
PH: (515) 369-4400

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = MARCH 2023
ANTICIPATED FINISH DATE = MARCH 2024

SUBMITTAL DATES

FIRST SUBMITTAL: 1/16/2023
SECOND SUBMITTAL: 2/14/2023
THIRD SUBMITTAL: 3/10/2023
FOURTH SUBMITTAL: 3/27/2023
FIFTH SUBMITTAL: 4/10/2023

LEGAL DESCRIPTION

LOT 1, DELAWARE LANDING PLAT 1

ZONING

C-2: GENERAL RETAIL AND HIGHWAY ORIENTED
COMMERCIAL DISTRICT

PROJECT SITE ADDRESS

5075 SE DELAWARE AVENUE
ANKENY, IA 50021

EXISTING/ PROPOSED USE

PROPOSED USE: RETAIL STORE

DATE OF SURVEY

06/14/2022

BENCHMARKS

- CDA SET BM, TOP OF SOUTH BASE PLATE OF LIGHT POLE IN THE SE CORNER OF THE SAMS CLUB PARKING LOT. ELEV=944.37
- CDA SET BM, TOP OF THE HYDRANT AT THE SW CORNER OF THE INTERSECTION OF SE DELAWARE AVENUE AND THE SOUTHERN ENTRANCE TO THE SAMS CLUB PARKING LOT. ELEV=956.36

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

INDEX OF SHEETS

NO.	DESCRIPTION
C.01	TITLE SHEET
C.02	TYPICAL SECTION AND DETAILS
C.03	QUANTITIES AND REFERENCE NOTES
C.04	DEMOLITION AND GRADING PLAN
C.05	TURN LANE DETAILS
C.06	INTERSECTION DETAILS
C.07	STRIPING PLAN
C.08	SIDEWALK CLOSURE PLAN
N.01-N.13	TRAFFIC SIGNAL PLAN

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-508 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-512 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-513 STORM INTAKE	GUY ANCHOR
TYPE SW-401 STORM MANHOLE	STREET LIGHT
TYPE SW-402 STORM MANHOLE	POWER POLE W/ TRANSFORMER
FLARED END SECTION	UTILITY POLE W/ LIGHT
TYPE SW-301 SANITARY MANHOLE	ELECTRIC BOX
STORM/SANITARY CLEANOUT	ELECTRIC TRANSFORMER
WATER VALVE	ELECTRIC MANHOLE OR VAULT
FIRE HYDRANT ASSEMBLY	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
STORM SEWER STRUCTURE NO.	GAS VALVE BOX
STORM SEWER PIPE NO.	CABLE TV JUNCTION BOX
SANITARY SEWER STRUCTURE NO.	CABLE TV MANHOLE/VAULT
SANITARY SEWER PIPE NO.	MAIL BOX
SANITARY SEWER	BENCHMARK
STORM SEWER	SOIL BORING
STORM SERVICE	UNDERGROUND TV CABLE
WATERMAIN WITH SIZE	GAS MAIN
WATER SERVICE	FIBER OPTIC
SAWCUT (FULL DEPTH)	UNDERGROUND TELEPHONE
SILT FENCE	OVERHEAD ELECTRIC
USE AS CONSTRUCTED	UNDERGROUND ELECTRIC
MINIMUM PROTECTION ELEVATION	FIELD TILE
	SANITARY SEWER WITH SIZE
	STORM SEWER WITH SIZE
	WATER MAIN WITH SIZE



1-800-292-8989
www.iowaonecall.com



CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE, URBANDALE, IA 50322

PH: (515) 369-4400

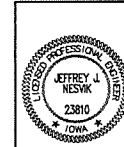
PROJECT NO. 2205.322

APPROVED BY CITY
4/12/2023

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF ANKENY CODES/ORDINANCE PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED HEREIN.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

JEFFREY J. NESVİK, P.E. DATE
LICENSE NUMBER 23810
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024
PAGES OR SHEETS COVERED BY THIS SEAL
SHEETS C.01-C.08

[illegible]


ITEM NO.	DESCRIPTION
	<p>THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS MANUAL AND ALL CITY SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO ALL WORK PERFORMED ON THIS PROJECT EXCEPT AS MODIFIED HEREIN. REFER TO PROJECT SPECIFICATIONS FOR EXCEPTIONS TO THE STANDARD SPECIFICATIONS. ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE SUDAS STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.</p>
1	<p>CLEAR AND GRUB ALL AREAS AFFEYED BY GRADING OPERATIONS. THE CONTRACTOR SHALL FIELD VERIFY CLEARING AND GRUBBING NEEDS PRIOR TO BIDDING. INCLUDES REMOVAL OF ANY EXISTING FIELD FENCE. ALL MATERIAL THAT IS REMOVED FROM THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR. DO NOT DISTURB CROPS OUTSIDE OF THE PROJECT LIMITS.</p>
2	<p>STRIP, SALVAGE AND SPREAD THE TOP 12 INCHES OF TOPSOIL. RESPREAD TOPSOIL WITHIN THE RIGHT OF WAY, ON BALD PLORES AND IN DEVELOPED AREAS A MINIMUM OF 8 INCHES THICK. TOPSOIL TO BE RESPREAD SHALL BE FREE OF ROCK AND DEBRIS AND BE SUITABLE FOR THE GROWTH OF GRASS. COORDINATE LOCATION OF STOCKPILE WITH OWNER.</p>
3	<p>EXCAVATION INCLUDES ALL WORK NECESSARY TO ACHIEVE PROPER GRASSES AS SHOWN IN THE PLANS. NO PAYMENT FOR OVERHAUL SHALL BE ALLOWED. SHRINKAGE WAS ASSUMED TO BE 25%.</p>
4	<p>REFER TO SHEET C-07 FOR TYPICAL LOCATIONS AND THICKNESS. QUANTITY BASED ON TWO-8 INCH LIFTS.</p>
5-6	<p>REFER TO FIG. 7030.011 - JOINTS FOR CONSTRUCTION DETAILS. REFER TO INTERSECTION SHEETS FOR JOINTING AND GEOMETRIC PLAN DETAILS. TYPICAL 'C' AND 'CO' JOINT SPACING IS 15 FEET. CORNER AGGREGATE FOR PCC PAVEMENT SHALL BE CLASS 3 DURABILITY.</p>
7	<p>REFER TO FIG. 7030.207 - CURB RAMP FOR CLASS B OR C SIDEWALK FOR CONSTRUCTION DETAILS. SIDEWALK SHALL BE 6 INCHES IN DEPTH FOR RAMPS AND TURNING SPACES. MINOR GRADING ADJACENT TO SIDEWALKS SHALL BE CLASS 3 DURABILITY.</p>
9	<p>REFER TO FIG. 7030.210 DETECTABLE WARNING PLACEMENT FOR CONSTRUCTION DETAILS. DETECTABLE WARNING PANELS SHALL BE INSTALLED PER SECTION 7030. DETECTABLE WARNING PANELS WITHIN 5' SIDEWALK SHALL BE BRICK RED, PLASTIC PRE-MANUFACTURED PANELS. PANELS WITHIN THE 8' TRAIL ON THE WEST SIDE OF DELAWARE AVENUE SHALL BE BRICK RED, CAST-IRON PRE-MANUFACTURED PANELS.</p>
10-13	<p>ALL PAVEMENT REMOVED FROM THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ALL FULL DEPTH SAW CUTTING FOR REMOVALS SHALL BE CONSIDERED INCIDENTAL.</p>
15	<p>REFER TO TRAFFIC CONTROL NOTES ON THIS SHEET. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE CONTRACTOR SHALL INSTALL AND MAINTAIN ROAD BARRICADES AT THE END OF EXISTING PAVEMENT UNIT. THE PROJECT IS ACCEPTED BY THE CITY. REFER TO SHEET C-02 FOR STANDARD LANE CLOSURE TRAFFIC CONTROL DETAILS.</p>
16	<p>INCLUDES ALL MATERIALS, EQUIPMENT, AND LABOR NEEDED TO PERFORM SEEDING. SEED MIXTURE SHALL BE TYPE 1 (PERMANENT LAWN MIXTURE). REFER TO SECTION 9010. 202A TYPE 1 (PERMANENT LAWN MIXTURE) FOR SEED MIXTURE. CONTRACTOR SHALL SEED ALL DISTURBED AREAS.</p>
17-19	<p>REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION DETAILS AND INITIAL EROSION CONTROL PLAN. THE CLIENT/OWNER WILL BE RESPONSIBLE FOR MONITORING THE SITE AND KEEPING THE SWPPP CURRENT. EACH PHASE OF CONSTRUCTION, CIVIL DESIGN ADVANTAGE IS NOT RESPONSIBLE FOR KEEPING THE SWPPP UPDATED THROUGHOUT CONSTRUCTION OR FOR DISTRIBUTION OF THE PLAN TO CONTRACTORS. IT WILL BE THE DUTY OF THE CLIENT OR CLIENT'S AGENT TO SEE THAT ALL CONTRACTORS RECEIVE A COPY OF THE SWPPP AND SIGN THE CERTIFICATION STATEMENTS. IT IS ALSO THE DUTY OF THE CLIENT OR CLIENT'S AGENT TO PERIODICALLY UPDATE THE SWPPP THROUGHOUT CONSTRUCTION TO MEET ALL EPA, TMDL AND LOCAL GOVERNMENTAL AGENCY REQUIREMENTS.</p>
20	<p>REFER TO SHEET N-01 FOR TRAFFIC SIGNALIZATION QUANTITIES.</p>

1. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE CITY OF LOS ANGELES OF ANY SUCH ENCOUNTERS PRIOR TO ANY SUCH WORK. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO SHIELD AND PROTECT ALL AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHAT IS PRESENTLY NOT KNOWN OR SHOWN ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR LOSS CAUSED BY SUCH WORK.
3. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:
 - a. CITY OF ANKENY
 - b. APPROPRIATE UTILITY COMPANIES
 - c. OWNER
 - d. CIVIL DESIGN ADVANTAGE
5. THE CONTRACTOR SHALL NOTIFY THE CITY OF ANKENY AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN ALL SUBCONTRACTORS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
8. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
9. THE CONTRACTOR MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT OF ANY OR ALL EXISTING UTILITIES MAY BE NECESSARY TO THE BID ITEM AFFIC CONTROL.
10. SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS SO THE PROFILES SHOWN ON THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION DETAILS ARE OBTAINED. SHORT LENGTHS OF CURVE OR FLARE ARE NOT TO BE NEARER THAN THESE LOCATIONS.
11. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE PROPOSED AND EXISTING RIGHT OF WAY, CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS.
12. THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH AND COMPLY WITH OSHA STANDARDS. NOTHING WITHIN THESE PLANS SHALL RELIEVE THE CONTRACTOR OF THIS REQUIREMENT.
13. CIVIL DESIGN ADVANTAGE WILL PROVIDE ALL CONSTRUCTION STAKING ON THIS PROJECT. NOTARY CHARLIE MCDOULTON (515-369-4433) A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION STAKES ARE

1. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORK SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
3. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
4. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION 2005 AND IDMA DOT DESIGN MANUAL, CHAPTER 12A-6.
5. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAYMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS OR SIGNAGE FOR THE PROJECT OR FOR THE PROTECTION OF THE WORK.
6. THE CONTRACTOR IS RESPONSIBLE TO PROTECT CITY SIGNS AND POSTS, INCLUDING REPAIR OR REPLACEMENT OF DAMAGED SIGNS OR POSTS.

1. PRIOR TO ANY WORK AT THE SITE, THE CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITIES COMPANIES TO DETERMINE IF NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM EXISTING UTILITIES.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. NAME OF AGENCY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. TYPE OF DESIGN ADVANTAGE
 - E. ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND AGENCY.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE PART OF THE DESIGN. THEREFORE, EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. EXCAVATION SHALL BE TO A MINIMUM OF 18" BELOW THE COMPACTED TO 3% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% MOISTURE. EXCAVATION MOISTURE SHALL BE MONITORED BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT THAT ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING SUBSTRUCTURE, UTILITIES, AND OTHER FEATURES. RECORD AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THE CONTRACT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL, REGIONAL AND STATE REQUIREMENTS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE AS SHOWN ON THE PLANS. NO CONSTRUCTION SHALL BE ALLOWED OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. CONTRACTOR SHALL BE IN COMPLIANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY DEMOLITION SAFETY REQUIREMENTS.
11. REFER TO SHEET C0.7 FOR EXISTING PAVEMENT PARKING REQUIREMENTS.
12. PROVIDE SAWCUTS AT EXISTING JOINT LINES. FINAL SAWCUT LINES TO BE VERIFIED/APPROVED BY THE CITY PRIOR TO



C0.4
2205.322


NOTE: A SLIP FORM PAVER IS REQUIRED FOR THE PROPOSED TURN LANE PAVING

HATCHING LEGEND:

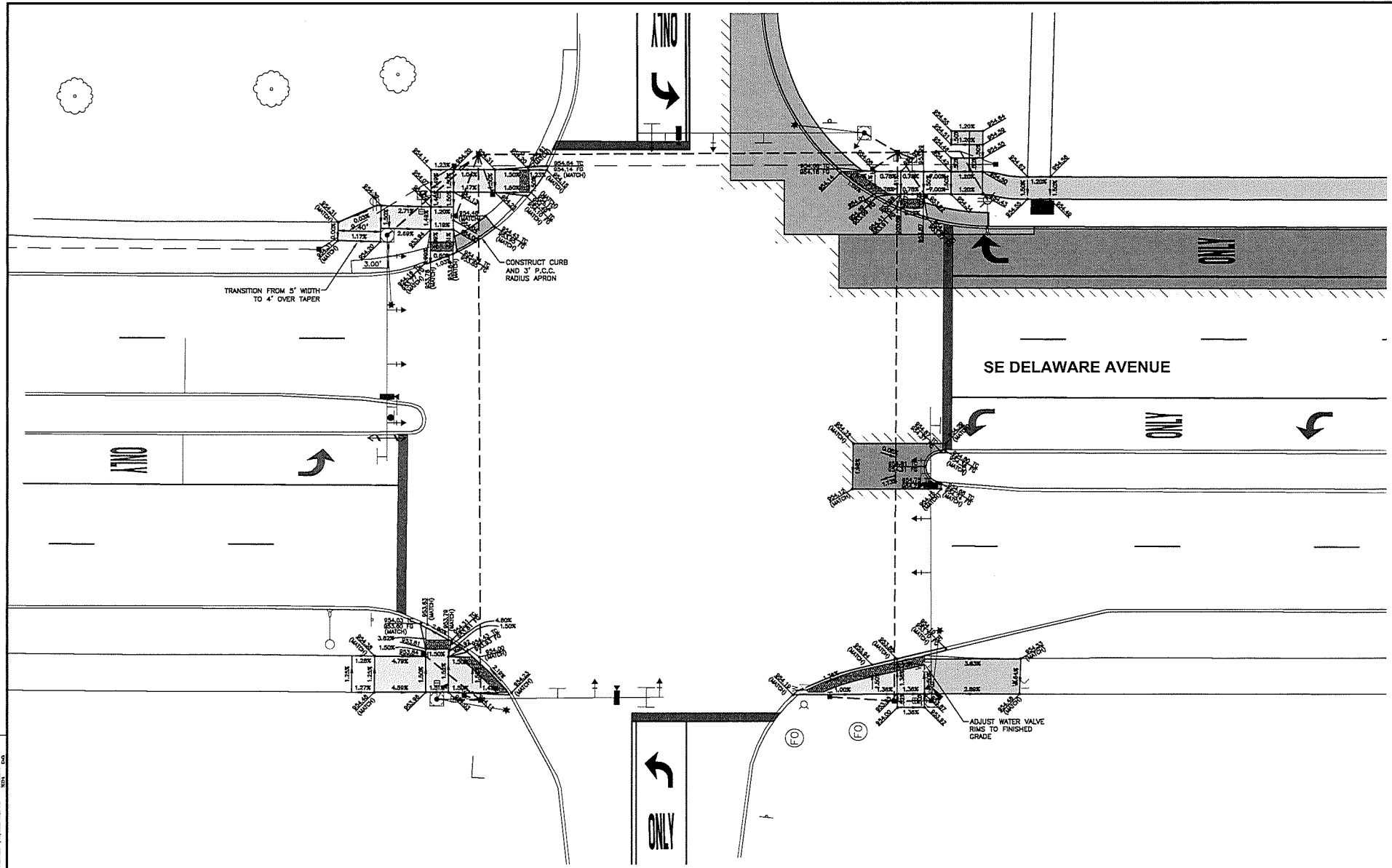
- 4" P.C.C. SIDEWALK
- 6" P.C.C. PEDESTRIAN RAMP
- 10.5" P.C.C. SE DELAWARE AVE
- 8" P.C.C. SAM'S CLUB PRIVATE DRIVE

JOINTING LAYOUT

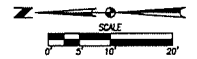
GEOMETRICS AND STAKING LAYOUT

DATE	4/10/2023
DESIGNER	COPELAND COMMERCIAL
PROJECT	4121 NW URBANDALE DRIVE
LOCATION	URBANDALE, IA 50322
PHONE	(515) 369-4400
ENGINEER	JUN
PROJECT	COPELAND COMMERCIAL
PROJECT	INTERSECTION IMPROVEMENTS
PROJECT	DELAWARE AVE. RIGHT TURN LANE DETAILS
PROJECT	ANKNEY, IOWA
PROJECT	C0.5
PROJECT	2205.322

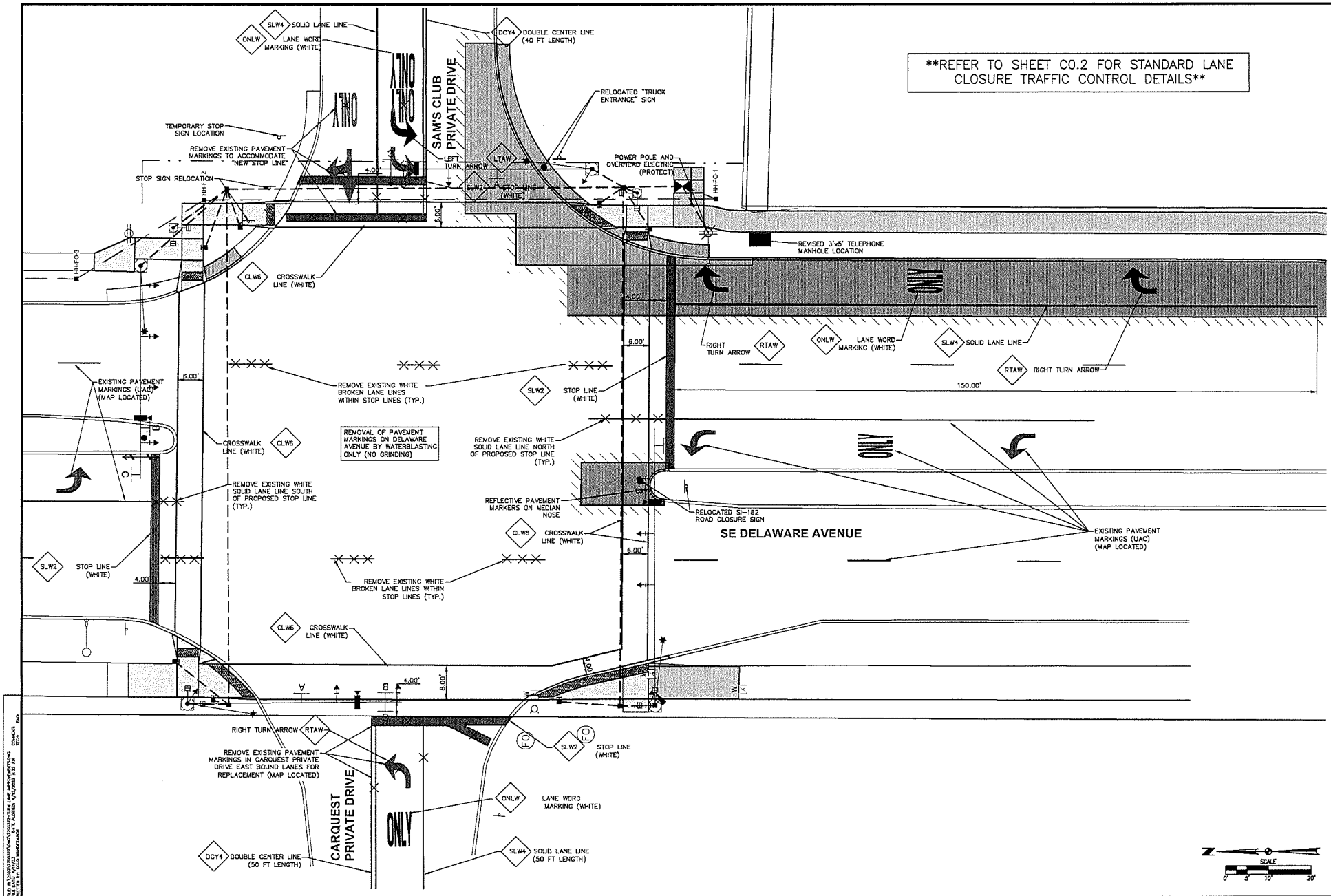
1. ALL INTERSECTION IMPROVEMENTS ARE LAY OUT AS SHOWN ON THIS SHEET. ANY CHANGES TO THE LAYOUT MUST BE APPROVED BY THE ENGINEER.



INTERSECTION DETAILS



COPELAND COMMERCIAL INTERSECTION IMPROVEMENTS INTERSECTION DETAILS		C0.6 2205.322	ANKENY, IOWA	ENGINEER: JUN	PM: DAM
			4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 389-4400		
			REVISIONS		
			DATE		
			FIFTH SUBMITTAL FOURTH SUBMITTAL THIRD SUBMITTAL SECOND SUBMITTAL FIRST SUBMITTAL		



DATE	3/10/2023	REVISIONS	FIFTH SUBMITTAL
DATE	3/10/2023	REVISIONS	FOURTH SUBMITTAL
DATE	3/10/2023	REVISIONS	THIRD SUBMITTAL
DATE	3/10/2023	REVISIONS	SECOND SUBMITTAL
DATE	3/10/2023	REVISIONS	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

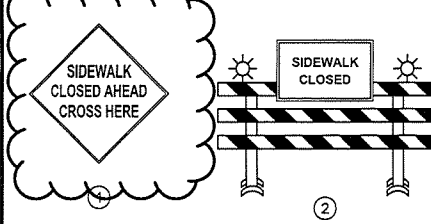
ENGINEER: JIN
PK: DAM

COPELAND COMMERCIAL
INTERSECTION IMPROVEMENTS
STRIPING PLAN

ANKENY, IOWA

C0.7
2205.322

SIGN LEGEND

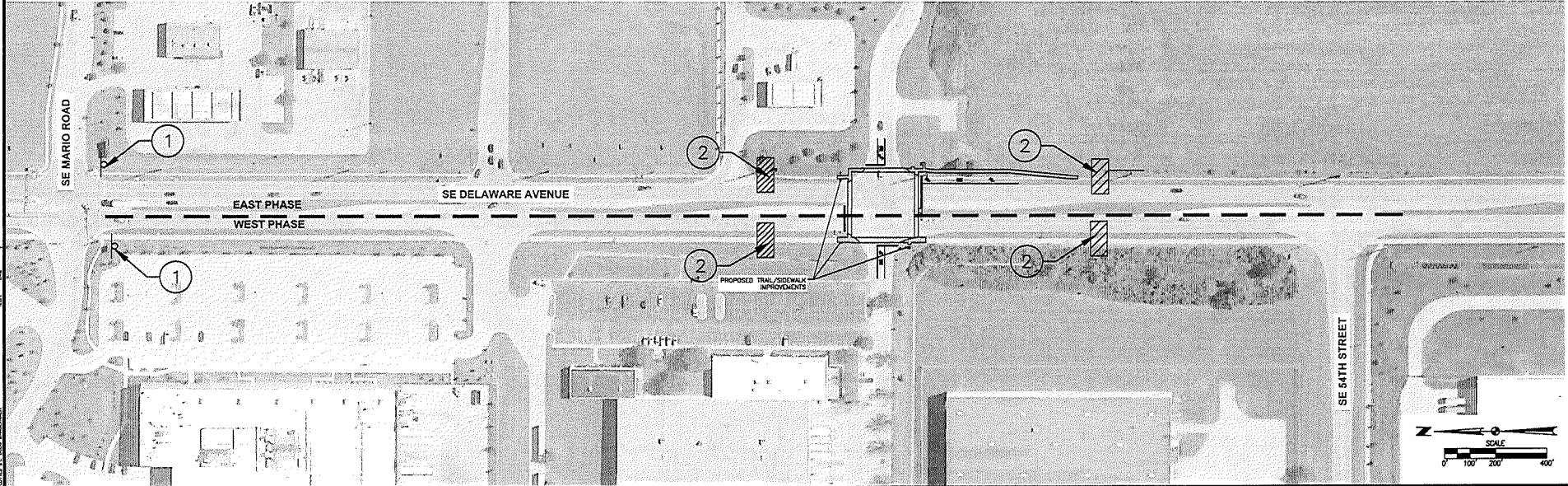
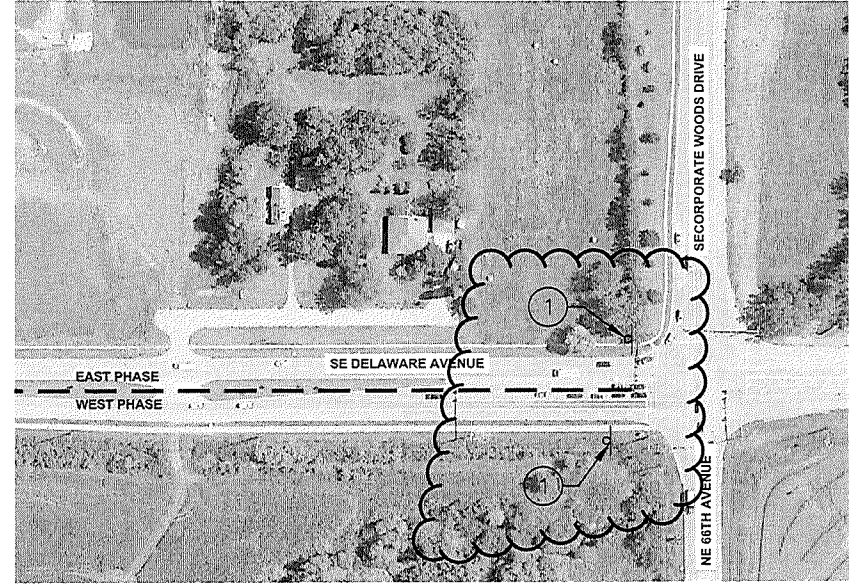


SIDEWALK CLOSURE NOTES

INTERSECTION RAMP CONSTRUCTION IS TO BE CARRIED OUT IN SUCH A WAY THAT ONE THROUGH PEDESTRIAN ROUTE IS AVAILABLE ALONG SE DELAWARE AVENUE AT ANY GIVEN TIME.

EAST PHASE RAMP CONSTRUCTION SHALL TAKE PLACE DURING TURN-LANE CONSTRUCTION AND SHALL BE COMPLETED BEFORE DEMOLITION OF THE EXISTING PEDESTRIAN RAMPS FOR THE 6-FOOT TRAIL ON THE WEST SIDE OF THE ROADWAY IS CARRIED OUT.

DUE TO PHASING, NO PEDESTRIAN DETOUR IS REQUIRED FOR THE INTERSECTION IMPROVEMENTS. EAST SIDE SIDEWALK AND RAMPS SHALL BE OPERATIONAL PRIOR TO WEST SIDE CLOSURE. SIDEWALK CLOSURE SIGNAGE IS TO BE RELOCATED TO THE WEST SIDE OF THE ROADWAY BEFORE DEMOLITION MAY COMMENCE FOR THE WEST PHASE.



PLOTTED: Monday, April 10, 2023 2:52:23 PM

XREFS: FILE PATH: Z:\CDA\5603 COPELAND DEVELOPMENT\TRAFFIC SIGNAL PRODUCTION\DRAWINGS\01 - SIGNAL NOTES

ESTIMATED QUANTITIES		
ITEM DESCRIPTION	QUANTITY	UNIT
1 COMBINATION MAST ARM SIGNAL, 50' AND LIGHTING POLE, 22 FT MOUNTING HEIGHT	1	EA
2 COMBINATION MAST ARM SIGNAL, 50' AND LIGHTING POLE, 35 FT MOUNTING HEIGHT	1	EA
3 COMBINATION MAST ARM SIGNAL, 50' AND LIGHTING POLE, 30 FT MOUNTING HEIGHT	1	EA
4 COMBINATION MAST ARM SIGNAL, 60' AND LIGHTING POLE, 35 FT MOUNTING HEIGHT	1	EA
5 PEDISTAL POLE FOR PEDESTRIAN SIGNALS, 10'	2	EA
6 PEDESTRIAN PUSH BUTTON (PB)	8	EA
7 PEDESTRIAN BUTTON POLE	7	EA
8 SIGNAL FACE, 12" LED WITH BACKPLATE (R, Y, G)	9	EA
9 SIGNAL FACE, 12" LED WITH BACKPLATE (←, R, ←Y, ←G)	4	EA
10 SIGNAL FACE, PEDESTRIAN COUNTDOWN	8	LF
11 LUMINAIRE, LED, TYPE III	3	EA
12 3" CONDUIT	559	LF
13 2" CONDUIT	1520	LF
14 1" CONDUIT	90	LF
15 EWP CABLE	420	LF
16 2c #14 PED BUTTON	1110	LF
17 5c #14 TRAFFIC SIGNAL CABLE	3740	LF
18 7c #14 TRAFFIC SIGNAL CABLE	880	LF
19 1c #10 TRACER WIRE	2020	LF
20 2c #10 LIGHT	770	LF
21 1c #6 BARE GROUNDING WIRE	550	LF
22 1c #4 POWER	40	LF
23 VIDEO CABLE	880	LF
24 TWC - CAMERA CABLE	250	LF
25 PULL ROPE	2160	EA
26 PULLBOX, TYPE II	4	EA
27 PULLBOX, TYPE III	3	EA
28 PULLBOX, TYPE VI	2	EA
29 SIGNAL CONTROLLER, CABINET & 12" RISER, AND ACCESSORIES	1	EA
30 EMERGENCY VEHICLE PREEMPTION SYSTEM	1	LS
31 VIDEO DETECTION SYSTEM, 4 CAMERAS	1	LS
32 UNINTERRUPTIBLE POWER SUPPLY	1	EA
33 TRAFFIC SIGN: R3-SL 30" x 36"	4	EA
34 TRAFFIC SIGN: R10-X12	4	EA
35 TRAFFIC SIGN: STREET NAME, BRACKET & INSTALL (CITY FURNISHED SIGN ONLY)	2	EA
36 TRAFFIC SIGN: R10-3x6 9" x 15"	4	EA
37 TRAFFIC SIGN: R10-3x6 9" x 15"	4	EA
38 WIND DAMPENING DEVICE PER POLE FABRICATOR	4	EA
39 CONTROLLER FOOTING	1	EA
40 CONCRETE FOOTING: 24" DIA. X 3' DEPTH	6	EA
41 CONCRETE FOOTING: 36" DIA. X 10' DEPTH	3	EA
42 CONCRETE FOOTING: 42" DIA. X 18' DEPTH	1	EA
43 PAN TILT ZOOM (PTZ) CAMERA AND ACCESSORIES	1	LS

TRAFFIC SIGNAL EQUIPMENT		
EQUIPMENT	MANUFACTURER	MODEL NO.
EMERGENCY VEHICLE PREEMPTION		
DETECTORS	OPTICOM	GTT 721
PHASE SELECTOR	OPTICOM	GTT 764
CARD RACK ASSEMBLY	OPTICOM	GTT 760
CABLE	OPTICOM	GTT 136
FIBER OPTIC		BY CITY
PEDESTAL POLES	PELCO	PB SERIES, SCHEDULE 80
ACCESSIBLE PEDESTRIAN SIGNALS		
PUSHBUTTON STATION	POLARA	IN23TN-B
CONTROL UNIT	POLARA	ICCU-S
TRAFFIC MONITORING CAMERA	PELCO	SPECTRA ENHANCED
UNINTERRUPTIBLE POWER SUPPLY	SIGNAL SENSE 38V	SSDC-1500
CONTROLLER	Q-FREE	YCT-XN-ITS, ATCC 16-LINE OLED
VIDEO DETECTION	AUTOSCOPE	VISION
LUMINAIRES	AUTOBAHN	ATB0 208LED10MVOLT R2

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: *Leland J. Belding*

NAME: LELAND J. BELDING

DATE: 04-10-2023

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023

PAGES COVERED BY THIS SEAL: ALL



TRAFFIC SIGNAL LEGEND			
	SIGNAL HEAD WITH BACKPLATE		VIDEO DETECTION ZONE
	EXISTING SIGNAL HEAD WITH BACKPLATE		SIGNAL BASE NUMBER
	SIGNAL HEAD WITHOUT BACKPLATE		SIGNAL HEAD NUMBER
	EXISTING SIGNAL HEAD WITHOUT BACKPLATE		PEDESTRIAN BUTTON NUMBER
	SIGN - MAST ARM MOUNTED		
	PEDESTRIAN SIGNAL HEAD		
	HANDHOLE		VIDEO DETECTOR
	EXISTING HANDHOLE		PTZ VIDEO CAMERA
	SIGNAL BASE		EMERGENCY VEHICLE PREEMPTION
	CONTROLLER		LUMINAIRE
	WIND DAMPENING DEVICE		EXISTING CONDUIT
	UTILITY POLE		PROPOSED CONDUIT

DATE	REVISIONS	SCALE	AS NOTED
03-21-2023	1. QUANTITIES UPDATED. ADDED EQUIPMENT TABLE.	DRAWN	LJB
03-25-2023	2. MOVED POLES B1 & B2. UPDATED QUANTITIES.	CHECKED	LJB
04-10-2023	3. UPDATED QUANTITIES.	APPROVED	LJB
		DATE	04-10-2023
		ISSUED FOR	CONSTRUCTION



COPELAND DEVELOPMENT TRAFFIC SIGNAL
COPELAND DEVELOPMENT

2800 University Parkway, Suite 1 • Coralville, Iowa 52241
319-466-1000 • 319-466-1000(FAX) • 888-241-8001(WATS)

QUANTITIES

DWG. NO.	3
N.01	
PROJECT	50632

XREFS: FILE PATH: Z:\CDA\6633 COPELAND DEVELOPMENT TRAFFIC\DRAWING\01 - SIGNAL NOTES
PLOTTED: Monday, April 10, 2023 3:35:37 PM

GENERAL

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING ONE-CALL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE CITY 48-72 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL WORK, INCLUDING EQUIPMENT, MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH IOWA SUDAS STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED. TRAFFIC SIGNALS SHALL ALSO CONFORM TO THE APPROPRIATE SECTIONS IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- ALL QUANTITIES SHOWN IN THE PLANS AND SPECIFICATION ARE FOR INFORMATIONAL AND ESTIMATING PURPOSES ONLY. THE CONTRACTOR'S LUMP SUM BID FOR TRAFFIC SIGNALIZATION SHALL INCLUDE ALL LABOR, TOOLS, EQUIPMENT, AND MATERIALS NECESSARY TO PROVIDE A COMPLETE AND FUNCTIONAL TRAFFIC SIGNAL INSTALLATION IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
- ALL HOLES RESULTING FROM OPERATIONS OF THE CONTRACTOR, INCLUDING REMOVAL OF GUARDRAIL POSTS, FENCE POSTS, UTILITY POLES, OR FOUNDATION STUDIES, SHALL BE FILLED AND CONSOLIDATED TO FINISHED GRADE AS DIRECTED BY THE ENGINEER TO PREVENT FUTURE SETTLEMENT. THE VOIDS SHALL BE FILLED AS SOON AS PRACTICAL - PREFERABLY THE DAY CREATED AND NOT LATER THAN THE FOLLOWING DAY. ANY PORTION OF THE RIGHT-OF-WAY OR PROJECT LIMITS (INCLUDING BORROW AREAS AND OPERATION SITES) DISTURBED BY ANY SUCH OPERATIONS SHALL BE RESTORED TO AN ACCEPTABLE CONDITION. THIS OPERATION SHALL BE CONSIDERED INCIDENTAL TO OTHER BID ITEMS IN THE PROJECT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE RIGHT-OF-WAY, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE ENGINEER.
- THE TOP SIX (6) INCHES OF THE DISTURBED AREAS SHALL BE FREE OF ROCK AND DEBRIS AND SHALL BE SUITABLE FOR THE ESTABLISHMENT OF VEGETATION, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM AVAILABLE RECORDS. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT SHOWN ON THIS DRAWING. THE VERIFICATION OF THE EXISTENCE OF AND THE DETERMINATION OF THE EXACT LOCATION OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANUP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- CONSTRUCTION ACTIVITIES ARE TO BE LIMITED TO THE EXISTING RIGHT-OF-WAY. IF ADDITIONAL AREAS ARE NEEDED FOR STAGING, STORAGE, ETC., IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN WRITTEN PERMISSION FROM THE PROPERTY OWNER(S). COPIES OF THE AGREEMENTS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE PRIOR TO THE USE OF PROPERTY.
- CONTRACTOR SHALL HAVE IMSA TRAFFIC SIGNAL LEVEL II TECHNICIAN ON SITE AT ALL TIMES.

SUBMITTALS

- CONTRACTOR SHALL SUBMIT A SCHEDULE OF UNIT PRICES.
- CONTRACTOR SHALL SUBMIT A MATERIAL AND EQUIPMENT LIST.
- CONTRACTOR SHALL SUBMIT COPIES OF IMSA CERTIFICATIONS FOR TECHNICIANS WORKING ON PROJECT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR TRAFFIC SIGNAL POLES AND STRUCTURES TO BE FURNISHED ON THE PROJECT. SUBMIT CATALOG CUTS AND MANUFACTURERS'S SPECIFICATIONS FOR ALL ITEMS IN THE EQUIPMENT LIST.
- FILE DOCUMENTATION PACKAGES SHALL BE PROVIDED WITH EACH SIGNAL SYSTEM, WHICH SHALL CONSIST OF THE FOLLOWING:
 - COMPLETE CABINET WIRING DIAGRAM.
 - COMPLETE PHYSICAL DESCRIPTION OF EQUIPMENT.
 - CONTROLLER PRINTOUT OR EQUAL DOCUMENTATION OF INITIAL CONTROLLER SETTINGS INSTALLED IN THE FIELD OR IN THE OFFICE.
 - PRODUCT MANUALS FOR ALL CABINET EQUIPMENT.
 - STANDARD INDUSTRY WARRANTIES ON EQUIPMENT SUPPLIED.
 - DOCUMENTATION OF FIELD CABLE LABELING SCHEME.
 - DIAGRAM OF PHASING AND DETECTOR LOCATIONS.
 - ONE SET OF AS-BUILT PLANS INDICATING CHANGES FROM THE ORIGINAL CONTRACT DOCUMENTS.
 - SUPPLY TWO COMPLETE SETS OF DOCUMENTATION. ONE SET IN THE CONTROLLER CABINET AND THE OTHER DELIVERED TO THE ENGINEER.

ELECTRICAL SERVICE

- CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE MIDAMERICAN ENERGY FOR INSTALLATION OF THE ELECTRICAL SERVICE. POWER WILL COME FROM AN EXISTING SECONDARY TRANSFORMER SOUTH OF THE CONTROLLER.
- ADDRESS FOR METER: Coordinate with City for meter address.
- CONTRACTOR SHALL FURNISH AND INSTALL SERVICE PANEL, METER SOCKET, CONDUIT, AND WIRES TO EXISTING POWER POLE. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANY FOR EXACT SERVICE REQUIREMENTS.
- SERVICE SHALL BE 120V, SINGLE PHASE. SIGNALS AND LIGHTING SHALL BE METERED. LIGHTING SHALL BE ON SEPARATE 20 AMP BREAKER.

TESTING

- PROVIDE STRUCTURAL CONCRETE TESTING (2 CYLINDERS, 7-DAY AND 28-DAY, FOR EACH BATCH) IN ACCORDANCE WITH ASTM C39 AS POURED FOR POLE FOOTINGS.
- CONTRACTOR TO COORDINATE WITH OWNER'S MATERIAL TESTING COMPANY FOR AIR & SLUMP TESTS ON STRUCTURAL CONCRETE.
- CONTRACTOR SHALL TEST DETECTION AND DOCUMENT THE RESULTS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER TWO WEEKS IN ADVANCE OF THE TIME AND DATE THE SIGNAL WILL BE READY FOR TESTING AND ACTIVATION. DO NOT TURN ON UNTIL AUTHORIZED BY ENGINEER.
- ENSURE A REPRESENTATIVE FROM THE MANUFACTURER AND/OR SUPPLIER OF SIGNAL CONTROLLER OR OTHER AUTHORIZED PERSON IS AT THE PROJECT SITE WHEN THE SIGNAL CONTROLLERS ARE READY TO BE TURNED ON TO PROVIDE TECHNICAL ASSISTANCE INCLUDING, AS A MINIMUM, PROGRAMMING OF ALL NECESSARY INPUT DATA.
- A TEST PERIOD OF 30 CALENDAR DAYS WILL START UPON CONFIRMATION FROM THE ENGINEER THAT THE SIGNAL OR SIGNAL SYSTEM IS OPERATING CONSISTENT WITH THE PROJECT REQUIREMENTS. ANY FAILURE OR MALFUNCTION OF THE EQUIPMENT FURNISHED BY THE CONTRACTOR, OCCURRING DURING THE TEST PERIOD WILL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY. UPON CONFIRMATION BY THE ENGINEER THAT ANY FAILURE OR MALFUNCTION HAS BEEN CORRECTED, A NEW TEST PERIOD OF 30 CALENDAR DAYS WILL START, EXCLUSIVE OF MINOR MALFUNCTIONS SUCH AS LAMP BURNOUTS. REPEAT THIS PROCEDURE UNTIL THE SIGNAL EQUIPMENT HAS OPERATED SATISFACTORILY FOR 30 CONSECUTIVE CALENDAR DAYS.
- AFTER SIGNAL TURN ON AND PRIOR TO COMPLETION OF THE 30 CALENDAR DAY TEST PERIOD, RESPOND, WITHIN 24 HOURS, TO PERFORM MAINTENANCE OR REPAIR OF ANY FAILURE OR MALFUNCTION REPORTED.

WIRING, CONDUIT AND GROUNDING

- ALL SIGNAL CABLE SHALL BE CONTINUOUS FROM CONNECTIONS MADE IN THE HANDHOLE COMPARTMENTS OF SIGNAL POLE BASES TO THE TERMINAL COMPARTMENT OF THE CONTROLLER CABINET AND THE SIGNAL HEADS.
- ALL POLES AND CONTROLLER CABINET SHALL BE INDEPENDENTLY GROUNDSED AS SHOWN IN THE DETAILS AND AS DESCRIBED IN THE IOWA DOT STANDARD SPECIFICATION FOR TRAFFIC SIGNALIZATION.
- ALL CONDUIT UNDER PAVED AREAS SHALL BE PUSHED, SCHEDULE 80 PVC CONDUIT, 3-IN DIAMETER UNLESS OTHERWISE NOTED. CONDUIT UNDER NON-PAVED AREAS MAY BE SCHEDULE 40 PVC.
- ALL VIDEO DETECTION WIRING SHALL BE CONTINUOUS FROM THE CAMERA TO THE CONTROLLER.
- CONTRACTOR WILL INSTALL CONDUIT, HANDHOLES, TRACER WIRE, AND PULL ROPE FROM FLEET FARM TO THE CABINET FOR A FUTURE FIBER OPTIC CABLE. THE CITY WILL INSTALL THE FIBER OPTIC CABLE WITH A SEPARATE PROJECT.
- DETECTION, PTZ VIDEO CAMERA, AND EVP CABLES SHALL BE AS PER SUPPLIER SPECIFICATIONS. NO SPLICES ALLOWED
- LUMINAIRES SHALL BE LED, 16,000 LUMENS (+/-5%), 100 LUMENS/WATT MINIMUM EFFICACY, 4000 K COLOR TEMPERATURE, TYPE III DISTRIBUTION, MEDIUM, B3-U0-G3, L70> 70,000 HOURS WITH AT LEAST 5-YEAR WARRANTY, LIGHT GRAY FINISH, PHOTOCCELL CONTROLLED, FURNISH AND INSTALL FUSED CONNECTORS AT THE POLE BASE.

TRAFFIC SIGNALS

- SIGNAL HEAD ALIGNMENT SHALL BE CENTERED WITHIN THE PROJECTION OF THE TRAVEL LANE AND DIRECTED TOWARD THE LANE OF TRAVEL.
- ALL MAST-ARM MOUNTED VEHICLE SIGNAL HEADS SHALL COME FURNISHED WITH BACK-PLATES AND BE CENTERED OVER THEIR RESPECTIVE LANES.
- THE STATIONS/OFFSETS LISTED ON THE SIGNAL PLANS ARE TO THE CENTER OF THE ITEM UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL FIELD VERIFY ALL EQUIPMENT LOCATIONS WITH THE CITY AND THE PROJECT ENGINEER.
- TRAFFIC SIGNAL POLES AND MAST ARMS SHALL BE GALVANIZED.
- ALL TRAFFIC AND PEDESTRIAN COUNTDOWN INDICATIONS SHALL BE LED.
- ALL SIGNAL INDICATIONS SHALL BE LED (48V) IN ACCORDANCE WITH MOST RECENT ITE SPECIFICATIONS.
- INSTALL WIND DAMPENING DEVICE PER MANUFACTURER RECOMMENDATIONS ON ALL MAST ARMS.
- INSTALL RODENT GUARD (NOT GROUT) BETWEEN POLE BASES AND FOUNDATIONS.

TRAFFIC CABINET & CONTROLLER

- ATC TRAFFIC SIGNAL CABINET (SAFETRAN OR MCCAIN). CABINET WILL CONFORM TO THE REQUIREMENTS OF THE ASHTOITE/ENEMA ADVANCED TRANSPORTATION CONTROLLER (ATQ) CABINET STANDARD, ATC 5301 V02.02.
 - THE CABINET WILL PROVIDE AT LEAST 72 INPUT CHANNELS AND 32 OUTPUT CHANNELS.
 - THE CABINET WILL PROVIDE 48-VOLT DC OUTPUT TO SIGNAL HEADS.
 - THE CABINET WILL INCLUDE AUXILIARY DIAGNOSTIC DISPLAY UNIT, MANUAL INPUT PANEL AND 'POLICE PANEL.
 - THE CABINET FOOTPRINT WILL BE NOMINAL 28 INCHES BY 44 INCHES. RACK WIDTH WILL BE 19 INCHES.
 - THE CABINET WILL BE ALUMINUM WITH NATURAL FINISH, WITH FRONT AND REAR DOUBLE DOORS.
 - CABINET SHALL INCLUDE 12" ALUMINUM RISER WITH BATTERY CAPACITY AND UNINTERRUPTIBLE POWER SUPPLY (UPS) SYSTEM FOR SIGNAL OPERATION.
 - NO AUXILIARY (PIGGY-BACK) PANEL WILL BE ALLOWED.
 - CONTROLLER SHALL BE Q-FREE MAXTIME ATC RM. PROVIDE CONTROLLER TO CITY TRAFFIC ENGINEERING DIVISION FOR PROGRAMMING AT LEAST THREE WEEKS BEFORE PROPOSED TESTING.
 - CONTRACTOR SHALL MOUNT CORNING SPH-01P ENCLOSURE ON DIN RAIL IN SIGNAL CABINET.
 - COORDINATE WITH CITY FOR TRAFFIC SIGNAL TIMING PLAN.
- TRAFFIC CONTROL
- THROUGH TRAFFIC SHALL BE MAINTAINED WHILE WORK IS IN PROGRESS ON THIS PROJECT AND TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH IOWA SUDAS DETAILS.

8030.110

LANE CLOSURE ON MULTI-LANE STREET

8030.111

LANE CLOSURE AT AN INTERSECTION

8030.112

LANE CLOSURE ON THE FAR SIDE OF AN INTERSECTION

8030.117

SIDEWALK DETOUR

8030.119

CLOSURE OF MARKED OR UNMARKED CROSSWALK
 - ALL TRAFFIC CONTROL DEVICES UTILIZED SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - THE CONTRACTOR SHALL PROVIDE PROPERLY EQUIPPED FLAG PERSONS AND ALL ASSOCIATED TRAFFIC CONTROL DEVICES WHENEVER IT IS NECESSARY TO DISRUPT THE FLOW OF TRAFFIC.
 - THE ENGINEER MAY RESTRICT CERTAIN WORK TO SPECIFIC PERIODS OF TIME IF NECESSARY TO MAINTAIN ACCEPTABLE TRAFFIC FLOW.
 - ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR.
 - ALL MAINTENANCE FOR TRAFFIC CONTROL DEVICES SHALL OCCUR DURING NON-WORKING HOURS IN ORDER TO BE ASSURED OF PROPER OPERATION. COSTS OF MAINTENANCE WILL BE INCLUDED IN THE TRAFFIC CONTROL BID ITEM.
 - SAFETY FENCE, WHEN USED FOR TRAFFIC CONTROL OR PROTECTION OF THE WORK SITE, MUST BE FIRMLY SUPPORTED IN A VERTICAL POSITION. TENSION SUPPORT WIRES AND FIRM END ANCHORAGES WILL BE REQUIRED FOR SUPPORT. COSTS OF THESE ITEMS WILL BE INCLUDED IN THE TRAFFIC CONTROL BID ITEM.
 - WHERE POSSIBLE, ALL POST MOUNTED SIGNS SHALL BE PLACED A MINIMUM OF 2 FEET CLEAR OF THE SHOULDER
 - THE LOCATION FOR STORAGE OF EQUIPMENT BY THE CONTRACTOR DURING NON WORKING HOURS SHALL BE AS APPROVED BY THE ENGINEER IN CHARGE OF CONSTRUCTION. PARKING OF PRIVATE VEHICLES ON HIGHWAY RIGHT-OF-WAY WILL NOT BE ALLOWED. PARKING OF UNATTENDED EQUIPMENT WITHIN THE MEDIAN OR STORAGE OF EQUIPMENT WITHIN 50 FEET OF THE EDGE OF PAVEMENT WILL NOT BE ALLOWED.
 - THE ENGINEER MAY REQUIRE MODIFICATIONS TO THE PAVEMENT MARKING DETAILS SHOWN. CONFLICTING PERMANENT EDGE LINES, CENTER LINES OR LANE LINES SHALL BE REMOVED, AS APPLICABLE, PERMANENT EDGE LINES, CENTER LINES AND LANE LINES SHALL BE PLACED BEFORE THE ROADWAY IS RETURNED TO NORMAL TRAFFIC. THE CURRENT STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS SHALL APPLY.
 - PROPOSED SIGN SPACING MAY BE MODIFIED AS APPROVED BY THE ENGINEER TO MEET EXISTING FIELD CONDITIONS OR TO PREVENT OBSTRUCTION OF THE MOTORIST'S VIEW OF PERMANENT SIGNING.
 - PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF THE TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE ENGINEER.
 - PROPOSED CHANGES IN THE TRAFFIC CONTROL PLAN SHALL BE REVIEWED WITH THE ENGINEER BEFORE CHANGES ARE MADE.
 - NO LANE CLOSURES WILL BE PERMITTED BETWEEN THE HOURS OF 7AM-9AM AND 4PM-6PM.
 - PROVIDE TWO WEEK NOTICE TO THE CITY BEFORE TESTING AND ACTIVATING THE PERMANENT TRAFFIC SIGNALS. PROVIDE PORTABLE DYNAMIC MESSAGE SIGN ON SE DELAWARE AVE APPROACHES TO THE INTERSECTION ONE WEEK PRIOR TO ACTIVATION.
 - REMOVE EXISTING STOP SIGNS AND POSTS. DELIVER TO CITY AT 211 SE LORENZ DRIVE.

VIDEO DETECTION

- VIDEO DETECTION EQUIPMENT MUST SUPPORT USE OF ALL 64 DETECTION INPUTS.
- VIDEO DETECTION SYSTEM WILL BE AUTOSCOPE VISION.

DATE	REVISIONS	SCALE	AS NOTED
3-21-2023	1. REVISED NOTES PER CITY COMMENTS.	DRAWN	LIB
		CHECKED	LIB
		APPROVED	LIB
		DATE	04-10-2023
		ISSUED FOR	CONSTRUCTION

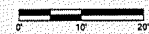



COPELAND DEVELOPMENT TRAFFIC SIGNAL
COPELAND DEVELOPMENT

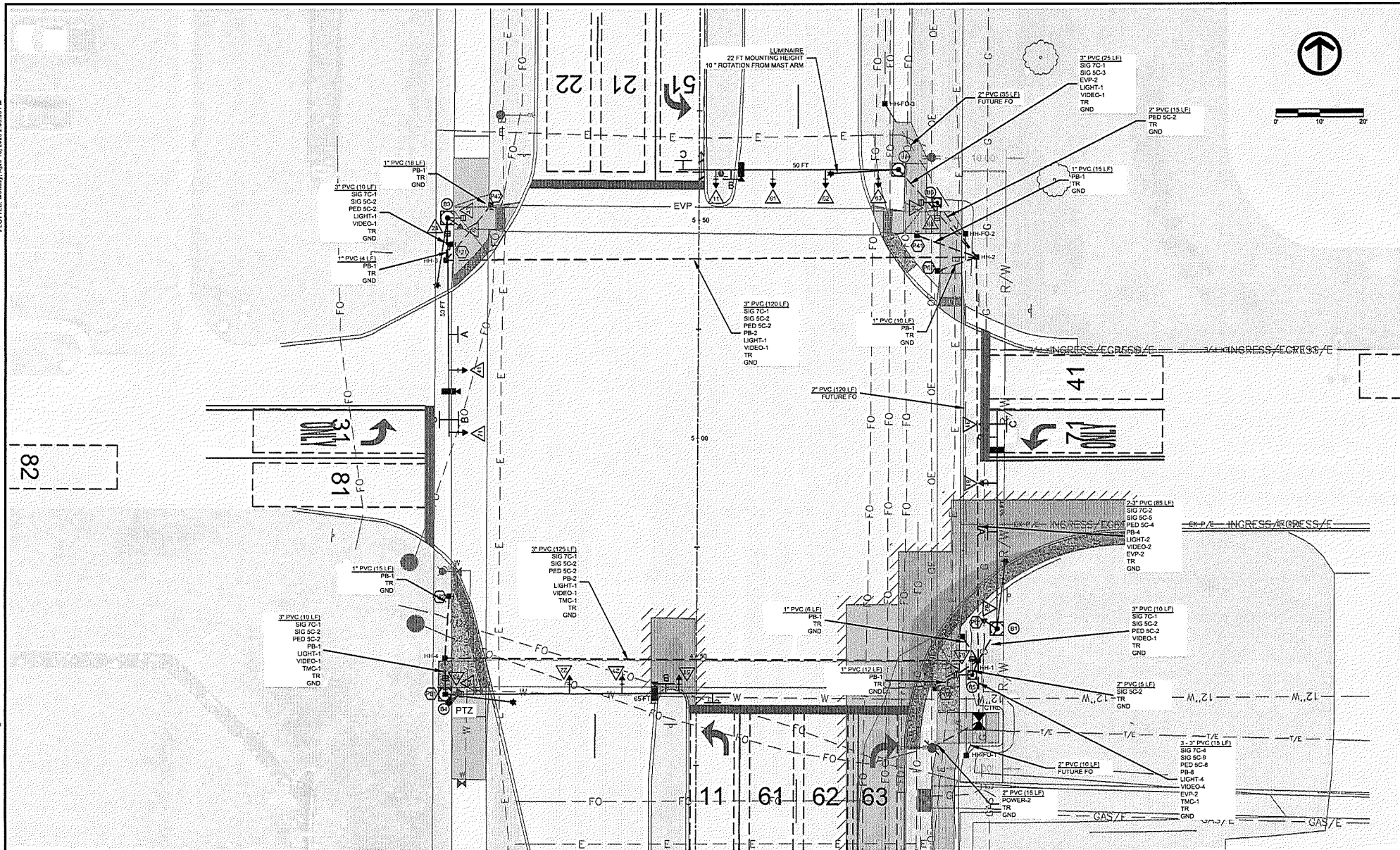
2800 University Parkway, Suite 1 • Corvallis, Iowa 52241
319-466-1000 • 319-466-1008(FAX) • 888-241-8201(WATS)

NOTES

DWG. NO.
1
N.02
PROJECT 50632



DATE		REVISIONS		SCALE	AS NOTED	 VEENSTRA & KIMM INC.	COPELAND DEVELOPMENT TRAFFIC SIGNAL COPELAND DEVELOPMENT	SIGNAL LAYOUT	DWG. NO.
03-21-2023	1.	MOVED POLES B1 & B4. CHANGED PHASE NUMBERING.	DRAWN	LJR	3				
05-25-2023	2.	MOVED POLES B1 & B2.	CHECKED	LJR	N.03				
06-04-2023	3.	MOVED POLE B1. ADDED B6 & B4.	APPROVED	LJR					
			DATE	06-19-2023					
				ISSUED FOR CONSTRUCTION					PROJECT



DATE	REVISIONS	SCALE	AS NOTED
03-21-2021	1. MOVED POLES B1 & B4. CHANGED PHASE NUMBERING.	DRAWN	LJB
03-25-2021	2. MOVED POLES D1 & D2.	CHECKED	LJB
04-16-2021	3. ADDED POLES B3 & B6. UPSIZED CONDUITS. ADDED LUMINAIRE TO D2.	APPROVED	LJB
		DATE	04-16-2021
		ISSUED FOR	CONSTRUCTION



COPELAND DEVELOPMENT TRAFFIC SIGNAL
COPELAND DEVELOPMENT

2600 University Parkway, Suite 1 • Coralville, Iowa 52241
319-466-1000 • 319-466-1008(FAX) • 888-241-8001(WATS)

SIGNAL PLAN

DWG. NO.

N.04

PROJECT	50632
---------	-------

3/10/2023 10:35:19 PM

3/10/2023 10:35:19 PM

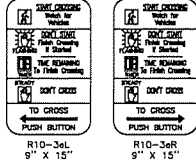
A SE Delaware Ave

SERIES C 12" BLUE BACKGROUND
WITH WHITE LETTERS 130"x24"
(FURNISHED BY CITY)

LEFT TURN
YIELD
ON FLASHING
YELLOW
ARROW

R10-12
30" X 36"

ONLY
R3-5L
30" X 36"



1 EACH ON PEDESTRIAN
SIGNAL POLE

31
81

R
SY
FY
G

11, 31, 51, 71

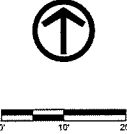
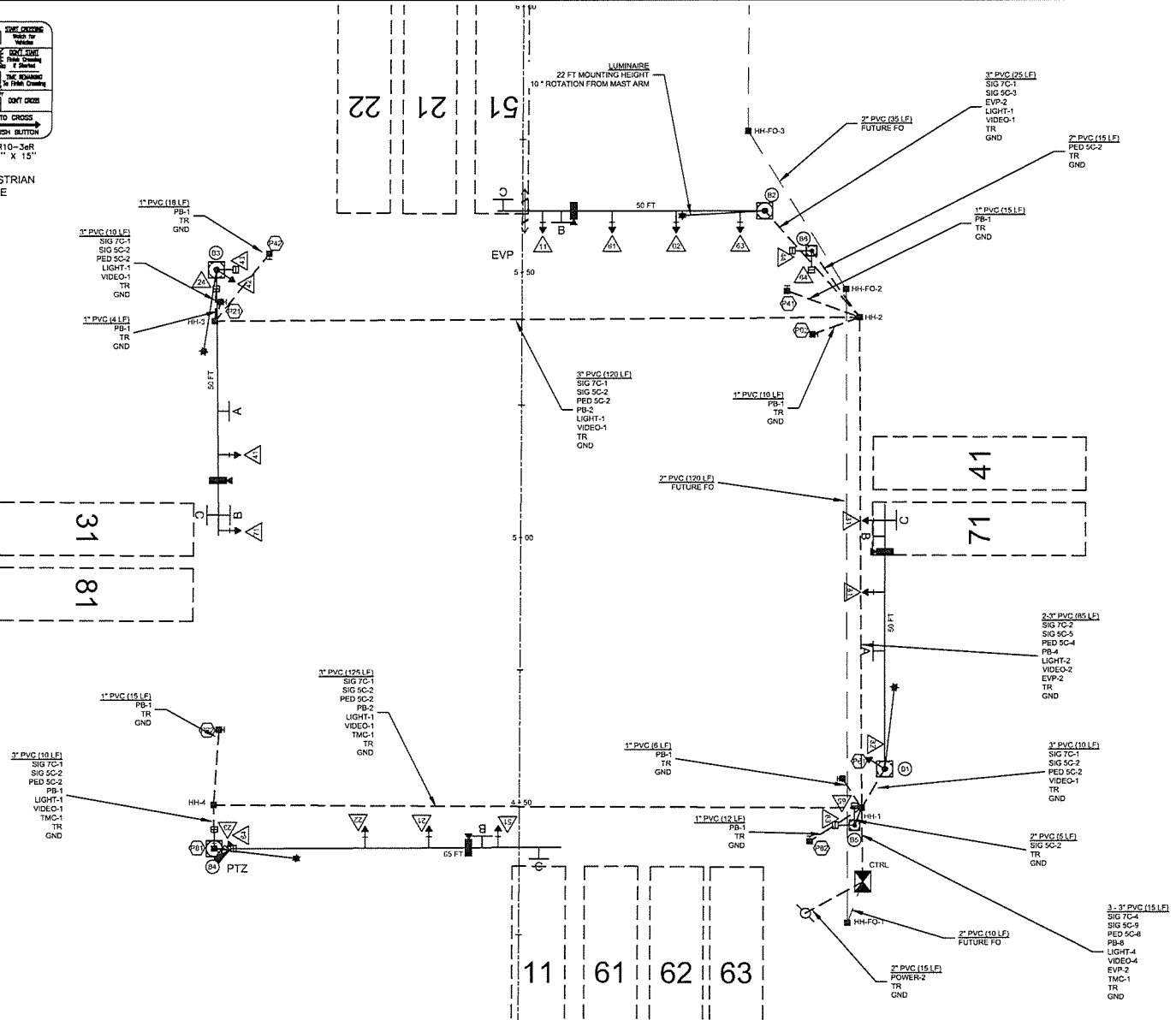
R
Y
G

21, 22
41, 42
61, 62, 63
81, 82

SIGNAL FACES



23, 24
43, 44
64, 65
83, 84



DATE	REVISIONS	SCALE	AS NOTED
03-21-2023	1. MOVED POLES B1 & B4. CHANGED PHASE NUMBERING.	DRAWN	LJB
03-25-2023	2. MOVED POLES B1 & B2.	CHECKED	LJB
04-06-2023	3. ADDED POLES D1 & D4. UPSIZED CONDUITS. ADDED LUMINAIRE TO B2.	APPROVED	LJB
		DATE	04-10-2023
		ISSUED FOR	CONSTRUCTION



COPELAND DEVELOPMENT TRAFFIC SIGNAL
COPELAND DEVELOPMENT

2800 University Parkway, Suite 1 • Coralville, Iowa 52241
319-466-1000 • 319-466-1000(FAX) • 888-241-0001(WATS)

WIRING DIAGRAM

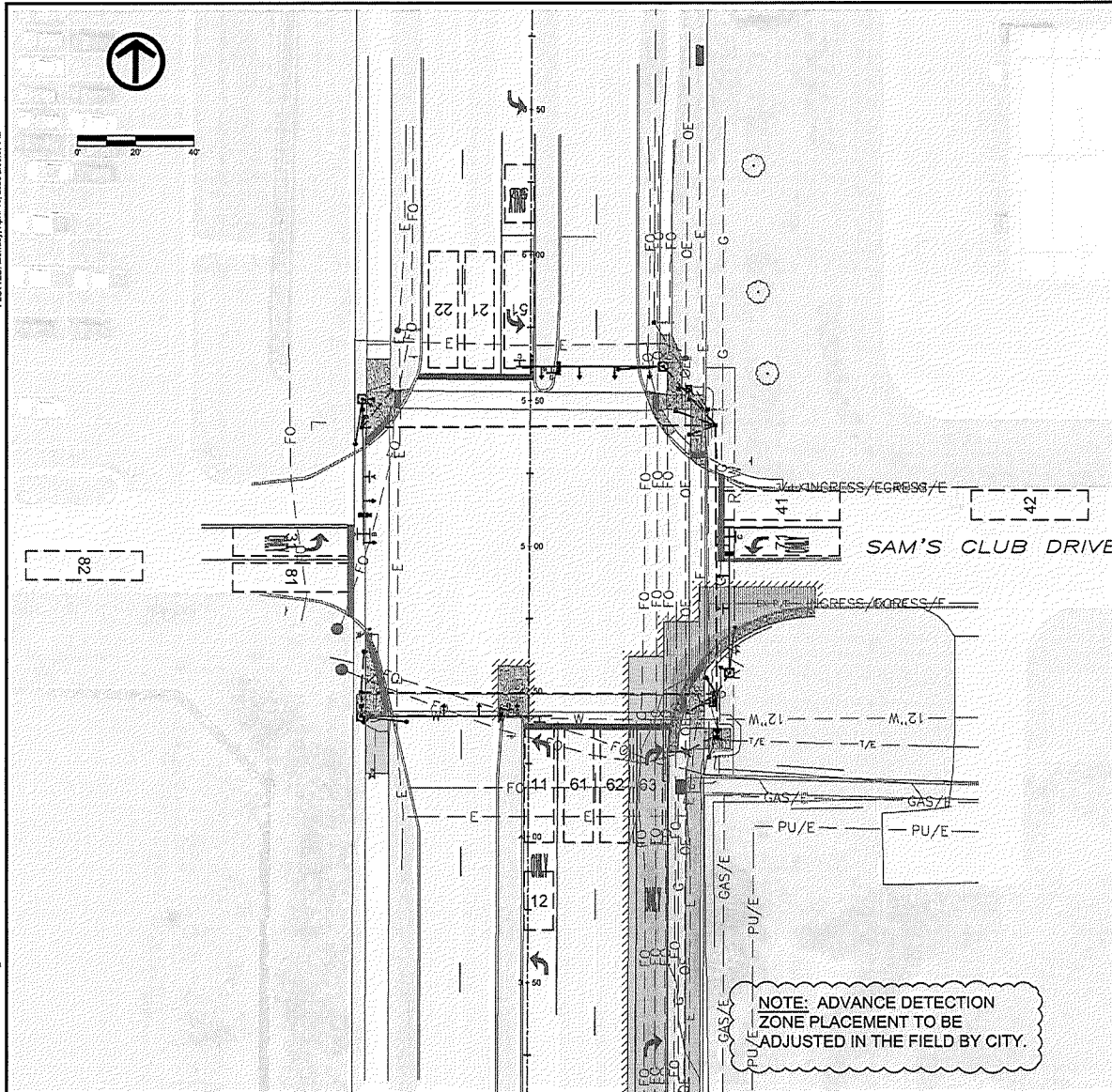
DWG. NO.

N.05

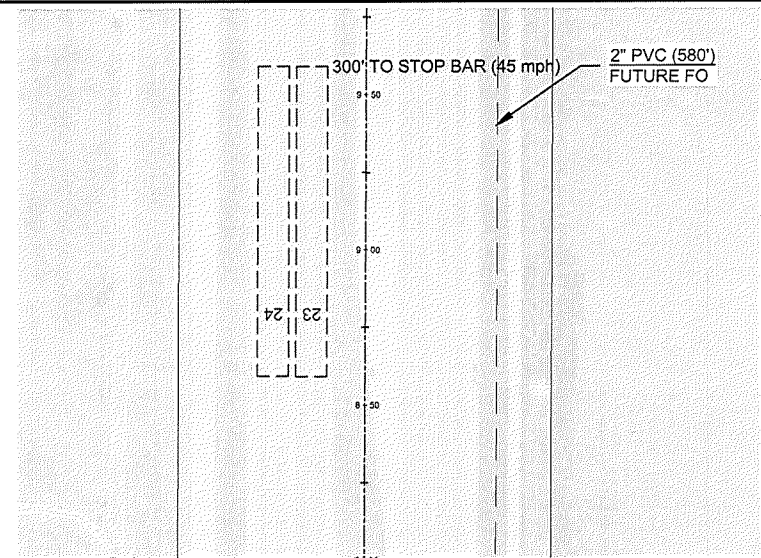
PROJECT 50632

PLOTTED: Monday, April 10, 2023 3:07 PM

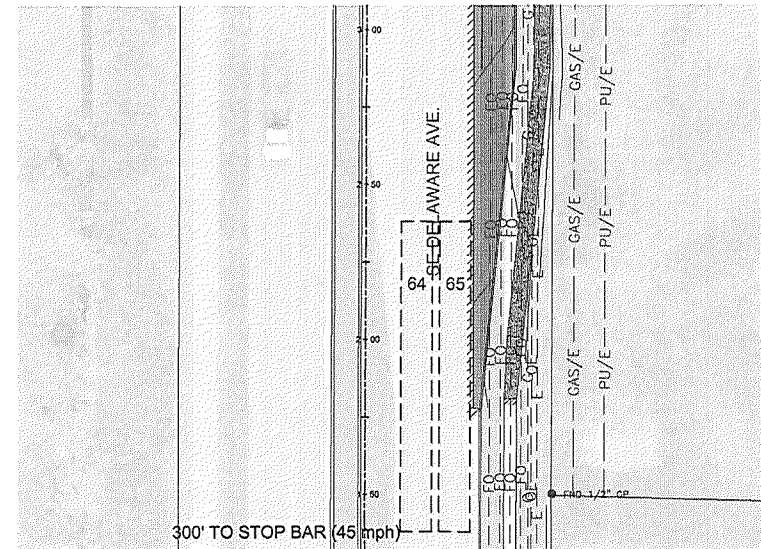
X:\BFS\50632 Aerial & 50632 Design Signal & Copeland Commercial Overlay CAD Intersection\ 50632-01-07
FILE PATH: Z:\CDA\50632 COPELAND DEVELOPMENT TRAFFIC SIGNAL\ PRODUCTION\DRAWINGS\N.06 - SIGNAL PLAN



STOP BAR DETECTION



ADVANCE DETECTION - NORTH APPROACH 45MPH



ADVANCE DETECTION - SOUTH APPROACH 45 MPH

DATE	REVISIONS	SCALE	AS NOTED
03-21-2023	1. ADDED NOTE.	DRAWN	LJB
04-04-2023	2. ADVANCED DETECTION ON EB & WB LEGS.	CHECKED	LJB
		APPROVED	LJB
		DATE	04-10-2023
		ISSUED FOR	CONSTRUCTION



COPELAND DEVELOPMENT TRAFFIC SIGNAL
COPELAND DEVELOPMENT

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DETECTION ZONES

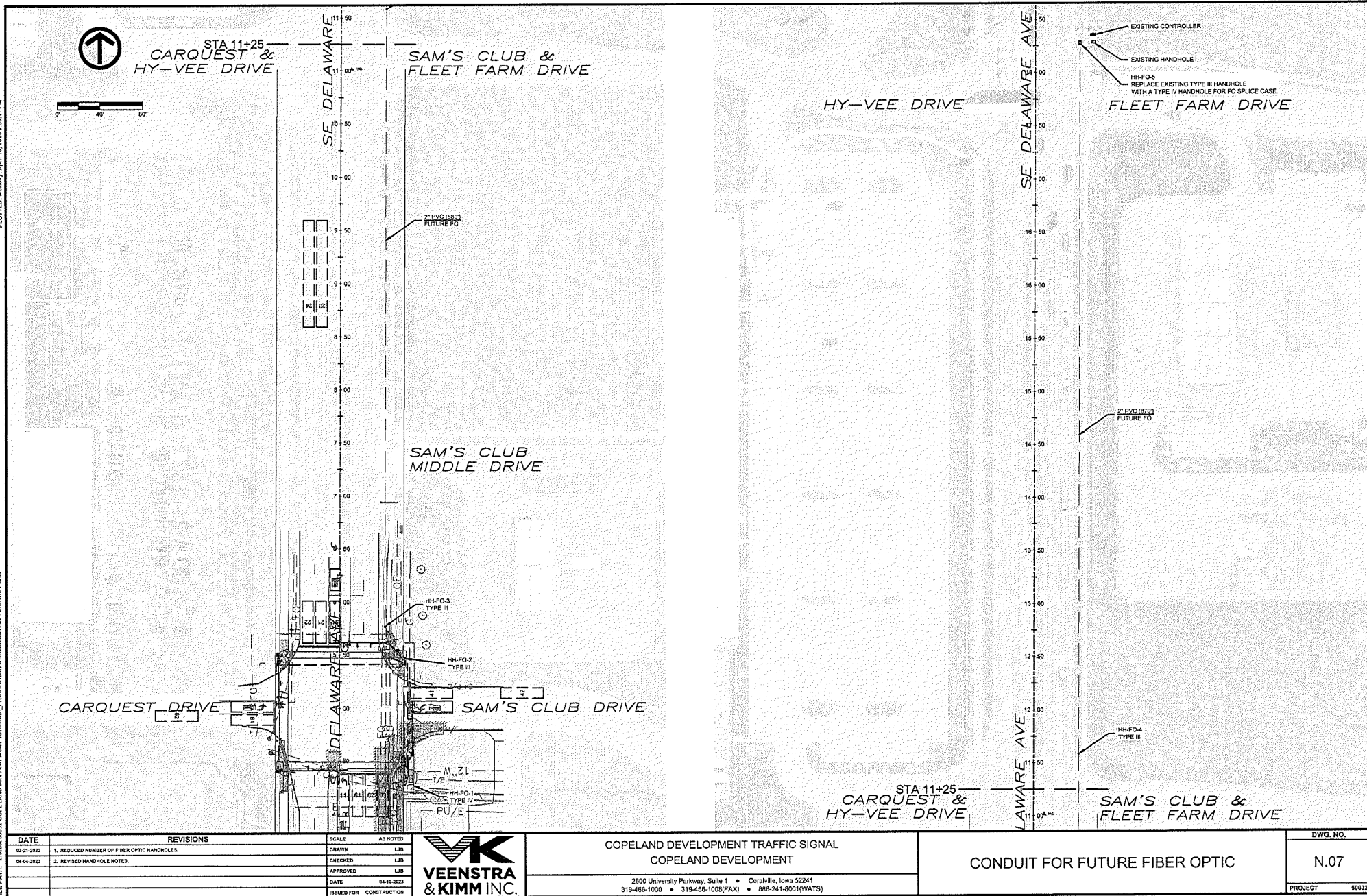
DWG. NO.

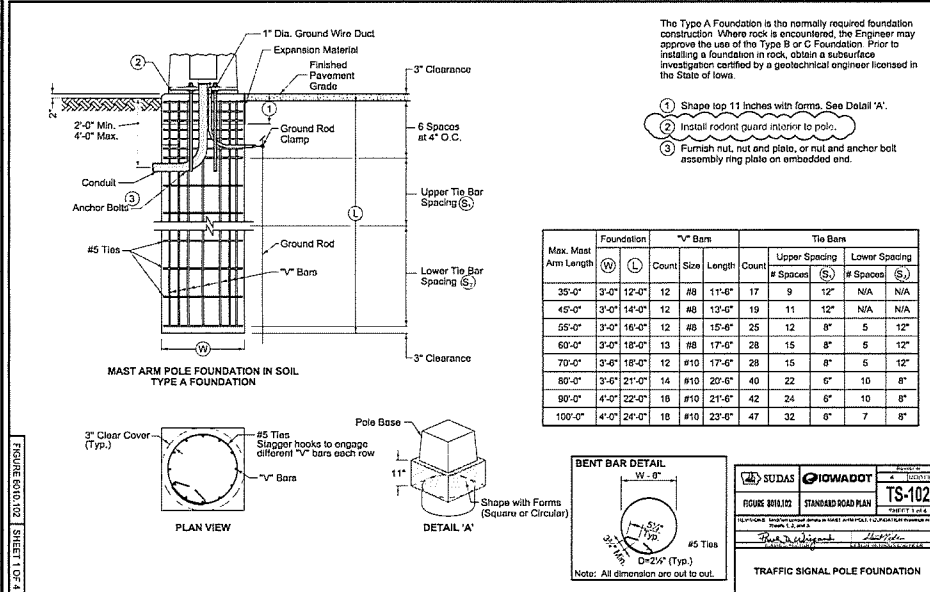
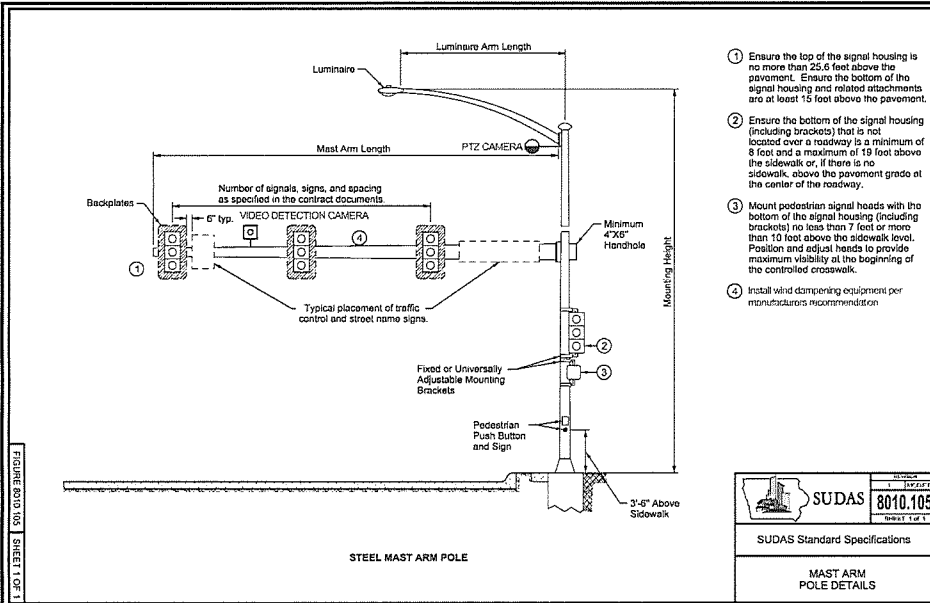
N.06

PROJECT 50632

0 40 80
PLOTED: Monday, April 10, 2023 2:36:17 PM

XREFS: 5032 Aerial & 5032 Design Signal & Copeland Development, Grading CAD (Intersection), 2023-03-27
FILE PATH: Z:\CDA 5032 COPELAND DEVELOPMENT\HACAD\PRODUCTION DRAWINGS\02 - SIGNAL PLAN



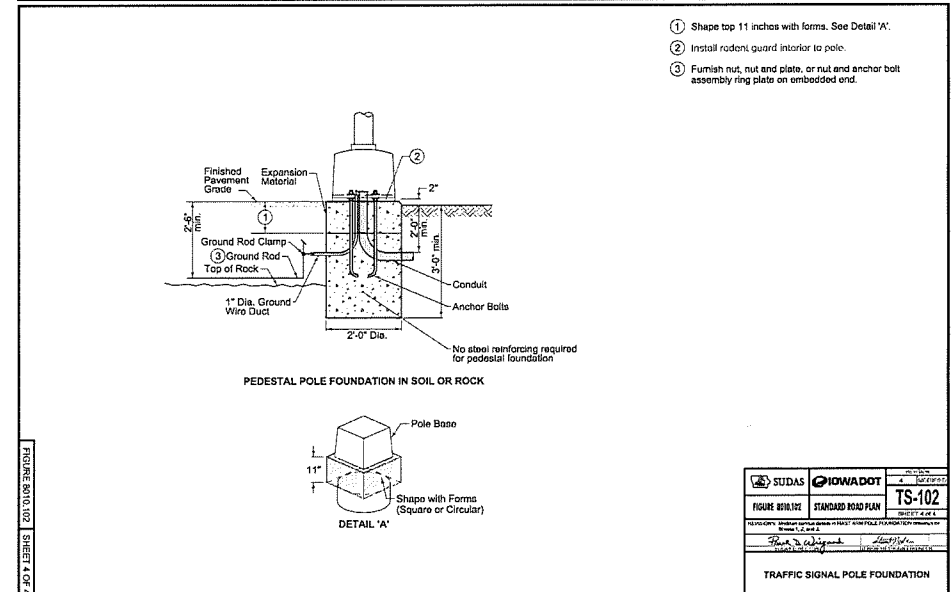
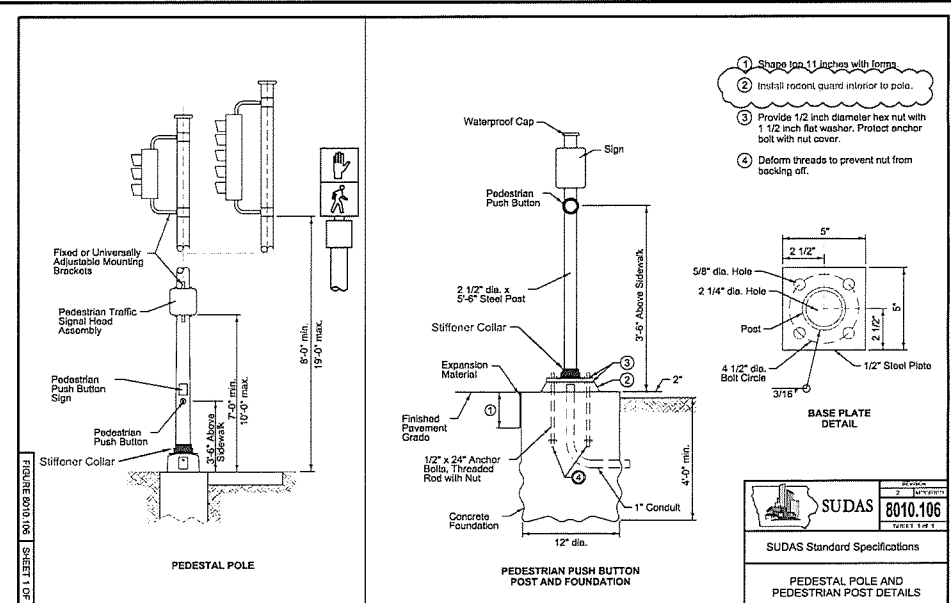


DATE	REVISIONS	SCALE	AS NOTED
03-21-2023	1. RODENT GUARD NOTE.	DRAWN	LJB
		CHECKED	LJB
		APPROVED	LJB
		DATE	04-16-2023
		ISSUED FOR	CONSTRUCTION



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 COPELAND DEVELOPMENT

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DATE	REVISIONS	SCALE	AS NOTED
03-21-2023	1. RODENT GUARD NOTE.	DRAWN	LJB
		CHECKED	LJB
		APPROVED	LJB
		DATE	04-16-2023
		ISSUED FOR	CONSTRUCTION



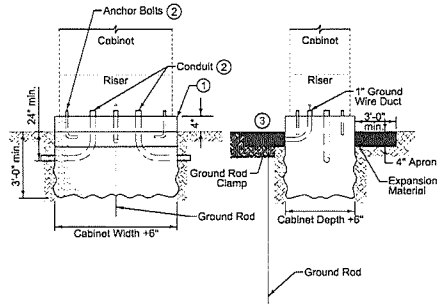
COPELAND DEVELOPMENT TRAFFIC SIGNAL
 COPELAND DEVELOPMENT

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DETAILS

DWG. NO.
 1
 N.08

PROJECT 59032



NEMA CONTROLLER CABINET FOOTING

- ① Shape top 11 inches with forms.
- ② Bolt spacing and conduit locations as specified by the manufacturer.
- ③ Construct concrete pad on both front and back of control cabinet double doors.

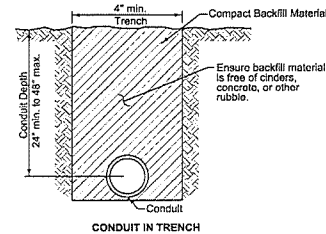
SUDAS

8010.101

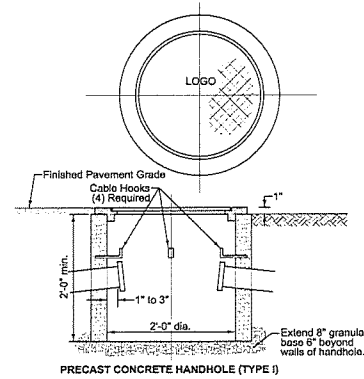
SHEET 1 OF 1

SUDAS Standard Specifications

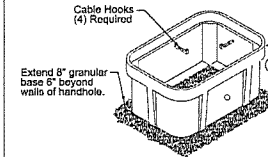
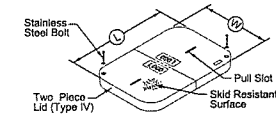
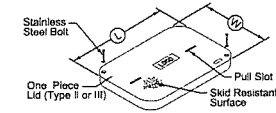
CABINET FOOTING DETAILS



CONDUIT IN TRENCH



PRECAST CONCRETE HANDHOLE (TYPE I)



PRECAST CONCRETE COMPOSITE HANDHOLE

HANDHOLE DIMENSIONS TABLE (NOMINAL)			
TYPE	L	W	D
II	30"	17"	24"
III	36"	24"	30"
IV	48"	30"	36"

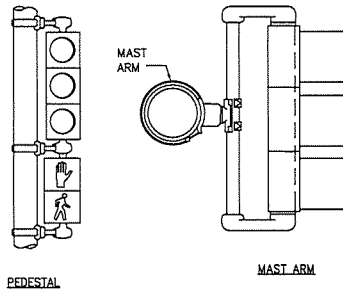
FIGURE 8010.103

STANDARD ROAD PLAN

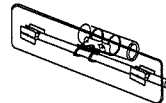
LI-103

SHEET 1 OF 1

CONDUIT AND PRECAST HANDHOLES



SIGNAL MOUNTING DETAILS
NOT TO SCALE



MASTARM MOUNT STREET SIGN BRACKET
NOT TO SCALE

DATE	REVISIONS	SCALE	AS NOTED
		DRAWN	LJR
		CHECKED	LJR
		APPROVED	LJR
		DATE	04-10-2023
		ISSUED FOR	CONSTRUCTION



COPELAND DEVELOPMENT TRAFFIC SIGNAL
COPELAND DEVELOPMENT

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319-466-1000 • 319-466-1008(FAX) • 888-241-8001(WATS)

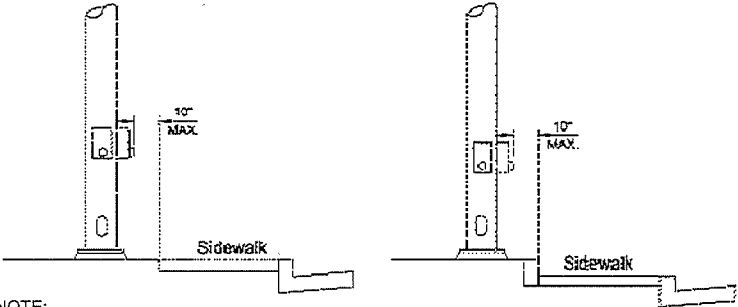
DETAILS

DWG. NO.
N.09
PROJECT 55032

PLOTTED: Monday, April 10, 2023 2:35:37 PM

X-REFS: Z:\CADA 16632 COPELAND DEVELOPMENT TRAFFIC SIGNAL, PRODUCTION DRAWINGS\2021 - SIGNAL NOTES

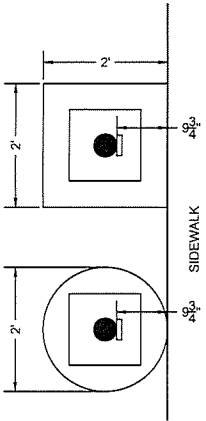
Side Reach Diagram



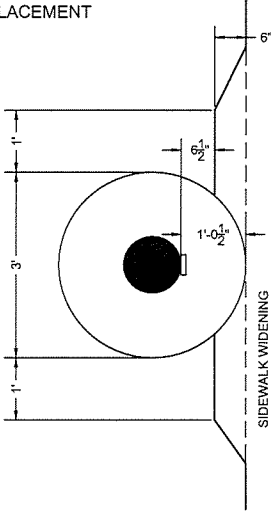
NOTE:
PED BUTTON SHALL BE NO MORE THAN
10" FROM TRAVEL PATH. NOTCH
SIDEWALK AS REQUIRED.

With Curb at Back of Sidewalk

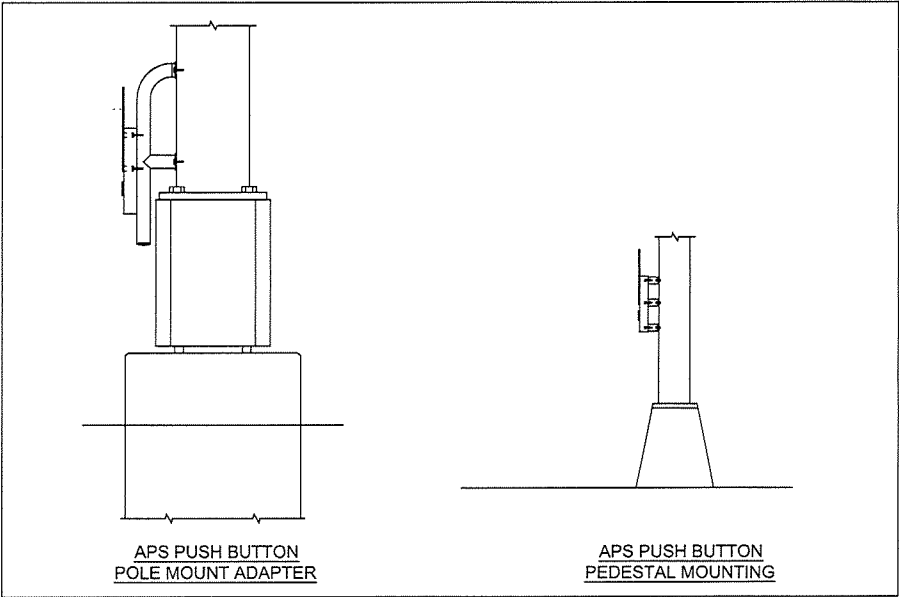
PEDESTRIAN POST PLACEMENT



PEDESTAL BASE - PLAN
VIEW

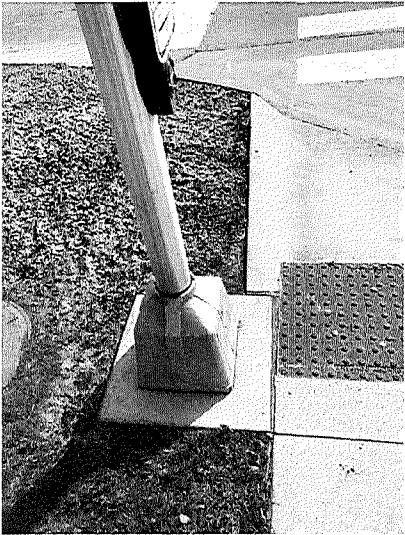


SIGNAL BASE - PLAN VIEW

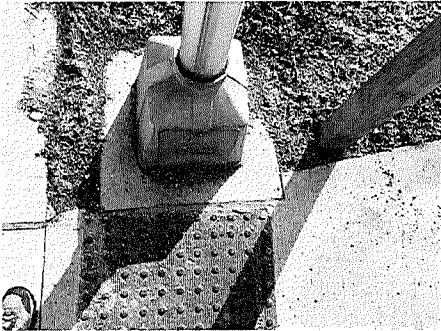


APS PUSH BUTTON
POLE MOUNT ADAPTER

APS PUSH BUTTON
PEDESTAL MOUNTING



NOTE:
PED BUTTON SHALL BE NO MORE THAN
10" FROM TRAVEL PATH. NOTCH
SIDEWALK AS REQUIRED.



PEDESTRIAN POST PLACEMENT

DATE	REVISIONS	SCALE	AS NOTED
		DRAWN	LJB
		CHECKED	LJB
		APPROVED	LJB
		DATE	04-10-2023
		ISSUED FOR	CONSTRUCTION

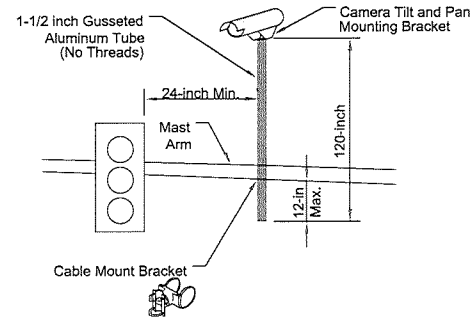


COPELAND DEVELOPMENT TRAFFIC SIGNAL
COPELAND DEVELOPMENT

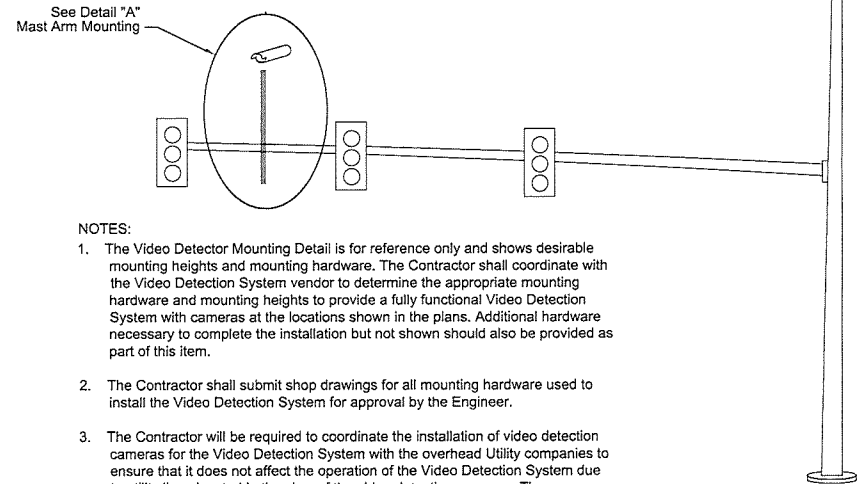
2800 University Parkway, Suite 1 • Coralville, Iowa 52241
319-466-1000 • 319-466-1008(FAX) • 888-241-8001(WATS)

DETAILS

DWG. NO.
N.10
PROJECT 55932



DETAIL "A"
MAST ARM MOUNTING DETAIL



NOTES:

1. The Video Detector Mounting Detail is for reference only and shows desirable mounting heights and mounting hardware. The Contractor shall coordinate with the Video Detection System vendor to determine the appropriate mounting hardware and mounting heights to provide a fully functional Video Detection System with cameras at the locations shown in the plans. Additional hardware necessary to complete the installation but not shown should also be provided as part of this item.
2. The Contractor shall submit shop drawings for all mounting hardware used to install the Video Detection System for approval by the Engineer.
3. The Contractor will be required to coordinate the installation of video detection cameras for the Video Detection System with the overhead Utility companies to ensure that it does not affect the operation of the Video Detection System due to utility lines located in the view of the video detection cameras. The Contractor should also make sure that any required clearances from overhead utilities are provided.
4. Location of video detector is the mast arm mounting located between the left-turn lane and adjacent through lane.

DATE	REVISIONS	SCALE	AS NOTED
03-21-2023	1. REVISED VIDEO MOUNTING LOCATION DETAIL.	DRAWN	LJB
04-06-2023	2. REVISED VIDEO MOUNTING LOCATION DETAIL.	CHECKED	LJB
		APPROVED	LJB
		DATE	04-10-2023
		ISSUED FOR	CONSTRUCTION



COPELAND DEVELOPMENT TRAFFIC SIGNAL
COPELAND DEVELOPMENT

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DETAILS

DWG. NO.
2
N.11

PROJECT 59032

X-REFS:
FILE PATH: Z:\CDA 50632 COPELAND DEVELOPMENT\TIA\CADD\ PRODUCTION DRAWINGS\N 01 - SIGNAL NOTES

POLES & MAST ARMS																	
SINGLE ARM				PEDESTAL POLE			LUMINAIRE				POLE BASE		FOOTINGS		REMARKS		
POLE NUMBER	ARM LENGTH	SIGNAL HEAD SPACING		SIGN SPACING		POLE HEIGHT			MTG. HT	ARM LENGTH	REV. NO	NOTE	STANDARD OR TRANSFORMER	FED. BUTTONS		DIA (FT)	DEPTH (FT)
		QTY.	SPACING	QTY.	SPACING	PB	10'	16'									
B1	50	3	49, 37, P	3	49, 46, 25				30	15	0	NOTE #1	TRANSFORMER		3	18	SQUARE TOP
B2	60	4	42, 28, 16, 4	2	49, 34				22	15	350	NOTE #2	TRANSFORMER		3	18	SQUARE TOP
B3	50	3	45, 37, P	3	47, 47, 25				35	15	0		TRANSFORMER		3	16	SQUARE TOP
B4	65	3	53, 41, 29	2	61, 47								TRANSFORMER	X	3.5	18	SQUARE TOP
B5								X					TRANSFORMER		2	3	PED SIGNAL
B6								X					TRANSFORMER		2	3	PED SIGNAL
P21						X							STANDARD		1	4	
P22						X							STANDARD		1	4	
P41						X							STANDARD		1	4	
P42						X							STANDARD		1	4	
P61						X							STANDARD		1	4	
P62						X							STANDARD		1	4	
P91														X			POLE B4
P92						X							STANDARD		1	4	
NOTE #1 - See sheet 13 for vertical clearance from power lines. Max height of 30 feet.																	
NOTE #2 - See sheet 13 for vertical clearance from power lines. Max height of 23 feet.																	



**VEENSTRA
& KIMM INC.**

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[illegible]

NOTES:
PR - PRESENCE
P - PULSE
L - LOCKING
S - SYSTEM

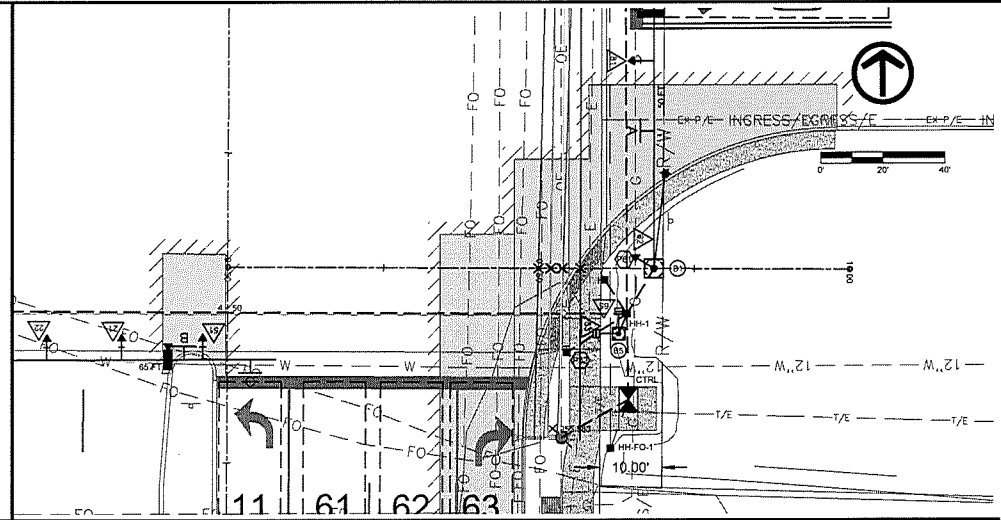
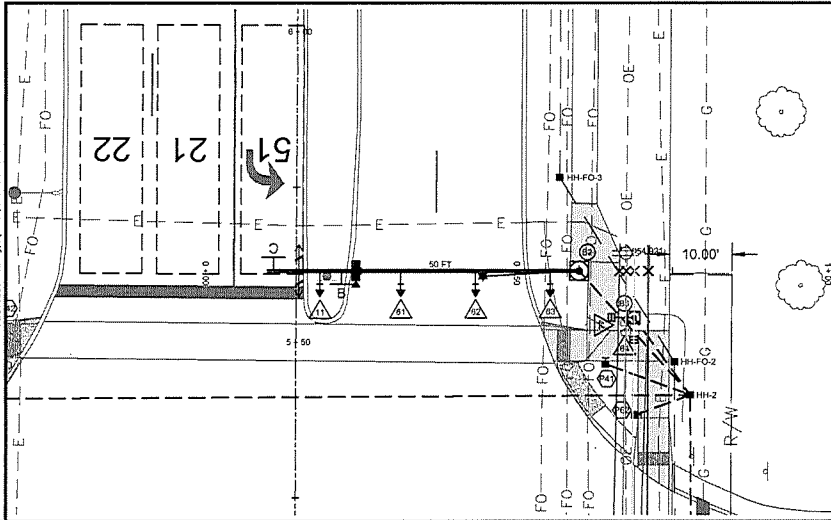
POWER SUPPLY					
TRAFFIC SIGNAL			LUMINAIRS		
STATION	4-20	METED (V/N)	YES	METERED (V/N)	YES
OFFSET	5#R	METER MOUNTING	CABINET	METER LOCATION	CABINET
EXISTING/ NEW	N/A	VOLTS	120	CONTACTOR (V/N)	N/A
MOUNTING	CABINET	AMPS	100	LOCATION	N/A
DISCONNECT	YES	PHASE	PHASE		

NOTES: COORDINATE WITH MIDAMERICAN ENERGY FOR SERVICE DETAILS. POWER FROM EXISTING POLE AND TRANSFORMER.

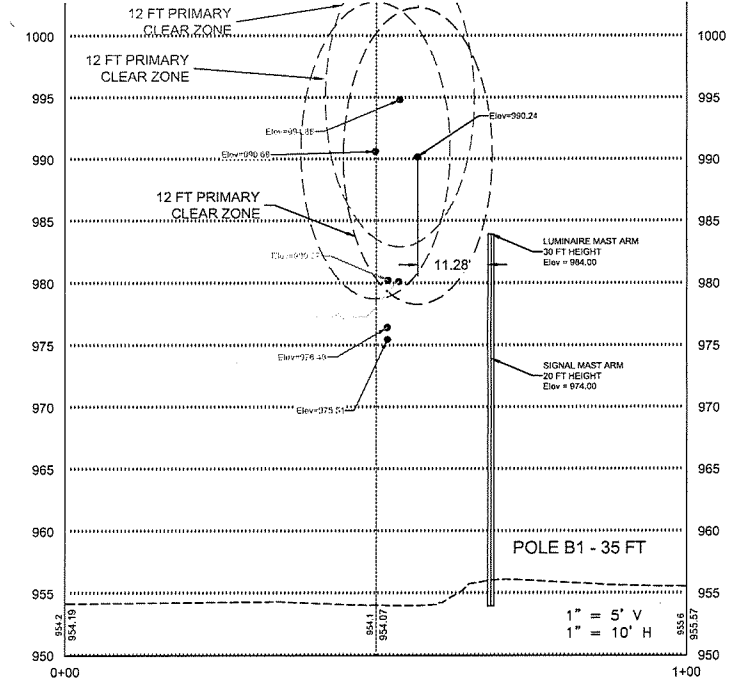
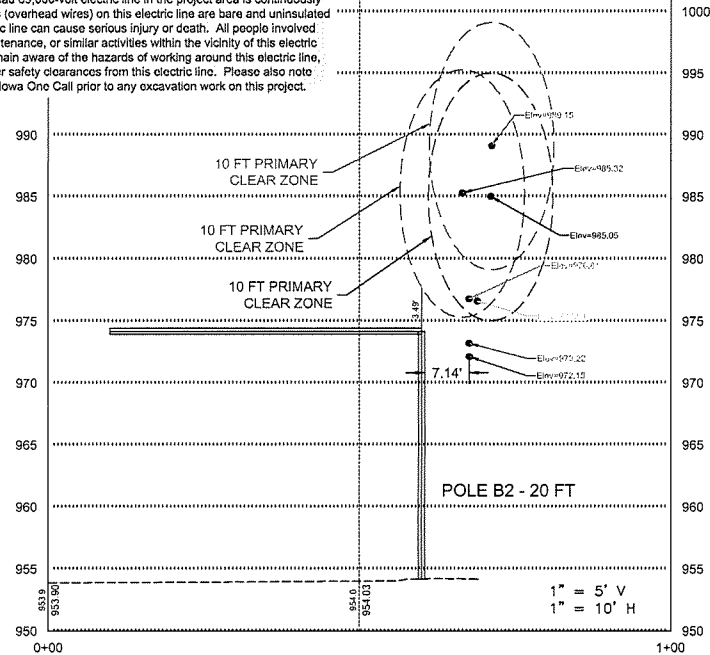
NOTES: PHOTOCELL CONTROLS

DWG. NO.	
2	
N.12	
PROJECT	50632

PLOTTED: Monday, April 10, 2023 2:55:59 PM



Please note that the overhead 69,000-volt electric line in the project area is continuously energized. The conductors (overhead wires) on this electric line are bare and uninsulated and contact with this electric line can cause serious injury or death. All people involved with any construction, maintenance, or similar activities within the vicinity of this electric line must be aware and remain aware of the hazards of working around this electric line, including maintaining proper safety clearances from this electric line. Please also note the requirement to contact Iowa One Call prior to any excavation work on this project.



DATE	REVISIONS	SCALE	AS NOTED
04-08-2022	1. MOVED B1 TO NORTHEAST. ADJUSTED ELEVATION OF B2.	DRAWN	LJB
		CHECKED	LJB
		APPROVED	LJB
		DATE	04-10-2023
		ISSUED FOR	CONSTRUCTION



COPELAND DEVELOPMENT TRAFFIC SIGNAL COPELAND DEVELOPMENT

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SIGNAL POLE - ELEVATIONS

DWG. NO.

N.13

PROJECT 59632

Exhibit C
Release Form

[see attached]

WHEN RECORDED RETURN TO:

Michael J. Book
Duggan Shadwick Doerr & Kurlbaum LLC
9101 W. 110th Street, Suite 200
Overland Park, KS 66210

Preparer Information: Mitchell Wedell, 1210 NW Prairie Ridge Dr., Ankeny, Iowa 50023 (515) 963-3523
SPACE ABOVE THIS LINE FOR RECORDER

RELEASE AND TERMINATION OF DEVELOPMENT AGREEMENT

THIS RELEASE AND TERMINATION OF DEVELOPMENT AGREEMENT (the "**Release**") is made and entered into as of the _____ day of _____, 20____ (the "**Effective Date**"), by the City of Ankeny, Iowa (the "**City**").

RECITALS

The City entered into that certain Development Agreement By and Between The City of Ankeny, Iowa, and Parlay Baxter, LLC dated _____, 20____ and recorded at Book _____ Page _____ ("**Development Agreement**").

The Development Agreement affects certain real property located in the City of Ankeny, Polk County, Iowa, as legally described on Exhibit A, attached hereto (the "**Property**").

The City now desires to completely and forever release the Property from the effect of the Development Agreement.

NOW, THEREFORE, the City hereby declares as follows:

1. **RELEASE FROM THE AGREEMENT**. Effective as of the Effective Date of this Release, the Property shall be completely and forever released from the force and effect of the Development Agreement, and the Development Agreement is hereby terminated. Upon the Effective Date, the Development Agreement shall not constitute an encumbrance to title to the Property or bind the current or any future owner(s) or occupant(s) of the Property. The City hereby acknowledges and agrees that this Release has been executed in full compliance with the terms and conditions of the Development Agreement and as of the Effective Date no default or violation of the Development Agreement exists with respect to the Property.

2. **INTERPRETATION.** All questions with respect to interpretation and construction of this Release and the rights and liabilities of the parties hereunder will be determined in accordance with the laws of the State of Iowa.

IN WITNESS WHEREOF, the undersigned has executed this Release as of the date first above written.

IN WITNESS WHEREOF, the parties hereto have caused the Agreement to be executed by their duly authorized representative on this the ____ day of _____, 2023.

CITY OF ANKENY, IOWA

By: _____

Mark E. Holm, Mayor

Attest:

By: _____

Michelle Yuska, City Clerk

STATE OF IOWA

COUNTY OF POLK, ss:

On the _____ day of _____, 20____, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared **MARK E. HOLM** and **MICHELLE YUSKA**, to me personally known, who, being by me duly sworn, did say that they are the Mayor and Interim City Clerk of the City of Ankeny, Iowa, a municipal corporation; that the seal affixed to the above and foregoing instrument is the corporate seal of said municipal corporation, and that said instrument was signed and contained in the Resolution adopted by the City Council of Ankeny, Iowa, on the _____ day of _____, 20____, and the said **MARK E. HOLM** and **MICHELLE YUSKA** acknowledged the execution of said instrument to be their voluntary act and deed and the voluntary act and deed of said municipal corporation, by it and by them voluntarily executed.

Notary Public in and for the State of Iowa

Attachment: EXHIBIT A - The Property