



Meeting Agenda

Zoning Board of Adjustment

Tuesday, November 7, 2023

5:00 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Matt Ott, Chair

Jeffrey Baxter, Vice Chair

Nichole Sungren

Kristi Tomlinson

Brett Walker

Zoning Board of Adjustment regular meetings are the first and third Tuesday of each month at 5:00 p.m. All Board of Adjustment meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER

A. ROLL CALL

B. AMENDMENTS TO AGENDA

C. MINUTES

Minutes of the October 3, 2023 regular meeting.

D. COMMUNICATIONS/CORRESPONDENCE

E. BUSINESS ITEMS

PUBLIC HEARINGS Public Hearings are held during the Zoning Board of Adjustment's regular meetings. Those who wish to speak will be requested to provide their name and address for the record when called upon. The order of proceedings for each application will be as follows: 1). The applicant will present testimony and evidence regarding their request; 2). City staff will summarize the project and present their findings; 3). Testimony may be heard from any members of the audience who wish to speak in support of or in opposition to the appeal; 4). The Board will give the applicant and the city staff an opportunity to present concluding summaries and arguments. At the conclusion of all public testimony, the Board will close the public hearing. The Board will discuss the issues and evidence and come to a decision. The applicant or appellant may withdraw their application or appeal at any time prior to the decision by the Zoning Board of Adjustment.

#23-18

**Chris Mortale, Amazed Construction Services
on behalf of Kristine and Brock Ford
for property located at
4402 SW Sawgrass Parkway
Lot 30, Sawgrass Park Plat 4
RE: Variance - Rear Yard Setback**

#23-19

**Andrea Dose
for property located at
2202 NE Trilein Drive
Lots 1 & 2, Northbrook Plat 6
RE: Variance - Rear Yard Setback**

F. OLD BUSINESS:

G. NEW BUSINESS

H. REPORTS

Renewed Special Use Permits

#21-20 Vintage Brewhouse - 1300 NW 36th Street, Suite 101

#22-03 Silk Elephant - 2410 SW White Birch Drive, Suite 108

I. ADJOURNMENT



ZONING BOARD OF ADJUSTMENT

November 7, 2023

5 : 00 PM



ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes of the October 3, 2023 regular meeting.

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):


PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

ADDITIONAL INFORMATION:

ATTACHMENTS:

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 [ZBOA Minutes 2023-10-03](#)

Meeting Minutes
Zoning Board of Adjustment
Tuesday, October 3, 2023
Ankeny City Council Chambers
1250 SW District Drive, Second Floor, Ankeny, Iowa

CALL TO ORDER

Chair Matt Ott called the October 3, 2023 regular meeting of the Zoning Board of Adjustment to order at 5:00 p.m.

ROLL CALL

Members present: Jeff Baxter, Matt Ott, and Nichole Sungren. Absent: Brett Walker and Kristi Tomlinson.
Staff: E.Jensen, E.Carstens, D.Silverthorn, J.Heil, B.Morrissey, L.Hutzell, R.Kirschman and B.Fuglsang.

AMENDMENTS TO THE AGENDA

There were no amendments to the agenda.

MINUTES OF THE SEPTEMBER 19, 2023 REGULAR MEETING

Motion by J.Baxter to approve the September 19, 2023 meeting minutes as submitted. Second by N.Sungren.
All voted aye. Motion carried 3 – 0.

COMMUNICATIONS / CORRESPONDENCE

There were no communications.

BUSINESS ITEMS

PUBLIC HEARINGS:

#23-17

Casey's Retail Company

for property located at

1602 W 1st Street

Lot 1, Handimart Plat No. 1

RE: Variance – Open Space

Chair M.Ott opened the public hearing.

Aaron Wolfe, Casey's Retail Company, 3305 SE Delaware Avenue, Ankeny said that they bought the building in 2010, which was originally a Handimart Gas Station/Convenience Store and rebranded the property as a Casey's. He noted that history shows that the developer at that time was mandated to dedicate right-of-way to the City, adjacent to both street frontages, which reduced the site by 20 percent. The developer sought and was granted three variances to build on the site. He said, at this time, they would like to expand the services that Casey's offers to the neighborhood by remodeling and adding a full kitchen onto the east side of the building. He noted that the expansion would increase the gross floor area by approximately 300 sf, which would increase the number of code required parking stalls on site. Aaron Wolfe stated that they can accommodate the parking requirement if they were granted a variance to the Open Space requirement. Their request is for 12 percent of open space on the site. He explained that they have exhausted other options, such as approaching neighboring property owners about acquiring property from them, asking the City if they could acquire an easement to park within the unused right-of-way, or purchasing unused right-of-way that was previously dedicated to the City. Aaron Wolfe expressed to the Board that an already exceptionally tight site was previously hindered by the City's acquisition of right-of-way and the continued use of this property for any use intended for this zoning district would be hindered without the variance. He commented that the requested variance for open space would not have a negative impact on the neighboring property owners. He asked the Board if they had any questions.

J.Heil reported that the applicant is requesting a variance to Ankeny Municipal Code Section 191.15, that requires sites to have a minimum of 20 percent open space, allowing a minimum of 12 percent open space on the site located at 1602 W 1st Street. The property is located north of W 1st Street and west of NW State Street, is zoned C-1, Neighborhood Retail Commercial District and contains a 2,632-sf convenience store with

3 gas pumps. He stated the property is approximately .424 acres in size and is considered a corner lot with two front yards; one to the south adjacent to W 1st Street and the other to the east adjacent to NW State Street. J.Heil explained that on May 4, 1999, the Zoning Board of Adjustment granted a 30-foot rear yard setback variance, an 18-foot front yard setback variance at the south property line and a 15-foot variance at the east property line, and an 18 percent open space minimum for the site. The open space reduction was granted due to the hardship caused when the City of Ankeny acquired additional right-of-way for future turn lanes. J.Heil stated that Casey's Retail Company has proposed a building addition, which would increase the current store by 320 sf to accommodate a kitchen. The total site area is 18,475 sf, which would require 3,695 sf of open space at the 20 percent required by City code and Casey's has proposed 2,202 sf of open space on the site, which would be 12 percent open space. He noted that with the proposed addition, the site would require 20 parking stalls. The proposed site plan shows 18 parking stalls on the site, at the cost of some of the existing open space. Staff believes that the reduction of developable area on the site due to the City acquiring additional right-of-way has caused an exceptional narrowness/shallowness hardship for the site to provide the necessary 20 percent open space required by code. The open space on the site is further affected with the site meeting the minimum parking requirements. He stated that in the past; the Board has required additional landscaping due to the reduction in open space. Staff would recommend that the Board require additional landscaping with the open space variance, if granted. Staff notified all property owners within 250' of the property and to date, staff has not received any communication for or against the request. The staff position is to grant a variance to Ankeny Municipal Code Section 191.15, to allow a minimum of 12 percent open space at 1602 W 1st Street, subject to landscaping being provided which exceeds the minimum landscaping requirements of the zoning ordinance to be determined by staff. Staff's position is based on a determination that the decreased open space requirement from the resulting building addition would not impair adequate supply of air and light, would not increase public danger of fire, or diminish property values; and that this request is in harmony with the intended spirit and purpose of the Ankeny Municipal Code.

There was no one in the audience to speak for or against the request.

Motion by M.Ott to close the public hearing, and receive and file documents. Second by J.Baxter. All voted aye. Motion carried 3 – 0.

Board Action on Filing #23-17 property located at 1602 W 1st Street

Motion by J.Baxter that the Zoning Board of Adjustment grant a variance to Ankeny Municipal Code Section 191.15, to allow a minimum of 12 percent open space at 1602 W 1st Street, subject to landscaping being provided, which exceeds the minimum landscaping requirements of the zoning ordinance to be determined by Staff. The Board's position is based on a determination that the decreased open space requirement from the resulting building addition would not impair adequate supply of air and light, would not increase public danger of fire, or diminish property values; and that this request is in harmony with the intended spirit and purpose of the Ankeny Municipal Code. Second by N.Sungren. All voted aye. Motion carried 3 – 0.

NEW BUSINESS

There was no new business.

REPORTS

Renewed Special Use Permits

#08-23 Buffalo Wild Wings Grill & Bar, 1690 SE Delaware Avenue

#15-14 Benchwarmers Ankeny Inc., 705 S Ankeny Boulevard

There being no further business, meeting adjourned at 5:17 p.m.



Submitted by Brenda Fuglsang, Board Secretary
Zoning Board of Adjustment



ZONING BOARD OF ADJUSTMENT

November 7, 2023

5 : 00 PM



ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Public Hearing

LEGAL:

SUBJECT:

#23-18

Chris Mortale, Amazed Construction Services

on behalf of Kristine and Brock Ford

for property located at

4402 SW Sawgrass Parkway

Lot 30, Sawgrass Park Plat 4

RE: Variance - Rear Yard Setback

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:



PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

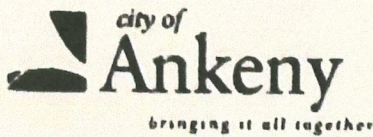
PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download
 23-18 Applicant Submittal
 23-18 Staff Report



#23-18
APPLICATION FOR APPEAL
ZONING BOARD OF ADJUSTMENT

Applicant is: ☐ Property Owner ☐ Tenant ☒ Other Contractor

Applicant Chris Mortale Amazed COstruction Services

Address / Phone # PO box 139 Elkhart, IA 50073 515-480-2900

E-mail Chris@amazedconstruction.com

Property Owner Kristine and Brock Ford

Address / Phone # 4402 SW Sawgrass Parkway

E-mail _____
(Owner must sign the application or submit a letter of authorization)

To the Members of the Board of Adjustment:
I hereby appeal from the decision of the Zoning Administrator rendered on 5th day of October, 2023

Location (address) of the proposed variance 4402 SW Sawgrass Parkway

Legal description (Plat & Lot #) LOT 30 SAWGRASS PARK PLAT 4

Zoning _____ Principal Use of property Residential Housing

I request a variation from the current zoning requirement for:

☐ Front Yard ☐ Side Yard ☒ Rear Yard ☐ Fence ☐ Sign ☐ Parking ☐ Height
☐ Other _____

Ankeny Zoning Code Section # 196.03 which state(s) Yards - Unobstructed Opening to the Sky. Every part of a

required yard shall be open to the sky unobstructed with any building or structure, except for permitted accessory buildings in a rear yard and for the ordinary projections of eaves, roof eaves, windows and other features in side and rear yards projecting not to exceed 24 inches.

I would propose the following in lieu of that required: Adding a roof over the deck

Attached hereto and made a part of this appeal, I submit the following:

- a) A statement indicating the reasons for my appeal.
- b) A drawing showing proposed variance requested.
- c) A letter of authorization from the owner or lessee, if applicable.

Complete submittals are required for review.

AFFIDAVIT

State of IOWA)ss
County of POLK)

I hereby deposit and say that all of the above statements and the statements contained in the papers submitted herewith are true.

Chris Mortale

Print Name

(Signature of Applicant)

Signed and sworn to before me, this
09 day of October, 20 23.

Tucker Armstrong RECEIVED
(Notary Public)

Brock Ford

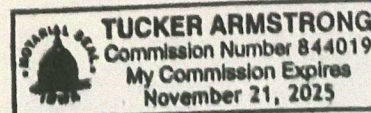
Print Name

(Signature of Property Owner)

—Notary seal—

Office Use Only

Paid <input checked="" type="checkbox"/> CC <input type="checkbox"/> Cash <input type="checkbox"/> Check # <u>4130.00</u>
Date received <u>10-17-2023</u>
Scheduled Meeting Date <u>11-7-2023</u> Filing # <u>23-18</u>



CITY OF ANKENY

OCT 17 2023

#23-18

We, Brock and Kristine Ford, authorize Chris Mortale from Amazed Construction service to aid in representation for this variance regarding a cover over our deck at 4402 Sw Sawgrass Parkway

Brock Ford Ba [Signature]

Kristine Ford Kristine Ford

Chris Mortale [Signature]

Matt Ott
Zoning Board of Adjustment
1250 SW District Dr, Second Floor
Ankeny, IA 50023

Dear Matt Ott,

I am writing to request a variance for my single-family home located at 4402 SW Sawgrass Parkway. As per the current zoning rules, there is a 35' rear yard setback, but I respectfully request a relaxation of 12' to add a roof over my deck due to the extensive open space in our backyard and lack of obstruction to any neighbors.

During the months of June to September, our deck is unusable between 12 PM – 8 PM CST due to the intense sun exposure. As a result, my family and I are unable to enjoy this space during the day. Additionally, we have two young children, Melanie (3) and Lillian (1), who require shelter from the sun. We believe that adding a roof would be a more visually appealing solution than the current pop-up tents and umbrellas we see throughout the neighborhood.

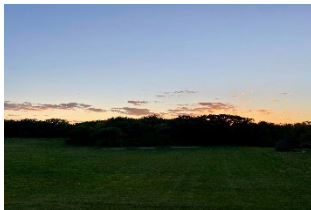
I have discussed this proposal with my neighbors. All have advised they have no concerns with the roof. We do not share a rear yard lot line with anyone, allowing us to enjoy the beautiful open space the size of two football fields and view of Sawgrass Park area and tree lines. The proposed roof will not obstruct any of the neighbor's view of this beautiful space.

When searching the area, it appears others in the area have been successful in obtaining a variance. 3605 SW Beechwood St, 3805 SW Beechwood St, 4008 SW Sawgrass Parkway and 4106 SW Bluegrass Dr appear to encroach the 35' lot line with a roof over their deck.

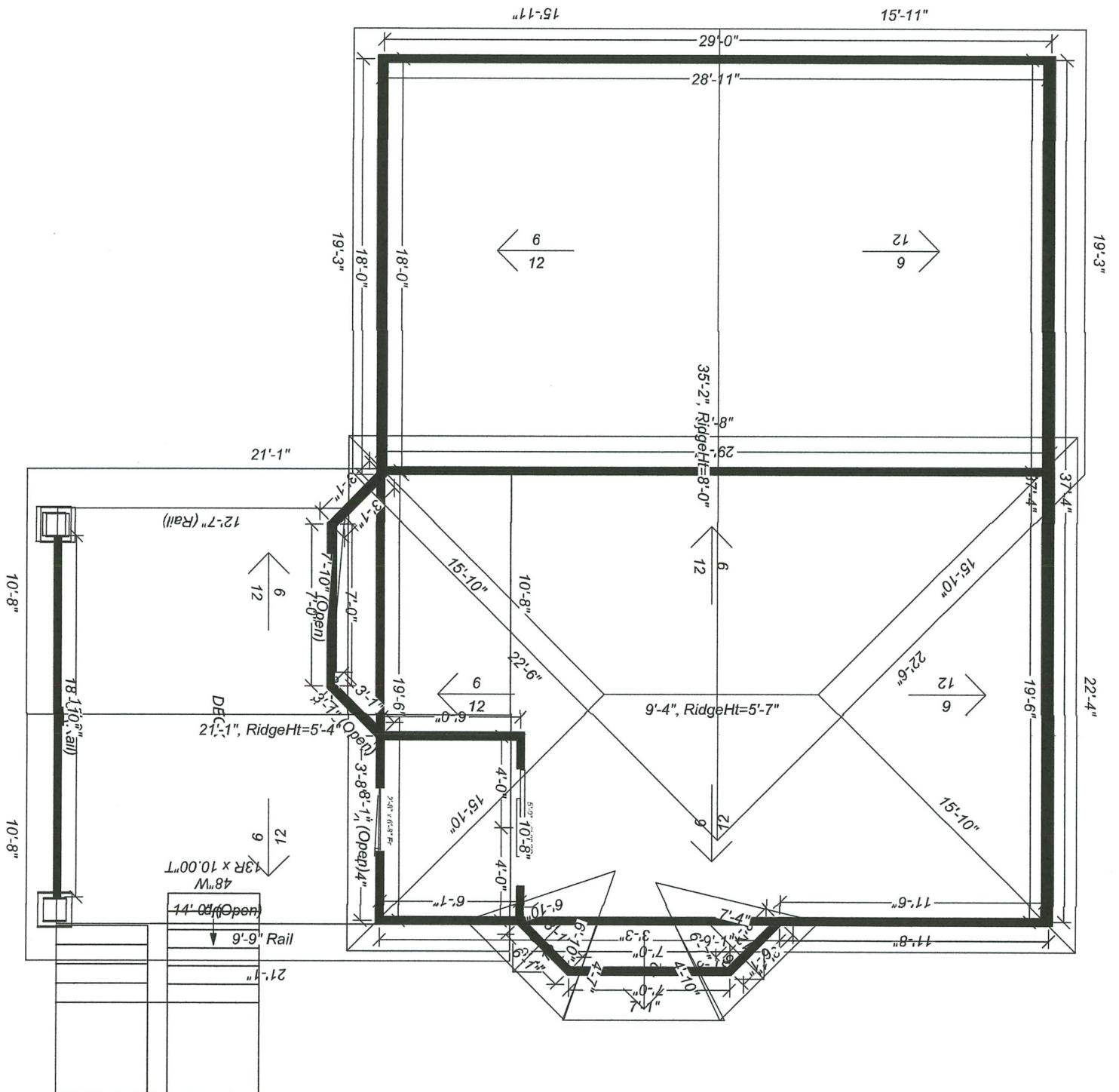
Thank you for considering this request. Our goal is to enhance our single-family home, improve our neighborhood, and enjoy the beautiful backdrop of Sawgrass Park without impairment from intense sun.

Sincerely,

Brock, Kristine, Melanie and Lillian Ford



N↑

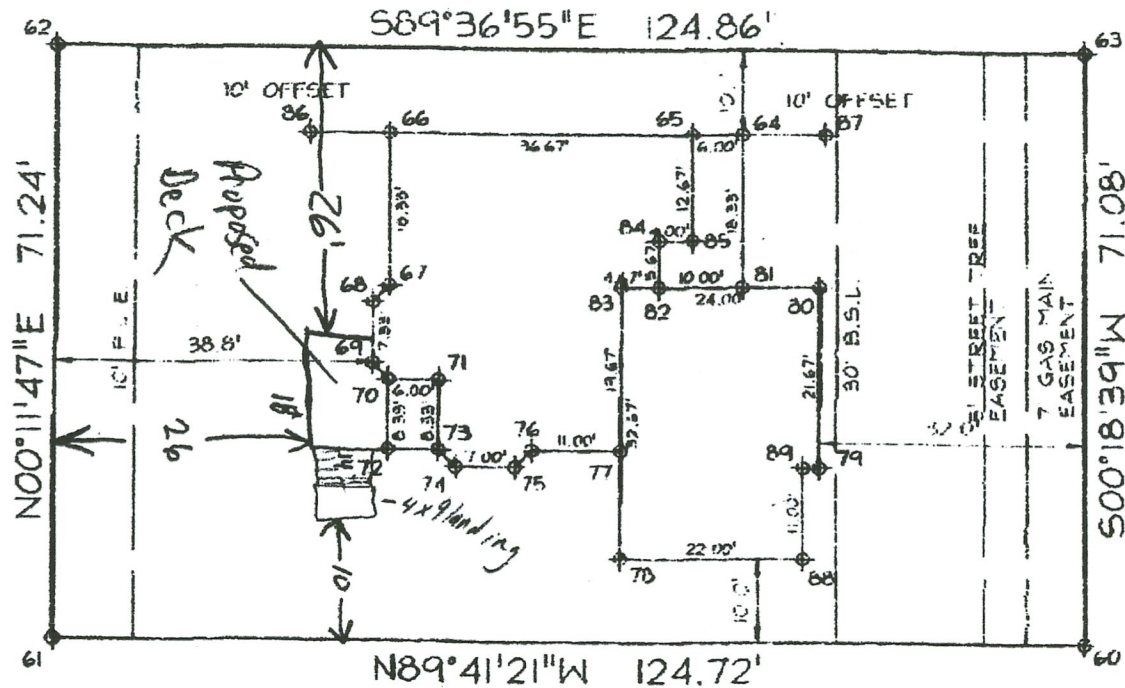


TIMBER RIDGE HOMES

LOT 30 SAWGRASS PARK PLAT 4

4402 SW SAWGRASS PARKWAY

#23-18



COOPER CRAWFORD
& ASSOCIATES, L.L.C.

CIVIL ENGINEERS

2167 GRAND AVENUE, WEST DES MOINES, IOWA 50365
 PHONE: (515) 224-1344 FAX: (515) 224-1345

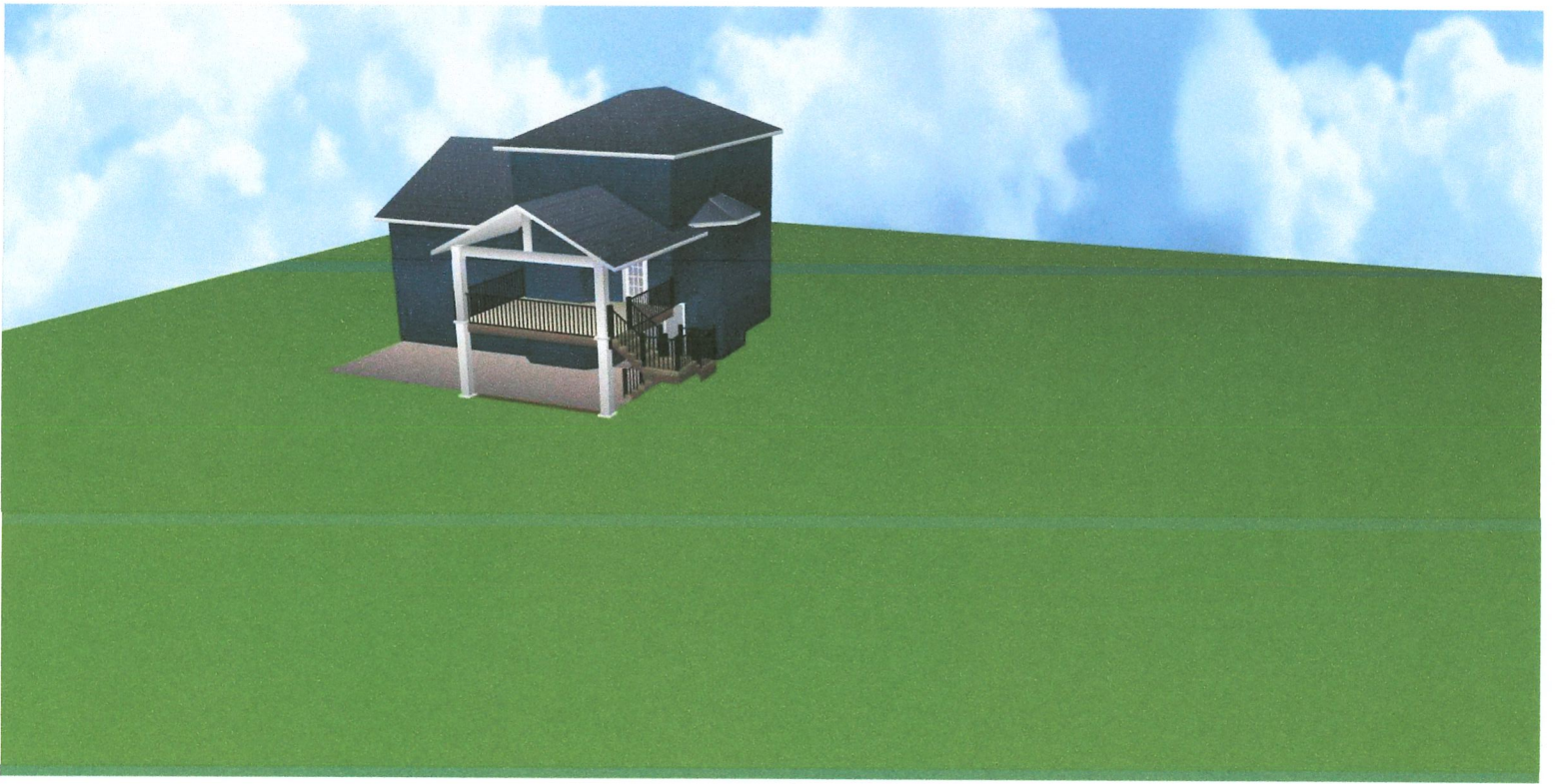
SCALE: 1" = 30'
 DATE: 10/29/00

JOB NUMBER
 CC
 0285

#23-18



#23-18





N



1 inch = 146 feet

Date: 10/25/2023

**4402 SW Sawgrass Parkway
Variance - Rear yard setback
Aerial Map**

**CITY OF ANKENY
ZONING BOARD OF ADJUSTMENT
COMMUNITY DEVELOPMENT DEPARTMENT STAFF REPORT**

To: Members of the Zoning Board of Adjustment
From: Ryan Kirschman, Planner
Filing #: 23-18
Meeting Date: November 7, 2023
Address: 4402 SW Sawgrass Parkway

ESL

APPELLANT REQUEST

A variance to Ankeny Municipal Code Section 192.05(3)(E) that requires Rear Yard: 35-feet, allowing a 25-foot rear yard setback for a covered deck at 4402 SW Sawgrass Parkway.

STAFF POSITION

Staff recommends the Zoning Board of Adjustment grant a variance to Ankeny Municipal Code Section 192.05(3)(E) to allow a 25-foot rear yard setback for the construction of a covered deck at 4402 SW Sawgrass Parkway.

Staff's position is based on a determination that the decreased rear yard setback from the resulting covered deck would not impair adequate supply of air and light, would not increase public danger of fire, or diminish property values; and that this request is in harmony with the intended spirit and purpose of the Ankeny Municipal Code.

PROJECT SUMMARY

The subject property is located at 4402 SW Sawgrass Parkway, south of SW Oralabor Road and west of SW State Street within the southwestern quadrant of Ankeny. The subject property is zoned R-3 with restrictions, Multiple Family Residence District restricted to single family homes and is situated on Lot 30 Sawgrass Park Plat 4.

The applicant is requesting a variance to encroach approximately 10-feet into the 35-foot rear yard setback that will allow the owners to convert their deck into a covered deck. The deck is already constructed. Should the variance for the covered deck be approved, a 25-foot rear yard setback will be the resulting setback on the west side of the property.

PROJECT REPORT

Criteria for Variance

197.01(4) Powers and Duties.

B. To grant a variation in the regulations when a property owner can show ...that by reason of exceptional narrowness, shallowness, or shape of a specific piece of property or by reason of exceptional topographical conditions or other extraordinary or exceptional situation, the strict application of the terms of this title actually prohibits the use of this property in the district; and that the board is satisfied under the evidence before it that a literal enforcement of the provisions of this title would result in unnecessary hardship; provided, however, that all variations granted under this clause shall be in harmony with the intended spirit and purpose of this title.

FINDINGS OF FACT

The subject property is located at 4402 SW Sawgrass Parkway, south of SW Oralabor Road and west of SW State Street within the southwestern quadrant of Ankeny. The subject property is zoned R-3 with restrictions, Multiple Family Residence District restricted to single family homes and contains a single-family home with an attached deck on the west side of the .204-acre lot. Neighboring properties to the north, south and east are similarly zoned R-3 with restrictions, Multiple Family Residence District restricted to single family homes. Sawgrass Park is west of the subject property. Permit records show the house was constructed in 2005. Per Ankeny Municipal Code Section 196.03(2)(B) unenclosed decks are allowed to extend up to twelve feet into the rear yard setbacks, while covered decks are not permitted in rear yard setbacks.

As indicated by the applicant on their submitted site plan, at its furthest point the proposed covered deck extends approximately 10' into the rear yard setback leaving approximately 25' between the deck and the rear property line. Staff is not concerned with the covered deck extending into the rear-yard setback as the property backs to Sawgrass Park. Additionally, the covered deck should not have any measurable impact on surrounding residences.

Furthermore, similar variance requests have been approved by the Zoning Board of Adjustment in the past. The most recent being in September of 2023, which allowed a covered deck to extend 13-feet into the rear yard setback. As is standard procedure for these kinds of requests, all property owners within 250' of the subject property were notified of the proposed variance by mail, and to date, staff has not received any correspondence either for or against the variance.

The staff position is to grant a variance to Ankeny Municipal Code Section 192.05(3)(E) to allow a 25-foot rear yard setback for the construction of a covered deck at 4402 SW Sawgrass Parkway. Staff's position is based on a determination that the decreased rear yard setback from the resulting covered deck would not impair adequate supply of air and light, would not increase public danger of fire, or diminish property values; and that this request is in harmony with the intended spirit and purpose of the Ankeny Municipal Code.

192.05(3)(E) Size and Area Regulations.

C. Rear Yard: 35 feet

196.03(2)(B) Yard Setback Exceptions

(2) Rear Yard. Unenclosed, above and below, decks which project not more than 12-feet into the required rear yard.



ZONING BOARD OF ADJUSTMENT

November 7, 2023

5 : 00 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Public Hearing

LEGAL:

SUBJECT:

#23-19

Andrea Dose

for property located at

2202 NE Trilein Drive

Lots 1 & 2, Northbrook Plat 6

RE: Variance - Rear Yard Setback

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:



PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download
 23-19 Applicant Submittal
 23-19 Staff Report



bmoorissay@ankenyia.org
1210 NW Prairie Rd Dr.

#23-19

APPLICATION FOR APPEAL ZONING BOARD OF ADJUSTMENT

Applicant is: ☒ Property Owner ☐ Tenant ☐ Other _____

Applicant Andrea Dose

Address / Phone # 2202 NE Trilein Dr. Ankeny IA 50021

E-mail andrea@dosesteel.com

Property Owner Andrea Dose

Address / Phone # Same

E-mail _____

(Owner must sign the application or submit a letter of authorization)

To the Members of the Board of Adjustment:

I hereby appeal from the decision of the Zoning Administrator rendered on _____ day of _____, 20____

Location (address) of the proposed variance 2202 NE Trilein Dr. Ankeny IA 50021

Legal description (Plat & Lot #) _____

Zoning _____ Principal Use of property residential

I request a variation from the current zoning requirement for:

☐ Front Yard ☐ Side Yard ☒ Rear Yard ☐ Fence ☐ Sign ☐ Parking ☐ Height
☐ Other _____

Ankeny Zoning Code Section # _____ which state(s) _____

I would propose the following in lieu of that required: I would like to be able to add a pergola to the back side of our home.

Attached hereto and made a part of this appeal, I submit the following:

- A statement indicating the reasons for my appeal.
- A drawing showing proposed variance requested.
- A letter of authorization from the owner or lessee, if applicable.

Complete submittals are required for review.

AFFIDAVIT

State of Iowa)ss
County of Talk)

I hereby deposit and say that all of the above statements and the statements contained in the papers submitted herewith are true.

Andrea Dose [Signature]
Print Name **RECEIVED** (Signature of Applicant)

OCT 18 2023

Print Name _____ (Signature of Property Owner)

CITY OF ANKENY

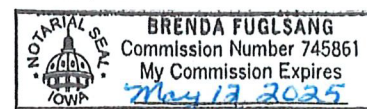
Office Use Only

Paid <input checked="" type="checkbox"/> CC <input type="checkbox"/> Cash <input type="checkbox"/> Check # _____	<u>\$130.00</u>
Date received <u>10-18-2023</u>	Filing # <u>23-19</u>
Scheduled Meeting Date <u>11-7-2023</u>	

Signed and sworn to before me, this 12th day of October, 20 23.

Brenda Fuglsang
(Notary Public)

--Notary seal--



#23-19

Date: October 12, 2023

RE: Appeal Request

To: City of Ankeny Board of Adjustment

From: Andrea Dose, 2202 NE Trilein Dr, Ankeny

Please accept my request for an exemption to a current zoning requirement that is prohibiting the installation of a pergola over my backyard patio. This fall, instead of moving, we made the investment in our current residence through enhancing our back yard. We have run into a snag with the permit to install a pergola. I understand that it is about 6 feet too long and it encroaches in on the allowed set back.

The reason for the pergola is that our back yard faces the west and it is very hot in the summer and without it, it's hard to be outside when the sun is shining. While I understand the need for these rules, I would hope that the city would understand this is a nice feature and increases the value and experience of our home. While we could make the pergola 6 feet shorter, it would be a moot point as it would result in very little shading as it would be too short.

I look forward to talking with you directly at the next meeting. Thank you for your service to our community.

A handwritten signature in black ink, appearing to read 'Andrea Dose', with a stylized flourish at the end.

Andrea Dose

#23-19



#23-19

PRESENTED BY
PARAMOUNT PERGOLA

PROJECT
DOSE

ADDRESS
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

CONTRACT NO.
2109048

STRUXURE™

STRUXURE INC.
154 ETHAN ALLEN DRIVE
DAHLONEGA, GA 30533



SHEET INDEX

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REVISIONS	A500

NOTES

FRAME: WHITE
LOUVERS: BRONZE
SYSTEM: 8" BEAMS & 5.5" GUTTERS
ELEVATION: AT GRADE

DURING SUCH PERIODS OF TIME AS ARE DESIGNATED BY THE U.S. WEATHER BUREAU AS A HIGH WIND OR SNOW ADVISORY FOR THE AREA, THIS SYSTEM MUST BE LOCKED IN THE OPEN POSITION. WITH THE LOUVER BLADES VERTICAL THE STRUCTURE SHALL ALSO NOT BE WALKED UPON AND IS NOT DESIGNED FOR HUMAN ACTIVITY OR STORAGE.

STRUXURE™
154 ETHAN ALLEN DR
DAHLONEGA, GA 30533
(800) 303-5248

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION

DATE
10/05/23

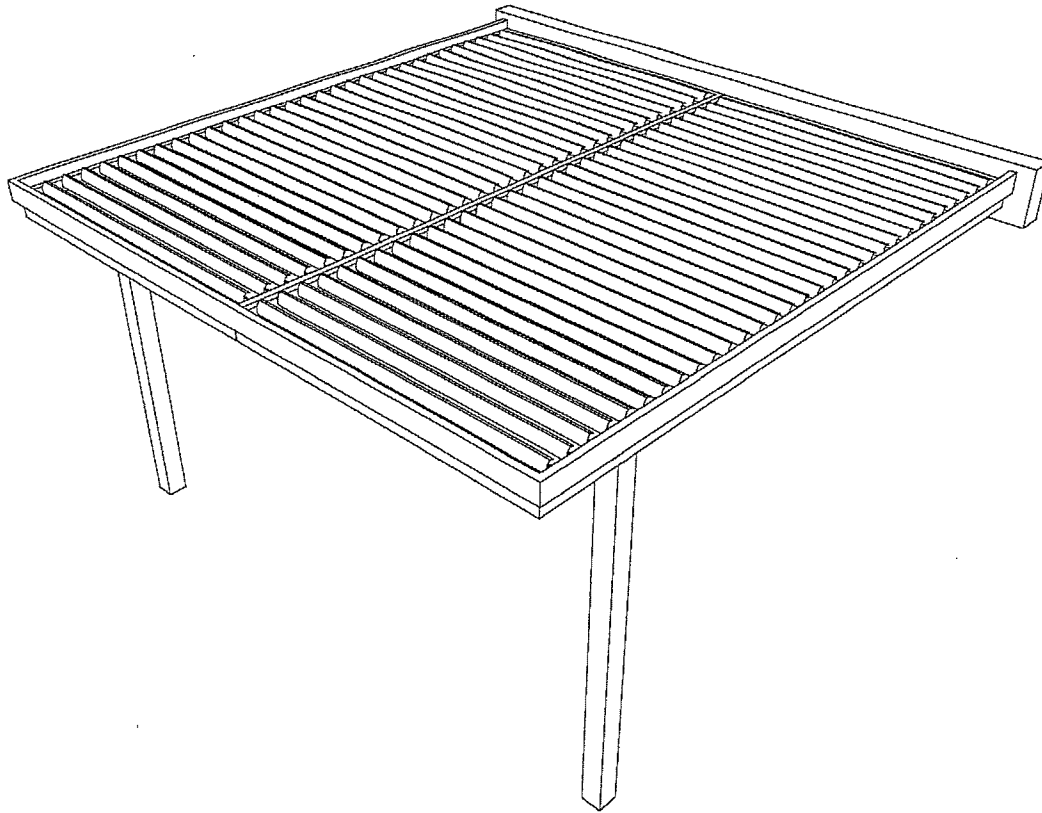
DRAWN BY
I&S

SCALE

SHEET NO.

A 100

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



LEGEND

STRUXURE™
154 ETHAN ALLEN DR.
DAHLONEGA, GA 30533
(800) 303-5248

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
PERSPECTIVE
VIEW

DATE
10/05/23

DRAWN BY
I&S

SCALE
N.T.S.

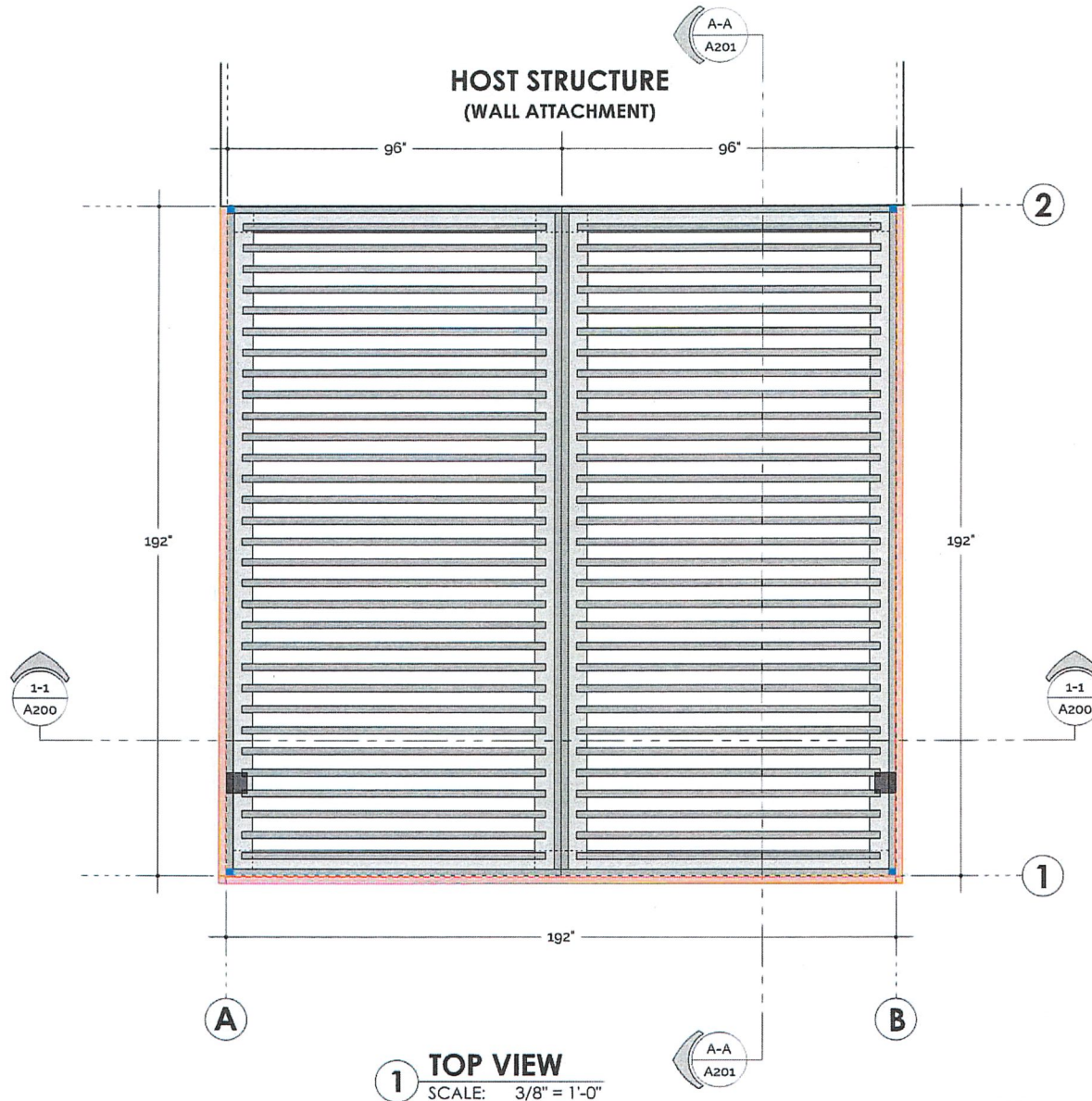
SHEET NO.

A 101

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

STRUXURE™

154 ETHAN ALLEN DR.
DAHLONEGA, GA 30533
(800) 303-5248



DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
TOP VIEW

DATE
10/05/23

DRAWN BY
I&S

SCALE
1/2" = 1'-0"

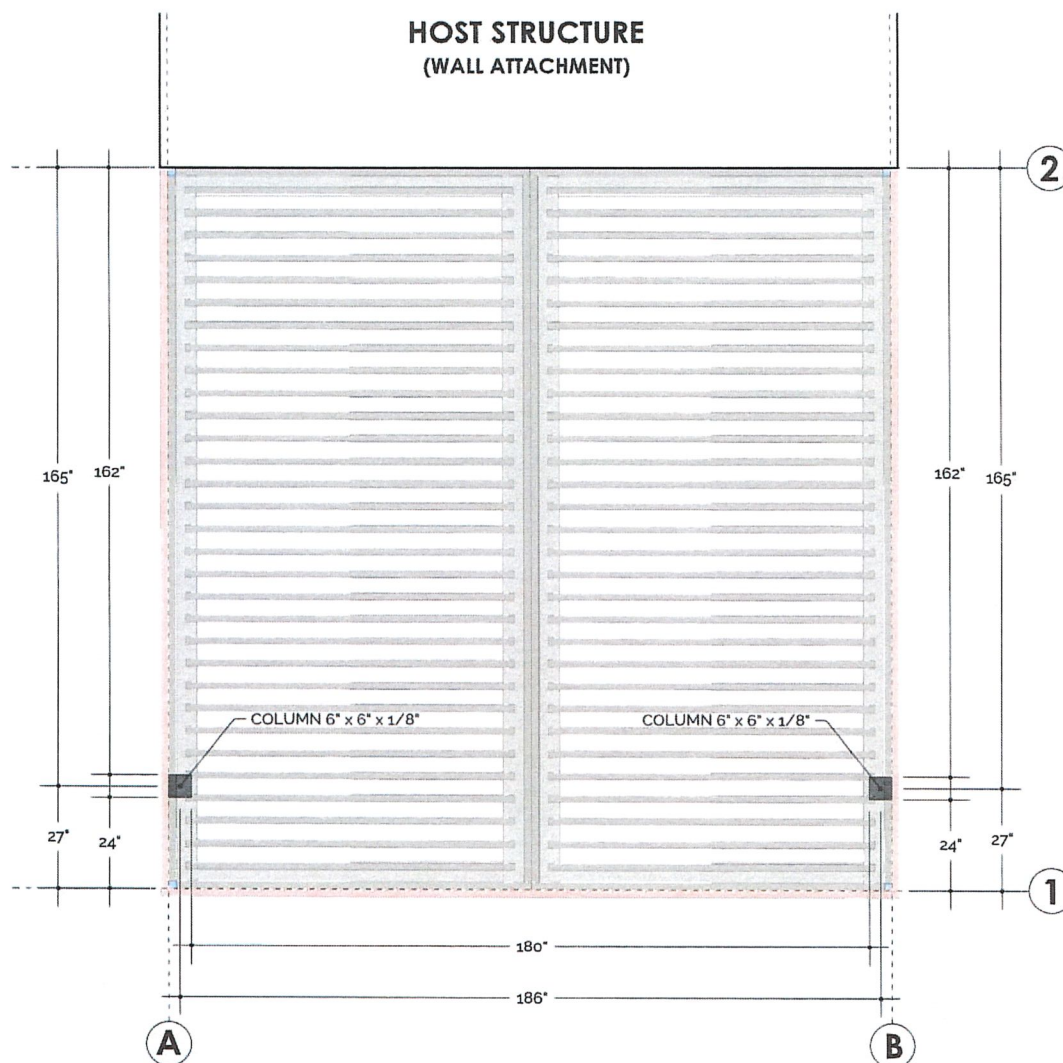
SHEET NO.

A 102



ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

STRUXURE™
154 ETHAN ALLEN DR.
DAHLONEGA, GA 30533
(800) 303-5248



1 POST LAYOUT VIEW
SCALE: 3/8" = 1'-0"

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
POST LAYOUT
VIEW

DATE
10/05/23

DRAWN BY
I&S

SCALE
3/8" = 1'-0"

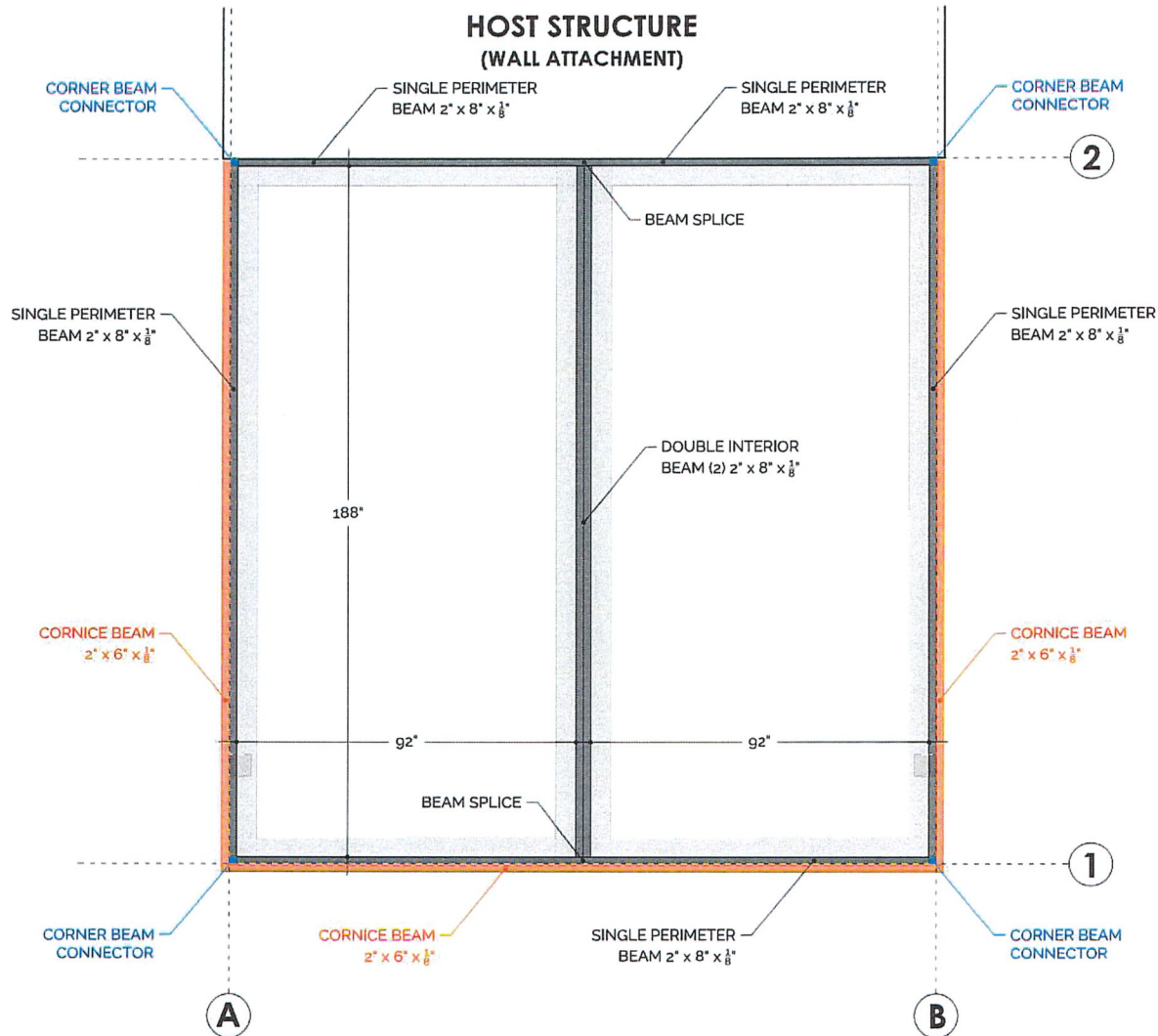
SHEET NO.

A 103



ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

STRUXURE™
154 ETHAN ALLEN DR.
DAHLONEGA, GA 30533
(800) 303-5248



DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
BEAM LAYOUT
VIEW

DATE
10/05/23

DRAWN BY
I&S

SCALE
3/8" = 1'-0"

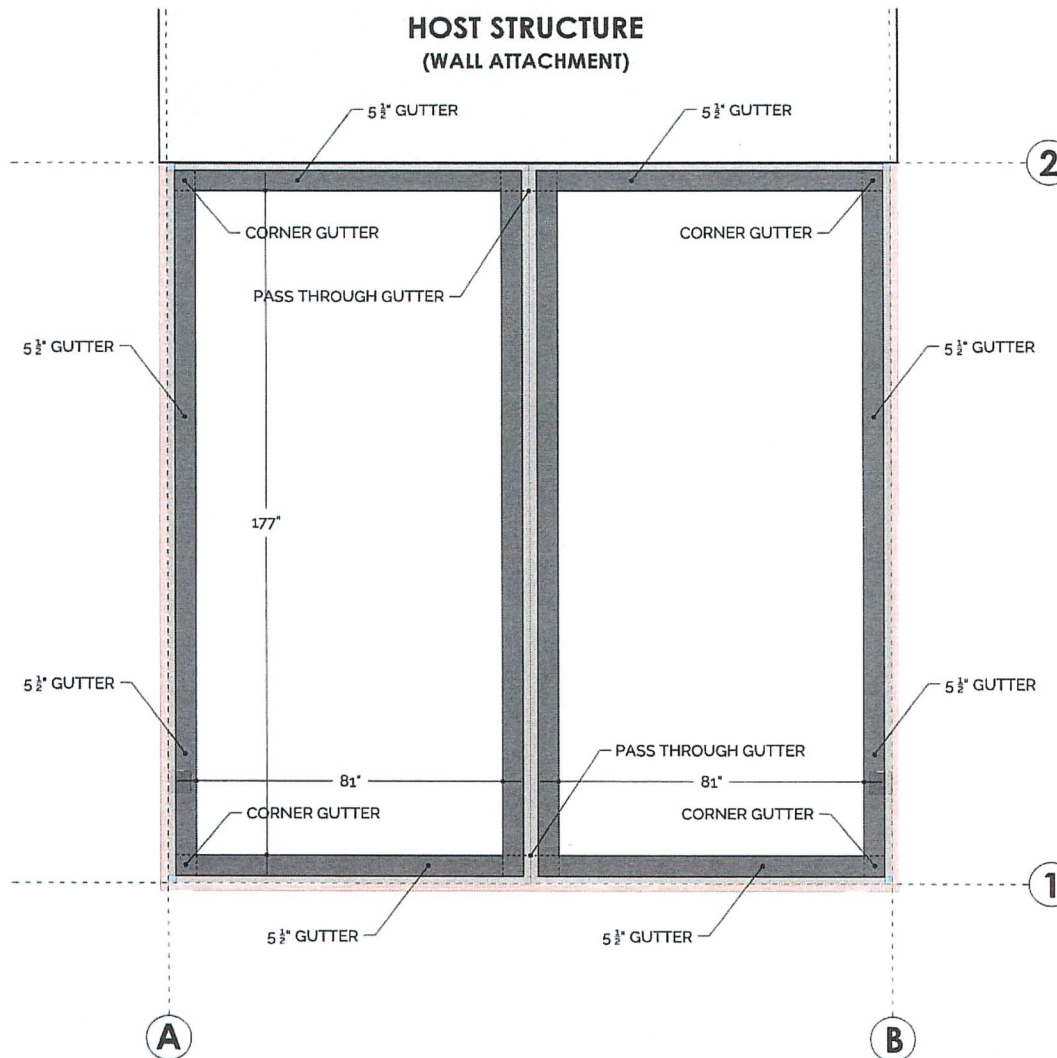
SHEET NO.

A 104



ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

STRUXURE™
154 ETHAN ALLEN DR.
DAHLONEGA, GA 30533
(800) 303-5248



1 GUTTER LAYOUT VIEW

SCALE: 3/8" = 1'-0"

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
GUTTER
LAYOUT VIEW

DATE
10/05/23

DRAWN BY
I&S

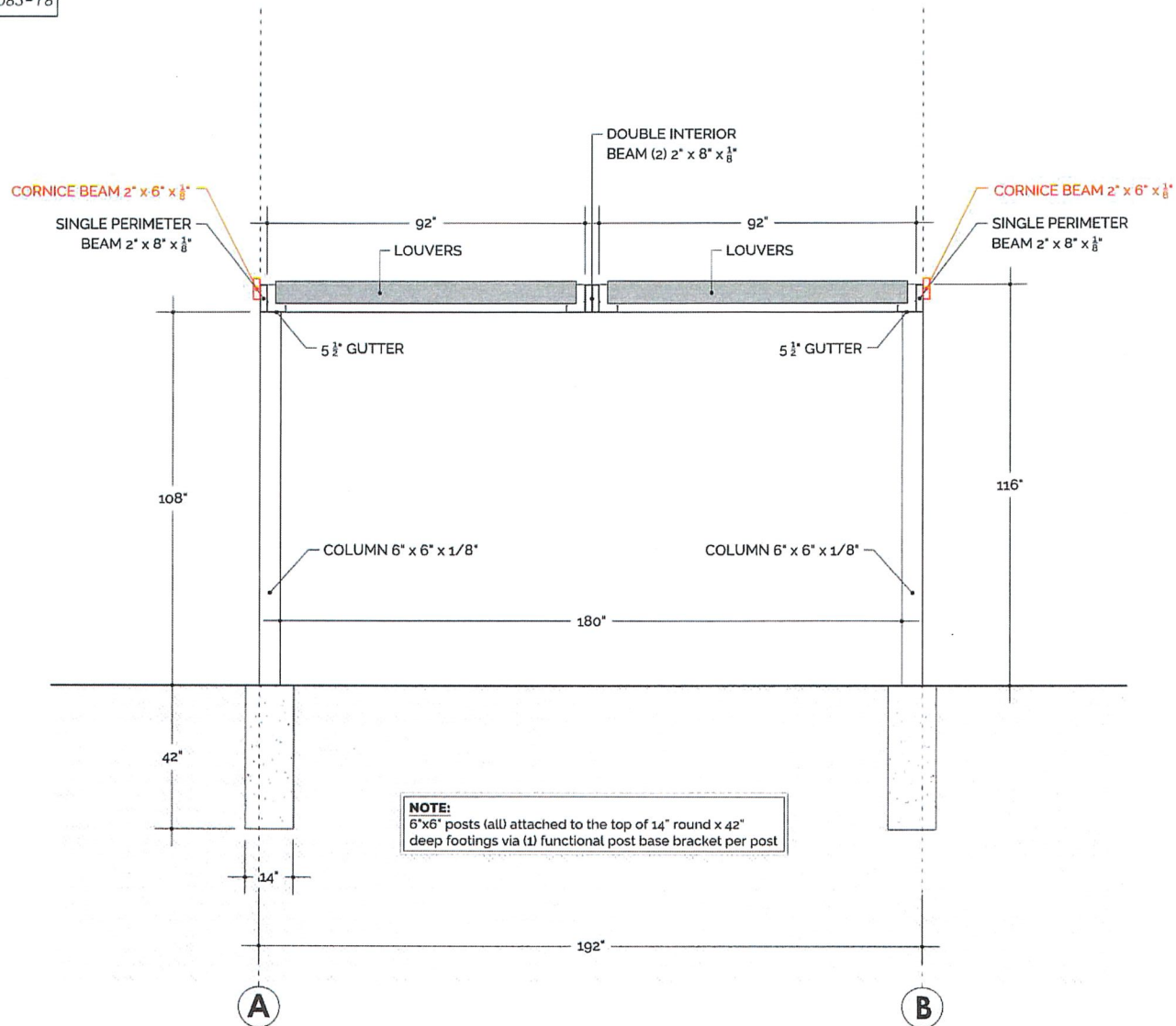
SCALE
3/8" = 1'-0"

SHEET NO.

A 105


The Pivot logo consists of the word "PIVOT" in a bold, sans-serif font, stacked vertically. To the right of the text is a stylized graphic element made of three overlapping diagonal bars: a yellow bar on top, a dark grey bar in the middle, and a light grey bar at the bottom.

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



NOTE:
6"x6" posts (all) attached to the top of 14" round x 42" deep footings via (1) functional post base bracket per post

1 SECTION 1-1
SCALE: 3/8" = 1'-0"

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DAHLONEGA, GA 30533
(800) 303-5248

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
SECTION 1-1

DATE
10/05/23

DRAWN BY
I&S

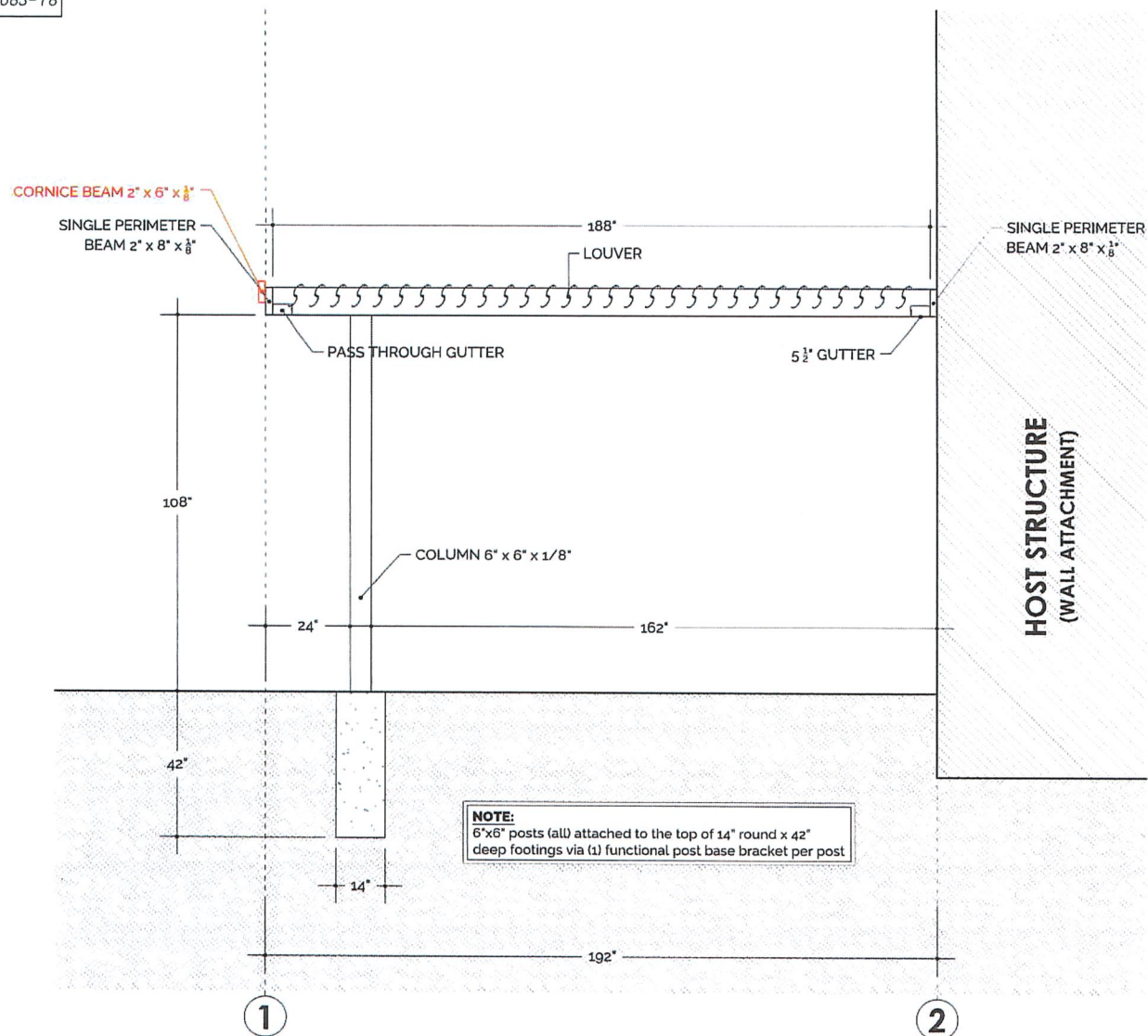
SCALE
3/8" = 1'-0"

SHEET NO.

A 200



ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



NOTE:
6"x6" posts (all) attached to the top of 14" round x 42" deep footings via (1) functional post base bracket per post

1 SECTION A-A
SCALE: 3/8" = 1'-0"

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DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
SECTION A-A

DATE
10/05/23

DRAWN BY
I&S

SCALE
3/8" = 1'-0"

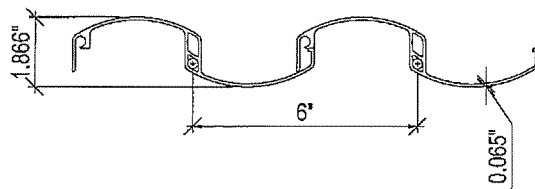
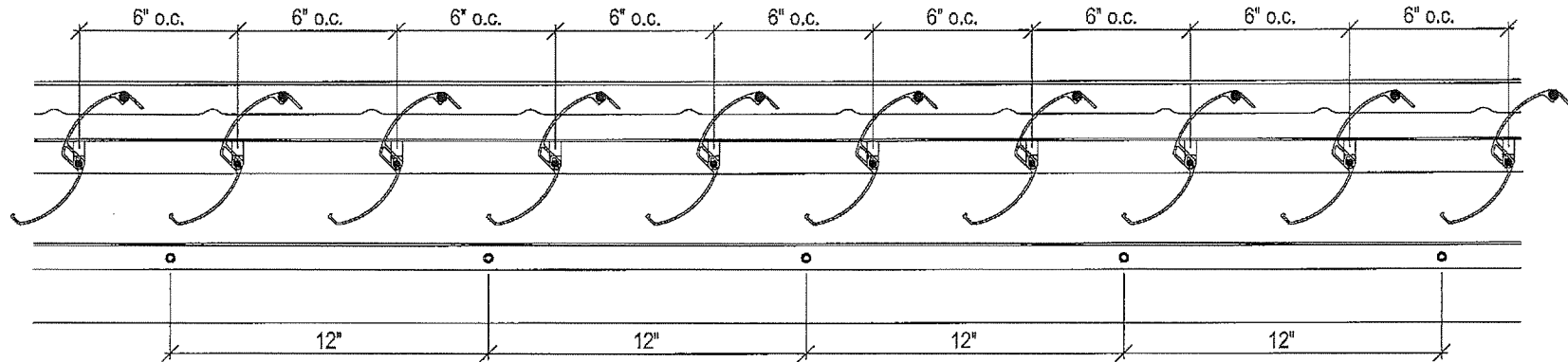
SHEET NO.
A 201



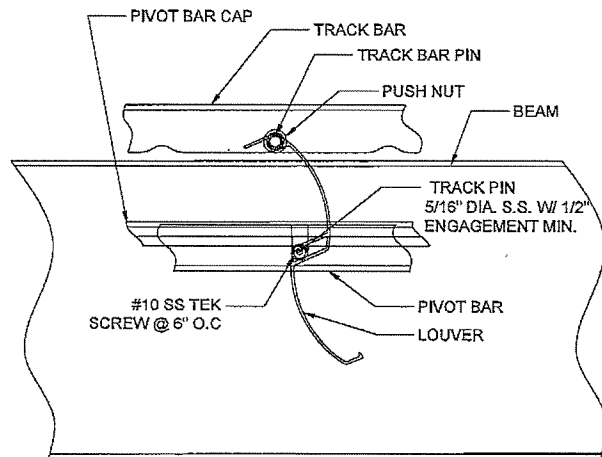
ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

STRUXURE™

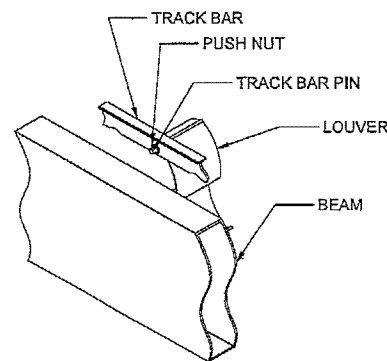
154 ETHAN ALLEN DR.
DAHLONEGA, GA 30533
(800) 303-5248



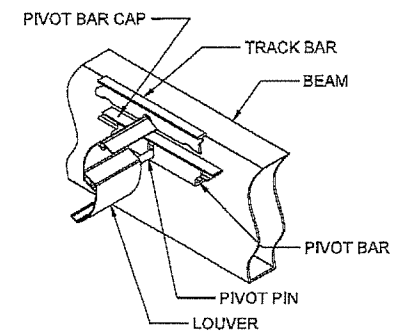
LOUVERS DETAIL



SIDE VIEW



ISOMETRIC OUT-SIDE VIEW



ISOMETRIC IN-SIDE VIEW

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION DETAILS

DATE
10/05/23

DRAWN BY
I&S

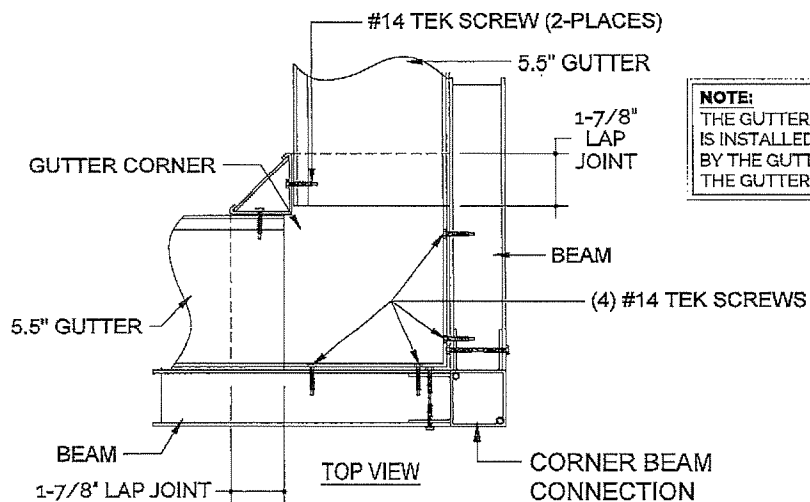
SCALE
N.T.S.

SHEET NO.

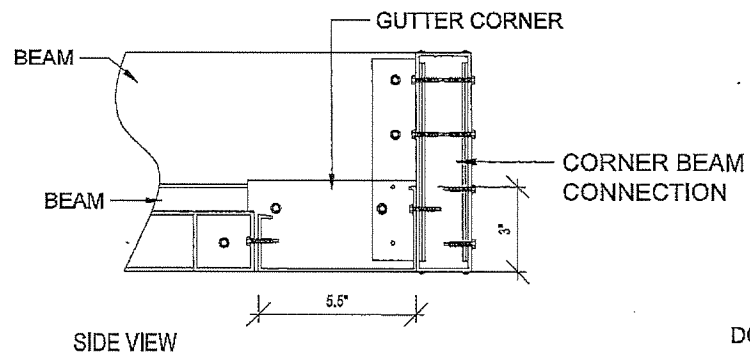
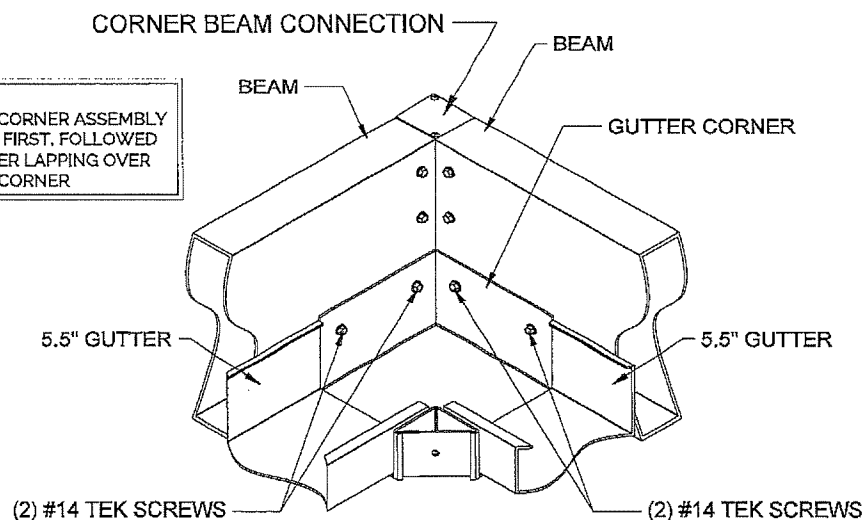
A 300

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

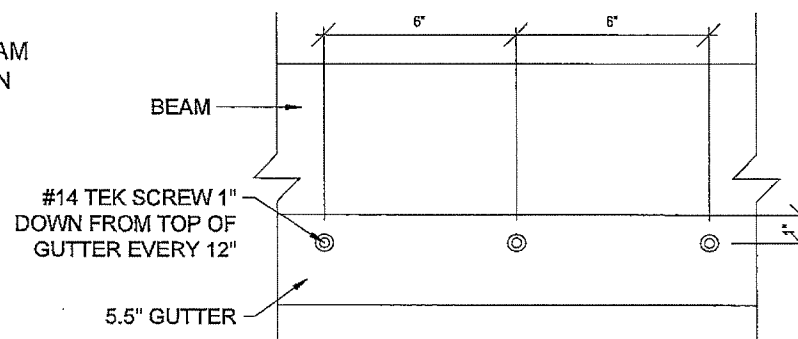
STRUXURE™
154 ETHAN ALLEN DR.
DAHLONEGA, GA 30533
(800) 303-5248



NOTE:
THE GUTTER CORNER ASSEMBLY
IS INSTALLED FIRST, FOLLOWED
BY THE GUTTER LAPPING OVER
THE GUTTER CORNER



ISOMETRIC VIEW



GUTTER CORNER ASSEMBLY

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
DETAILS

DATE
10/05/23

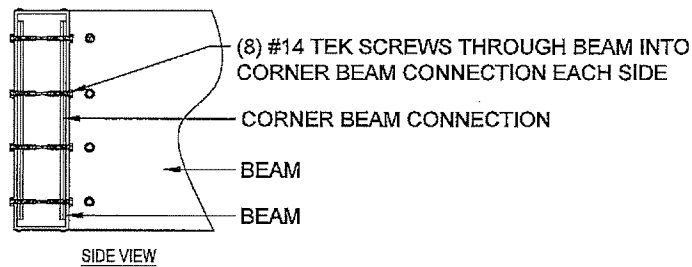
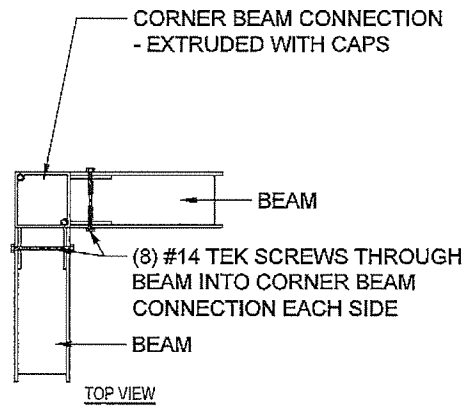
DRAWN BY
I&S

SCALE
N.T.S.

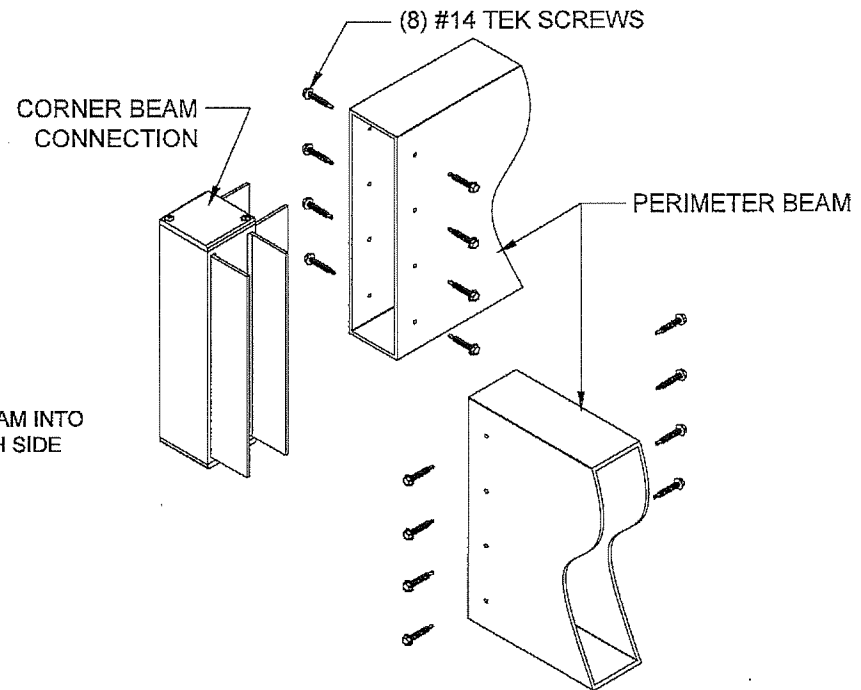
SHEET NO.

A 301

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



TYPICAL CORNER ASSEMBLY



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DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
DETAILS

DATE
10/05/23

DRAWN BY
I&S

SCALE
N.T.S.

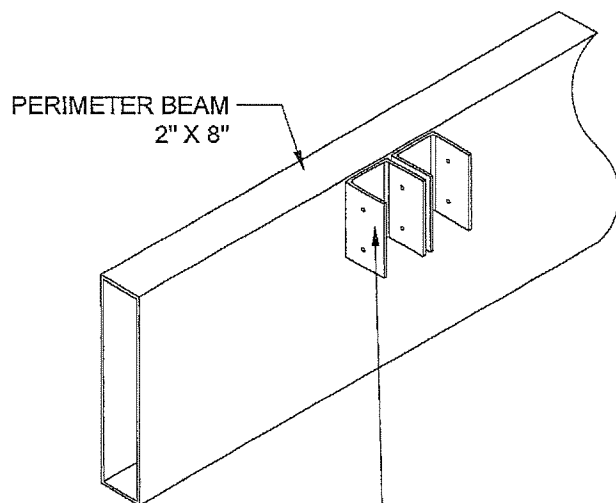
SHEET NO.

A 302

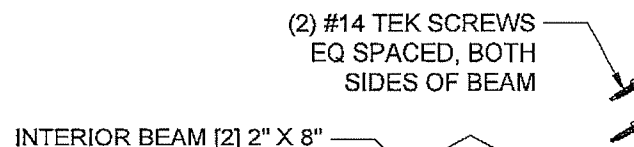
ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

STRUXURE™

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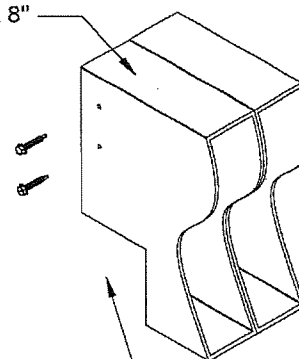
PERIMETER BEAM
2" X 8"



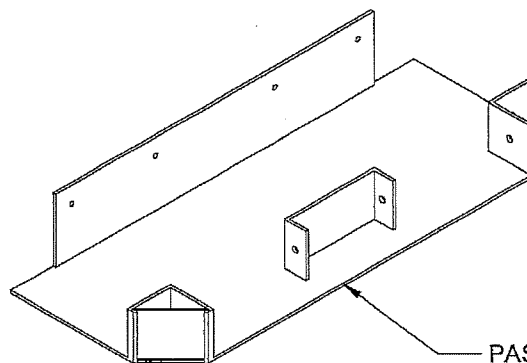
INTERIOR BEAM [2] 2" X 8"

(2) #14 TEK SCREWS
EQ SPACED, BOTH
SIDES OF BEAM

DOUBLE 2" X 1 3/4" X 2" X 0.125" U-CHANNEL INSERT
LENGTH TO FIT SNUG (MIN 4" LONG), ATTACH EA
CHANNEL TO BEAM W/ (4) #14 TEK SCREWS EQ
SPACED



NOTCHED BEAM
5-1/8" X 3-1/8" CUT



PASS THROUGH GUTTER

TYPICAL DOUBLE BEAM TO
BEAM CONNECTION
2" X 8" BEAMS
5.5" PASS THROUGH GUTTER

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
DETAILS

DATE
10/05/23

DRAWN BY
J&S

SCALE
N.T.S.

SHEET NO.

A 303

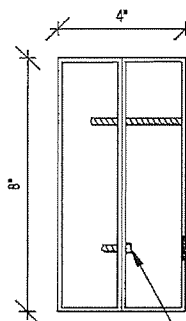
ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

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DAHLONEGA, GA 30533
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DOUBLE 2X8 BEAM

ISOMETRIC VIEW

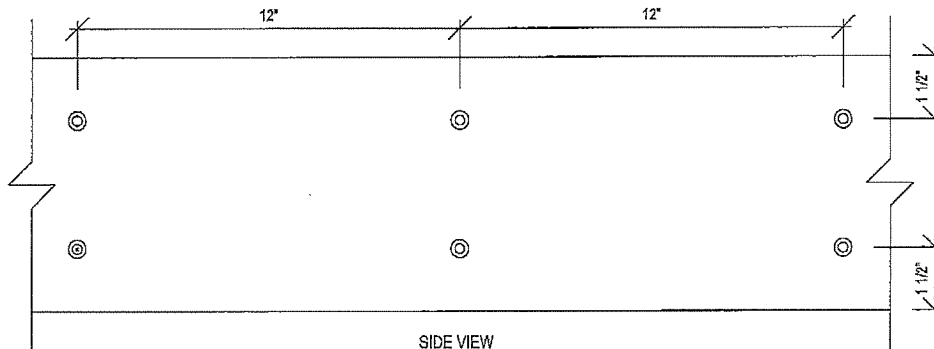
TYPICAL CONNECTION #14 X 3"
TEK SCREWS 12" O.C.



SECTION

3/4" HOLE DRILLED FOR
SCREW INSTALLATION
AND CAPPED.

TYPICAL CONNECTION
(2) #14 X 1" TEK SCREWS
12" O.C.



SIDE VIEW

STRUXURE LOUVERS SHOWN
PERPENDICULAR TO INTERIOR BEAM

STRUXURE LOUVERS SHOWN
PARALLEL TO INTERIOR BEAM

DOUBLE BEAM CONNECTION (2X8)

LOUVERS POSITION

GUTTER

(1) #14 X 1" TEK SCREW 8" O.C.

DESCRIPTION
DETAILS

DATE
10/05/23

DRAWN BY
I&S

SCALE
N.T.S.

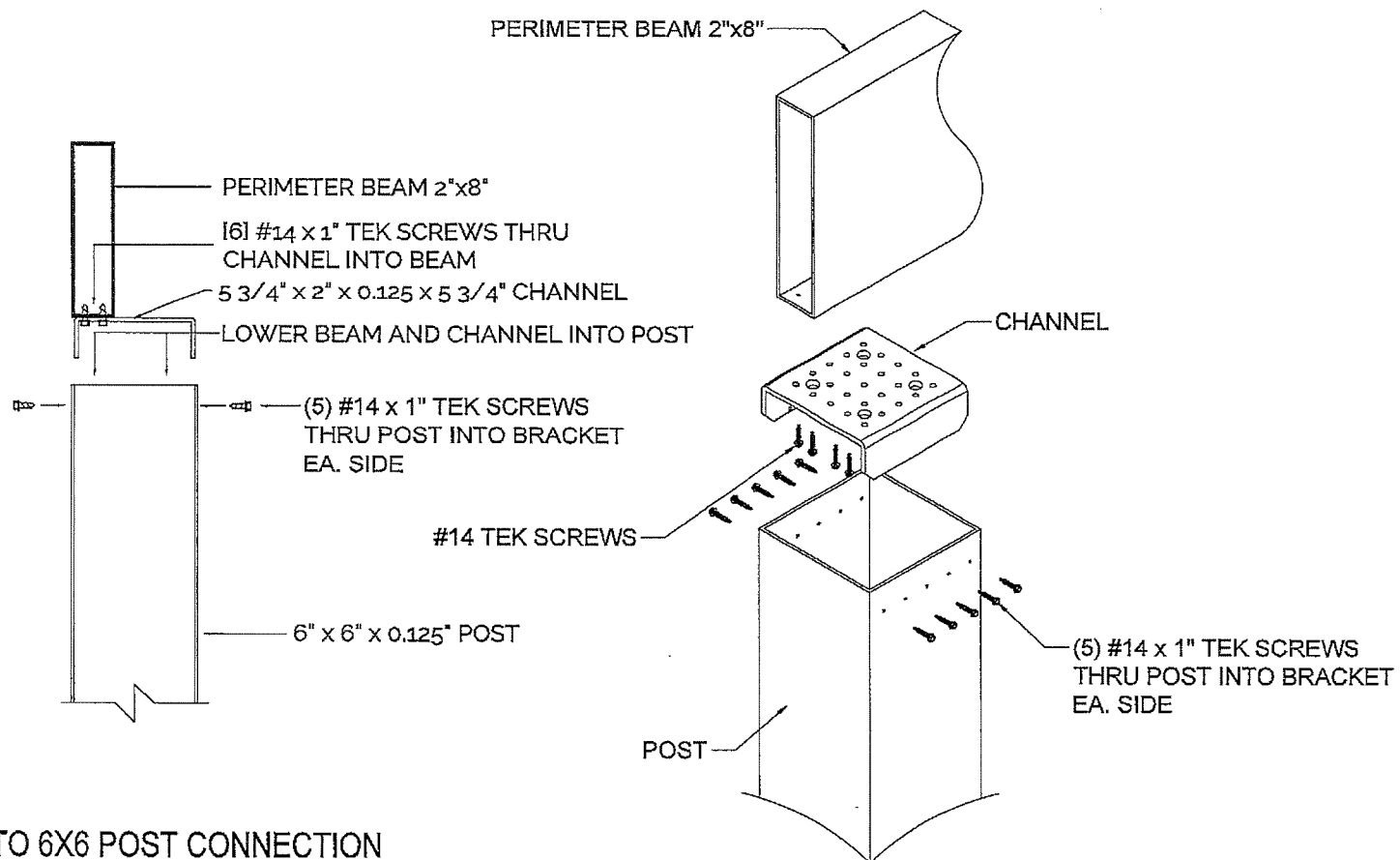
SHEET NO.

A 304

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

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SINGLE BEAM TO 6X6 POST CONNECTION

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
DETAILS

DATE
10/05/23

DRAWN BY
I&S

SCALE
N.T.S.

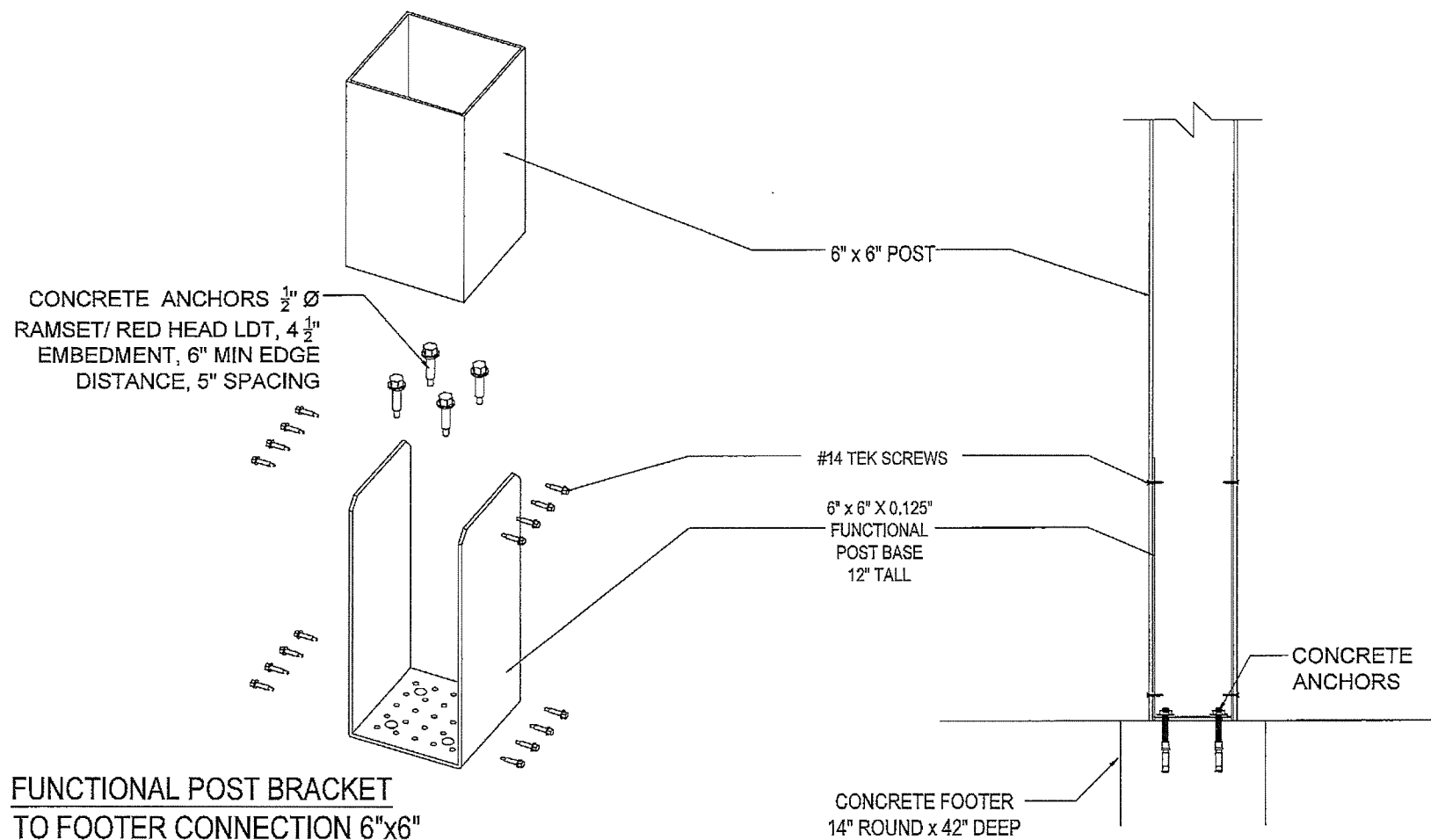
SHEET NO.

A 305

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

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DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
DETAILS

DATE
10/05/23

DRAWN BY
I&S

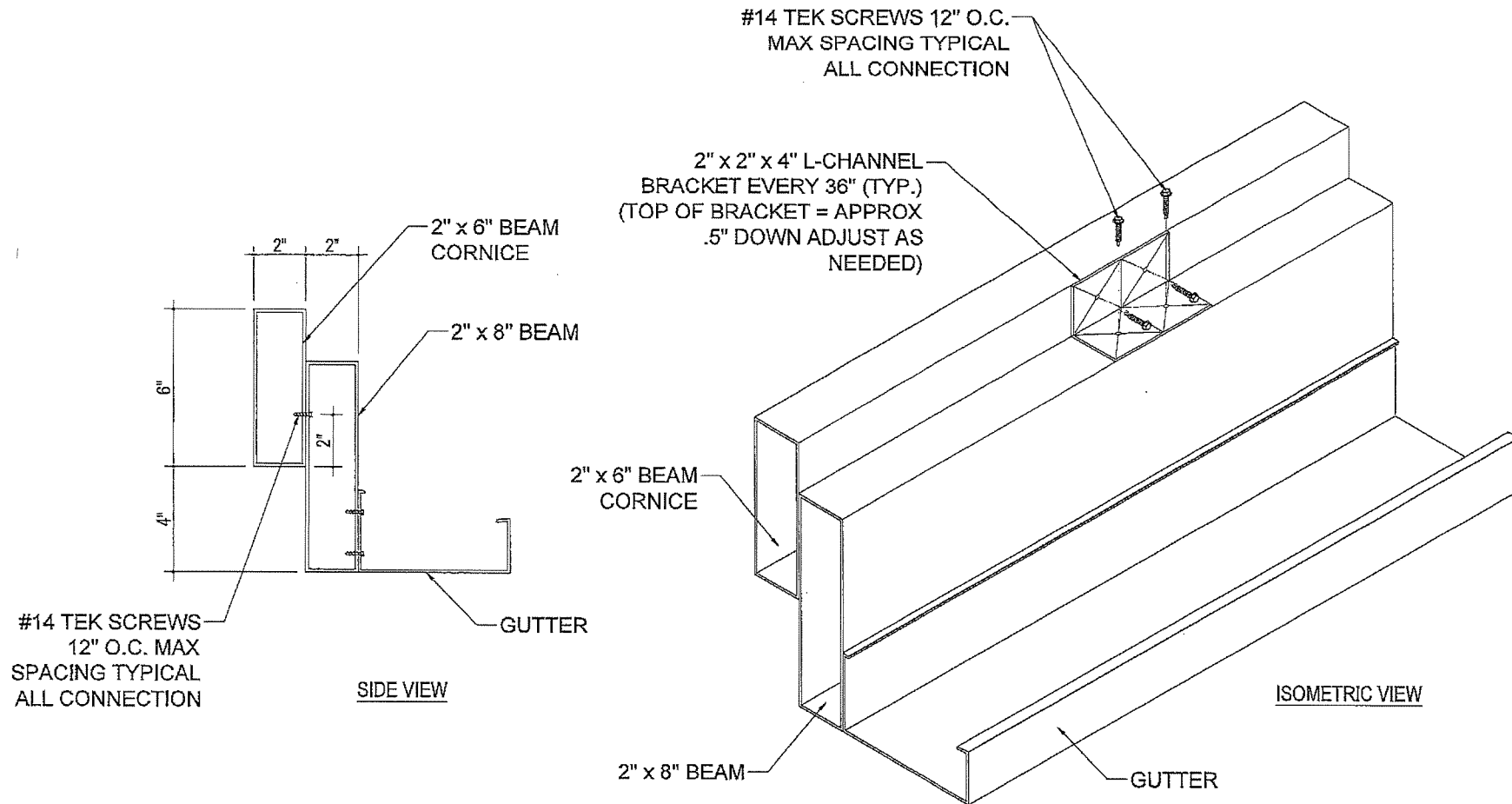
SCALE
N.T.S.

SHEET NO.

A 306

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

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SINGLE CORNICE ASSEMBLY - 2" x 8" BEAM

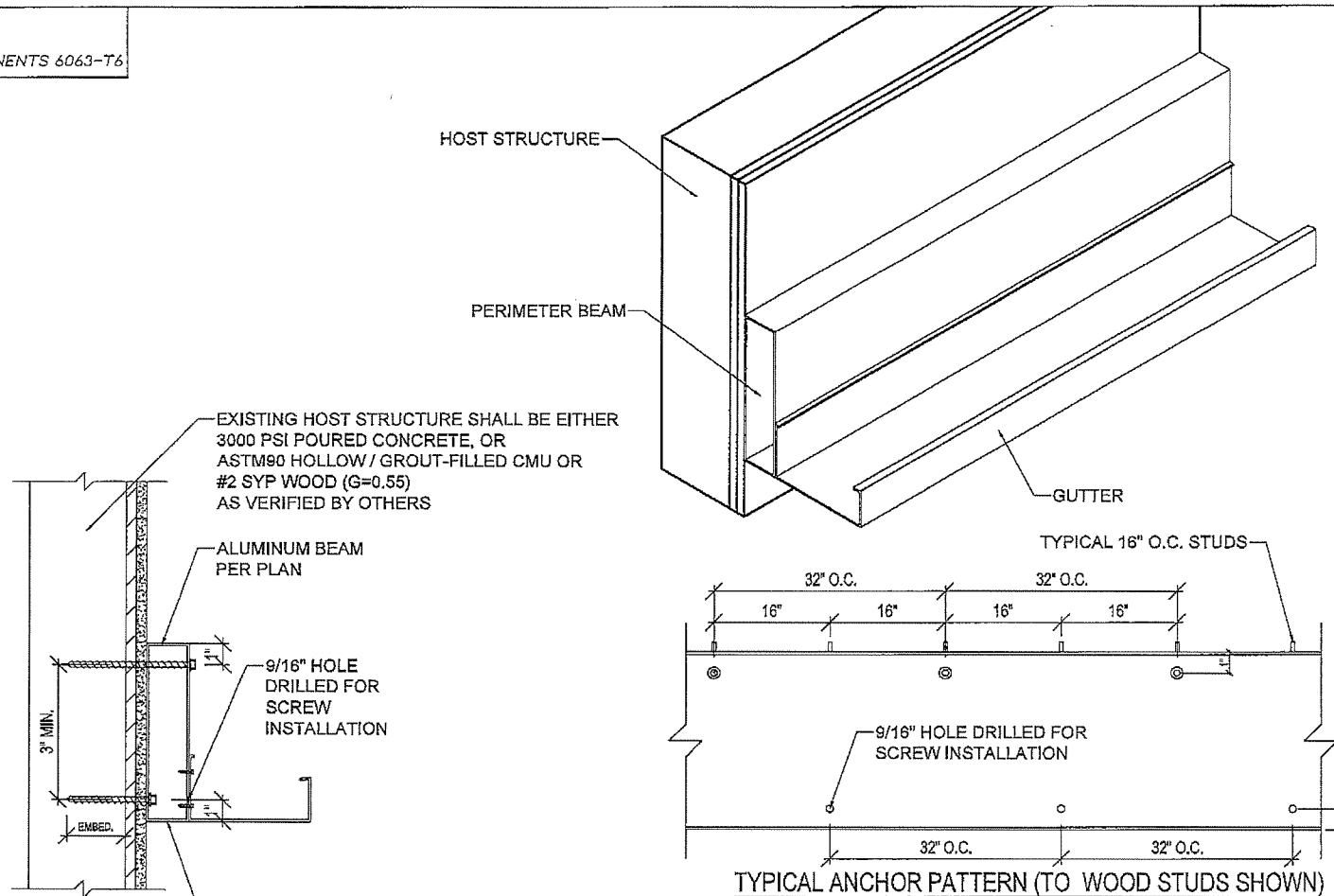
DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION DETAILS
DATE 10/05/23
DRAWN BY I&S
SCALE N.T.S.
SHEET NO.

A 307

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

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FOR CONCRETE ATTACHMENT:

[2] 1/4" DIAM. ITW STAINLESS STEEL TAPCON INTO WALL W/ 3" EMBEDMENT AND 3" EDGE DISTANCE, SPACED 12" O.C. STAGGERED

FOR WOOD ATTACHMENT:

[2] 1/4" DIAM. S.S. WOOD LAG SCREWS INTO WALL W/ 3" THREAD ENGAGEMENT AND 3/4" MINIMUM EDGE DISTANCE, SPACED 16" O.C. STAGGERED

FOR HOLLOW CMU ATTACHMENT:

[2] 1/4" DIAM. S.S. HILTI KWIK-CON II+ INTO BLOCK FACE W/ 1-3/4" EMBEDMENT AND 3" MINIMUM EDGE DISTANCE, SPACED 12" O.C. STAGGERED

BEAM TO HOST STRUCTURE CONNECTION

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

**DESCRIPTION
DETAILS**

DATE
10/05/23

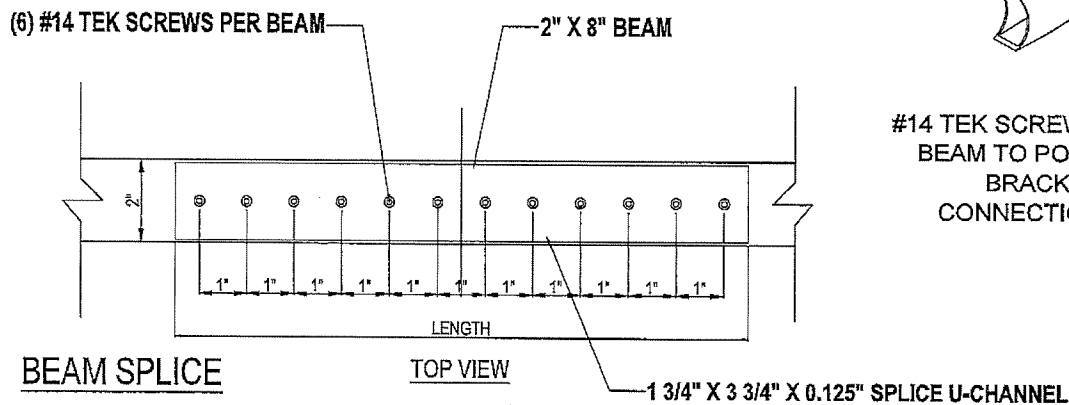
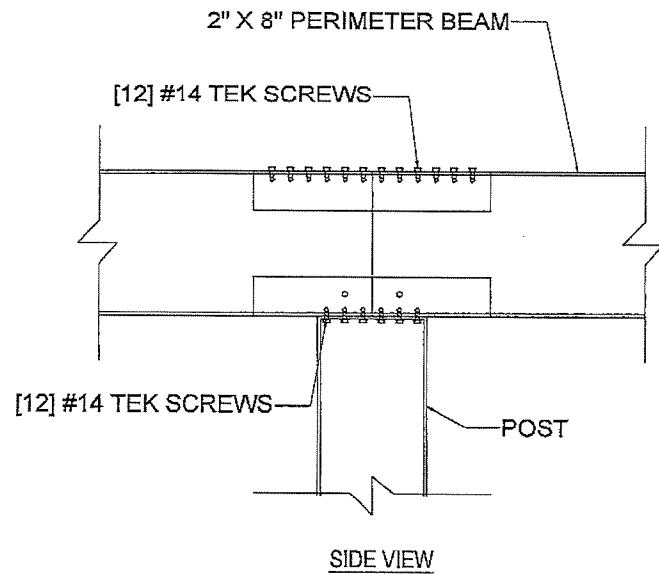
DRAWN BY
I&S

SCALE
N.T.S.

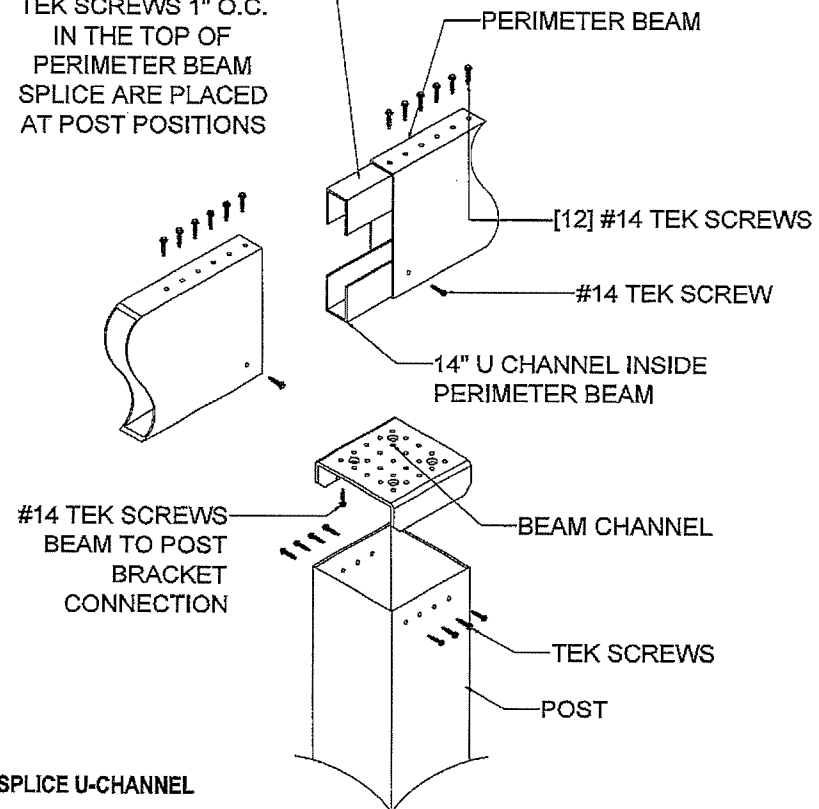
SHEET NO.

A 308

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



U-CHANNEL
3/4"X2"X.125 14"
PIECES - 7 - INCHES
INSIDE OF PERIMETER
BEAM SCREWED
TOGETHER USING 12
TEK SCREWS 1" O.C.
IN THE TOP OF
PERIMETER BEAM
SPICE ARE PLACED
AT POST POSITIONS



STRUXURE™
164 ETHAN ALLEN DR.
DAHLONEGA, GA 30533
(800) 303-5248

DOSE
2202 NE TRILEIN DRIVE
ANKENY, IA 50021

DESCRIPTION
DETAILS

DATE
10/05/23

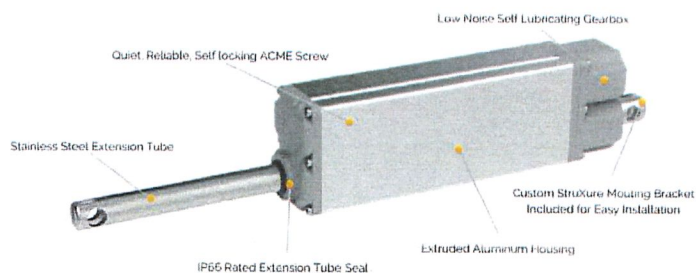
DRAWN BY
I&S

SCALE
N.T.S.

SHEET NO.

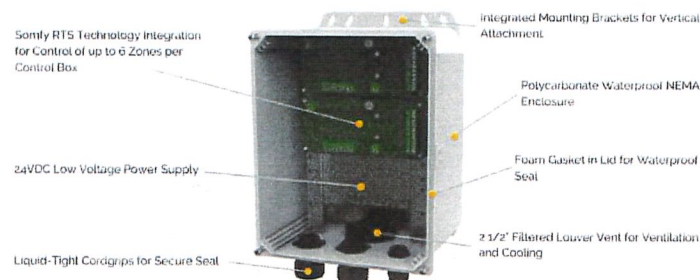
A 309

LOUVERED ROOF MOTOR



SOMFY TECHNICAL SPECIFICATIONS		
VOLTAGE		
Input Voltage	[VDC]	24
LOAD		
Static Load (F _{st}) max.	[N/lbs]	2500 / 562
Dynamic Load (F _d) max.	[N/lbs]	2500 / 562
STROKE		
Stroke length, standard	[mm]	135
CURRENT		
Current consumption, rated load	[A]	1.875
GENERAL DATA		
Speed, no load	[mm/s]	3.4
Speed, rated load	[mm/s]	2.8
Operating temperature limits	[°C]	-10 / +60
Service life	[Cycles]	± 10,000
Sound level	[dB(A)]	+ 70
Lead screw type		ACME
Protection Class		IP66
Certificates		CE (EN60601-1)
Insulation		CLASS III

LOUVERED PERGOLA CONTROL



Product dimensions: 10.59 x 8.59 x 6.50 in / 269.99 x 218.19 x 176.78 mm

** Enclosure must be mounted in this vertical orientation.

COMPONENT RATINGS AND CERTIFICATIONS		
POWER SUPPLY		
Input Voltage	[VAC]	115/230
Input Voltage Frequency Range	[Hz]	47 - 63
Output Voltage	[VDC]	24
Voltage Adjustable Range	[VDC]	21.6 - 28.8V
Current Range	[A]	0 - 14.6
Rated Power	[W]	350.4
Safety Standard	[UL Certification]	UL60950-1
POWER SUPPLY CABLE (NOT SHOWN)		
Safety Standard	[ETL Certification]	#3170291
Voltage Rating	[V]	300
Temperature Rating	[°F]	-40 to 158
ENCLOSURE		
Safety Standard	[UL Certification]	UL508A
	[File Number]	E352997
Temperature Range	[°F]	-40 to 257
Impact Resistance	[in/lb]	500
Dielectric Strength	[volts/mil]	380
UV Rating	[UL Certification]	UL 746C
Flammability Rating	[UL Certification]	UL 94

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

STRUXURE™
 154 ETHAN ALLEN DR.
 DAHLONEGA, GA 30533
 (800) 303-5248

	DATE:	REVISION:
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

NOTES:

DOSE
 2202 NE TRILEIN DRIVE
 ANKENY, IA 50021

DESCRIPTION
 REVISIONS

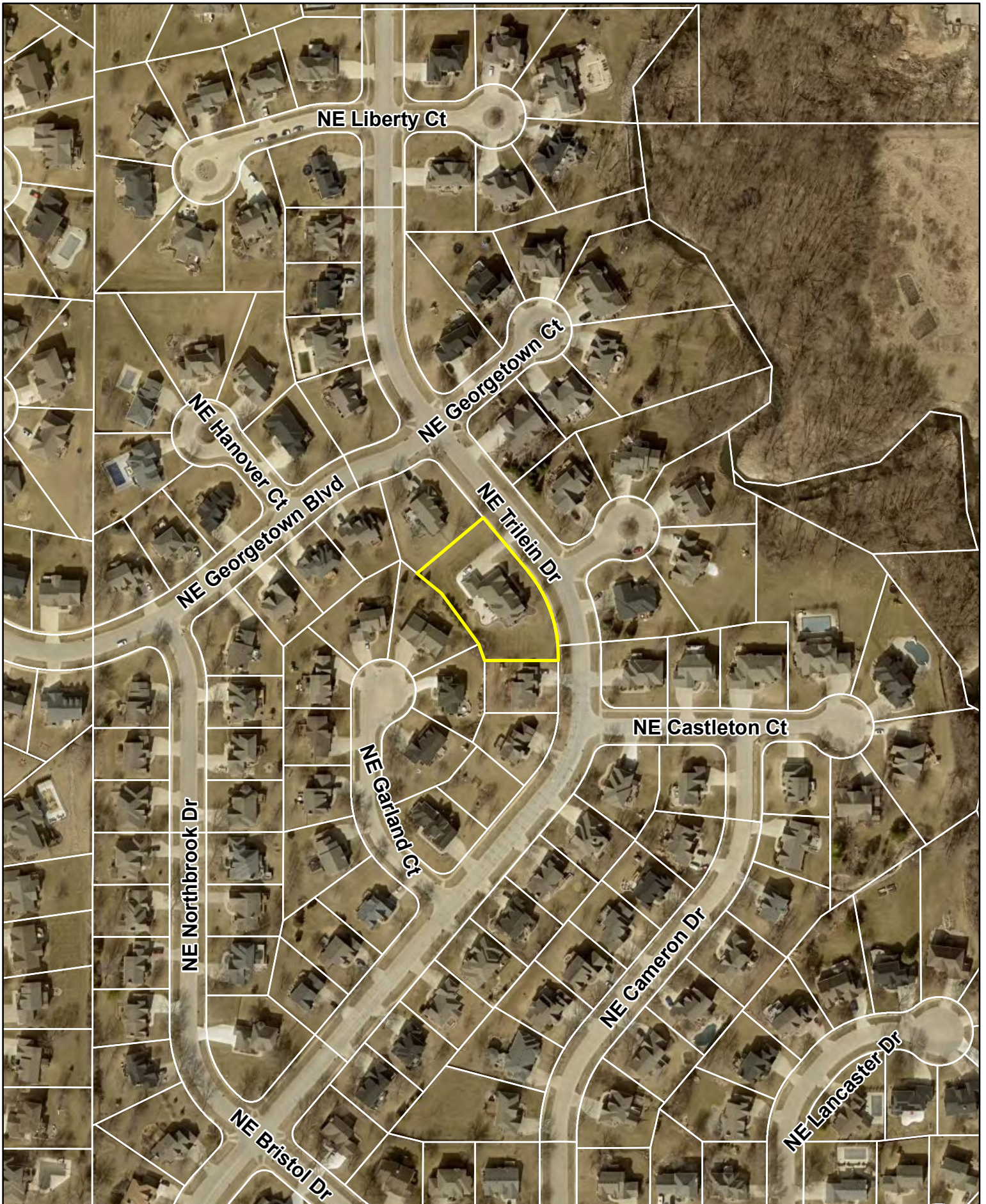
DATE
 10/05/23

DRAWN BY
 I&S

SCALE
 N.T.S.

SHEET NO.

A 500



N



1 inch = 200 feet

Date: 10/24/2023

2202 NE Trilein Drive

**CITY OF ANKENY
ZONING BOARD OF ADJUSTMENT
COMMUNITY DEVELOPMENT DEPARTMENT STAFF REPORT**

To: Members of the Zoning Board of Adjustment
From: Derek Silverthorn, Associate Planner
Filing #: 23-19 *EJC*
Meeting Date: November 7, 2023
Address: 2202 NE Trilein Drive

APPELLANT REQUEST

A variance to Ankeny Municipal Code Chapter 192.03.3.E allowing a 32-foot rear yard setback for the property located at 2202 NE Trilein Drive.

STAFF POSITION

That the Zoning Board of Adjustment grant a variance to Ankeny Municipal Code Chapter 192.03.3.E, allowing a 32-foot rear yard setback for the property located at 2202 NE Trilein Drive. This position is based on a determination that the variance would adequately safeguard the health, safety and welfare of the occupants of adjoining and surrounding property, would not impair an adequate supply of light and air to adjacent property, would not increase public danger of fire or endanger the public safety, and would not diminish or impair established property values in the surrounding area; and that this request is in harmony with the intended spirit and purpose of the Ankeny Municipal Code.

PROJECT SUMMARY

The appellant is requesting a variance to the minimum required rear yard setback of 35 feet within the R-1, One-Family Residence Zoning District, in order to construct a pergola over the existing patio. The proposed pergola will be attached to the house, and is therefore considered a part of the principle building and subject to the required setbacks. The proposed pergola would encroach approximately three feet into the required minimum 35-foot rear yard setback, resulting in a 32-foot rear yard setback.

CRITERIA FOR VARIANCE

197.01.4 Powers and Duties. The Board of Adjustment shall have the following powers and duties:

- B. To grant a variation in the regulations when a property owner can show ...that by reason of exceptional narrowness, shallowness, or shape of a specific piece of property or by reason of exceptional topographical conditions or other extraordinary or exceptional situation, the strict application of the terms of this Zoning Ordinance actually prohibits the use of this property in the district; and that the board is satisfied under the evidence before it that a literal enforcement of the provisions of this Zoning Ordinance would result in unnecessary hardship; provided, however, that all variations granted under this clause shall be in harmony with the intended spirit and purpose of this Zoning Ordinance.*

FINDINGS OF FACT

The property at 2202 NE Trilein Drive is situated on Lots 1 & 2, Northbrook Plat 6, which is generally located near the intersection of NE Trilein Drive and NE Georgetown Boulevard. The subject property is zoned R-1, One-Family Residence District, and the surrounding properties to the north, east, south, and west of the subject property are also zoned R-1, One-Family Residence District. Northbrook Plat 6 was platted in 2000, and the principle structure was then constructed in 2002.

Currently, the closest point of the principle structure to the rear property line is the garage at 35 feet from the rear property line. The appellant is now proposing to install a pergola over a portion of the existing patio and attached to the rear façade of the house, which would then be considered part of the principle structure. Because the principal structure is required to conform to the required minimum rear yard setback of 35 feet, a variance is needed to construct the pergola as submitted. If approved, the resulting setback would be 32 feet.

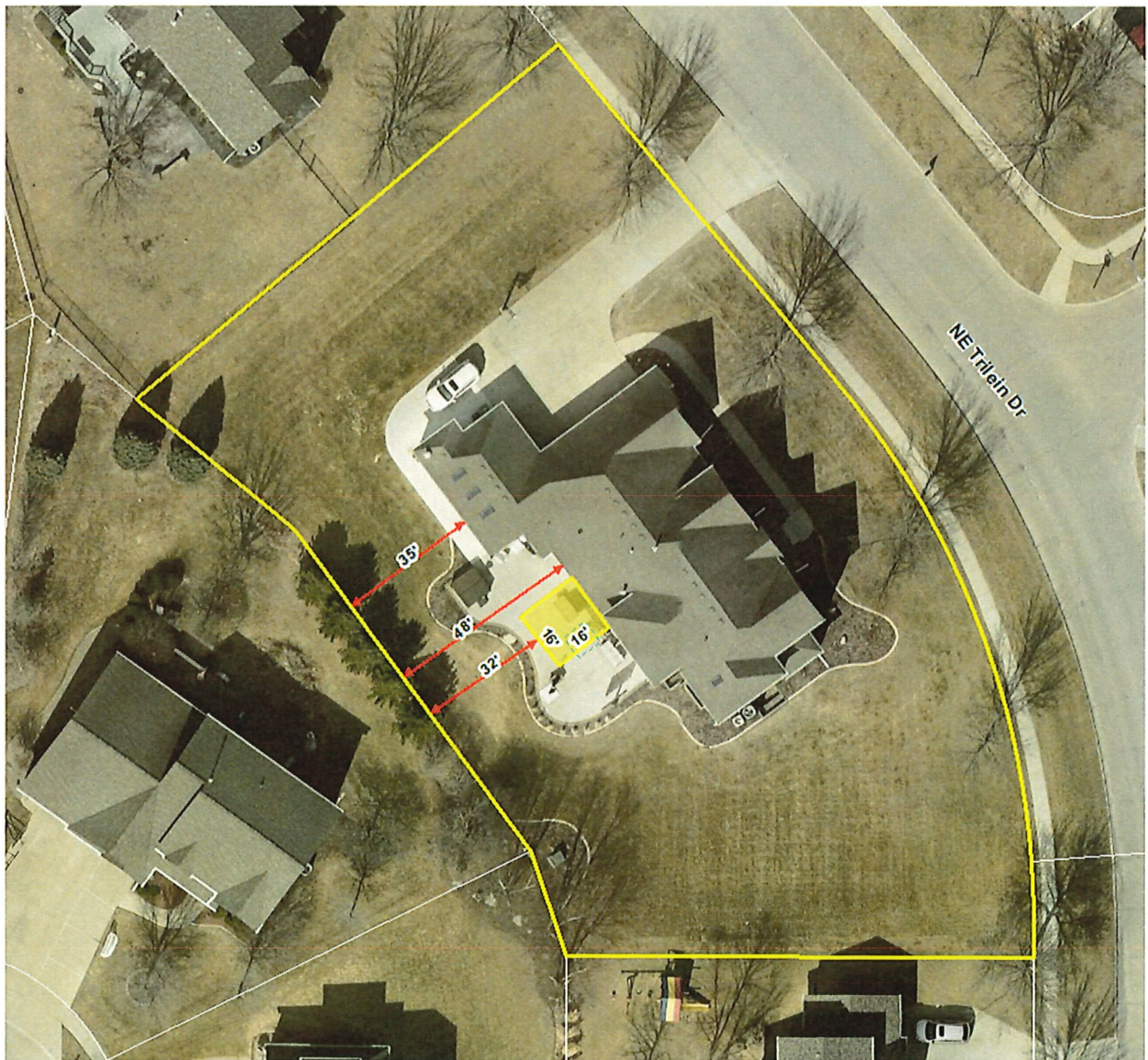


Figure 1: Dimensions & Setbacks

The subject property is surrounded by single-family residences to the north, east, south, and west; however, the property has been developed on two lots, which currently provides over 50 feet of open space from the north and south property lines. The neighboring house to the west—closest to the proposed pergola—is located approximately 75 feet from the subject house, and is separated from the subject property by mature evergreen trees along the property line. The appellant is currently constructing an in-ground swimming pool and related patio improvements, which include the required fence for the swimming pool as well as additional landscaping surrounding the pool and along the rear property line.

The subject variance would be consistent with previous Board determinations; however, it is also noted that a pergola may be considered detached if it is located at least six (6) feet from the principle structure. If a pergola is detached, it may be allowed anywhere in the rear yard, as long as it is located outside of any existing easements and at least three (3) feet from a property line. The proposed pergola, attached to the principle structure, will provide a 32-foot setback, whereas a detached pergola on this property could result in as little as a three-foot setback. The requested variance is similar in nature to previously requested rear yard setback variances. The Board has granted four of such variances requests this year, resulting in setbacks of 33, 32, 29, and 22 feet respectively.

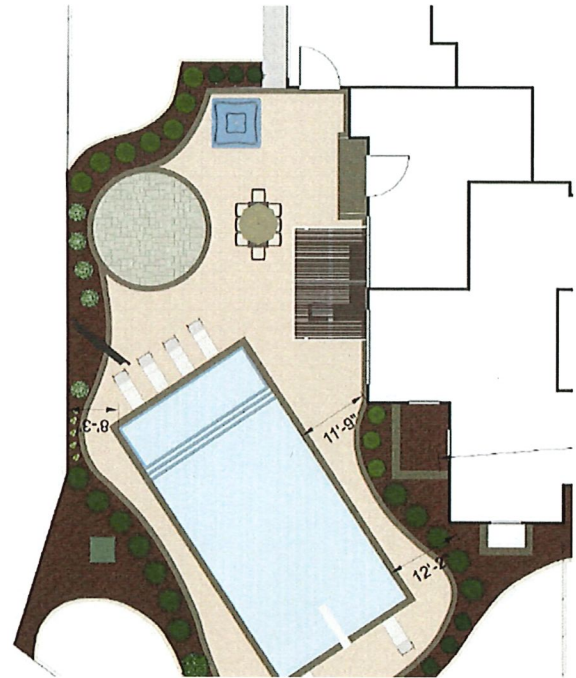
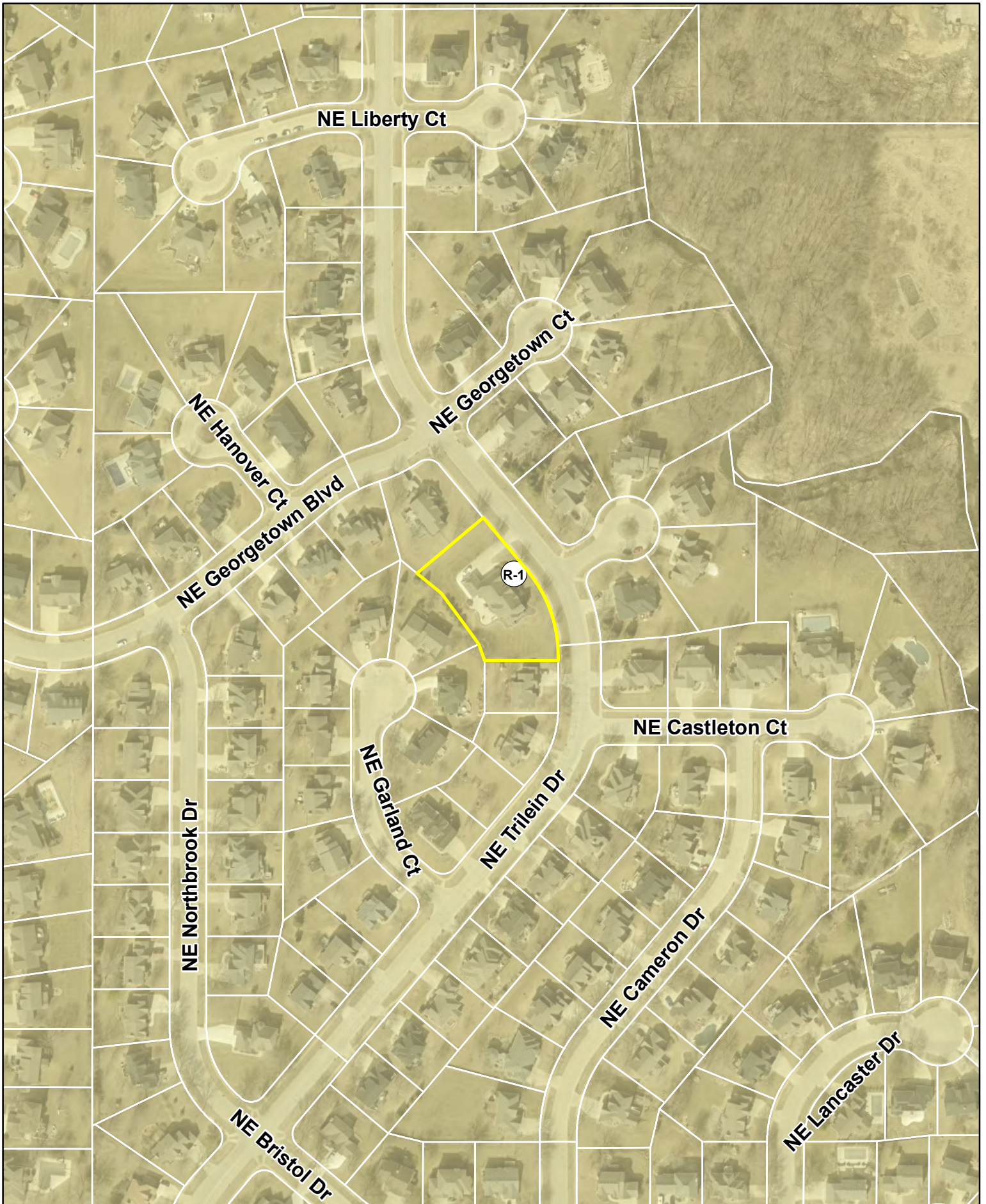
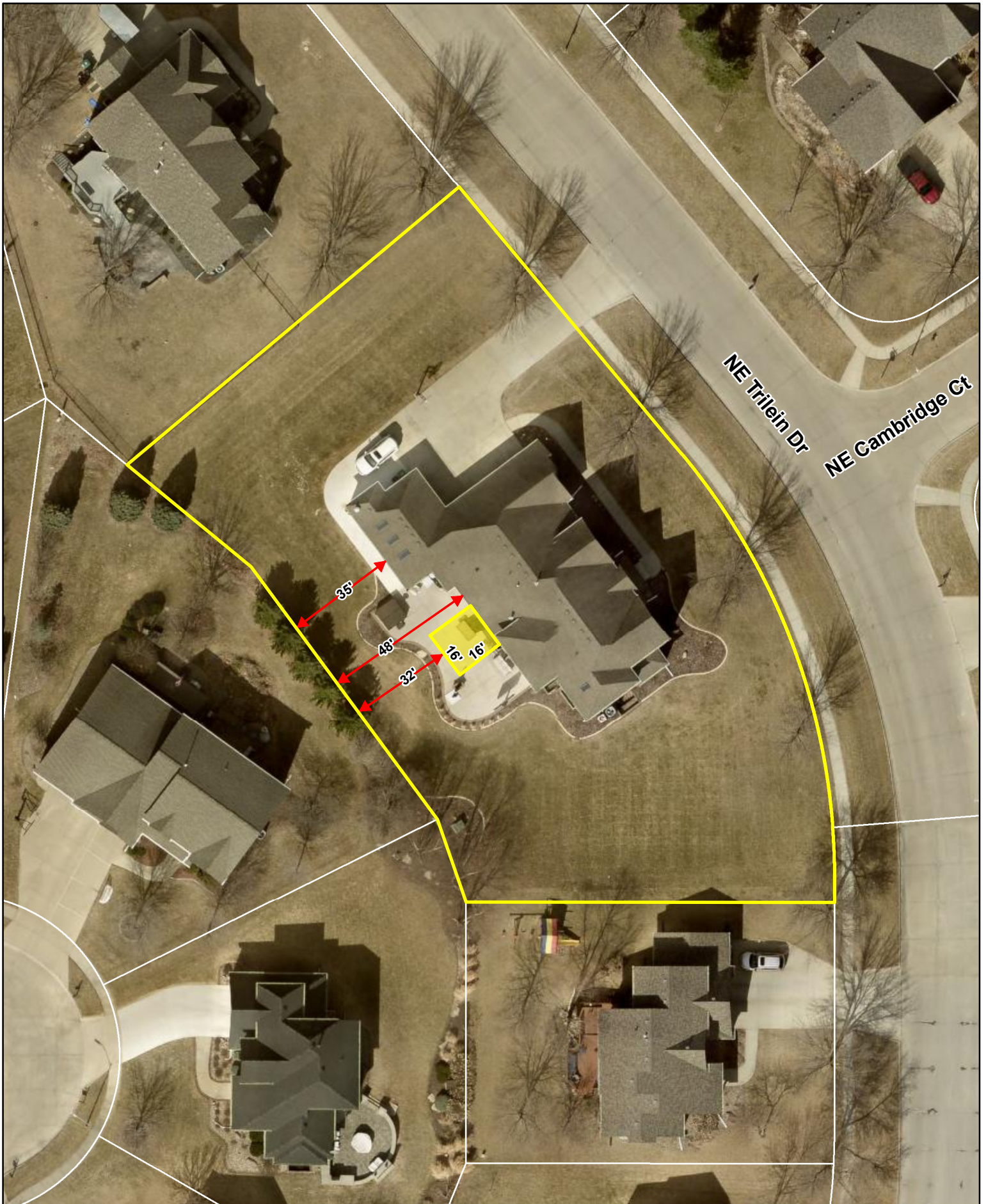


Figure 2: Patio Master Plan

SUMMARY

The staff position for this request is that the Zoning Board of Adjustment grant a variance to Ankeny Municipal Code Chapter 192.03.3.E, allowing a 32-foot rear yard setback for the property located at 2202 NE Trilein Drive. This position is based on a determination that the variance would adequately safeguard the health, safety and welfare of the occupants of adjoining and surrounding property, would not impair an adequate supply of light and air to adjacent property, would not increase public danger of fire or endanger the public safety, and would not diminish or impair established property values in the surrounding area; and that this request is in harmony with the intended spirit and purpose of the Ankeny Municipal Code.





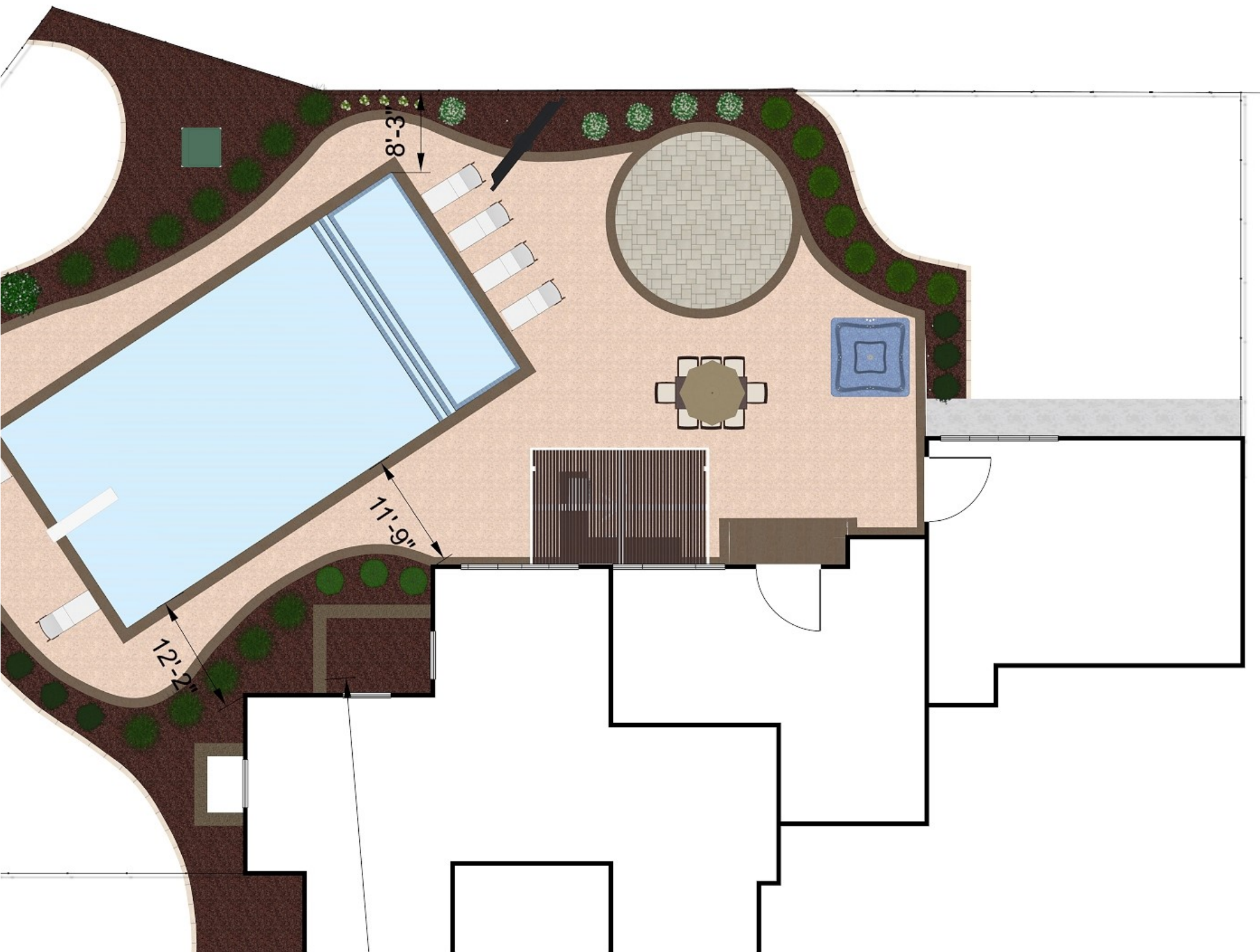
N



1 inch = 40 feet

Date: 10/30/2023

**2202 NE Trilein Drive
Pergola Dimensions & Setbacks**





ZONING BOARD OF ADJUSTMENT

November 7, 2023

5 : 00 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

ACTION REQUESTED:

LEGAL:

SUBJECT:

Renewed Special Use Permits

#21-20 Vintage Brewhouse - 1300 NW 36th Street, Suite 101

#22-03 Silk Elephant - 2410 SW White Birch Drive, Suite 108

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download

 [Special Use Permit Renewal](#)



City of Ankeny

Outdoor Service Area Renewal Application

***Special Permit Resolution # 21-20**

Originally approved September 8, 2021

If the conditions of your approved Special Use Permit do not allow for administrative approval of the Outdoor Service Area, or if you plan to make any changes or would like to alter the conditions of your Outdoor Service Area, please contact the Planning & Building Department (963-3550) regarding the required Board of Adjustment approval.

Name of Applicant: Lunabeau LLC
(Sole Proprietorship, Partnership, Corporation)

Name of Business (d/b/a): Vintage Brewhouse

Address of Premise: 1300 NW 36th St., Suite 101

- Have there been any changes made to the Outdoor Service Area since last year in location, size, or type of fencing?

☐ Yes ☒ No

If yes, what changes have been made. (Please include a sketch)

- Has any use of sound been added since last year or changed from what was approved by the Zoning Board of Adjustment?

☐ Yes ☒ No

Examples of sound uses requiring a special use permit shall include but not be limited to use of speakers to page patrons, use of a sound system to play music and the playing of live music. (Ord. 1426 Sec 1 Sub-section 5.08.100 G paragraph 5)

I hereby swear and affirm that I have complied and will continue to comply with all the requirements and attached conditions issued for the above identified property and with any subsequent modifications required by the Board of Adjustment.

The applicant hereby swears or affirms that all statements set forth herein are true and correct.

Signature

Kirk Jordison

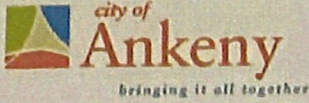
Name of Applicant (printed)

10/14/23

Date

ADMINISTRATIVELY
☒ **APPROVED**

10/20/23 EJC



City of Ankeny
Outdoor Service Area Renewal Application

*Special Permit Resolution # 22-03

Approved March 8, 2022

If the conditions of your approved Special Use Permit do not allow for administrative approval of the Outdoor Service Area, or if you plan to make any changes or would like to alter the conditions of your Outdoor Service Area, please contact the Planning & Building Department (963-3550) regarding the required Board of Adjustment approval.

Name of Applicant: PO Inc.
(Sole Proprietorship, Partnership, Corporation)

Name of Business (d/b/a): Silk Elephant

Address of Premise: 2410 SW White Birch Dr., Suite 108

- Have there been any changes made to the Outdoor Service Area since last year in location, size, or type of fencing?

☐ Yes ☒ No

If yes, what changes have been made. (Please include a sketch)

- Has any use of sound been added since last year or changed from what was approved by the Zoning Board of Adjustment?

☐ Yes ☒ No

Examples of sound uses requiring a special use permit shall include but not be limited to use of speakers to page patrons, use of a sound system to play music and the playing of live music. (Ord. 1426 Sec 1 Sub-section 5.08.100 G paragraph 5)

I hereby swear and affirm that I have complied and will continue to comply with all the requirements and attached conditions issued for the above identified property and with any subsequent modifications required by the Board of Adjustment.

The applicant hereby swears or affirms that all statements set forth herein are true and correct.

Orathai Saelao
Signature
ORATHAI SAE LAO
Name of Applicant (printed)

10/13/23
Date

ADMINISTRATIVELY
☒ **APPROVED**

10/23/23