



Meeting Agenda

Plan and Zoning Commission

Tuesday, October 3, 2023

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Ted Rapp, Chair

Glenn Hunter, Vice Chair

Trina Flack
Randall Weisheit

Lisa West

Annette Renaud
Todd Ripper

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER:

A. ROLL CALL:

B. AMENDMENTS TO AGENDA:

Consider MOTION to approve and accept the October 3, 2023 agenda with/without amendments.

C. COMMUNICATIONS:

D. CITIZEN'S REQUEST:

E. CONSENT AGENDA ITEMS:

1. Minutes

Consider MOTION to approve and accept the September 19, 2023 minutes of the Plan and Zoning Commission meeting.

2. 710 SE Creekview Drive - Ankeny Kitchen & Bath Site Plan

Consider MOTION to approve the site plan for 710 SE Creekview Drive, Ankeny Kitchen and Bath, subject to obtaining the required flood permits.

3. 3525 NW State Street - McDonald's Site Plan

Consider MOTION to approve the site plan for 3525 NW State Street, McDonald's, subject to City Council approval of the associated Storm Water Management Easement document.

4. The Crossings at Deer Creek Plat 13 Final Plat

Consider MOTION to recommend City Council grant preliminary approval of The Crossings at Deer Creek Plat 13 Final Plat; and authorize cost participation for the extension of 16-inch water main in an amount estimated to be \$30,375, and 15-inch sanitary sewer in an amount estimated to be \$6,750.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #4.

F. REMOVED CONSENT AGENDA ITEMS:

G. PUBLIC HEARINGS:

H. BUSINESS ITEMS:

5. Request by Legacy Housby, LLC for 80/20 Voluntary Urbanized Annexation of property into the City of Ankeny (Legacy Housby)

Consider MOTION to recommend City Council approval of the Legacy Housby 80/20 Voluntary Urbanized Annexation.

I. OLD BUSINESS:

J. REPORTS:

1. October 2, 2023 City Council Report - Staff

2. Director's Report

Tentative agenda items for October 17, 2023

September 2023 Building Permit Report

3. Commissioner's Reports

K. MISCELLANEOUS ITEMS:

October 16, 2023 - 5:30 p.m. City Council Representative: Staff

L. ADJOURNMENT:

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

October 3, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: <p>Consider MOTION to approve and accept the September 19, 2023 minutes of the Plan and Zoning Commission meeting.</p> <p> </p>

ADDITIONAL INFORMATION:

ATTACHMENTS:

[Click to download](#)



Meeting Minutes

Plan & Zoning Commission Meeting

Tuesday, September 19, 2023

Ankeny City Council Chambers, Second Floor
1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER

Chair Ted Rapp called the September 19, 2023 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL

Members present: Ted Rapp, Trina Flack, Annette Renaud, Todd Ripper, Lisa West, and Randy Weisheit. Absent: Glenn Hunter. Staff present: E.Jensen, E.Carstens, L.Hutzell and B.Fuglsang.

AMENDMENTS TO THE AGENDA

Motion by T.Flack to approve and accept the September 19, 2023 agenda without amendments. Second by A.Renaud. All voted aye. Motion carried 6 - 0.

COMMUNICATIONS

There were no communications.

CITIZEN'S REQUEST

There were no requests.

CONSENT AGENDA ITEMS

Item #1. Minutes

Motion to approve and accept the September 6, 2023 minutes of the Plan and Zoning Commission meeting.

Motion by T.Flack to approve the recommendations for Consent Agenda Item #1. Second by L.West. All voted aye. Motion carried 6- 0.

PUBLIC HEARINGS

There were no public hearings.

BUSINESS ITEMS

Item #4. Trestle Ridge Estates Phase 2 Preliminary Plat

Staff Report: L.Hutzell reported that the Trestle Ridge Estates Phase 2 Preliminary Plat is a proposed 83.62-acre plat located in the northwest quadrant of Ankeny at the southeast intersection of NW Weigel Drive and NW 36th Street. She said that the project includes the construction of 132-single family residential lots, an outlot for multi-family residential restricted to 10 units per acre, an outlot to be dedicated to the City as parkland, and two outlots for open space/storm water management. Public streets are proposed, along with public sanitary sewer, water main and storm sewer. She commented that the proposed development will be primarily accessed off of NW Weigel Drive from the west and an extension of NW Reinhart Drive from the east. L.Hutzell stated a full drainage study is being required with the final plat as the Rock Creek watershed is currently in a FEMA flood zone. A floodplain development permit will also be required prior to any ground work. She noted the required detention for this plat will occur in Outlot Y and Z, which will be owned and maintained by the Homeowner's Association. She stated that the development of this property requires crossing a drainage way of the Rock Creek watershed directly before the formation of Rock Creek. She noted that there are four existing tiles present on the property, which will be routed to the detention facility or piped through the development. The City's Parks Department has agreed to accept Outlot W totaling 3.33 acres as parkland dedication and this parkland along with a 6.3-acre dedication from Trestle Ridge Estates Phase I will create an approximate 9.6-acre park adjacent to the High Trestle Trail. Staff recommends City Council approval of the Trestle Ridge Estates Phase 2 Preliminary Plat; and accept the public street names NW Newhaven Drive, NW Woodmoor Drive, NW Fairfield Drive and NW Fairfield Court.

T.Flack commented that the only access at this point would be from NW Reinhart Drive since NW Weigel Drive is gravel and there is no access from NW 36th Street. She asked if there is a plan for paving NW Weigel Drive? E.Carstens commented that there is an overlay plan in the CIP in the next couple of years. E.Carstens said they will not be able

to connect to NW Weigel until it is paved. He noted that there are other accesses from NW Irvinedale to this neighborhood besides NW Reinhart Drive.

Angie Kanakuch, Absolute Farms, LLC, 505 1st Avenue N, Slater, Iowa said she would answer any questions the Commission may have.

Motion by T.Ripper to recommend City Council approval of the Trestle Ridge Estates Phase 2 Preliminary Plat; and accept street names NW Newhaven Drive, NW Woodmoor Drive, NW Fairfield Drive and NW Fairfield Court. Second by R.Weisheit. All voted aye. Motion carried 6 – 0.

REPORTS

City Council Meeting

E.Jensen reported on the September 18, 2023 City Council meeting.

Director's Report

E.Jensen presented the tentative agenda items for the October 3, 2023 Plan and Zoning Commission meeting.

E.Jensen provided an update on administratively approved site plans in the Prairie Trail development including: Veridian Credit Union, Midway Park Phase 2, Lot 2, Vintage business Park at Prairie Trail Plat 10, Vintage Business Park at Prairie Trail Plat 10, Phase 1, Vintage Commercial, Rally Complex Development Project and District Flats.

Commissioner's Reports

There were no reports.

MISCELLANEOUS ITEMS

October 2, 2023 – 5:30 p.m. City Council Meeting Representative: Staff

ADJOURNMENT

There being no further business, T.Rapp motioned to adjourn. Meeting adjourned at 6:50 p.m.



Submitted by Brenda Fuglsang, Secretary
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

October 3, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

710 SE Creekview Drive - Ankeny Kitchen & Bath Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):






PUBLIC OUTREACH EFFORTS:

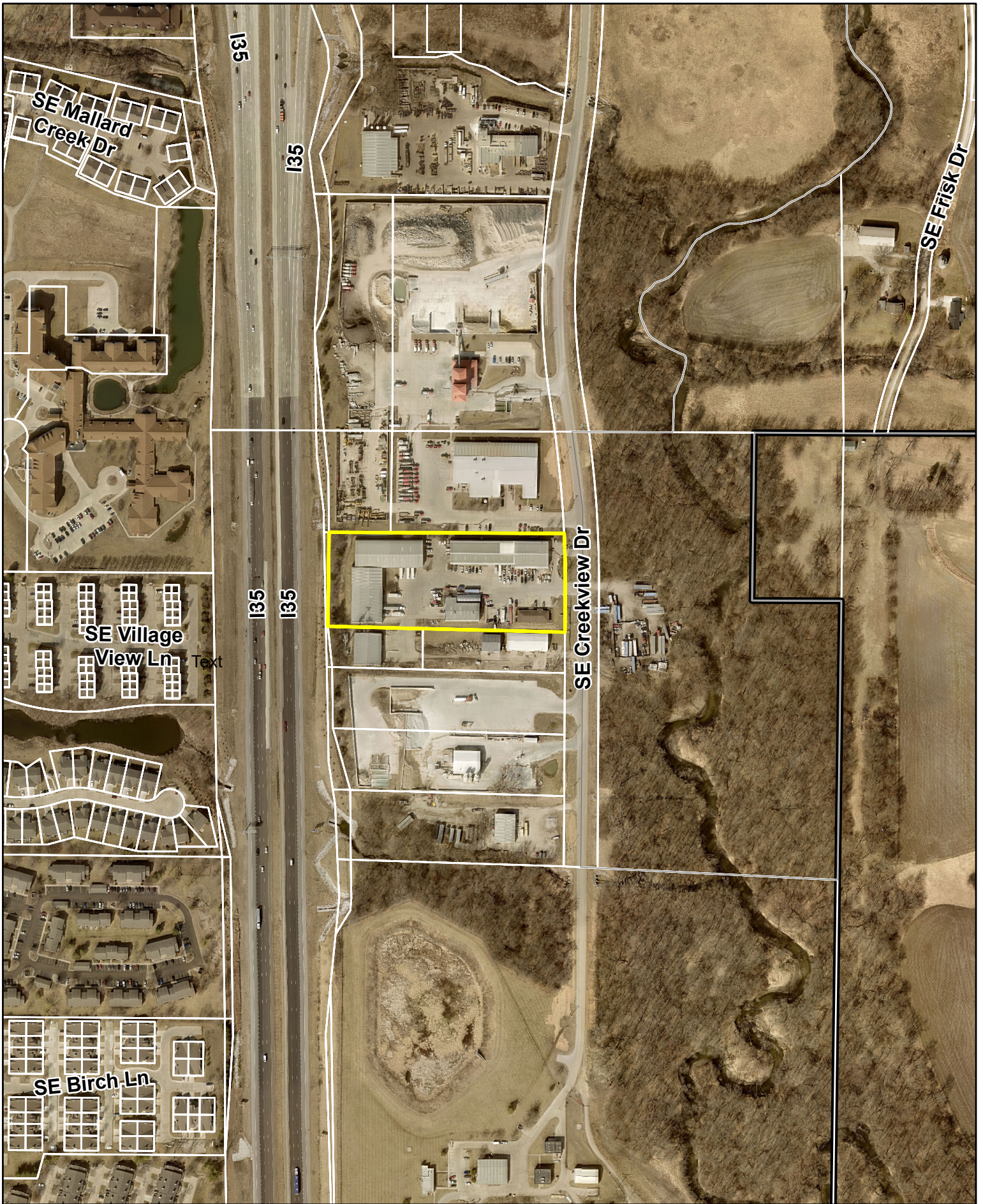
ACTION REQUESTED:

Action: Consider MOTION to approve the site plan for 710 SE Creekview Drive, Ankeny Kitchen and Bath, subject to obtaining the required flood permits.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Site Plan
	Elevations



N



1 inch = 362 feet

Date: 9/27/2023

710 SE Creekview Drive
Ankeny Kitchen & Bath - Site Plan
Aerial Map

Agenda Item: 710 SE Creekview Drive – Ankeny Kitchen & Bath
Report Date: September 27, 2023
Prepared by: Ryan Kirschman
Planner

Staff Recommendation:

That the Plan and Zoning Commission approve the site plan for 710 SE Creekview Drive, Ankeny Kitchen & Bath subject to obtaining the required flood permits.

Project Summary:

The subject property, 710 SE Creekview Drive, is located on Lot 5 Creekview Place which is approximately 3.37 acres – east of Interstate-35, south of E 1st Street, and west of SE Creekview Drive. The property is zoned M-2, Heavy Industrial District. The site is surrounded by M-2, Heavy Industrial District. The future land use for the property is Light Industrial per The Ankeny Plan 2040 Figure 12.10 Ankeny Future Land Use Map. The use of the proposed building aligns with the zoning and future land use designation. The proposed Ankeny Kitchen & Bath is 11,400 sq. ft. The proposed site currently has 5 buildings on it.

The site currently has 42 parking stalls, with this addition, 31 are required. The site has more than adequate parking. Pedestrian and bicycle traffic will have safe access to the building from the parking spaces on site. The site will be accessed via two shared accesses off of SE Creekview Drive. The project is not anticipated to significantly impact the traffic pattern in the area.

The exterior of the building is composed of mainly cultured stone and vertical metal siding. These materials are similar to the adjacent buildings on the site and along SE Creekview Drive. These materials comply with the building materials requirements established in the Ankeny Municipal Code Chapter 192.02(B)(6).

Site Plan Worksheet

710 SE Creekview Drive – Ankeny Kitchen & Bath

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The site is located at 710 SE Creekview Drive, situated to the east of Interstate-35 and south of E 1st Street. The site is currently developed with 5 buildings. The proposed building addition would complement the existing building and surrounding buildings on the site.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site is currently developed with 5 buildings. The proposed building addition would complement the surrounding buildings on the site and the buildings along SE Creekview Drive.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site currently has 42 parking stalls, with this addition, 31 are required. The site has more than adequate parking. Pedestrian and bicycle traffic will have safe access to the building from the parking spaces on site.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The site will be accessed via two shared accesses off of SE Creekview Drive. The project is not anticipated to significantly impact the traffic pattern in the area.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

The parking on the site will remain unchanged, the parking is currently screened with trees between the two accesses along SE Creekview Drive.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

There are currently trees screening the property in between the two accesses off of SE Creekview Drive.

7. **All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

8. **Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Any site lighting will be directed away from adjoining property and downward.

9. **The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm water on the site will be addressed with the existing storm water collection intakes.

10. **Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The site will utilize existing utilities on the site.

11. **Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The overall site layout provides for adequate open space.

12. **Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed parking lot shading and open space landscaping conform to the landscape requirements of the Code.

B. Building Design

1. **Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

The proposed addition conforms with the surrounding architecture on the site.

2. **Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The building materials are consistent with buildings along SE Creekview Drive.

3. **All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There is not currently anything proposed on the site plan that would require additional screening.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

The proposed site is consistent with the surrounding buildings on the site and along SE Creekview Drive.

C. Signs

- 1. All signs shall have good scale and proportion in relationship to its site and function, as well as the signage and use of neighboring properties.**

There are no building signs indicated on the proposed building addition. Any proposed sign designs and allowances will be determined with future sign permits.

- 2. Building signs shall be designed as an integral architectural element of the building.**

There are no building signs indicated on the proposed building addition. Any proposed sign designs and allowances will be determined with future sign permits.

- 3. Ground signs shall be designed to provide elements compatible with the building design and architectural elements.**

There are no ground signs indicated with the proposed building addition. Any proposed sign designs and allowances will be determined with future sign permits.

- 4. Each sign shall be designed in a manner not to compete for attention with signs on adjoining premises.**

All signs submitted for permit in the future shall comply with Chapter 195: Signs.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

- 1. Conformance to Design Standards and other applicable code requirements.**

The plans submitted conform to the written regulations of the City.

- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The site layout is compatible with setbacks and scale of other buildings in the area.

- 3. Layout and utilization of building, parking, drive-ways, and open spaces.**

The site layout is consistent with the surrounding layout.

- 4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**

The proposed addition conforms with the surrounding architecture on the site.

- 5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**

It appears that the impacts on these utility systems can be accommodated adequately.

August 25, 2023

Planning and Zoning Commission
City of Ankeny
Planning & Building Department
1210 NW Prairie Ridge Dr
Ankeny, Iowa 50023

RE: Ankeny Kitchen & Bath (2306.457)

Dear Planning and Zoning Commission and City Council:

On behalf of *Ankeny Kitchen & Bath*, we respectfully submit herewith the Ankeny Kitchen & Bath Site Plan in request for approval. This project features the construction of a building addition on the south side of the existing Kitchen & Bath warehouse located at 710 SE Creekview Drive. The existing site currently contains 4 warehouse buildings ranging in size from 2,640 sf up to 31,786 sf. The proposed building addition will be 1-story, approximately 11,400 sf. Primary access to the property is existing to the east off Creekview Drive. Proposed improvements to the site include the removal and replacement of concrete to accommodate the building addition, verification of overall site parking, and grading for proper drainage.

Please accept this submittal for the next available Planning & Zoning meeting. Let me know if you have any questions or require any further information to complete your review. Thanks.

Sincerely,

CIVIL DESIGN ADVANTAGE

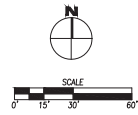
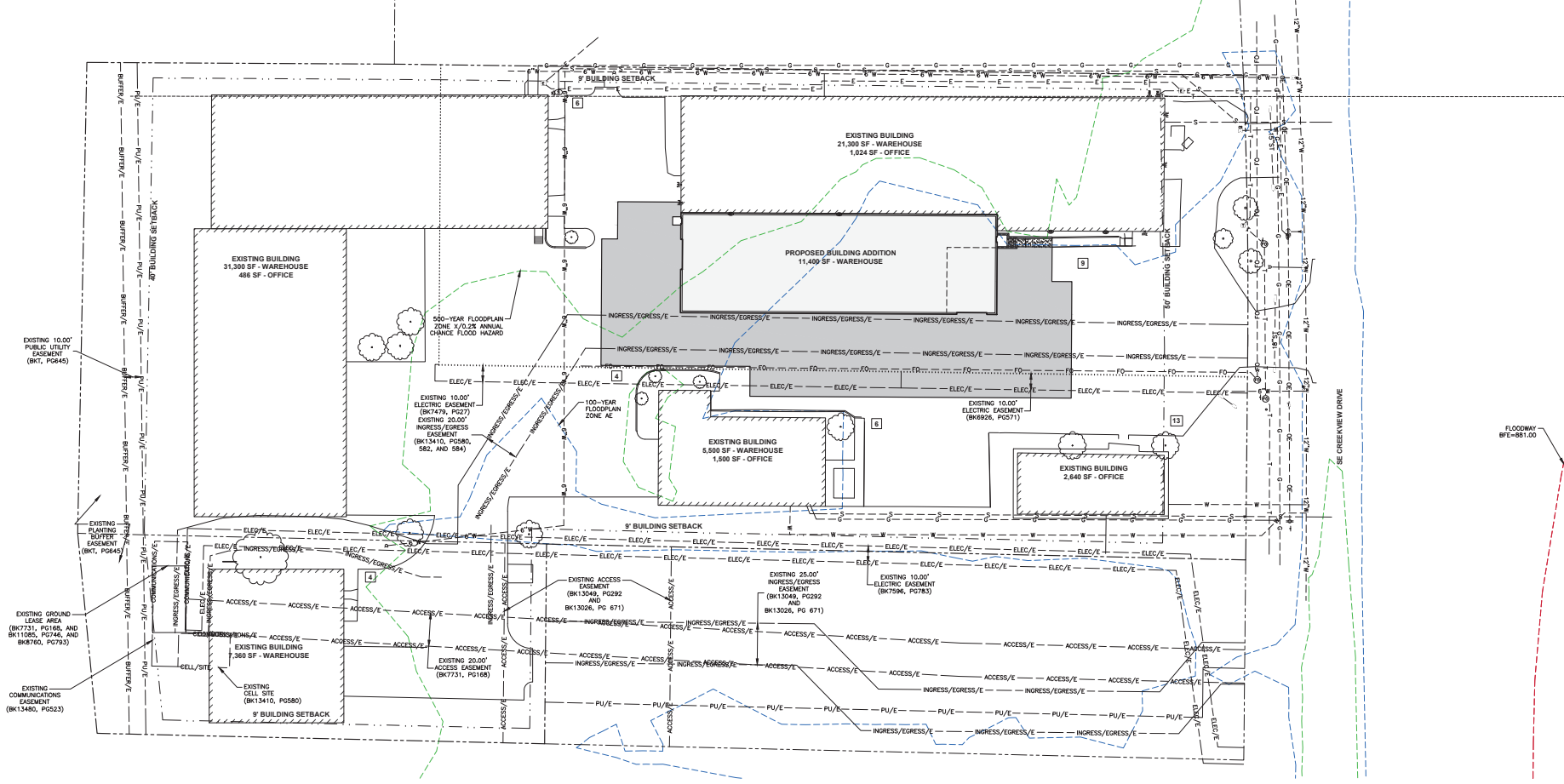


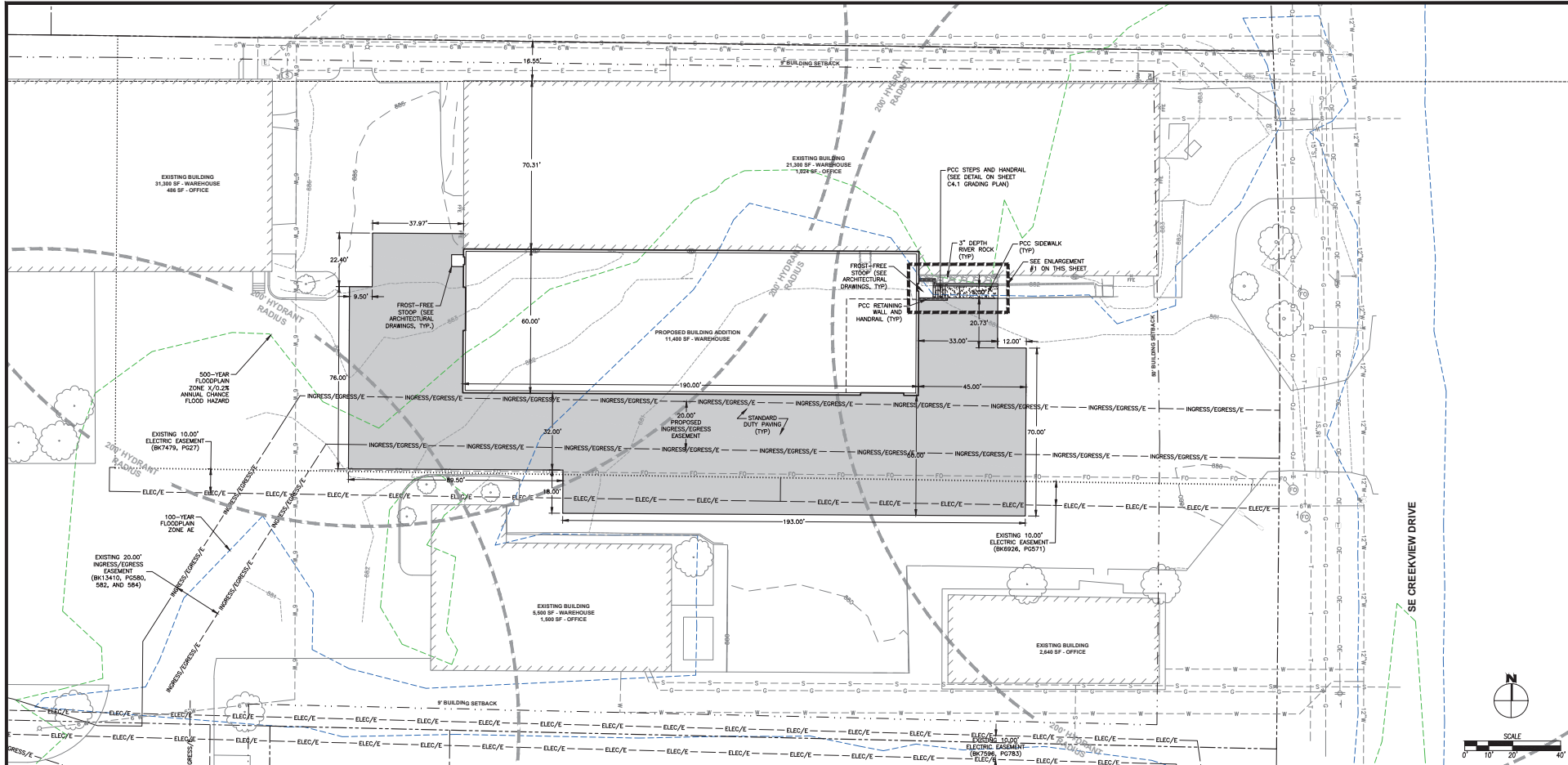
Nikki Neal, ASLA

ANKENY, IOWA

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 DWGDATE: 9/20/23

INTERSTATE 35





GENERAL NOTES

1. THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY LINES SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY AS DIRECTED BY THE ENGINEER OR CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DAMAGED APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

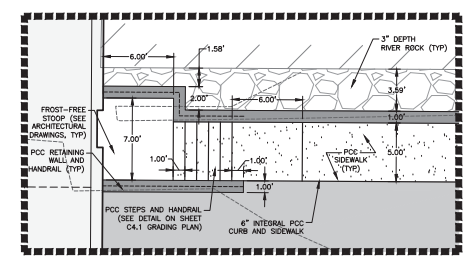
PAVEMENT THICKNESS

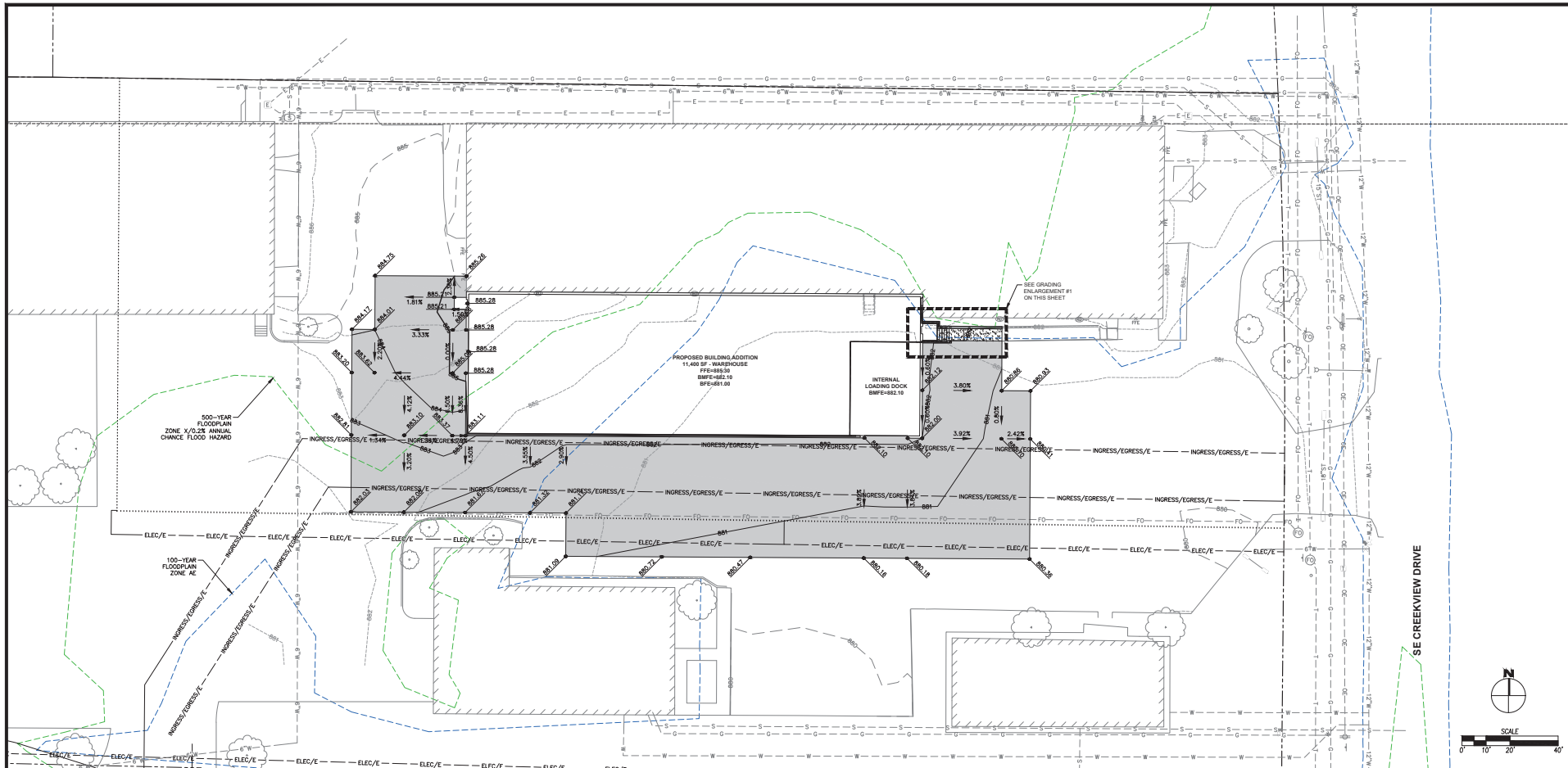
- | ITEM | THICKNESS |
|-------------------------------|-----------|
| 1. SIDEWALK | 4" P.C.C. |
| 2. STANDARD DUTY PCC PAVEMENT | 7" P.C.C. |
| 3. PCC RETAINING WALL | VAR. |



ENLARGEMENT #1

SCALE: 1"=5'





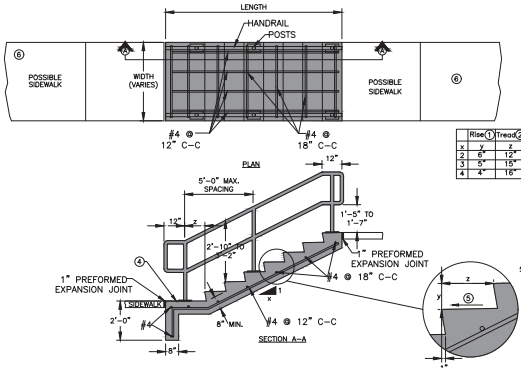
GRADING NOTES

1. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND REAPPLIED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
2. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTS, IF APPLICABLE.
3. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
4. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
5. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
6. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID POONDING.
7. THE CONTRACTOR SHALL CONDUCT HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAIL ROADS TO PREVENT THE SPREAD OF DUST.
9. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
10. SIDEWALKS
11. MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.

GRADING LEGEND

TS = TOP OF STEP
 FGS = FINISHED GRADE OF STEP
 TW = TOP OF WALL
 FFW = FINISHED GRADE OF WALL
 BFE = BASE FLOOR ELEVATION
 BFE = BASE FLOOR ELEVATION

TYPE A CONCRETE STEPS WITH HANDRAIL - SUDAS NO. 9080.101 DETAIL

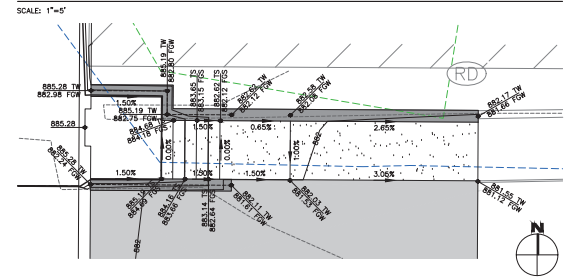


PROVIDE A MINIMUM OF 2 IN. OF COVER FOR ALL REINFORCING.

ENSURE ALL RISERS ARE AN EQUAL HEIGHT AND ALL TREADS ARE AN EQUAL DEPTH WITHIN A FLIGHT OF STAIRS.

1. MINIMUM RISER HEIGHT IS 4 IN. MAXIMUM RISER HEIGHT IS 7 IN.
2. MINIMUM TREAD DEPTH IS 11 IN.
3. MATCH EXISTING SIDEWALK WIDTH.
4. CONSTRUCT CROSS SLOPE OF LANDING TO MATCH ADJACENT SIDEWALK.
5. SLOPE OF TREAD TO BE 1.50%.
6. MAXIMUM SIDEWALK CROSS SLOPE OF 2% MAXIMUM SIDEWALK RUNNING SLOPE OF 5%.

GRADING ENLARGEMENT #1





KEY PLAN

PROJECT: **Ankeny Kitchen & Bath Warehouse Addition**

1000

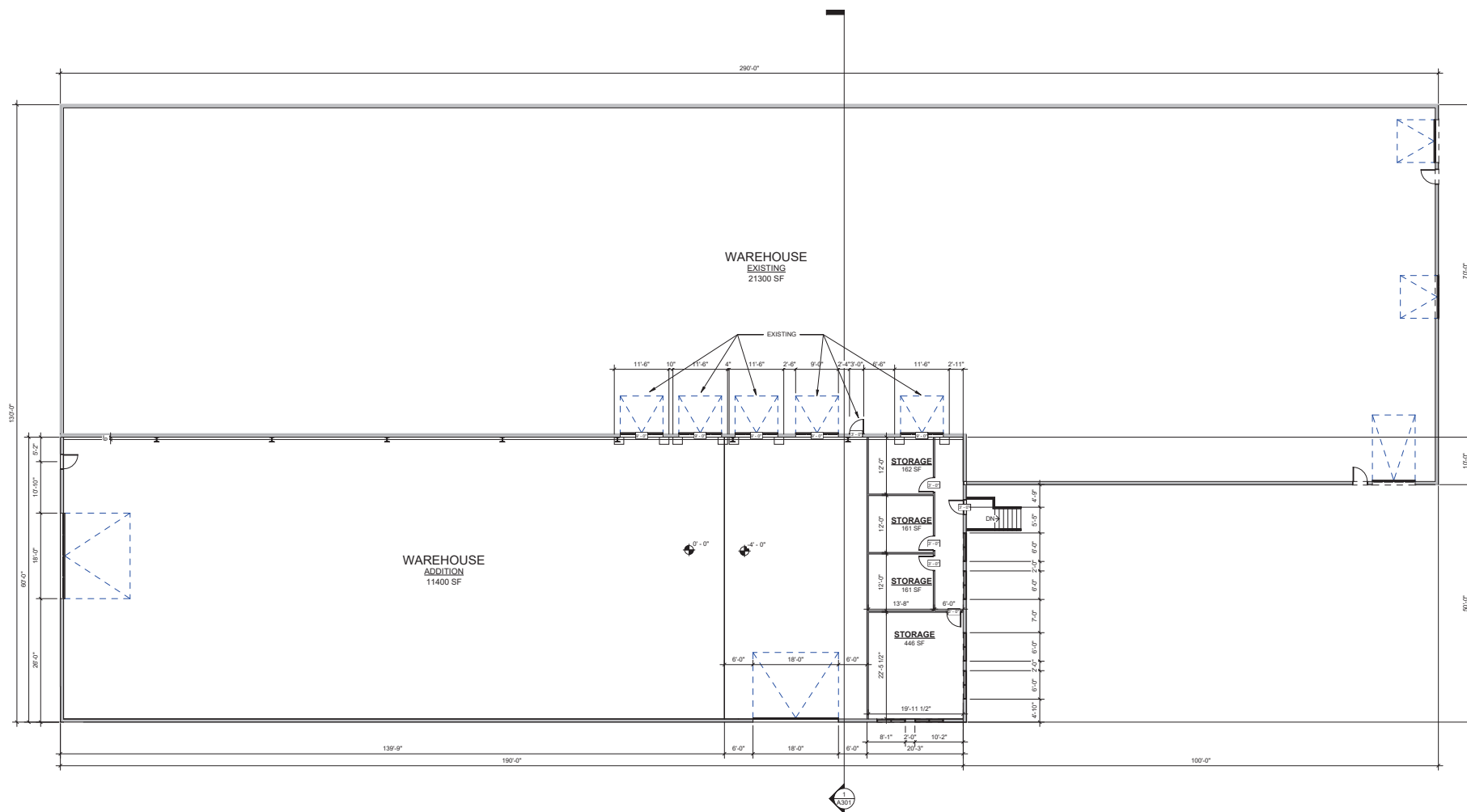
REVISIONS

09 / 08 / 2023

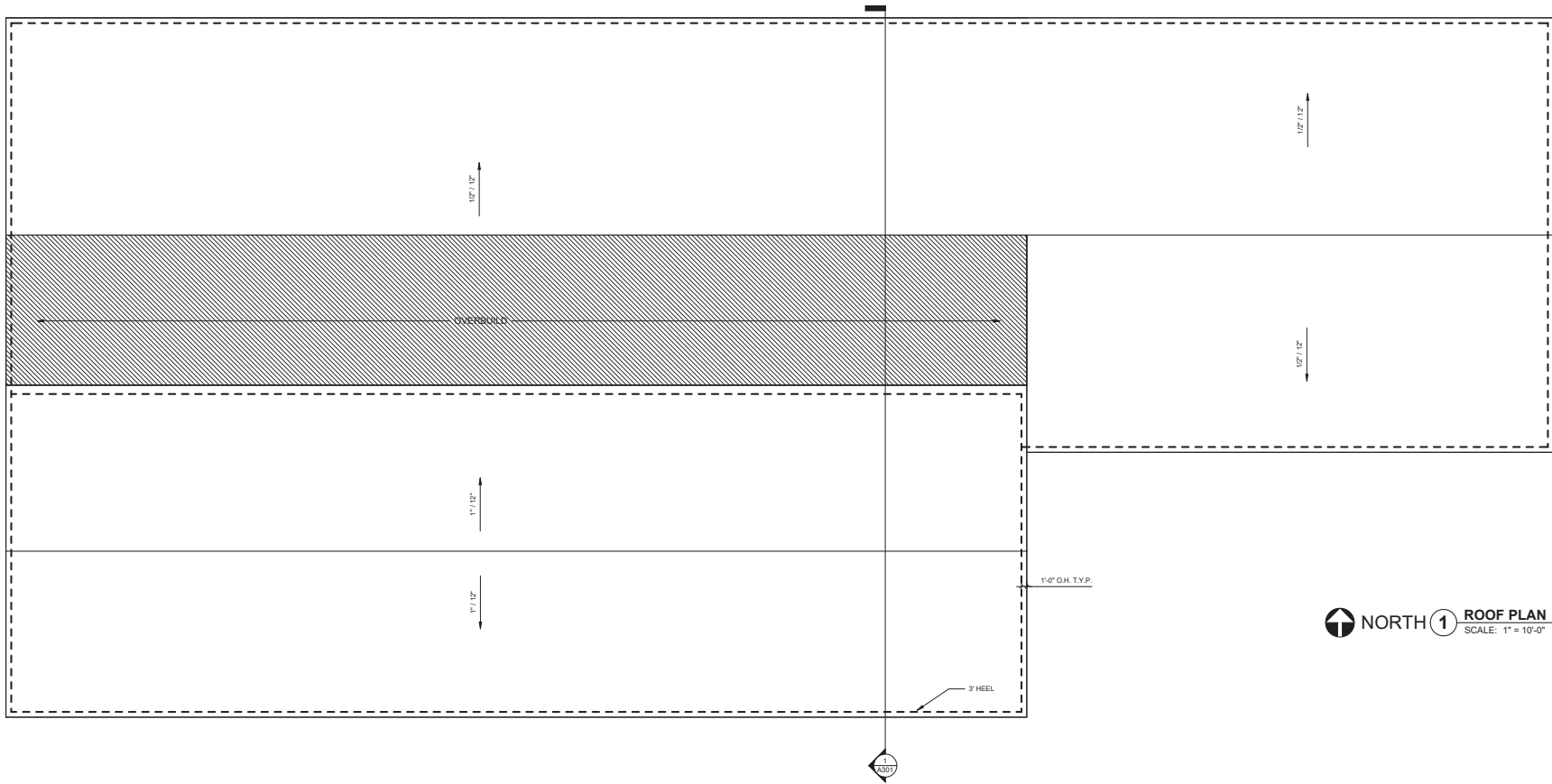
PROJECT NO: 23-005

CONTENTS:
Floor Plans

SHEET NO:
A101



 NORTH **1** **1ST FLOOR**
SCALE: 1" = 10'-0"



JCorp

3611 NE Otisview Circle #43
Ankeny, IA 50021
Phone: (515) 597-5457
www.jcorpdesignbuild.com

KEY PLAN

PROJECT: Ankeny Kitchen & Bath Warehouse Addition

REVISIONS:

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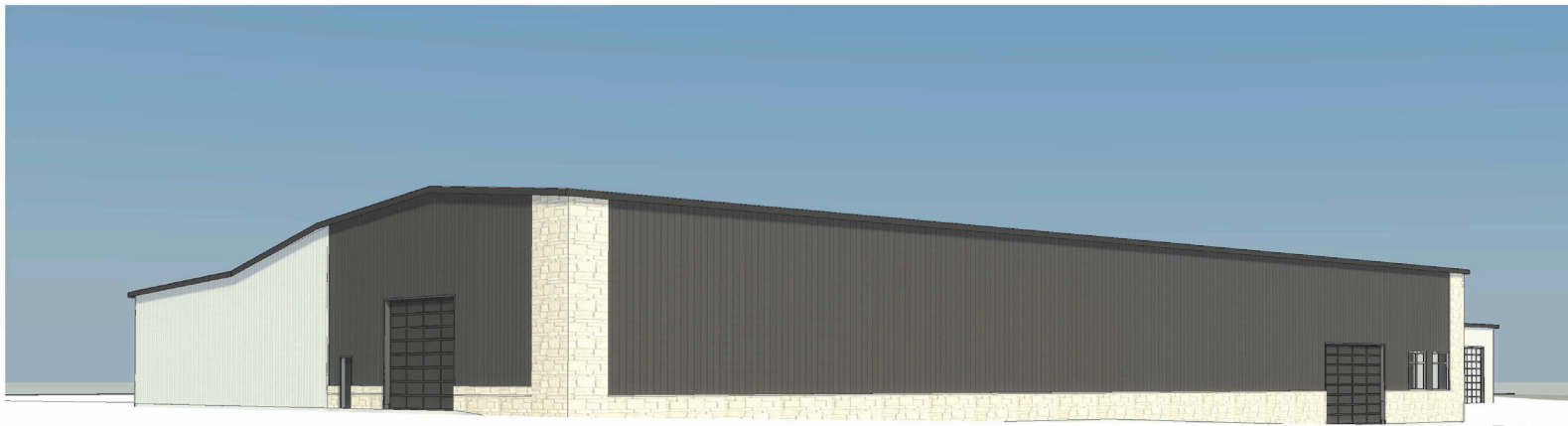
09 / 08 / 2023

PROJECT NO: 23-005

CONTENTS:
Floor Plan, Roof Plan

SHEET NO:

A102



JCorp

3611 NE Otseview Circle #43

Ankeny, IA 50021

Phone: (515) 597-5457

www.jcorpdesignbuild.com

KEY PLAN

PROJECT:
Ankeny Kitchen & Bath Warehouse Addition

REVISIONS:

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09 / 08 / 2023

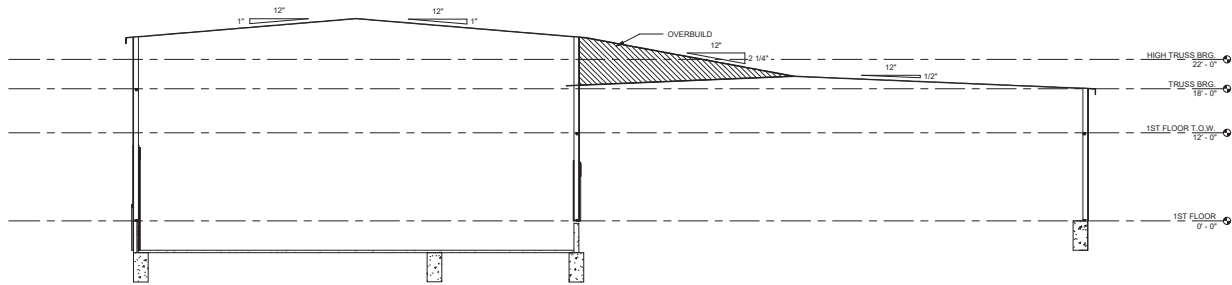
PROJECT NO: 23-005

CONTENTS:

3D Views

SHEET NO:

A202



1 BUILDING SECTION
SCALE: 1/8" = 1'-0"



JCorp

3611 NE Otisview Circle #43

Ankeny, IA 50021

Phone: (515) 597-5457

www.jcorpdesignbuild.com

KEY PLAN

PROJECT:
Ankeny Kitchen & Bath Warehouse Addition

REVISIONS:

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09 / 08 / 2023

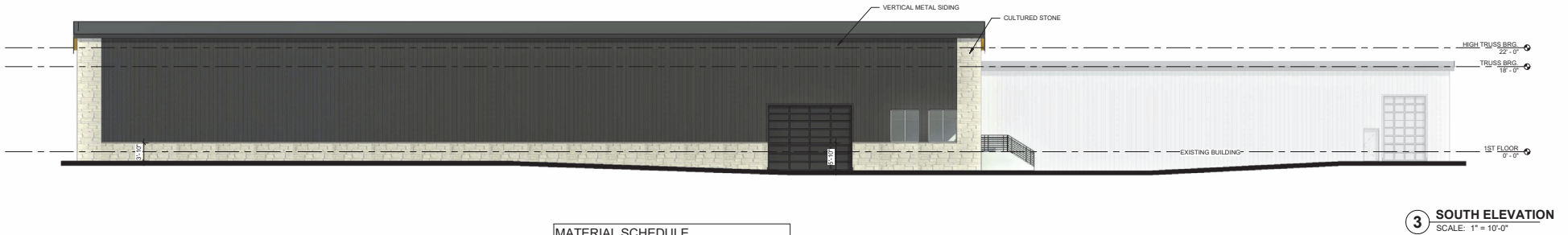
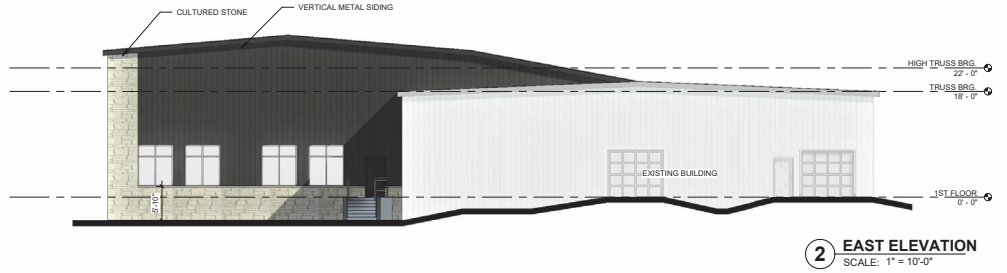
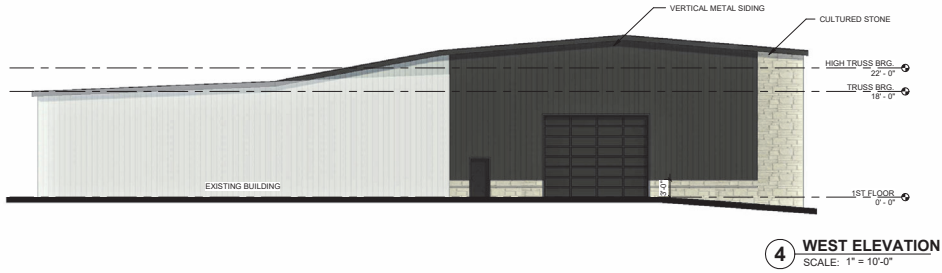
PROJECT NO: 23-005

CONTENTS:

Sections

SHEET NO:

A301



MATERIAL SCHEDULE			
Type Mark	Description	Area	FRONTAGE PERCENT
EAST			
1	Storefront	168 SF	10%
CS	Cultured Stone	382 SF	23%
S1	Vertical Metal Siding	1090 SF	66%
		1540 SF	100%
SOUTH			
1	Storefront	84 SF	2%
CS	Cultured Stone	1029 SF	40%
S1	Vertical Metal Siding	3920 SF	78%
		5033 SF	100%
WEST			
CS	Cultured Stone	305 SF	23%
S1	Vertical Metal Siding	1018 SF	77%
		1324 SF	100%



PLAN AND ZONING COMMISSION

October 3, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

3525 NW State Street - McDonald's Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):






PUBLIC OUTREACH EFFORTS:

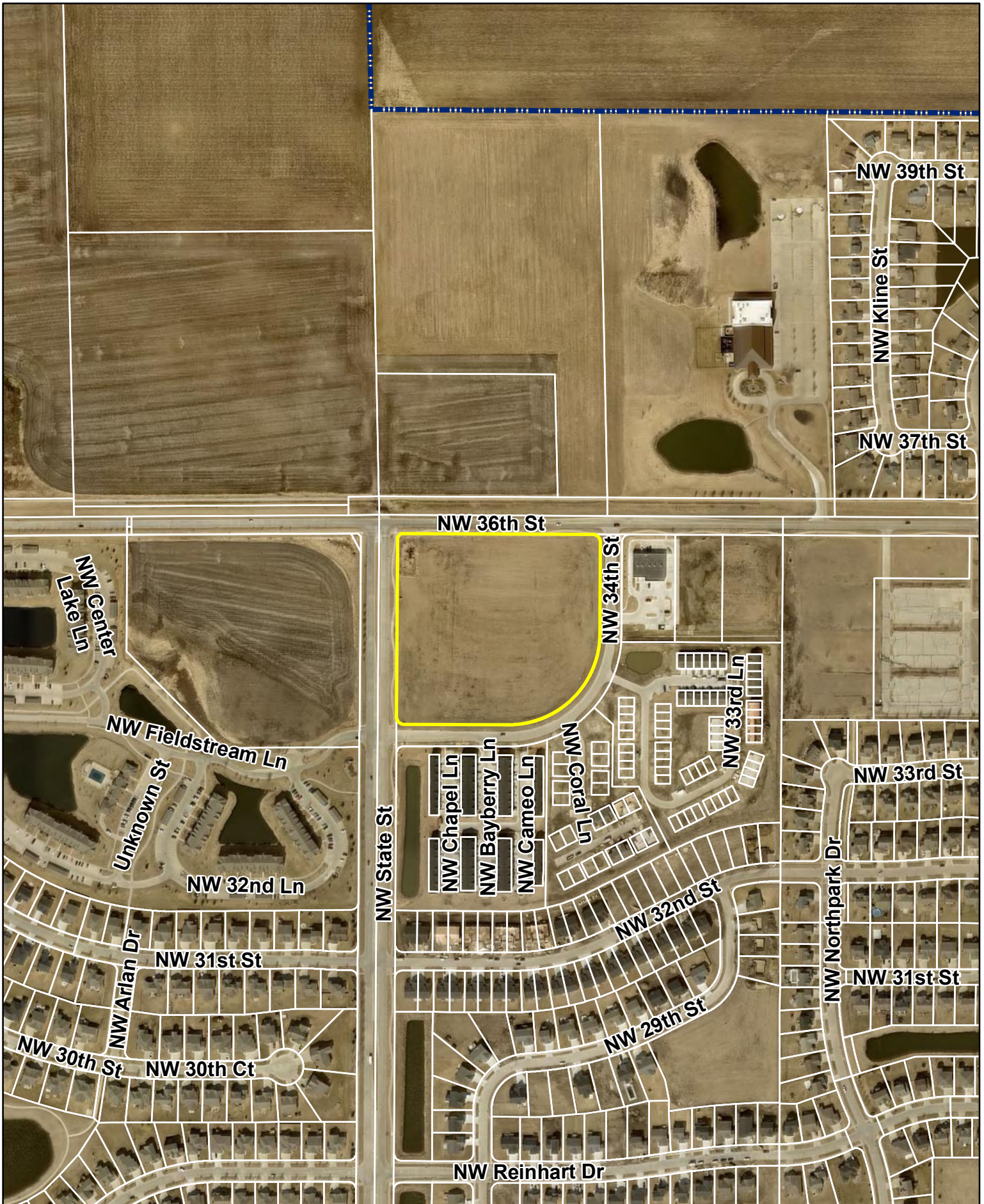
ACTION REQUESTED:

Action: Consider MOTION to approve the site plan for 3525 NW State Street, McDonald's, subject to City Council approval of the associated Storm Water Management Easement document.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Site Plan
	Elevations - Color



N



1 inch = 400 feet

Date: 9/25/2023

3525 NW State Street - McDonalds Site Plan



*Plan and Zoning Commission
Staff Report*

Meeting Date: October 3rd, 2023

Agenda Item: 3525 NW State Street – McDonalds Site Plan

Report Date: September 28, 2023

Prepared by: Bryan Morrissey
Associate Planner

ESC

Staff Recommendation:

That the Plan and Zoning Commission approve the site plan for 3525 NW State Street, subject to City Council approval of the associated Storm Water Management Easement document.

Project Summary:

The subject property is located at the intersection NW State Street and NW 36th Street on Lot 1, Aspen Ridge Commercial Plat 3. The site itself is approximately 1.54 acres (+/-) in size and is zoned C-1, Neighborhood Retail Commercial District. A commercial development borders the site to the south, while undeveloped land surrounds the property north, east, and west. The applicant is proposing to construct an approximate 3,866 square-foot McDonald's restaurant on the undeveloped parcel.

The exterior of the primary structure on the site is proposed to be constructed primarily of brick and metal panels. A base of permanent materials is proposed around the entire perimeter of the building, while the minimum primary material requirements have been satisfied for each wall on the elevations. In addition to the primary building, the site plan shows a combined storage shed and trash enclosure near the southeast corner of the site next the private access drive. The enclosure/storage shed will be constructed primarily of brick, similar to the primary structure on the site.

The site plan shows three access points that lead to the proposed development. One access drive stems from NW State Street, another from NW 36th Street, and the last being a private drive that cuts through Outlot X of Aspen Ridge Commercial Plat 2. The access points off NW State Street and NW 36th Street are right-in/right-out access drives, while the private drive to the east leads to a full access point on NW 34th Street. Parking stalls are situated near the north, east, and west property lines on the property, with 48 stalls being provided in total. Code requires a total of 48 parking stalls for a development of this size and use, which as mentioned previously, is being met with what's shown on these plans.

The landscaping requirements of the Code have been satisfied with what's proposed on the site plan. In addition to fulfilling the requirements for open space and pavement shading landscaping, additional screening is provided along the perimeter of the north, east, and west sides of the site to screen the parking areas from the adjacent public streets. For utilities on the site, the development will be serviced by connecting to the existing eight-inch water main that runs along the south side of NW 36th Street, while sanitary service will be provided by connecting to the eight-inch sanitary main that runs along the east side of the parcel. Stormwater on the site will be detained via a detention pond near the south end of the site. From there, stormwater will flow through a series of stormwater mains before ultimately conveying into Rock Creek.

Site Plan Worksheet
3525 NW State Street – McDonalds Site Plan

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The proposed building is situated near the center of Lot 1 of Aspen Ridge Commercial Plat 3, with the primary building façade facing north towards NW 36th Street. Parking areas are located on the east, west, and north sides of the site and are appropriately screened with plantings to lessen their impacts on public streets.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan generally complies with the landscaping and parking requirements of the code.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides for adequate parking and circulation in the area. Code requires a minimum of 48 parking stalls for a development of this size and use, with the site plan showing a total of exactly 48 spaces. Sidewalks will border the site to the north and west, however, they will be installed as a part of a separate project.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

A traffic impact study was approved by City staff earlier this year for the Aspen Ridge Commercial development. The traffic study called for right turn lane on NW State and NW 36th Street into the development, along with a center median on NW 36th Street to prevent left turns into the site. A private drive that cuts across Outlot X of Aspen Ridge Commercial Plat 2 is also included with this development to provide patrons access to a full access point on NW 34th Street.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

Parking areas are proposed along the north, west, and east sides of the site for patron use. Screening is provided along the perimeter of the parking stalls to lessen any impacts on public streets.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

A combined trash enclosure/ storage shed is proposed near the southeast corner of the site near the private access drive within the development. The enclosure/shed will be constructed primarily of brick veneer to match the primary structure on the site.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

- 8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Lighting on the site will be directed away from adjoining properties and downward.

- 9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm water will drain from one of the multiple storm water intakes on the site to the proposed detention basin near the southeast corner of the site. From there, storm water will flow through a series of stormwater mains before conveying into Rock Creek.

- 10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The development will be serviced via six-inch water and six-inch sanitary lines. Connections for water service will be made from an existing line on NW 36th Street while the sanitary connection will be made to a future sanitary line to the east that will be installed with the public improvements for this plat.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The proposed plans meet the open space requirements of the Code with the majority of the open space being provided on the south side of the proposed building.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed landscaping conforms and generally meets the requirements of the code.

B. Building Design

- 1. Buildings shall have good scale and maintain or enhance the established scale of neighboring buildings and sites.**

The proposed 3,866 square-foot building is comparable in size and scale to the other commercial developments along NW 36th Street. The proposed size and design align with the regulations of the C-1 zoning district.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The building materials for the proposed building consist primarily of brick and metal panels. These materials are similar to what other developments along NW 36th Street have used previously. The minimum primary material requirements of the Code have been met.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

Any mechanical or utility equipment on the roof will be screened appropriately to not be visible from public view. The proposed trash enclosure/storage shed uses materials consistent with the primary structure on the site.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

There is only one building being proposed on the site.

C. Signs

Final design and allowances of signage will be determined with future sign permits.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

- 1. Conformance to Design Standards and other applicable code requirements**

The plans submitted generally conform to the written regulations of the City.

- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The site layout is compatible with setbacks and other sites in the neighboring area.

3. Layout and utilization of building, parking, drive-ways, and open spaces.

The layout and circulation system for traffic on the site is appropriate and comparable to similar commercial development along NW State Street and NW 36th Street.

4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.

The proposed 3,866 square-foot building is comparable in scale and style to the existing commercial developments along NW 36th Street and NW State Street. The building will be constructed primarily of brick and alpolc metal panels.

5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.

It appears that the impact on these utility systems can be accommodated adequately.

September 1, 2023

Eric Carstens, AICP
Planning Manager
City of Ankeny
1210 NW Prairie Ridge Drive
Ankeny, Iowa 50023

RE: Proposed McDonald's Restaurant located at 3525 NW State Street, Ankeny, IA

Dear Eric,

On behalf of the applicant, McDonald's USA, LLC, we are pleased to bring the above noted project to the City of Ankeny for your consideration of the requested Site Plan approval.

The project is located at the southeast corner of NW State Street and NW 36th Street. The lot the applicant is seeking to develop is part of the recently approved Aspen Ridge Plat and will be integral, as well as internally connected to, the overall development within this area. The proposal includes a new 3,660 square foot McDonald's restaurant, patio, 48 space parking lot, masonry trash corral, state of the art dual drive thru lanes and equipment, and an above ground stormwater detention area. All utilities are readily available to the site and are adequate to service the proposed use. Access to the site will be achieved via the proposed shared driveways onto NW State Street, NW 34th Street, and NW 36th Street. All the necessary easements for utility connections and access will be in place as part of the approved Plat prepared by the developer. The proposed use is consistent with the existing C-1 zoning designation and proposes to meet the requirements of the City's zoning ordinance.

Please feel free to reach out with any questions or concerns. We are looking forward to being part of this great community!

Respectfully,



Dan Olson,
Vice President - Watermark Engineering Resources



FINAL ENGINEERING SITE PLANS

FOR

McDONALD'S – ANKENY, IA

AT
3525 NW STATE STREET
CITY OF ANKENY
POLK COUNTY, IOWA

INDEX

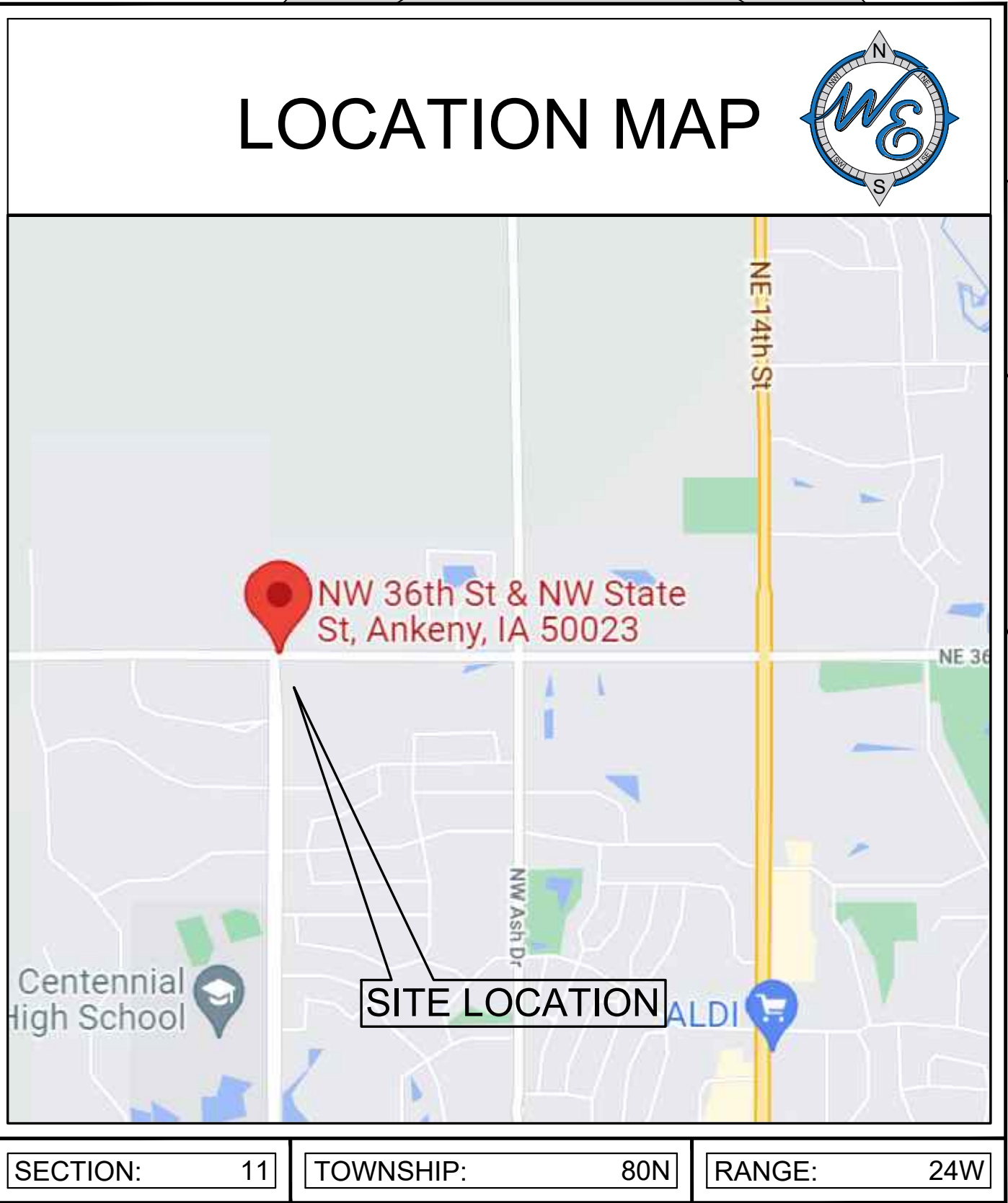
CIVIL ENGINEERING PLANS		REVISIONS						
		1	2	3	4	5	6	7
C-1	COVER SHEET	X	X					
C-2	GEOMETRIC PLAN	X	X					
C-3	GRADING PLAN	X	X					
C-4	ACCESSIBLE ROUTE GRADES AND DETAILS	X						
C-5	UTILITY PLAN	X	X					
C-6	PHASE 1 SOIL EROSION CONTROL PLAN	X						
C-7	PHASE 2 SOIL EROSION CONTROL PLAN	X						
C-8	SOIL EROSION CONTROL DETAILS AND SPECS	X	X					
C-9	PROJECT DETAILS		X					
C-10	PROJECT DETAILS	X						
C-11	PROJECT SPECIFICATIONS	X						
SUPPORTING DOCUMENTS		REVISIONS						
		1	2	3	4	5	6	7
SUV-1	ALTA/NSPS LAND TITLE SURVEY							
L-1	LANDSCAPE PLAN	X	X					
1 of 1	PHOTOMETRIC PLAN							
DT-1	DRIVE THRU PAVEMENT PLAN							
DT-2	DRIVE THRU EQUIPMENT PLAN							
DT-3	DRIVE THRU DETAILS							
DT-4	DRIVE THRU DETAILS							
FD-1	SITE STRUCTURAL DRAWINGS							
FD-2	SITE STRUCTURAL DRAWINGS							
FD-3	SITE STRUCTURAL DRAWINGS							
FD-4	SITE STRUCTURAL DRAWINGS							
A0.1	TRASH ENCLOSURE PLAN AND DETAILS							

NOTE: THE DESIGNS CONTAINED IN THE ABOVE PLANS AND SUPPORTING DOCUMENTS WERE PREPARED WITH THE UNDERSTANDING THAT THEY WOULD BE USED AS A WHOLE PLAN SET. EACH CONSTRUCTION DISCIPLINE IS TO USE ALL THE PLANS AND SUPPORTING DOCUMENTS TOGETHER AS A WHOLE AND NOT AS SEPARATE DOCUMENTS. EACH CONTRACTOR IS TO BECOME COMPLETELY FAMILIAR WITH THE WHOLE PLAN SET AND THE EXISTING SITE CONDITIONS. SHOULD ANYTHING WITH ALL THESE PLANS AND SUPPORTING DOCUMENTS BE INCONSISTENT WITH THE SITE CONDITIONS THEN THE CONTRACTOR IS TO CONTACT THE ENGINEER IMMEDIATELY BEFORE ANY CONSTRUCTION IS STARTED.

Know what's Below.
Call before you dig.



LOCATION MAP



BENCHMARK

REFERENCE BENCHMARK
TOP OF AN IRON ROD WITH AN ORANGE PLASTIC CAP, LOCATED ROUGHLY 90 FEET SOUTH AND 55 FEET WEST OF THE MOST WESTERLY OF THE THE NORTHWEST PROPERTY CORNERS.
ELEVATION = 981.24
ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), OBTAINED BY PROCESSING STATIC GPS SURVEY OBSERVATIONS THROUGH THE NATIONAL GEODETIC SURVEY ONLINE POSITIONING USER SERVICE (OPUS).

SITE BENCHMARK
1. CUT X ON THE NOSE OF A MEDIAN IN THE CENTER OF NORTHWEST STATE STREET, LOCATED ROUGHLY 4 FEET SOUTH AND 60 FEET WEST OF THE MOST WESTERLY OF THE THE NORTHWEST PROPERTY CORNERS.
ELEVATION = 981.51
2. THE MOST WESTERN BOLT ON THE BASE OF A FIRE HYDRANT, LOCATED ROUGHLY 290 FEET SOUTH OF THE MOST EASTERLY OF THE THE NORTHEAST PROPERTY CORNERS.
ELEVATION = 985.24

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	CATCH BASIN INLET	
	STORM MANHOLE	
	SANITARY MANHOLE	
	VALVE VAULT	
	FIRE HYDRANT	
	FLARED END SECTION	
	ELECTRICAL POWER POLE	
	OVERHEAD TRAFFIC SIGNAL	
	TRAFFIC SIGNAL MANHOLE	
	OVERHEAD ELECTRIC WIRES	
	TRANSFORMER PAD	
	TELEPHONE PEDESTAL	
	TELEPHONE MANHOLE	
	CABLE TELEVISION PEDESTAL	
	COMMONWEALTH EDISON MANHOLE	
	B/BOX	
	LIGHT POLE	
	SIGN	
	BOLLARD POLE	
	GAS MARKER	
	ELECTRIC MARKER	
	TELEPHONE MARKER	
	WATER MAIN	
	GAS MAIN	
	ELECTRIC LINE	
	TELEPHONE LINE	
	CABLE TV LINE	
	SANITARY SEWER	
	STORM SEWER	
	GUY POLE	
	CONIFEROUS TREE W/DIAMETER	
	DECIDUOUS TREE W/DIAMETER	
	WOOD FENCE	
	CHAIN LINK FENCE	
	METAL GUARDRAIL	
	CONCRETE SURFACE	
	DEPRESSED CURB	
	CONTOUR LINE	
	FINISHED FLOOR ELEVATION	
	PAVEMENT ELEVATION	
	MATCH EXISTING ELEVATION	
	GROUND ELEVATION	
	TOP OF WALK ELEVATION	
	TOP OF RETAINING WALL ELEVATION	
	FLOW LINE ELEVATION	
	TOP OF CURB ELEVATION	
	RIM ELEVATION	
	DOWNSPOUT LOCATION	
	PERVIOUS AREA SLOPE DIRECTION	
	PAVEMENT SLOPE DIRECTION	
	OVERLAND OVERFLOW DIRECTION	
	INLET PROTECTION	
	INLET BASKET FILTER	



I, JEFFREY C. MILLER, A LICENSED PROFESSIONAL ENGINEER OF IOWA, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, NOT THE SUPPORTING DOCUMENTS, AS LISTED IN THE INDEX, HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL PART OF THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATE:

IOWA LICENSED PROFESSIONAL ENGINEER NO. P25935.
MY LICENSE EXPIRES ON 12-31-2023.

UNLESS THIS DOCUMENT BEARS ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE DESIGN ENGINEER, IT IS NOT A VALID DOCUMENT.

COVER SHEET

McDonald's
110 N. Carpenter St.
Chicago, IL 60607
McDonald's - ANKENY, IA
3525 NW State St
Ankeny, Iowa

Prepared By:

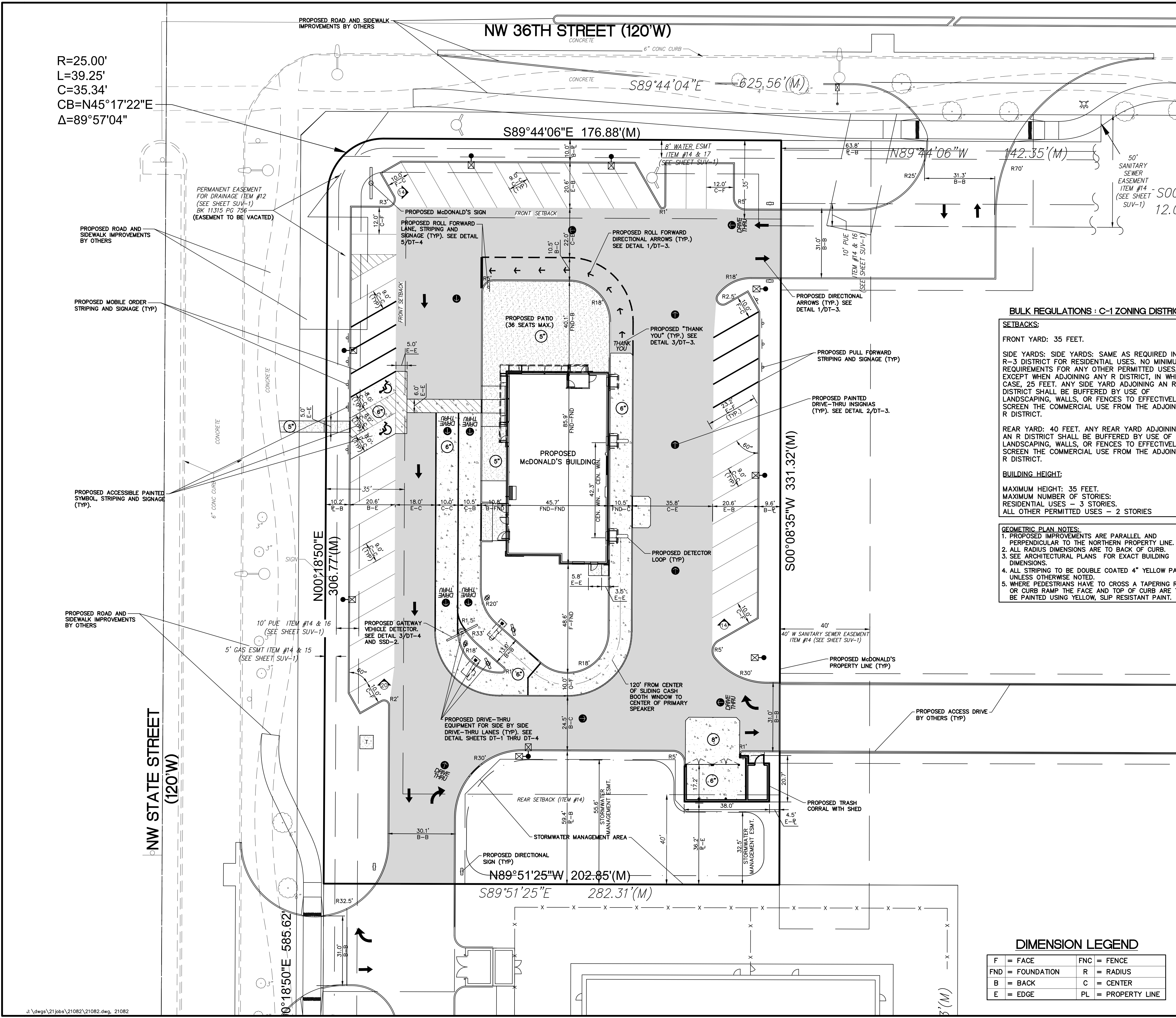


CHECKED BY: J. MILLER
DESIGN BY: H. WITTENKELLER
DRAWN BY: D. OLSON
DATE: AUGUST 4, 2023
SCALE: NONE
PROJECT NO.: 21-082

C-1

LC #14-0363

COVER SHEET



GENERAL NOTES:
1. THESE PLANS ARE BASED ON:
1.1. THE ALTA/ NSPS LTS
SURVEY PROJECT #0220491.00 DATED 05/05/2022
PREPARED BY: FARNSWORTH GROUP, INC.
20 ALLEN AVE, SUITE 200, ST. LOUIS, MISSOURI 63119
PHONE: (314) 962-7900
1.2. ASPEN RIDGE COMMERCIAL PLAT 2, PUBLIC IMPROVEMENT
PLANS. PROJECT NUMBER GN-01. DATED 3/27/23
PREPARED BY: MCCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325
1.3. ASPEN RIDGE COMMERCIAL PLAT 3 PUBLIC IMPROVEMENT
PLANS DATED 8/9/23
PREPARED BY: MCCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE
DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY
ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND
SPECIFICATIONS.

ON SITE PARKING DATA	
REGULAR SPACES	46
ADA ACCESSIBLE SPACES	2
TOTAL SPACES	48

1 SPACE PER 100 SF BLDG AREA = 3,866/100 = 39
1 SPACE PER 4 OUTDOOR SEATING = 36/4 = 9
TOTAL PARKING SPACES REQUIRED = 39 + 9 = 48

SITE DATA	
CURRENT ZONING	= C-1
PROPOSED LOT AREA	= 66,953 S.F. (1.54 AC.)
IMPERVIOUS AREA	= 47,388 S.F. (1.09 AC.) (70.8%)
PERVIOUS AREA	= 19,565 S.F. (0.45 AC.) (29.2%)
BUILDING AREA	= 3,866 S.F.
E.R.U. = 47,388 / 4000	= 12

BULK REGULATIONS : C-1 ZONING DISTRICT

SETBACKS:
FRONT YARD: 35 FEET.
SIDE YARDS: SIDE YARDS: SAME AS REQUIRED IN R-3 DISTRICT FOR RESIDENTIAL USES. NO MINIMUM REQUIREMENTS FOR ANY OTHER PERMITTED USES, EXCEPT WHEN ADJOINING ANY R DISTRICT, IN WHICH CASE, 25 FEET. ANY SIDE YARD ADJOINING AN R DISTRICT SHALL BE BUFFERED BY USE OF LANDSCAPING, WALLS, OR FENCES TO EFFECTIVELY SCREEN THE COMMERCIAL USE FROM THE ADJOINING R DISTRICT.
REAR YARD: 40 FEET. ANY REAR YARD ADJOINING AN R DISTRICT SHALL BE BUFFERED BY USE OF LANDSCAPING, WALLS, OR FENCES TO EFFECTIVELY SCREEN THE COMMERCIAL USE FROM THE ADJOINING R DISTRICT.
BUILDING HEIGHT:
MAXIMUM HEIGHT: 35 FEET.
MAXIMUM NUMBER OF STORIES:
RESIDENTIAL USES - 3 STORIES.
ALL OTHER PERMITTED USES - 2 STORIES

GEOMETRIC PLAN NOTES:
1. PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE.
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

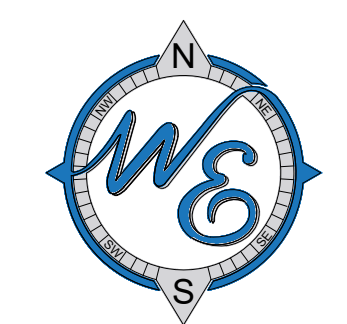
PAVEMENT LEGEND

SIDEWALK	5" P.C.C. (SIX BAG MIX) 4" BASE COURSE, CRUSHED STONE OR LESTONE (CA-6) COMPACTED SUB-BASE
STANDARD DUTY	1 1/2" HOT-MIX ASPHALT SURFACE COURSE, MIX "C" IL-9.5, NS0; PG 64-22 2 1/2" HOT-MIX ASPHALT BINDER COURSE, IL-19, NS0; PG 64-22 8" BASE COURSE, CRUSHED STONE OR LESTONE (CA-6) 4 OZ WOVEN FABRIC (CLAY SUB-BASE) OR 8 OZ NON-WOVEN FABRIC (SANDY/GRANULAR SUB-BASE) COMPACTED SUB-BASE
HEAVY DUTY	1 1/2" HOT-MIX ASPHALT SURFACE COURSE, MIX "C" IL-9.5, NS0; PG 64-22 3" HOT-MIX ASPHALT BINDER COURSE, IL-19, NS0; PG 64-22 10" BASE COURSE, CRUSHED STONE OR LESTONE (CA-6) 4 OZ WOVEN FABRIC (CLAY SUB-BASE) OR 8 OZ NON-WOVEN FABRIC (SANDY/GRANULAR SUB-BASE) COMPACTED SUB-BASE
CONCRETE (DRIVE-THRU)	6" P.C. CONCRETE WITH 6"x6" NO. 10 WELDED WIRE MESH MESH TO BE FLAT STOCK ONLY 4" BASE COURSE, CRUSHED STONE OR LESTONE (CA-6) 4 OZ WOVEN FABRIC (CLAY SUB-BASE) OR 8 OZ NON-WOVEN FABRIC (SANDY/GRANULAR SUB-BASE) COMPACTED SUB-BASE
CONCRETE DRIVEWAY AND TRASH APRONS	8" P.C. CONCRETE WITH 6"x6" NO. 10 WELDED WIRE MESH MESH TO BE FLAT STOCK ONLY 4" BASE COURSE, CRUSHED STONE OR LESTONE (CA-6) 4 OZ WOVEN FABRIC (CLAY SUB-BASE) OR 8 OZ NON-WOVEN FABRIC (SANDY/GRANULAR SUB-BASE) COMPACTED SUB-BASE

NOTES:
1. REFERENCE 2023 EDITION OF S.U.D.A.S. AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR PAVEMENTS, AGGREGATE BASE COURSE, SUB-BASE AND FOR FABRICS.
2. THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.
3. SEE PROJECT SPECIFICATIONS FOR SUB-BASE AND BASE COURSE COMPACTION.
4. ALL CONCRETE FLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER. CONTRACTOR TO STAY AS CLOSE TO 8'x8' SQUARE PANELS IN LARGE CONCRETE FLATWORK AREAS AS POSSIBLE.
5. FOR SIDEWALKS, PROVIDE TOOLED JOINTS AT 5' O.C., CONTRACTION JOINTS AT 15' O.C., EXPANSION JOINTS AT 45' O.C.
6. PROVIDE AN EXPANSION JOINT ADJACENT TO ALL STRUCTURES. THESE JOINTS SHOULD BE SEALED WITH A TOOL-FINISHED SILICONE SEALANT PER IOWA D.O.T. STANDARD.

DIMENSION LEGEND

F = FACE	FNC = FENCE
FND = FOUNDATION	R = RADIUS
B = BACK	C = CENTER
E = EDGE	PL = PROPERTY LINE



GEOMETRIC PLAN

DATE: 8/1/2023
PER CITY COMMENTS DATED 8/1/2023
REVISED: 8/1/2023
NO. 1
2

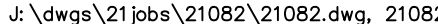
Prepared For:
McDonald's
110 N. Carpenter St.
Chicago, IL 60607
McDonald's - ANKENY, IA
3525 NW State St
Ankeny, Iowa

Prepared By:
Watmark Engineering Resources
12631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800
watermark-engineering.com

CHECKED BY: J.MILLER
DESIGN BY: H.WITTENKELLER
DRAWN BY: DOLSON
DATE: AUGUST 4, 2023
SCALE: 1" = 20'
PROJECT NO.: 21-082

C-2
LC #14-0363

GEOMETRIC PLAN



GENERAL NOTES:

1. THESE PLANS ARE BASED ON:
 - 1.1. THE ALTA/ NSPS LTS SURVEY PROJECT #0220491.00 DATED 05/05/2022 PREPARED BY: FARNSWORTH GROUP, INC.
20 ALLEN AVE, SUITE 200, ST. LOUIS, MISSOURI 63119
PHONE: (314) 982-7900
- 1.2. ASPEN RIDGE COMMERCIAL PLAT 2, PUBLIC IMPROVEMENT PLANS, PROJECT NUMBER GN-01, DATED 3/27/23
PREPARED BY: McCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325
- 1.3. ASPEN RIDGE COMMERCIAL PLAT 3 PUBLIC IMPROVEMENT PLANS DATED 8/9/23
PREPARED BY: McCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325

2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

TOP OF AN IRON ROD WITH AN ORANGE PLASTIC CAP, LOCATED
ROUGHLY 90 FEET SOUTH AND 55 FEET WEST OF THE MOST
WESTERLY OF THE THE NORTHWEST PROPERTY CORNERS.
ELEVATION = 981.24
ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
OBTAINED BY PROCESSING STATIC GPS SURVEY OBSERVATIONS
THROUGH THE NATIONAL GEODETIC SURVEY ONLINE POSITIONING
USER SERVICE (OPUS).

1. CUT X ON THE NOSE OF A MEDIAN IN THE CENTER OF NORTHWEST STATE STREET, LOCATED ROUGHLY 4 FEET SOUTH AND 60 FEET WEST OF THE MOST WESTERLY OF THE THE NORTHWEST PROPERTY CORNERS.
ELEVATION = 981.51
2. THE MOST WESTERN BOLT ON THE BASE OF A FIRE HYDRANT, LOCATED ROUGHLY 290 FEET SOUTH OF THE MOST EASTERLY OF THE THE NORTHEAST PROPERTY CORNERS.
ELEVATION = 985.24



1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
2. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS \pm , THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR CORRECTION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE \pm GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
3. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING, BUT NOT LIMITED TO, WIND HOLES, MCKIPS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPING.
4. ALL RETAINING AND/OR DECORATIVE LANDSCAPE WALLS OR CURBS SHOWN ON THIS PLAN, INCLUDING DETAILS AND SECTIONS, ARE TO ILLUSTRATE GENERAL LOCATION, LENGTH, AND HEIGHT. STRUCTURAL DESIGN, INCLUDING PROPER DRAINAGE, TIE-BACKS, AND SHORING AS WELL AS CONSTRUCTION MEANS ARE NOT ADDRESSED AS PART OF THESE PLANS. A STRUCTURAL ENGINEER SHOULD BE ENGAGED BY THE GENERAL CONTRACTOR WHEN IT IS DEEMED NECESSARY. WATERMARK ENGINEERING RESOURCES ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURAL ELEMENT.

Elevation	Area (SF)	Volume (CF)
981	5645	4932.5
980	4220	
979	2978	3599
978	1946	2462
977	1162	1554
976	587	874.5
	Total	13422

NOTE:
POST-CONSTRUCTION VOLUME OF THE
DETENTION BASIN SHALL BE VERIFIED
AND PROVIDED TO THE CITY BEFORE A
FINAL CERTIFICATE OF OCCUPANCY CAN
BE ISSUED.

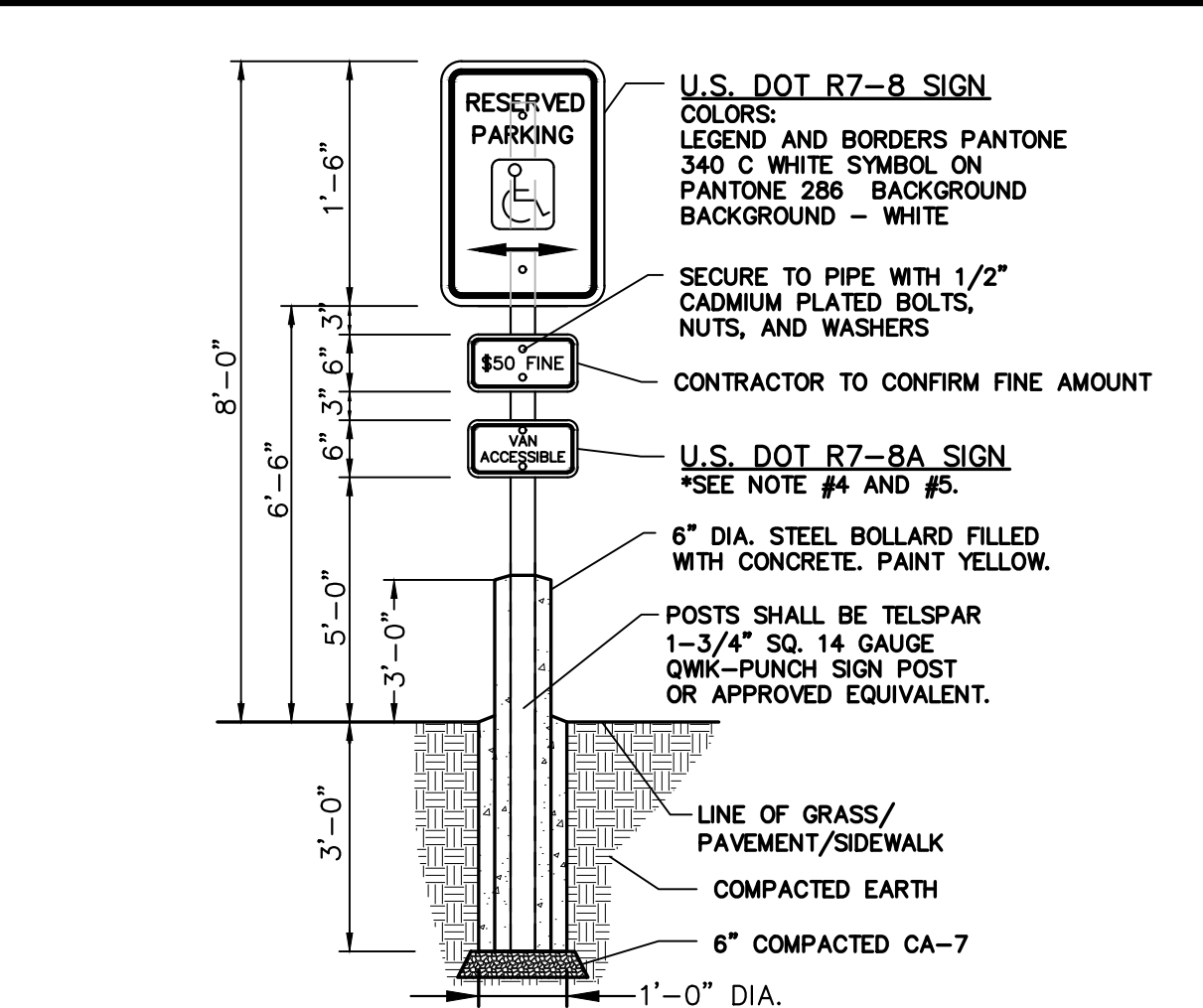
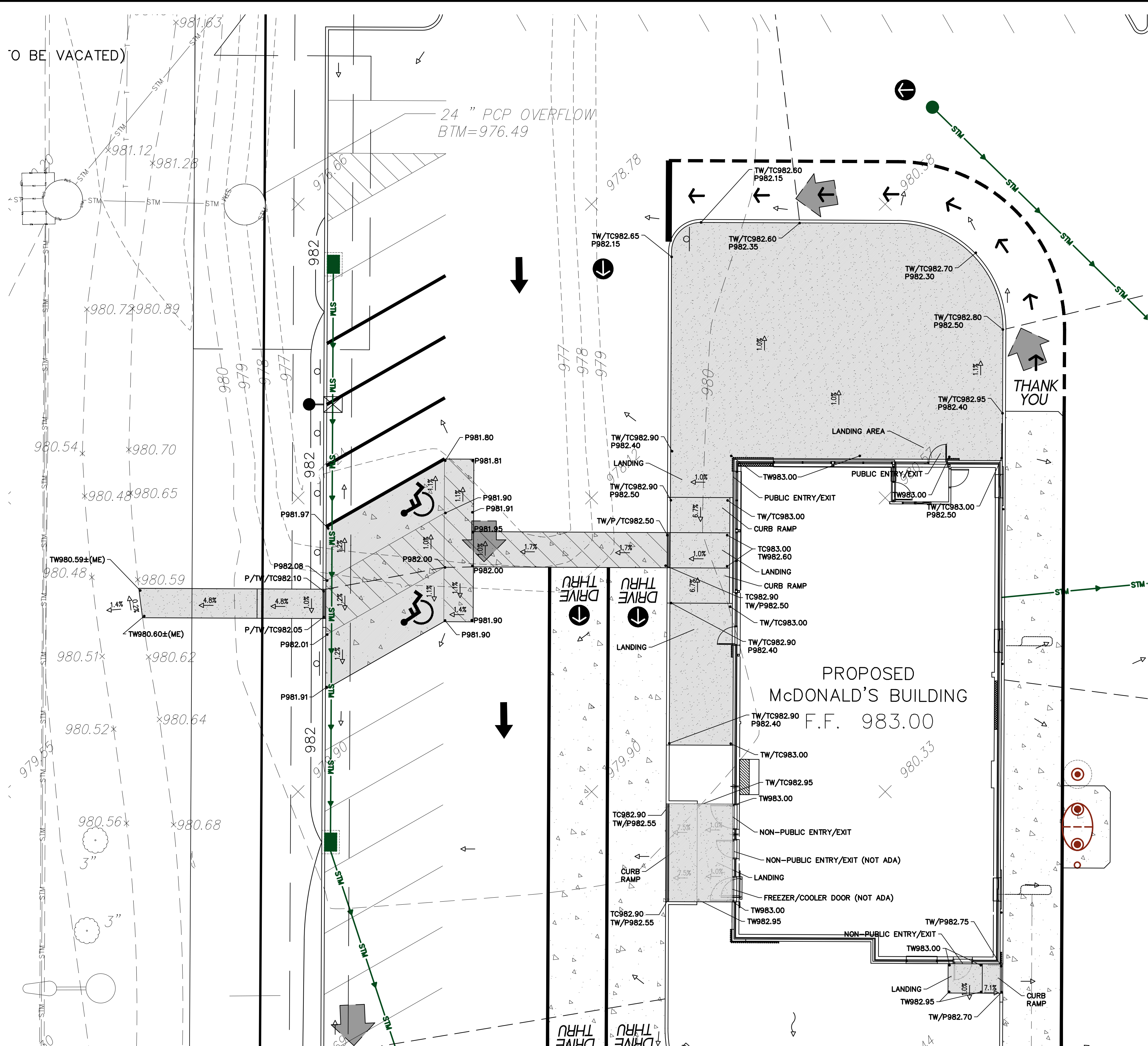


GRADING PLAN

C-3					
LC #14-0363					
CHECKED BY: J.MILLER DESIGN/BY: H.WITTENKELLER DRAWN BY: D.OLSON DATE: AUGUST 4, 2023 SCALE: 1" = 20' PROJECT NO.: 21-032					
watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800					
					
Prepared By:					
 McDonald's 110 N. Carpenter St. Chicago, IL 60607 McDONALD'S - ANKENY, IA 3525 NW State St Ankeny , Iowa					
Prepared For:					
NO.					
REVISIONS					
DATE					
9/1/2023					
PER CITY COMMENTS DATED 8/18/23					
PER CITY COMMENTS DATED 9/13/23					
9/21/2023					

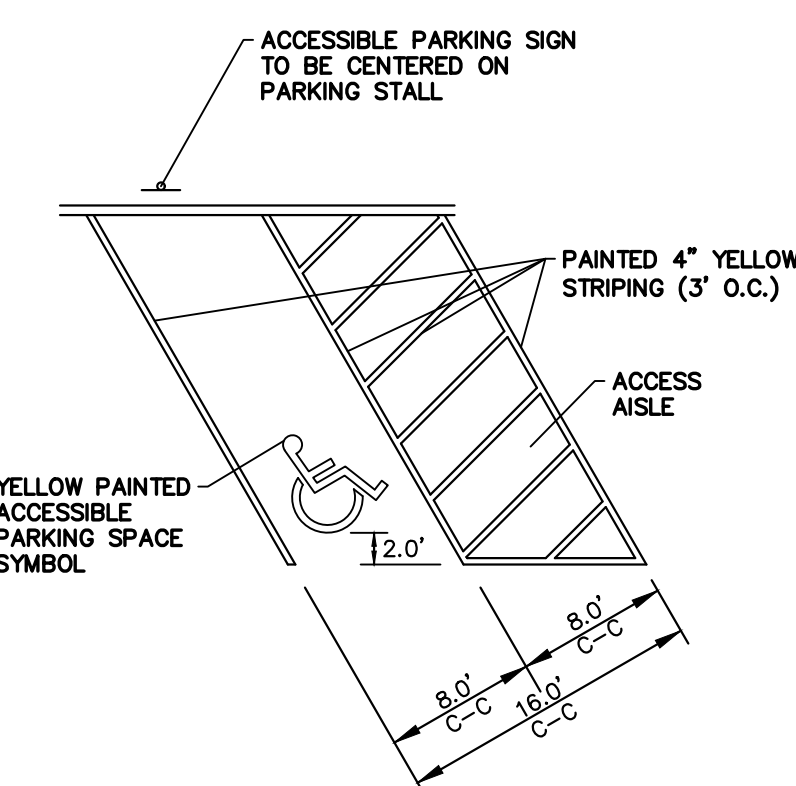
PROJECT NO. _____

CEPADING DI ANI _____

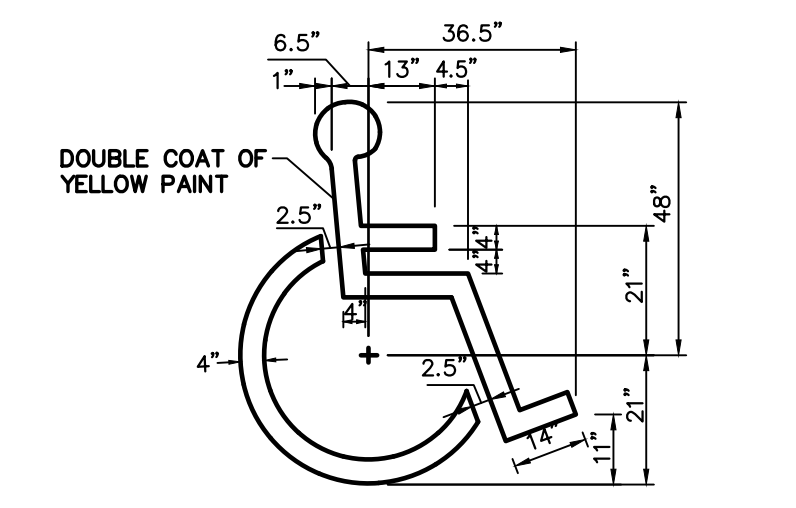


- WHERE A FINE IN EXCESS OF \$50 IS ESTABLISHED BY A MUNICIPALITY BY ORDINANCE IN ACCORDANCE WITH THE STATUTES, THE ACTUAL AMOUNT OF THE FINE SHOULD BE SHOWN.
- THIS PLATE MAY BE MOUNTED DIRECTLY BELOW THE R7-8 SIGN OR COMBINED WITH THAT SIGN ON A SINGLE 12 INCH BY 24 INCH PANEL.
- ON THE RESERVED PARKING SIGN, THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "TIME" SUCH AS 9 AM-5 PM WHERE A PART TIME RESTRICTION EXISTS.
- ONE IN EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8 FEET WIDE MINIMUM AND SHALL BE DESIGNATED "VAN ACCESSIBLE".
- THE LOWEST BOTTOM EDGE OF THE LOWEST REQUIRED SIGN SHALL BE MOUNTED AT 60" ABOVE FINISHED GRADE.
- COLORS FOR BOTH DOT SIGN R7-101 AND USDOT R7-8A, LEGEND AND BORDERS-GREEN NON-REFLECTORIZED (PANTONE 340C) BACKGROUND-WHITE REFLECTORIZED

ACCESSIBLE PARKING SPACE BOLLARD SIGN DETAIL

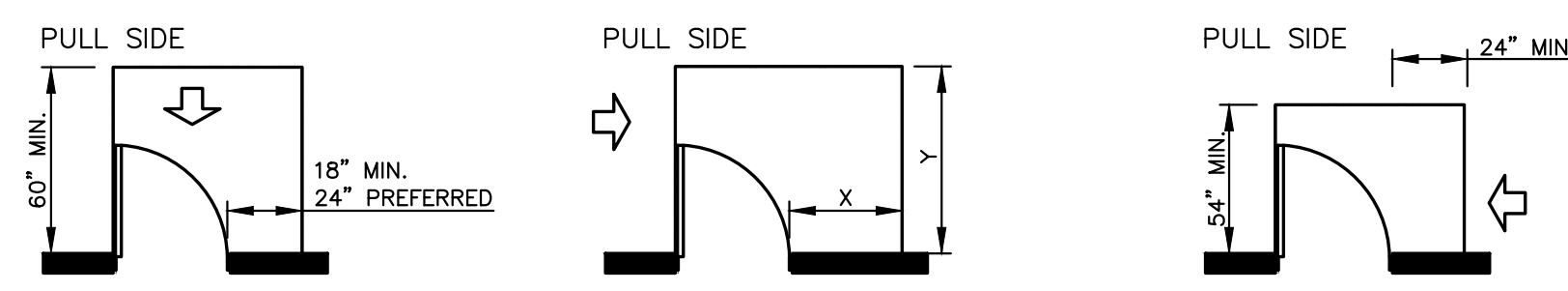


ACCESSIBLE PARKING SPACE DETAIL



ACCESSIBLE PARKING SPACE SYMBOL

- SYMBOL IS CENTERED ON WIDTH OF PARKING STALL AND 2' FROM THE END OF THE STALL.



TYPICAL ACCESSIBLE LANDING AREA DETAIL

GENERAL NOTES:

- THESE PLANS ARE BASED ON:
 - THE ALTA/ NSPS LTS SURVEY PROJECT #0220491.00 DATED 05/05/2022 PREPARED BY: FARNSWORTH GROUP, INC. 20 ALLEN AVE, SUITE 200, ST. LOUIS, MISSOURI 63119 PHONE: (314) 962-7900
 - ASPEN RIDGE COMMERCIAL PLAT 2, PUBLIC IMPROVEMENT PLANS, PROJECT NUMBER GN-01, DATED 3/27/23 PREPARED BY: McCLURE ENGINEERING 1360 NW 121 ST., CLIVE, IA 50325
 - ASPEN RIDGE COMMERCIAL PLAT 3 PUBLIC IMPROVEMENT PLANS DATED 8/9/23 PREPARED BY: McCLURE ENGINEERING 1360 NW 121 ST., CLIVE, IA 50325
- PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

REFERENCE BENCHMARK
TOP OF AN IRON ROD WITH AN ORANGE PLASTIC CAP, LOCATED ROUGHLY 90 FEET SOUTH AND 55 FEET WEST OF THE MOST WESTERLY OF THE THE NORTHWEST PROPERTY CORNERS.
ELEVATION = 981.24

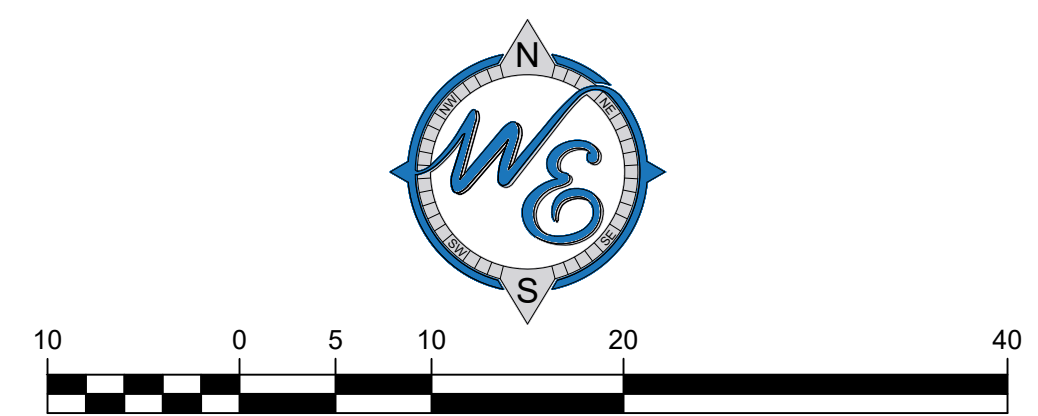
ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), OBTAINED BY PROCESSING STATIC GPS SURVEY OBSERVATIONS THROUGH THE NATIONAL GEODETIC SURVEY ONLINE POSITIONING USER SERVICE (OPUS).

SITE BENCHMARK
1. CUT X ON THE NOSE OF A MEDIAN IN THE CENTER OF NORTHWEST STATE STREET, LOCATED ROUGHLY 4 FEET SOUTH AND 60 FEET WEST OF THE MOST WESTERLY OF THE THE NORTHWEST PROPERTY CORNERS.
ELEVATION = 981.51

2. THE MOST WESTERN BOLT ON THE BASE OF A FIRE HYDRANT, LOCATED ROUGHLY 290 FEET SOUTH OF THE MOST EASTERLY OF THE THE NORTHEAST PROPERTY CORNERS.
ELEVATION = 985.24

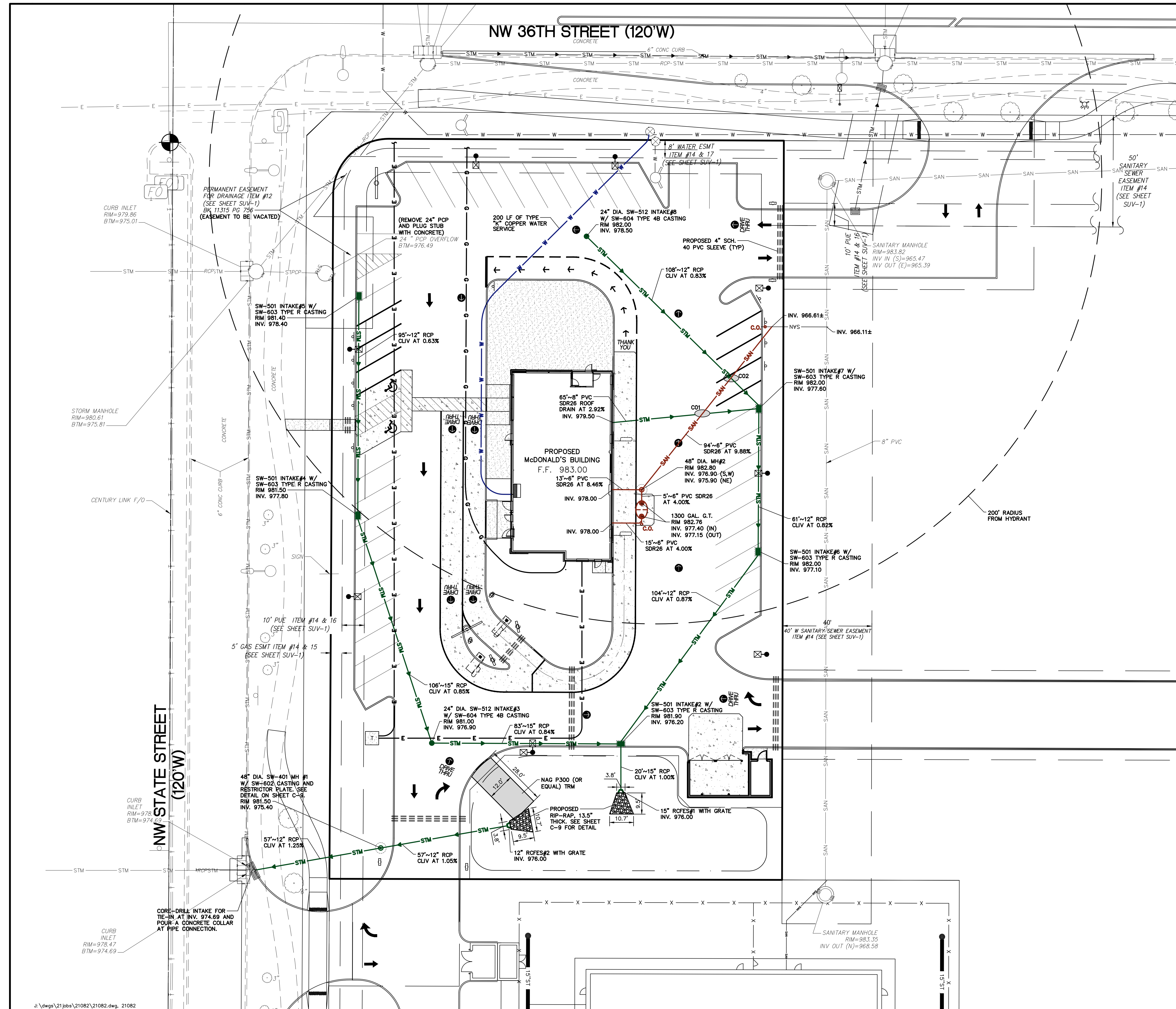
ACCESSIBLE ROUTE GRADES - PLAN VIEW

SCALE: 1" = 10' = A.D.A. ACCESSIBLE ROUTE



ACCESSIBLE ROUTE GRADES AND DETAILS

DATE: 8/1/2023		REVISIONS: 1	
PER CITY COMMENTS DATED 8/18/23		NONE	
NO. 1		2	
Prepared For:			
McDonald's 711 Jorie Blvd., 3rd Floor Oak Brook, IL 60523 McDONALD'S - ANKENY, IA 3525 NW State St Ankeny, Iowa			
Prepared By:			
Watermark Engineering Resources 1631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800 watermark-engineering.com			
CHECKED BY: J.MILLER	DESIGN BY: H.WITTENKELLER	DRAWN BY: DOLSON	DATE: AUGUST 4, 2023
SCALE: 1" = 10'		PROJECT NO.: 21-082	
C-4		LC #14-0363	



GENERAL NOTES:
1. THESE PLANS ARE BASED ON:
1.1. THE ALTA/ NSPS LTS
SURVEY PROJECT #0220491.00 DATED 05/05/2022
PREPARED BY: FARNSWORTH GROUP, INC.
20 ALLEN AVE, SUITE 200, ST. LOUIS, MISSOURI 63119
PHONE: (314) 962-7900
1.2. ASPEN RIDGE COMMERCIAL PLAT 2, PUBLIC IMPROVEMENT
PLANS. PROJECT NUMBER GN-01. DATED 3/27/23
PREPARED BY: MCCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325
1.3. ASPEN RIDGE COMMERCIAL PLAT 3 PUBLIC IMPROVEMENT
PLANS DATED 8/9/23
PREPARED BY: MCCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE
DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY
ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND
SPECIFICATIONS.

REFERENCE BENCHMARK
TOP OF AN IRON ROD WITH AN ORANGE PLASTIC CAP, LOCATED
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ELEVATION = 981.24

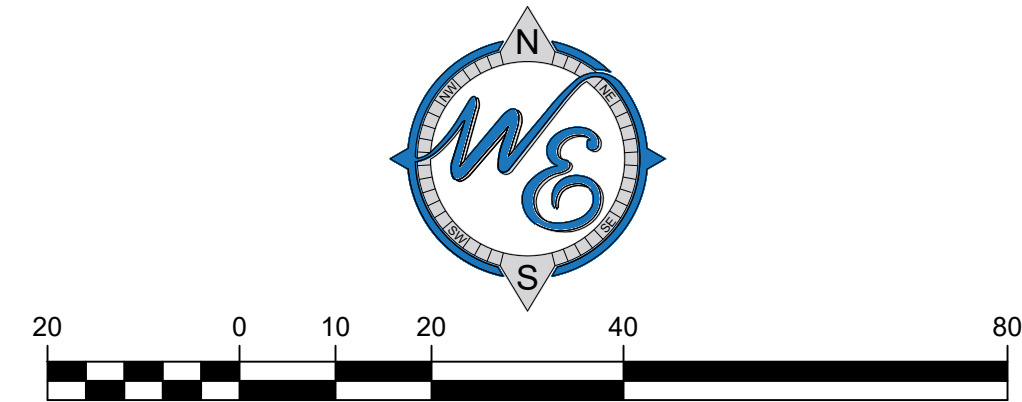
ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88),
OBTAINED BY PROCESSING STATIC GPS SURVEY OBSERVATIONS
THROUGH THE NATIONAL GEODETIC SURVEY ONLINE POSITIONING
USER SERVICE (OPUS).

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1. CUT X ON THE NOSE OF A MEDIAN IN THE CENTER OF
NORTHWEST STATE STREET, LOCATED ROUGHLY 4 FEET
SOUTH AND 60 FEET WEST OF THE MOST WESTERLY OF THE
THE NORTHWEST PROPERTY CORNERS.
ELEVATION = 981.51

2. THE MOST WESTERN BOLT ON THE BASE OF A FIRE
HYDRANT, LOCATED ROUGHLY 290 FEET SOUTH OF THE MOST
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ELEVATION = 985.24

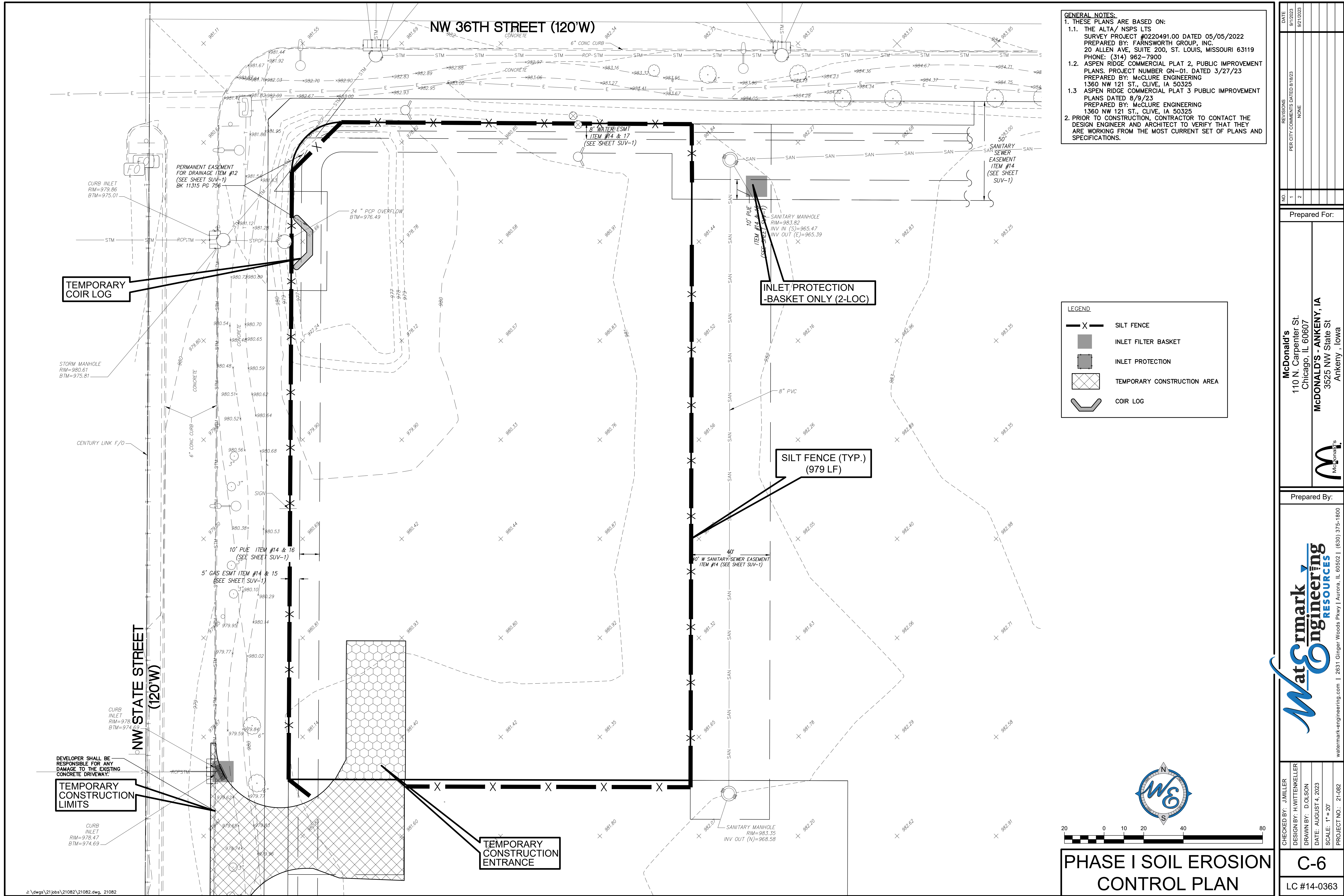
UTILITY PLAN NOTES:
1. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS
TO VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS
PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND
WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIT
THE BUILDING(S). CONTRACTOR TO REPORT IN WRITING ANY
DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO
THE DESIGN ENGINEER IMMEDIATELY FOR RESOLUTION OF THE
CONFLICT IN WRITING.
2. GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION
AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS,
ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE
PUBLIC UTILITY COMPANIES AND ARCHITECT PRIOR TO
CONSTRUCTION. THE INSTALLATION OF THE PUBLIC UTILITIES
AND NECESSARY SLEEVEING TO BE INCLUDED AS PART OF
GENERAL CONTRACTOR'S SCOPE OF WORK FOR THIS
PROJECT.

UTILITY CROSSINGS			
C01	BOTTOM OF 8" STORM SEWER TOP OF 6" SANITARY SERVICE	978.32 972.12	6.2'
C02	BOTTOM OF 12" STORM SEWER TOP OF 6" SANITARY SERVICE	977.71 970.05	7.66'



UTILITY PLAN

DATE	9/12/2023	PER CITY COMMENTS DATED 9/18/23	9/21/2023
REVISIONS	1	PER CITY COMMENTS DATED 9/18/23	2
NO	1	2	
Prepared For:			
McDonald's 110 N. Carpenter St. Chicago, IL 60607 McDonald's - ANKENY, IA 3525 NW State St Ankeny, Iowa			
Prepared By:			
watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800			
CHECKED BY: J. MILLER	DESIGN BY: H. WITTENKELLER	DRAWN BY: D. OLSON	DATE: AUGUST 4, 2023
SCALE: 1" = 20'	PROJECT NO.: 21-082	UTILITY PLAN	
C-5		LC #14-0363	



GENERAL NOTES:
1. THESE PLANS ARE BASED ON:
1.1. THE ALTA/ NSPS LTS
SURVEY PROJECT #0220491.00 DATED 05/05/2022
PREPARED BY: FARNSWORTH GROUP, INC.
20 ALLEN AVE, SUITE 200, ST. LOUIS, MISSOURI 63119
PHONE: (314) 962-7900
1.2. ASPEN RIDGE COMMERCIAL PLAT 2, PUBLIC IMPROVEMENT
PLANS. PROJECT NUMBER GN-01, DATED 3/27/23
PREPARED BY: MCCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325
1.3. ASPEN RIDGE COMMERCIAL PLAT 3 PUBLIC IMPROVEMENT
PLANS DATED 8/9/23
PREPARED BY: MCCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE
DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY
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SPECIFICATIONS.

LEGEND

- SILT FENCE
- INLET FILTER BASKET
- INLET PROTECTION
- TEMPORARY CONSTRUCTION AREA
- COIR LOG

DATE	9/1/2023
REVISIONS	PER CITY COMMENTS DATED 9/18/23
NO.	1
2	

Prepared For:

McDonald's
110 N. Carpenter St.
Chicago, IL 60607

McDonald's - ANKENY, IA
3525 NW State St
Ankeny, Iowa

Prepared By:

Watermark Engineering Resources

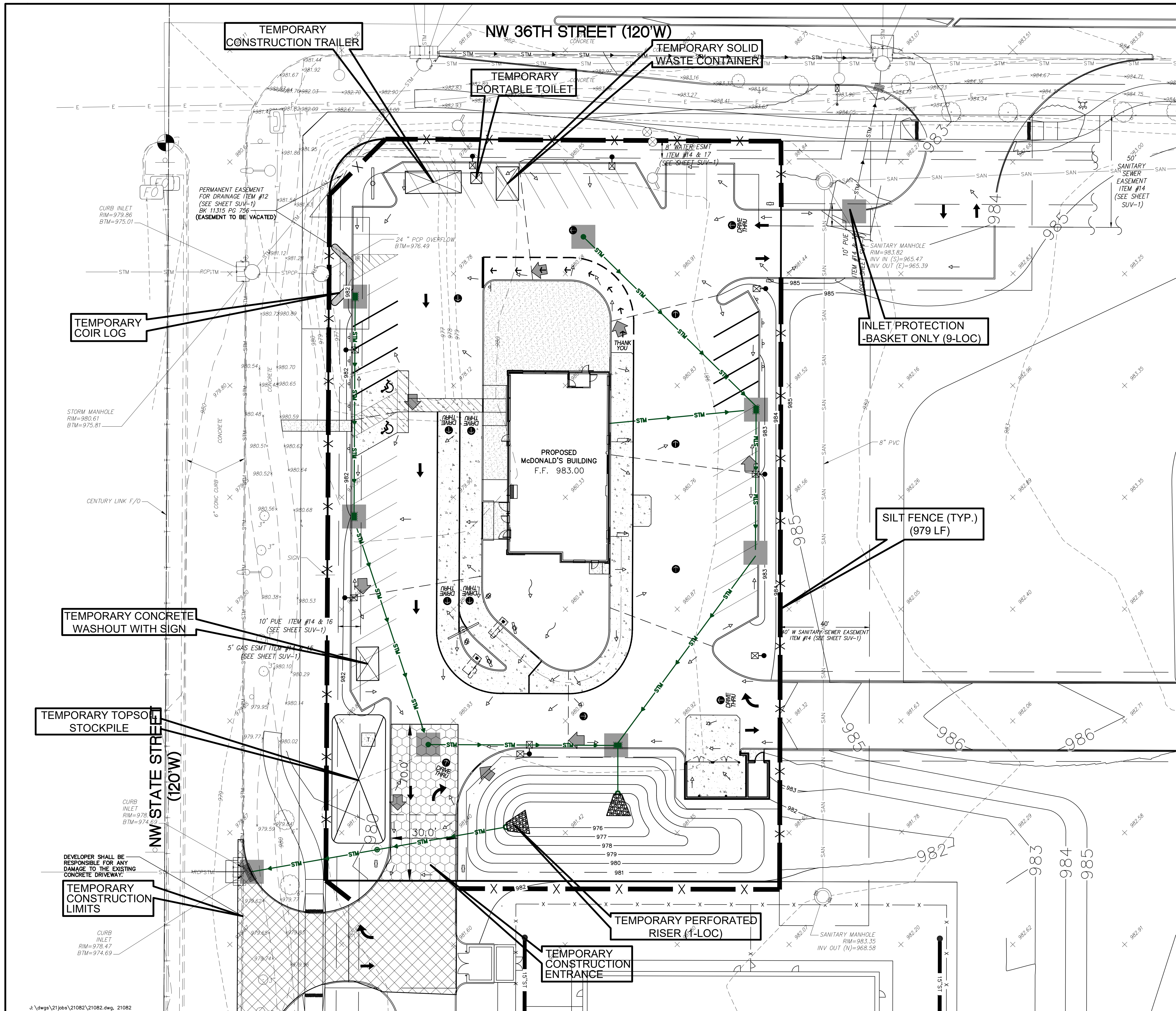
watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J.MILLER
DESIGN BY: H.WITTENKELLER
DRAWN BY: D.OLSON
DATE: AUGUST 4, 2023
SCALE: 1" = 20'
PROJECT NO.: 21-082

PHASE I SOIL EROSION CONTROL PLAN

C-6

LC #14-0363



GENERAL NOTES:
1. THESE PLANS ARE BASED ON:
1.1. THE ALTA/ NSPS LTS
SURVEY PROJECT #0220491.00 DATED 05/05/2022
PREPARED BY: FARNSWORTH GROUP, INC.
20 ALLEN AVE, SUITE 200, ST. LOUIS, MISSOURI 63119
PHONE: (314) 962-7900
1.2. ASPEN RIDGE COMMERCIAL PLAT 2, PUBLIC IMPROVEMENT
PLANS: PROJECT NUMBER GN-01, DATED 3/27/23
PREPARED BY: MCCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325
1.3. ASPEN RIDGE COMMERCIAL PLAT 3 PUBLIC IMPROVEMENT
PLANS DATED 8/9/23
PREPARED BY: MCCLURE ENGINEERING
1360 NW 121 ST., CLIVE, IA 50325
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE
DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY
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REFERENCE BENCHMARK
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ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88),
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SITE BENCHMARK
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HYDRANT, LOCATED ROUGHLY 290 FEET SOUTH OF THE MOST
EASTERLY OF THE THE NORTHEAST PROPERTY CORNERS.
ELEVATION = 985.24

LEGEND

- SILT FENCE
- INLET FILTER BASKET
- INLET PROTECTION
- TEMPORARY CONSTRUCTION AREA
- COIR LOG

DATE	9/1/2023
REVISIONS	PER CITY COMMENTS DATED 9/1/2023
NO	1
NO	2

Prepared For:

McDonald's
110 N. Carpenter St.
Chicago, IL 60607

McDonald's - ANKENY, IA
3525 NW State St
Ankeny, Iowa

Prepared By:

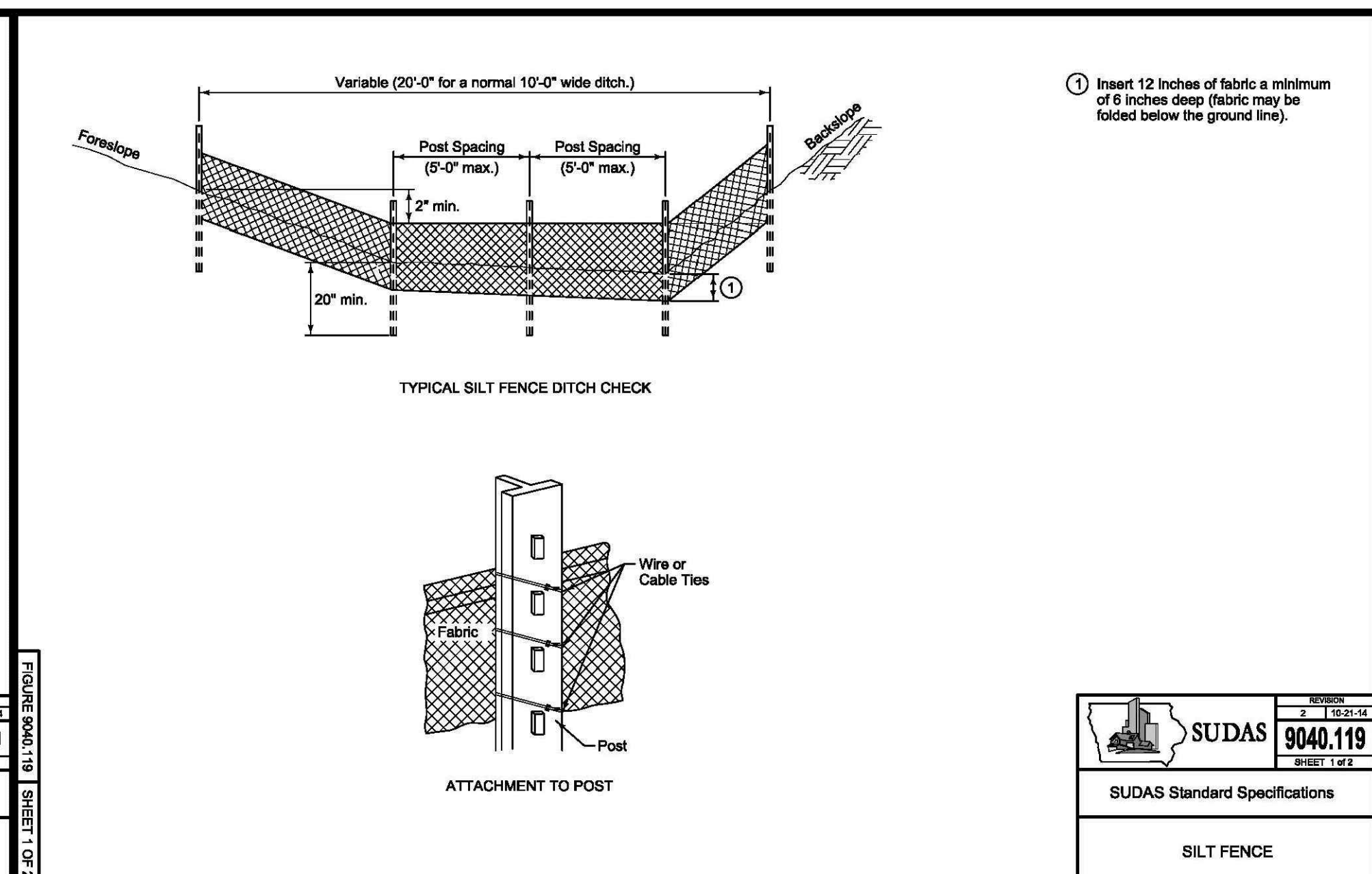
Watermark Engineering Resources
2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800
watermark-engineering.com

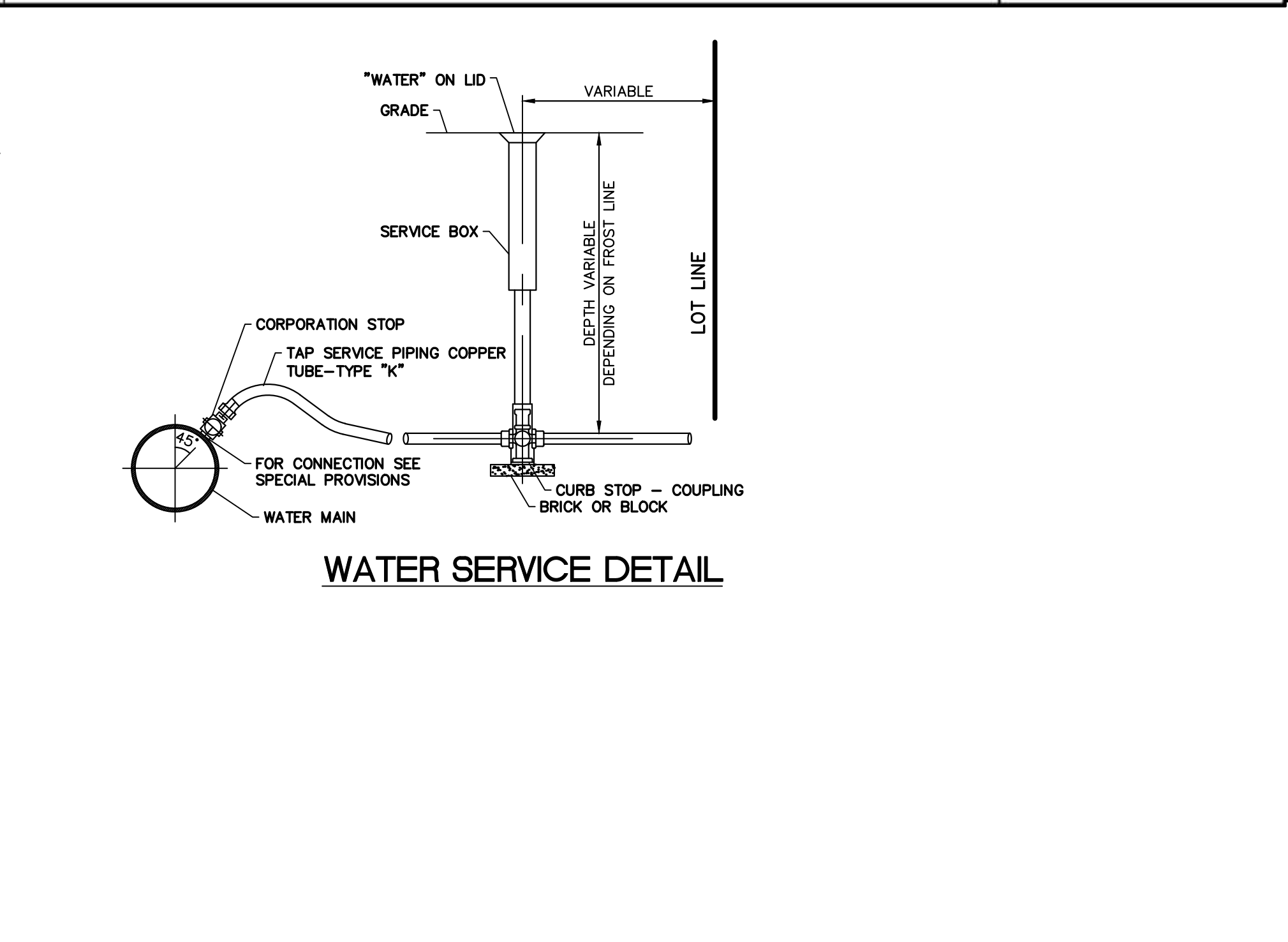
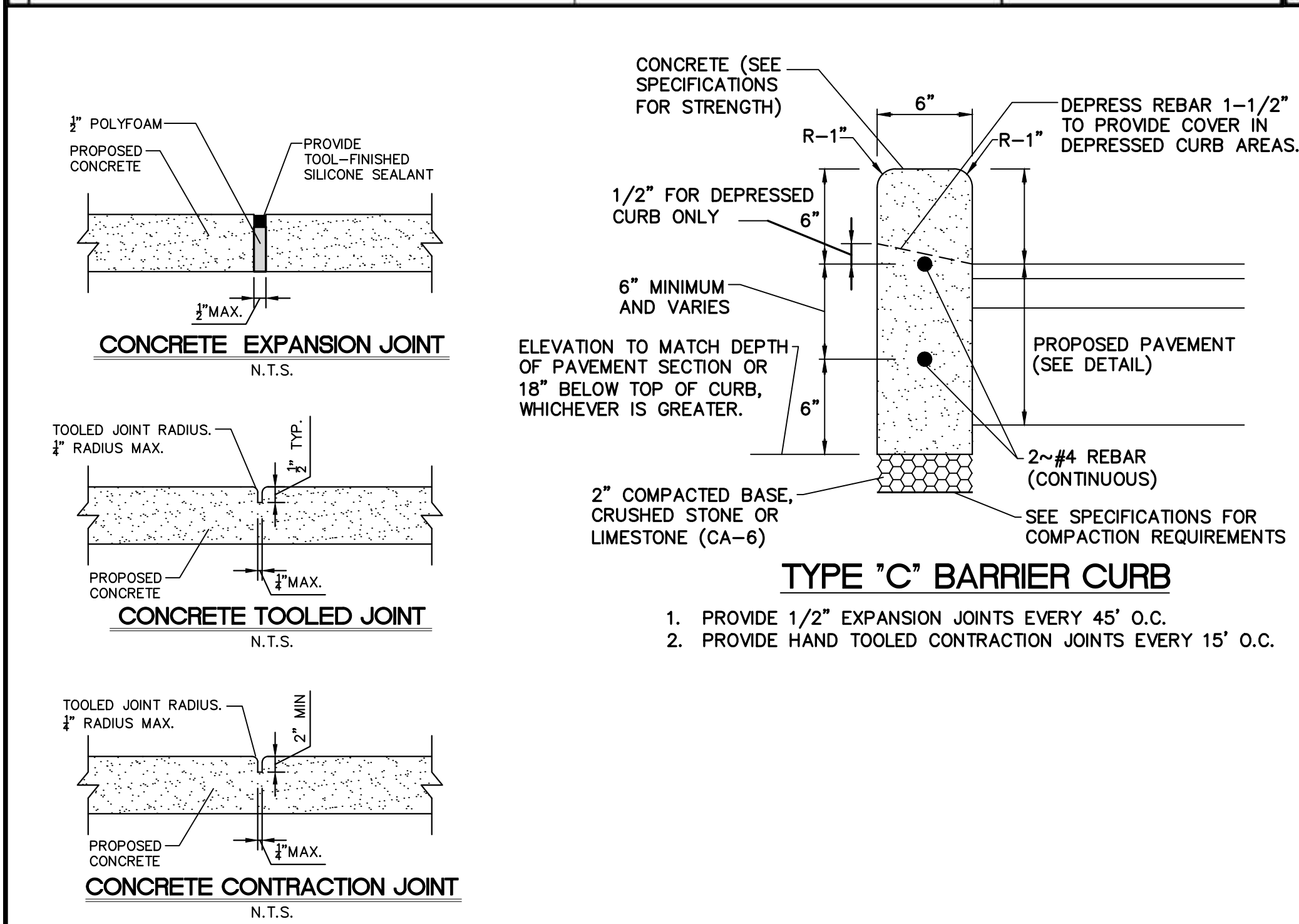
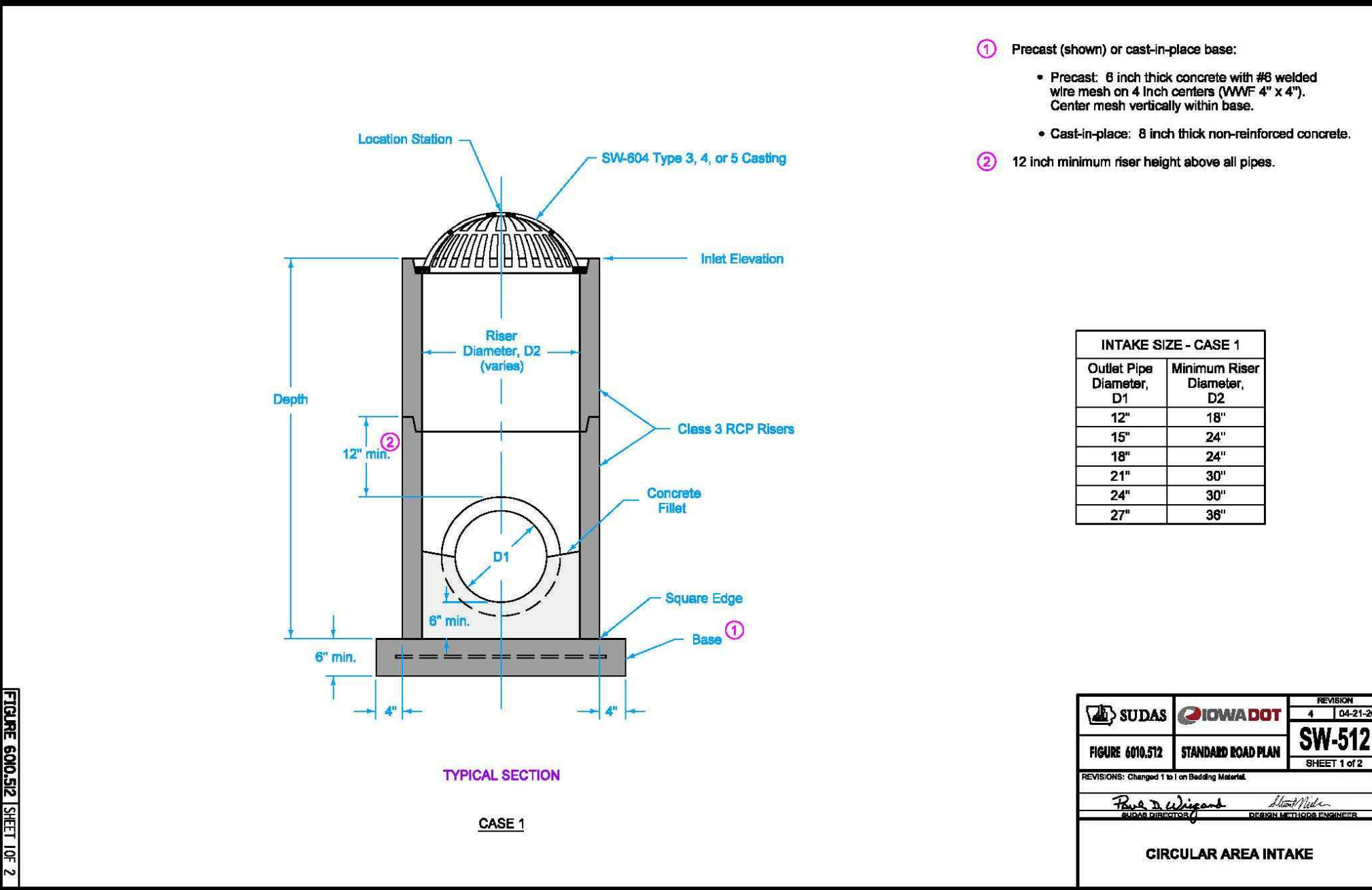
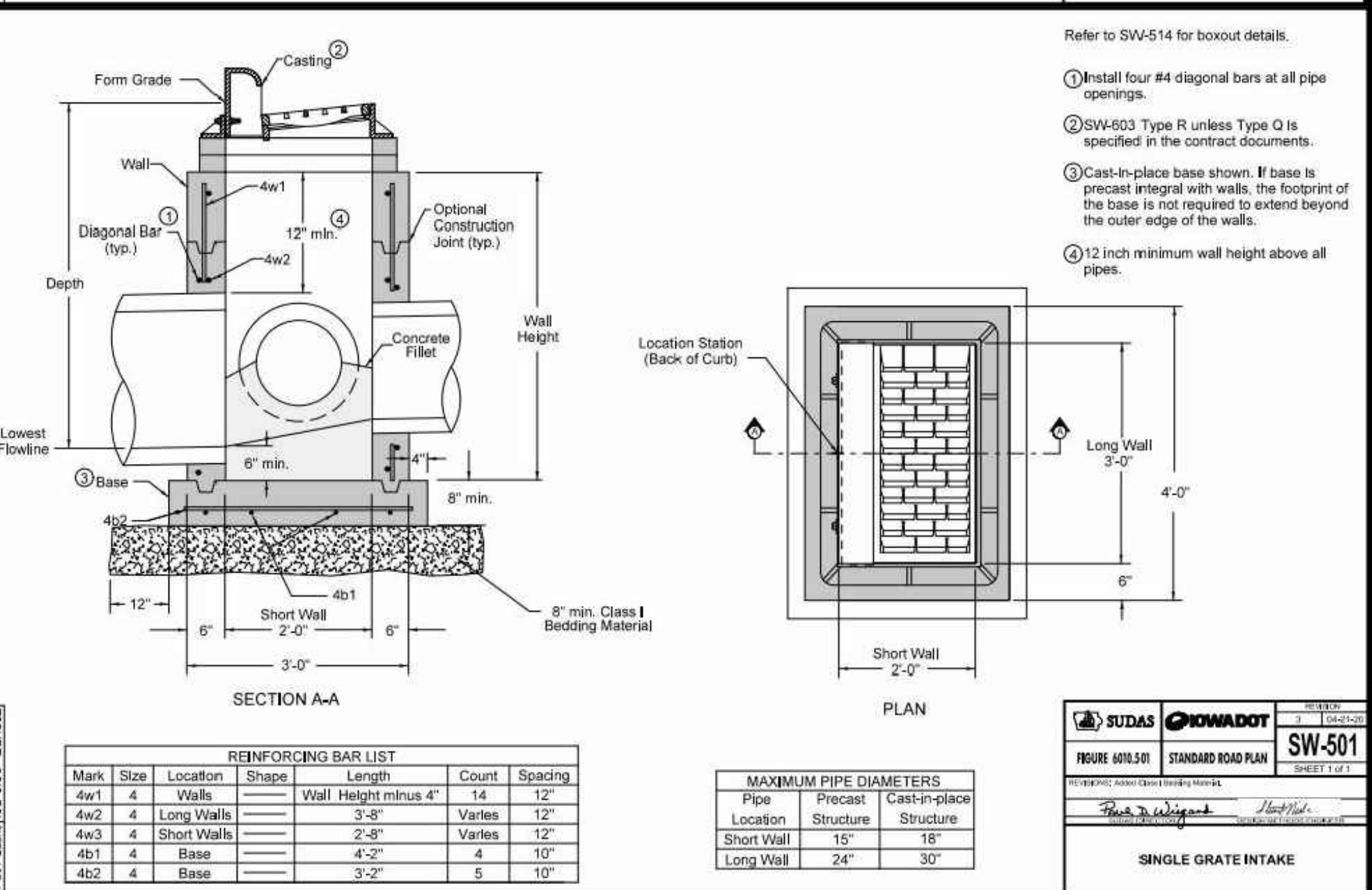
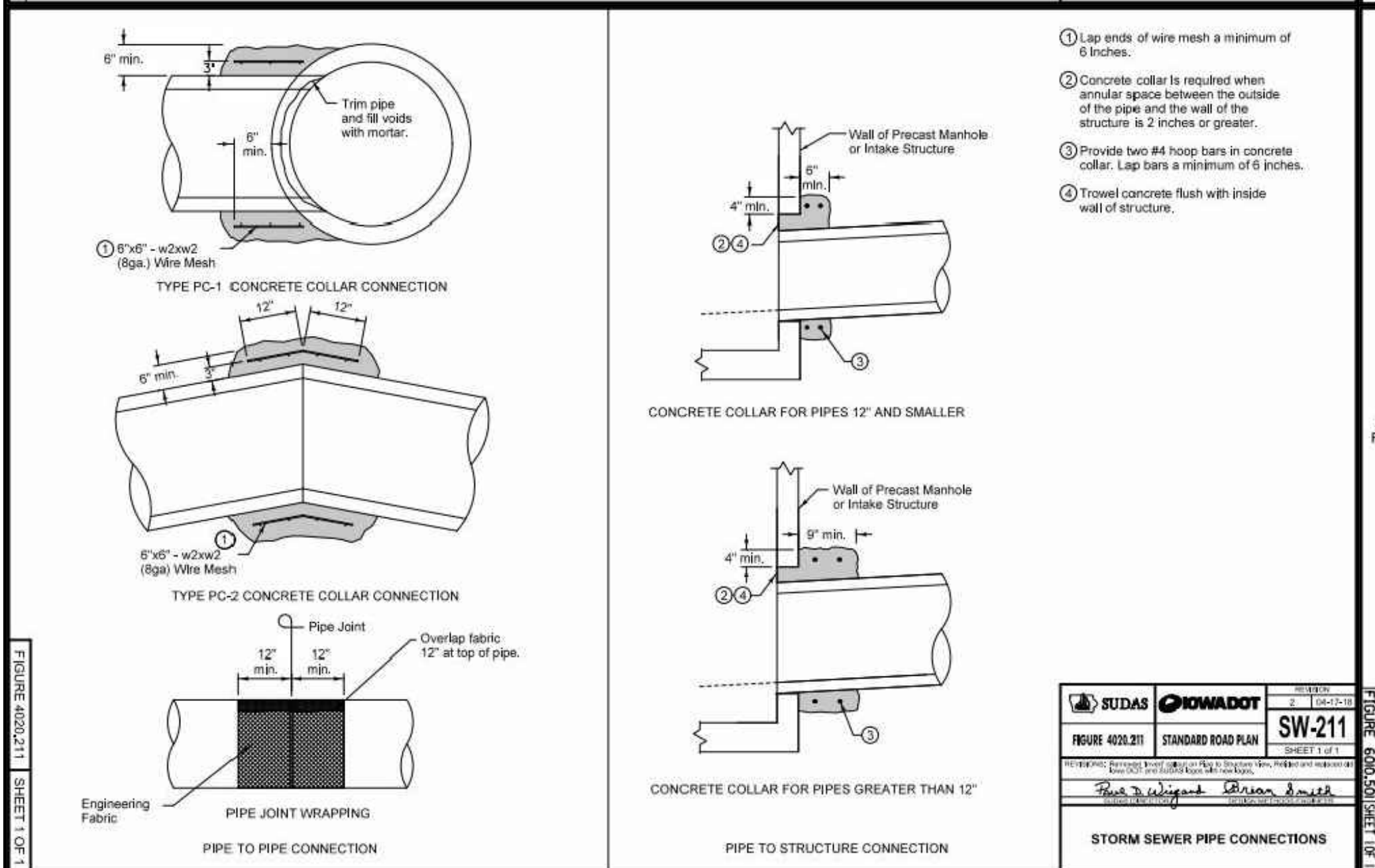
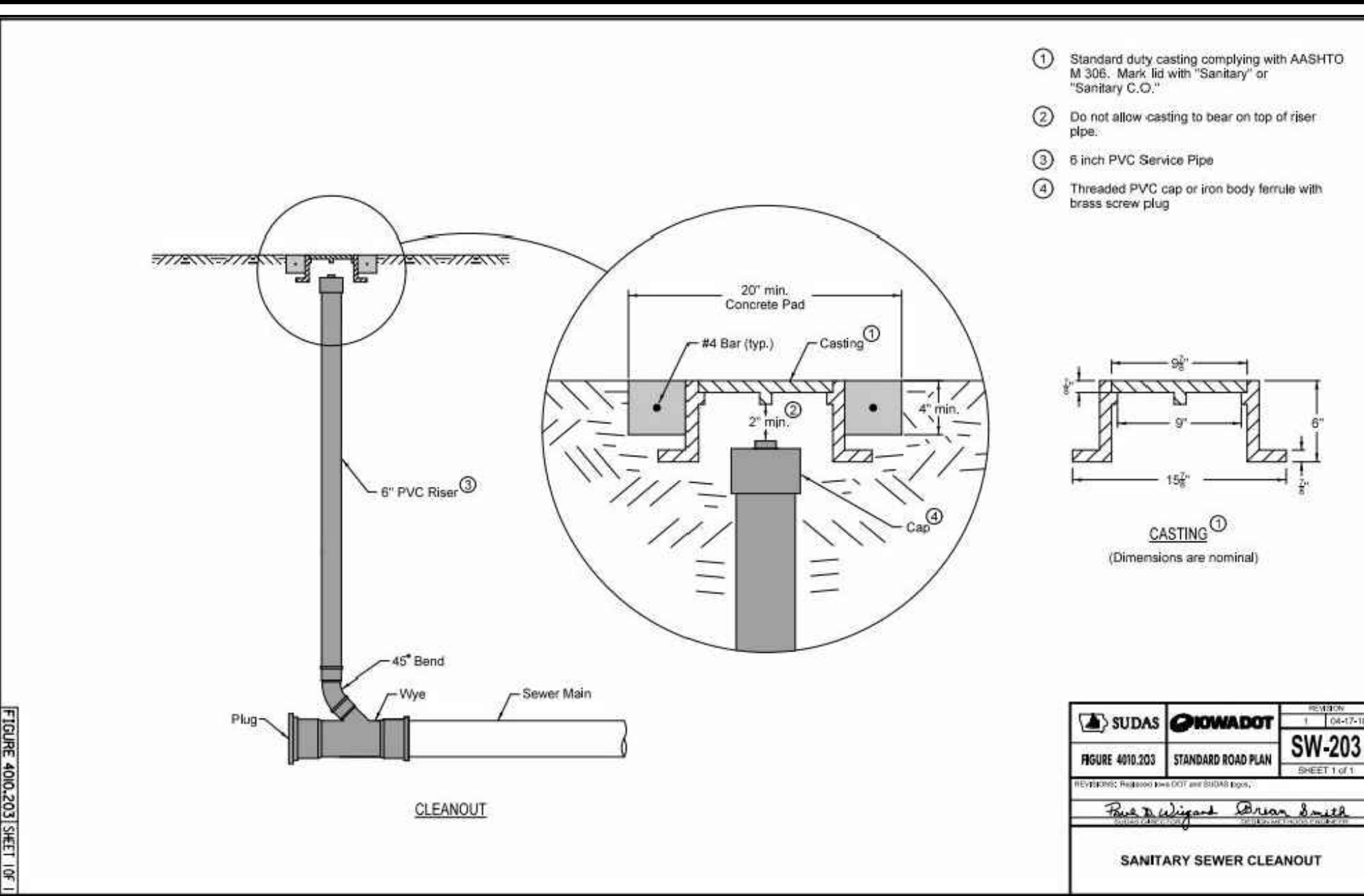
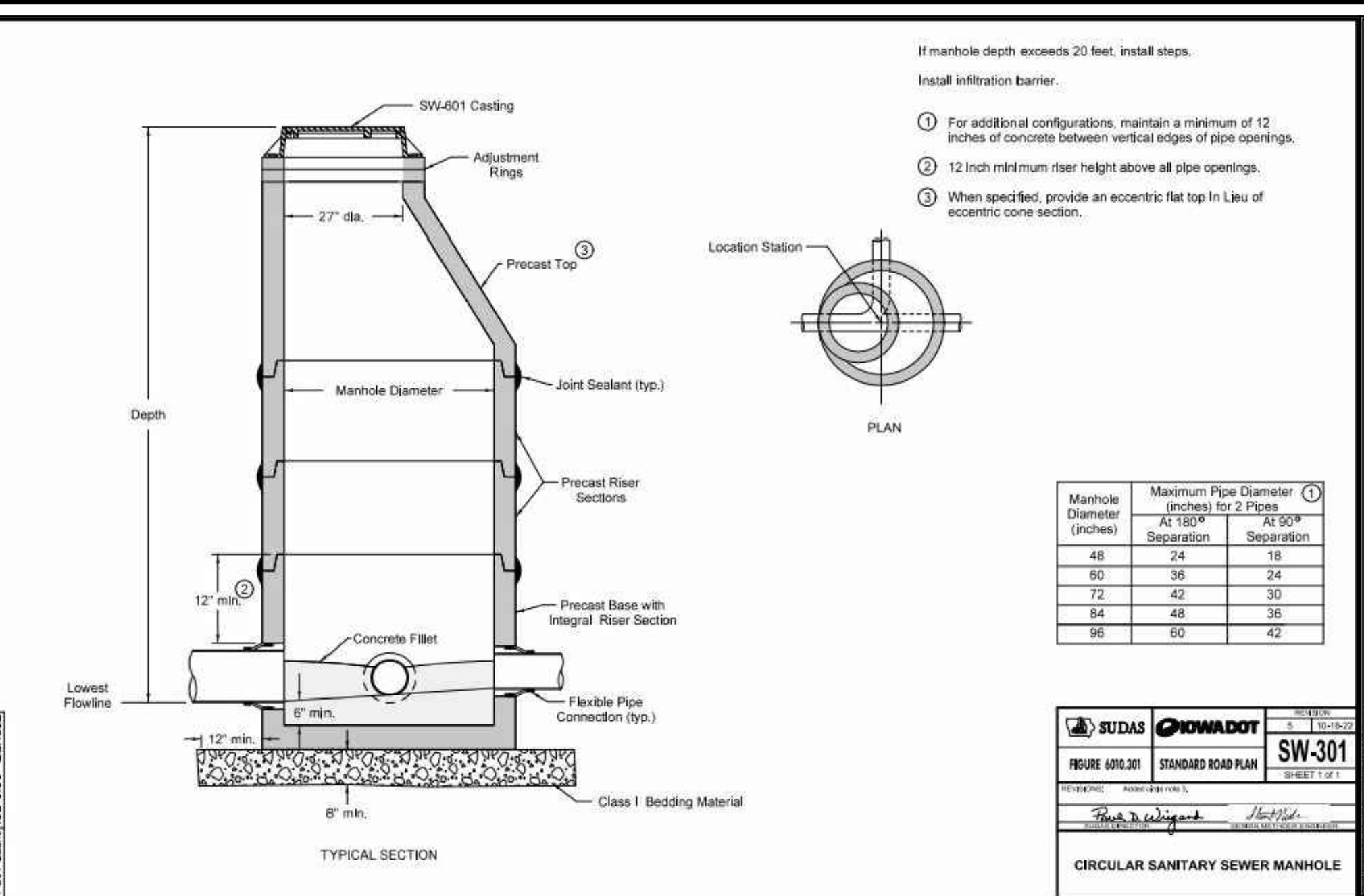
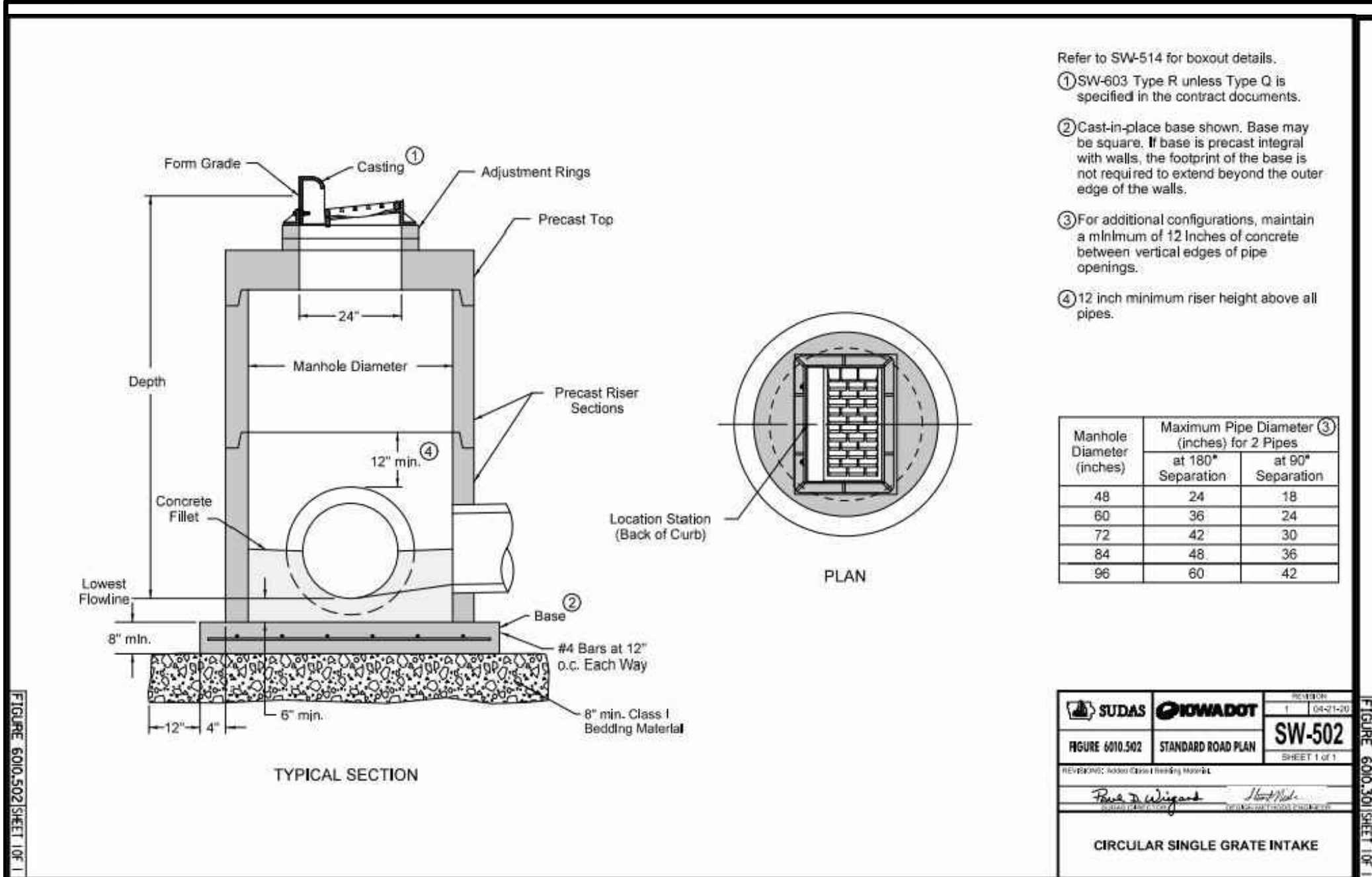
CHECKED BY: J.MILLER
DESIGN BY: H.WITTENKELLER
DRAWN BY: D.OLSON
DATE: AUGUST 4, 2023
SCALE: 1" = 20'
PROJECT NO.: 21-082

PHASE II SOIL EROSION CONTROL PLAN

C-7

LC #14-0363





PROJECT DETAILS

McDonald's
110 N. Carpenter St.
Chicago, IL 60607

McDonald's - ANKENY, IA
3525 NW State St
Ankeny, Iowa

Prepared By:

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

PROJECT DETAILS

C-10

LC #14-0363

CHECKED BY: J. MILLER
DESIGN BY: H. WITTENKELLER
DRAWN BY: D. OLSON
DATE: AUGUST 4, 2023
SCALE: NONE
PROJECT NO.: 21-082

- CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COMMUNITY, LOCAL DISTRICTS AND THE IOWA ACCESSIBILITY CODE. ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS", "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS WELL AS THE "2023 IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS".
2. THE CONTRACTOR SHALL INDEMNIFY WATERMARK ENGINEERING RESOURCES, LTD (THE DESIGN ENGINEER), ARCHITECT AND OWNER, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
3. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AGENCIES.
4. PRIOR TO BID AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS AT THE SITE. IF ANY DISCREPANCIES ARE FOUND, AT ANY TIME BEFORE OR DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY (BEFORE ANY ADDITIONAL IMPROVEMENTS ARE INSTALLED) IN ORDER TO OBTAIN WRITTEN CONFIRMATION BY THE DESIGN ENGINEER AS TO ANY REVISIONS THAT MAY BE NEEDED TO BE MADE TO THE PLANS.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE APPROPRIATE CONSTRUCTION INSPECTIONS.
7. THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS.
8. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL IOWA ONE CALL FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-292-8989, 48 HOURS PRIOR TO DIGGING.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS PER THE MUNICIPALITY AND/OR ANY OTHER AGENCY REQUIREMENTS, ANY CHANGES TO THE DRAWINGS MUST BE REPORTED TO THE DESIGN ENGINEER BEFORE WORK PROGRESSES.
10. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE MUNICIPALITY.
11. ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED BY THE DESIGN ENGINEER.
12. ANY RESTORATION NEEDED BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
13. TRENCH BACKFILL MATERIAL, CRUSHED STONE IS REQUIRED UNDER AND WITHIN TWO FEET (2') OF SIDEWALKS AND PAVED AREAS. THIS BACKFILL SHALL BE IN SIX INCH (6") LIFTS AND COMPACTED TO 95% STANDARD PROCTOR. BACKFILL MATERIAL SHALL COMPLY WITH 2023 S.U.D.A.S. SECTION 3010.
14. CONTRACTOR IS TO PROVIDE ALL TEMPORARY SIGNAGE AS REQUIRED BY THE IOWA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
15. ANY EXISTING DRAIN TILE OR PIPE ARE ENCOUNTERED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION OR REROUTED TO THE PROPOSED STORM SEWER SYSTEM.
16. RESTORATION OF EXISTING RIGHT-OF-WAYS IS TO BE COMPLETED WITH FOUR INCH (4") MINIMUM TOPSOIL AND SALT TOLERANT SOD UNLESS OTHERWISE NOTED.
17. THE WATER SYSTEM CANNOT BE SHUT DOWN WITHOUT CONSENT BY THE OWNER OF THE SYSTEM.
18. ALL FRAME ADJUSTMENTS SHALL BE MADE WITH PRE-CAST CONCRETE RINGS CONFORMING TO ASTM C-39 AND CANNOT EXCEED TWELVE INCHES (12").
19. FRAMES SHALL BE SET WITH EZ STIKS (OR EQUAL) MATERIAL TO PREVENT LEAKAGE.
20. THE REINFORCED CONCRETE SECTIONS SHALL BE LAID IN MORTAR, SEALED WITH EXTERNAL SEALING BANDS, OR SEALED USING MASTIC JOINT SEALER. WHEN MASTIC JOINT SEALER IS USED, THE MATERIAL SHALL COMPLETELY FILL THE JOINT AFTER THE EXISTING SURFACES HAVE BEEN BROUGHT TOGETHER.
21. STEPS IN STRUCTURES SHALL BE MADE OF COPOLYMER POLYPROPYLENE PLASTIC WITH CONTINUOUS ONE HALF INCH (1/2") GRADE SIXTY (60) STEEL REINFORCEMENT, STEP PSI-PP, AS MANUFACTURED BY M.A. INDUSTRIES, INC., OR APPROVED EQUAL STEPS TO BE SPACED SIXTEEN INCHES (16") ON-CENTER.
22. ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO CONSTRUCTION USE.
23. ALL PARKING LOT LIGHT POLES ARE TO BE CONSTRUCTED AT THE INTERSECTION OF PARKING LOT STRIPING OR IN LANDSCAPE AREAS WITH A MINIMUM OF 2' CLEARANCE BETWEEN THE BACK OF CURB AND THE EDGE OF THE PARKING LOT LIGHT BASE UNLESS OTHERWISE SPECIFIED.
24. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ARCHITECT/DESIGN ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION. THIS INCLUDES, BUT NOT LIMITED TO, TRANSITIONS TO EXISTING CONDITIONS.
25. CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
26. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPE.

1. ALL PAVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REFERENCES AS THEY APPLY: 2023 S.U.D.A.S.; STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, IOWA D.O.T., LATEST EDITION; MANUAL FOR STRUCTURAL DESIGN OF PORTLAND CEMENT CONCRETE PAVEMENT, IOWA D.O.T., LATEST EDITION; DESIGN MANUAL, IOWA D.O.T., LATEST EDITION.
2. ALL BASE COURSE AND SUB-BASE AREAS SHALL BE COMPACTED TO 95% STANDARD LABORATORY DENSITY, PER IOWA D.O.T. BEFORE THE BASE COURSE MATERIALS ARE INSTALLED, THE SUB-BASE SHALL BE PROOF-ROLLED TO THE SATISFACTION OF THE ENGINEER, HIS AGENT, AND/OR THE SOILS ENGINEER. COMPACTION AND DENSITY TESTS SHALL BE TAKEN AT THE OWNER'S OPTION.
3. ALL CONCRETE TO BE MINIMUM 3500 PSI, SALT TOLERANT, 6 BAG MIX WITH A SPRAY ON SEALER.
4. EXPANSION AND CONTRACTION JOINTS SHALL BE TOOL FINISHED.
5. BINDER COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 40°F AND RISING. SURFACE COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 45°F AND RISING.
6. ALL PROPOSED CEMENT CONCRETE DRIVEWAYS AND CURBS ARE TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.05' OF THE PROPOSED ELEVATIONS EXCEPT IN THE ACCESSIBLE STALLS OR ACCESSIBLE ROUTES.
7. PRIOR TO SEAL COATING, ALL ASPHALT AREAS ARE TO BE CLEAN AND DRY. ALL LOOSE MATERIALS ARE TO BE REMOVED. ALL GREASE TO BE REMOVED. ALL CRACKS ARE TO BE FILLED PER IDOT STANDARDS. ALL PAINTED STRIPING TO BE MODIFIED SHALL BE "BLACKED OUT" WITH BLACK PAINT (1 COAT MINIMUM, 2 COATS IF NECESSARY). ALLOWED TO THOROUGHLY DRY PER PAINT MANUFACTURER, PRIOR TO SEAL COATING. ALL AREAS THAT ARE ADJACENT TO THE SEAL COATED AREA ARE TO BE MASKED (I.E. SIDEWALKS, CONCRETE SURFACES, BRICK SURFACES, GUTTERS, CATCHBASINS/INLETS, ETC.) PRIOR TO SEAL COATING TO BE APPLIED. AIR TEMPERATURE TO BE 50°F AND RISING. APPLICATION RATE TO BE SUCH THAT ALL SURFACES OF THE ASPHALT BEING COATED IS THOROUGHLY COVERED IN ONE COAT. SEAL COATING IS TO BE APPLIED TO ALL SURFACES TO BE PROTECTED BY SQUEEZING OR BRUSHES. THE BITUMINOUS SEAL COATING MATERIAL SHOULD NOT BE ALLOWED TO ENTER STORM SEWERS AND SHOULD BE ALLOWED TO DRY AT LEAST 18 HOURS PRIOR TO VEHICULAR USE. CRACK FILLER AND SEAL COATING MATERIALS ARE TO BE FREE OF COAL TAR.

1. ALL SANITARY SEWER PIPE SHALL BE D.I.P., MIN. CLASS 50, CONFORMING TO ANS A-21.51 WITH ANSI A-21.11 JOINTS; OR P.V.C. PIPE CONFORMING TO ASTM D-3034 SPECIFICATIONS, SDR26 WALL THICKNESS AND ASTM D-3212 AND F 477 GASKET TYPE JOINTS OR ASTM D-2855 SOLVENT WELDED JOINTS.
2. ALL WATERMAIN QUALITY PLASTIC PIPE SHALL BE P.V.C. CONFORMING TO NSF STANDARD 14 AND ASTM STANDARD D 2241 OR AWWA STANDARD C900 OR C905. JOINTING SHALL BE PRESSURE RATED SLIP JOINTED ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH ASTM STANDARD F477, AND SHALL BE PRESSURE RATED IN ACCORDANCE WITH ASTM D3139 OR ASTM D 3212.
3. DEFLECTION OF POLYVINYL CHLORIDE (PVC) PIPE SHALL NOT EXCEED 5.0% OF THE "BASE I.D." (INTERNAL DIAMETER) OF THE PIPE. "BASE I.D." SHALL BE CALCULATED IN ACCORDANCE WITH THE FOLLOWING:
AVG ID = AVG OD - 2(1.06)T
TOLERANCE PACKAGE = $(A^2 + B^2 + C^2)^{1/2}$ (1/2)
WHERE:
A = OD TOLERANCE (ASTM D-3034)
B = EXCESS WALL THICKNESS TOLERANCE = 0.06T
C = OUT-OF-ROUNDNESS TOLERANCE = 0.015 (AVG OD)
T = MINIMUM WALL THICKNESS (ASTM D-3034)
BASE ID = AVG ID - TOLERANCE PACKAGE
4. DEFLECTION OF COMPOSITE PIPE ("TRUSS" PIPE) SHALL NOT EXCEED 3.0% OF THE AVERAGE INSIDE DIAMETER (ID) OF THE PIPE IN ACCORDANCE WITH ASTM D-2680. THE PIPE LINE SHALL BE TESTED FOR EXCESS DEFLECTING BY PULLING A "GO - NO GO" MANDREL THROUGH THE PIPE FROM MANHOLE TO MANHOLE. THE MANDREL SHALL BE SIZED IN ACCORDANCE WITH SECTION 31-1.11C (4), AND AS SPECIFIED IN THE SPECIAL PROVISIONS. A "DEFLECTOMETER" MAY ALSO BE USED TO CHECK AND RECORD DEFLECTION. WHENEVER POSSIBLE AND PRACTICAL, THE TESTING SHALL BE DONE ON THE DOWNSTREAM LINES AND PROCEED TOWARDS THE UPSTREAM LINES. WHERE THE DEFLECTION IS FOUND TO BE IN EXCESS OF ALLOWABLE TESTING LIMITS, THE CONTRACTOR SHALL EXCAVATE TO THE POINT OF EXCESS DEFLECTION AND CAREFULLY COMPACT AROUND THE POINT WHERE EXCESS DEFLECTION WAS FOUND. THE LINE SHALL THEN BE RETESTED FOR DEFLECTION. HOWEVER, SHOULD AFTER THE INITIAL TESTING THE DEFLECTED PIPE FAIL TO RETURN TO THE ORIGINAL SIZE (INSIDE DIAMETER) THE LINE SHALL BE REPLACED.
4. INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER TWENTY-FOUR (24) HOURS PER MILE PER INCH-DIAMETER OF THE SEWER PIPE, FOR ANY SECTION OF THE SYSTEM AND AT ANY TIME DURING ITS SERVICE LIFE. TESTING IS REQUIRED PER THE S.U.D.A.S. CURRENT EDITION.
5. ALL STRUCTURE LIDS SHALL BE IMPRINTED "SANITARY".
6. ALL WATERMAIN FRAMES AND LIDS SHALL BE NEENAH R-1916-C. ALL OTHER FRAMES AND LIDS SHALL BE NEENAH R-1550-A WITH A CONCEALED PICK HOLE.
7. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
8. ALL SEWERS ARE TO BE INSTALLED FROM THE DOWNSTREAM END UPSTREAM. IF ANY CONFLICTS ARE ENCOUNTERED, THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF ANY PIPE.
9. FOR A DROP CONNECTION, THE DIAMETER OF THE DROP PIPE SHALL PREFERABLY BE LARGER THAN, OR OF THE SAME DIAMETER AS, THE ENTERING SEWER. THE MINIMUM DIAMETER OF THE DROP PIPE SHALL NOT BE SMALLER THAN THE DIAMETER OF THE ENTERING SEWER BY MORE THAN TWO NOMINAL DIAMETERS, PROVIDED THAT THE MINIMUM DIAMETER OF THE DROP PIPE SHALL NOT BE LESS THAN EIGHT INCHES (8").
10. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
11. ALL SANITARY SEWER BEDDING SHALL BE IN ACCORDANCE WITH THE TRENCH DETAIL AS INCLUDED IN THE PLANS.

1. GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR REPRESENTATIVE) SHALL BE REFERRED TO PRIOR TO EARTH MOVING AND/OR UTILITY CONSTRUCTION.
2. UNSTABLE SOIL SHALL BE REMOVED OR STABILIZED.
3. CONTRACTOR IS TO MAINTAIN A POSITIVE DRAINAGE PATTERN AT THE END OF EACH DAY. CARE SHOULD BE TAKEN TO INSURE THAT DRAINAGE IS NOT REROUTED OR BLOCKED IN A WAY THAT MAY BE INJURIOUS TO ADJACENT LAND.
4. THE SUB-BASE BELOW STRUCTURES, PAVEMENTS OR NEW STRUCTURAL FILL SHALL BE PROOF ROLLING, NO RUMPS, DEFLECTS EXCESSIVELY OR NOTED EXCESSIVE MOVEMENT OR MOISTURE. THEN THE UNSTABLE SOIL SHALL BE UNDERCUT AND REPLACED WITH STRUCTURAL FILL OR DISCING AND DRYING TO NEAR OPTIMUM MOISTURE SO SOIL CAN BE PROPERLY COMPACTED. THIS PROCESS IS TO BE OBSERVED BY A GEOTECHNICAL ENGINEER.
5. ALL FILLS SHALL BE PLACED IN 8" LIFTS COMPACTED TO A MINIMUM OF 98% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN INFLUENCE OF THE BUILDING, A MINIMUM OF 95% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN THE INFLUENCE OF ALL OTHER IMPERVIOUS AREAS, AND A MINIMUM OF 90% STANDARD LABORATORY DENSITY PER ASTM D698 IN ALL LANDSCAPE AREAS.
6. EROSION CONTROL SHALL BE PROVIDED PRIOR TO ANY DISTURBANCES. SEE EROSION CONTROL PLANS FOR ADDITIONAL SPECIFICATIONS AND DETAILS.
7. PROVIDE TOPSOIL RESPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
 - A. 4" MINIMUM IN GRASS OR SOD AREAS.
 - B. 6" MINIMUM IN PLANTING AREAS.
 - C. 12" MINIMUM IN LANDSCAPE ISLANDS.
8. ALL TOPSOIL TO BE FRIABLE (NOT COHESIVE), WEED FREE, AND FREE OF ROCKS, LARGE ROOTS AND UNNATURAL DEBRIS.
9. ALL GRADING IS TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.10' OF THE PROPOSED ELEVATIONS. SEE PAVEMENT SPECIFICATIONS FOR PAVEMENT TOLERANCES.

1. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C-76 SPECIFICATIONS WITH ASTM C-443 FLAT GASKET JOINTS, OR ASTM C-361 "O-RING" JOINTS WHEN WATER MAIN QUALITY JOINTS ARE REQUIRED.
2. ALL PLASTIC PIPE SHALL BE P.V.C. WITH SDR26 WALL THICKNESS AND CONFORM TO D-3034 SPECIFICATIONS WITH ASTM D-3212 GASKET TYPE JOINTS.
3. ALL WATERMAIN QUALITY PLASTIC PIPE SHALL BE P.V.C. CONFORMING TO NSF STANDARD 14 AND: ASTM STANDARD D 2241 OR AWWA STANDARD C900 OR C905, JOINTING SHALL BE PRESSURE SLIP JOINTED, ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH ASTM STANDARD F477, AND SHALL BE PRESSURE RATED IN ACCORDANCE WITH ASTM D3139 OR ASTM D 3212.
4. ALL STRUCTURE LIDS SHALL BE IMPRINTED "STORM".
5. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
6. ALL DOWNSPUTS ARE TO BE INSTALLED FROM THE DOWNCOURSE END UPSTREAM. IF ANY CONFLICTS OR INFORMATION INCONSISTENT WITH SITE CONDITIONS ARE ENCOUNTERED THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF ANYTHING.
7. IN PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2050 OR R-2502 WITH TYPE D GRATE AT LOW POINTS; OR NEENAH R-3281-A IN CURB AND GUTTER; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
8. IN NON-PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2090 OR R-2068 WITH TYPE B GRATE AT LOW POINTS; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
9. ALL DOWNSPUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER.
10. ALL FLARED END SECTIONS (FES) ARE TO BE INSTALLED WITH TRASH GRATES.

1. HORIZONTAL SEPARATION
 - A. SEPARATE GRAVITY SEWER MAINS FROM WATER MAINS BY A HORIZONTAL DISTANCE OF AT LEAST 10 FEET UNLESS:
 - THE TOP OF A SEWER MAIN IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, AND
 - THE SEWER IS PLACED IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH AT A MINIMUM HORIZONTAL SEPARATION OF 3 FEET FROM THE WATER MAIN.
 - B. WHEN IT IS IMPOSSIBLE TO OBTAIN THE REQUIRED HORIZONTAL CLEARANCE OF 3 FEET AND A VERTICAL CLEARANCE OF 18 INCHES BETWEEN SEWERS AND WATER MAINS, THE SEWERS MUST BE CONSTRUCTED OF WATER MAIN MATERIALS MEETING THE REQUIREMENTS OF SECTION 5010, 2.01. HOWEVER, PROVIDE A LINEAR SEPARATION OF AT LEAST 2 FEET.
 - C. BOTH THE WATER MAIN AND SEWER PIPE SHALL BE CONSTRUCTED OF PUSH JOINT OR MECHANICAL JOINT DUCTILE IRON PIPE, PRESSURE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC SDR18 PIPE WITH AWWA C-900 JOINTS, MEETING THE REQUIREMENTS OF SECTION 653.111 OF THE IEPA'S TITLE 35 SUBTITLE F, WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE, THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
2. VERTICAL SEPARATION
 - A. VERTICAL SEPARATION OF SANITARY AND STORM SEWERS CROSSING UNDER ANY WATER MAIN SHOULD BE AT LEAST 18 INCHES WHEN MEASURED FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATER MAIN. IF PHYSICAL CONDITIONS PROHIBIT THE SEPARATION, THE SEWER MAY BE PLACED NOT CLOSER THAN 6 INCHES BELOW A WATER MAIN OR 18 INCHES ABOVE A WATER MAIN. MAINTAIN THE MAXIMUM FEASIBLE SEPARATION DISTANCE IN ALL CASES. THE SEWER AND WATER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATERTIGHT JOINTS. USE LOW PERMEABILITY SOIL FOR BACKFILL MATERIAL WITHIN 10 FEET OF THE POINT OF CROSSING.
 - B. WHERE THE SANITARY SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.
 - C. WHERE THE STORM SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL OR REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.
3. WATER MAINS AND SERVICES SHALL BE CONSTRUCTED SO THAT THE MINIMUM DEPTH IS FIVE AND ONE HALF FEET (5 1/2") MEASURED FROM FINISHED GRADE TO THE TOP OF THE PIPE, UNLESS OTHERWISE SPECIFIED AND/OR APPROVED BY THE REVIEW ENGINEER.
4. ALL WATER MAIN FITTINGS MAY OR MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE INCLUDED IN THE COST OF THE WATER MAIN ITSELF FOR BIDDING PURPOSES. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 52 CEMENT LINED CONFORMING TO ANSI A-21.51 WITH ANSI A-21.11 JOINTS, OR TYPE "K" COPPER PIPE WITH SWEATED JOINTS.
5. FIRE HYDRANTS SHALL MEET AWWA C-502 AND BE CLOW MEDALLION, MUELLER SUPER CENTURION OR WATEROUS PACER, WITH A SIX INCH (6") MAIN VALVE NOMINAL OPENING AND ONE FOUR AND A HALF INCH (4 1/2") PUMPER NOZZLE. FIRE HYDRANT SHALL BE EQUIPPED WITH AN AUXILIARY RESILIENT SEAL GATE VALVE COMPLETELY WITH ROWDAY BOX TYLER 6685 SERIES, ITEM 6685 OR FIRE HYDRANTS MUST HAVE INCH DISCHARGE AT LEAST 1 1/2 INCHES BUT NOT MORE THAN TWENTY-FOUR INCHES (24") FROM THE SURFACE OF THE ADJACENT GROUND. ABOVE GRADE EXTERIOR COATING TYPE AND COLOR TO BE JOHN DEERE GREEN AND CATERPILLAR YELLOW PER CITY OF ANKENY SPECIFICATIONS ON FILE WITH EACH APPROVED HYDRANT MANUFACTURER.
6. HYDRANTS SHALL BE INSTALLED NO CLOSER THAN THREE FEET (3') NOR FURTHER THAN EIGHT FEET (8') FROM THE BACK OF CURB OR EDGE OF PAVEMENT TO THE FIVE INCH (5") STEAMER NUT. NO BARRIERS, TREES, SHRUBS, WALLS OR OTHER OBSTACLES WHICH MAY HIDE OR IMPEDE THE USE OF A FIRE HYDRANT SHALL BE INSTALLED, MAINTAINED, CONSTRUCTED, OR ENLARGED, WITHIN FORTY-EIGHT INCHES (48") OF A HYDRANT.
7. BEFORE BEING PLACED INTO SERVICE, ALL NEW MAINS AND REPAIRED PORTIONS OF, OR EXTENSIONS TO EXISTING MAINS SHALL BE CHLORINATED SO THAT THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN FIFTY (50) mg/L AND THAT A CHLORINE RESIDUAL OF NOT LESS THAN TWENTY-FIVE (25) mg/L REMAINS IN THE WATER AFTER STANDING TWENTY-FOUR (24) HOURS IN THE PIPE.

- GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ARCHITECT/ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION.
2. ACCESSIBLE ROUTES ON AN ACCESSIBLE SITE AND FOR ANY NEW SITE IMPROVEMENTS SHALL BE PROVIDED TO SERVE ALL ACCESSIBLE SPACES OR ELEMENTS.
3. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE PER CODE IS 36".
4. EACH ACCESSIBLE PARKING SPACE IS TO BE:
 - 4.1. CAR:

A MINIMUM OF 192' WIDE, CONSISTING OF A 96" WIDE ACCESS AISLE AND A 96" WIDE PARKING SPACE, UNLESS OTHERWISE NOTED. (SEE DETAIL). THE ACCESS AISLE SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE. SEE DETAIL FOR REQUIRED DEPTH.
 - 4.2. VAN:


A MINIMUM OF 192' WIDE, CONSISTING OF A 96" WIDE ACCESS AISLE AND A 96" WIDE PARKING SPACE, UNLESS OTHERWISE NOTED (SEE DETAIL). WHEN VAN ACCESSIBLE PARKING SPACES ARE ANGLED, THE ACCESS AISLE SHALL BE LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE. SEE DETAIL FOR REQUIRED DEPTH.
5. ACCESSIBLE PARKING SPACES ARE TO BE LOCATED AS CLOSE TO THE ACCESSIBLE BUILDING ENTRANCE AS POSSIBLE AND SHALL BE IDENTIFIED WITH A SIGN.
6. RAMPS MUST NOT EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE OF ANY ACCESSIBLE PARKING SPACE.
7. TWO 90 DEGREE ACCESSIBLE PARKING SPACES MAY SHARE AN ACCESS AISLE.
8. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM. (SEE DETAIL)
9. ALL ADA PARKING STALLS, ACCESS AISLES AND CROSSWALKS SHALL BE STRIPED USING 4" WIDE DOUBLE LAYER OF HIGH QUALITY YELLOW PAINT, UNLESS OTHERWISE NOTED.
10. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1:50 (2.00%) IN ANY DIRECTION.
11. EACH ACCESSIBLE PARKING SPACE SHALL HAVE AN IDENTIFICATION SIGN (SEE DETAIL).
12. A 24" ELECTRONIC LEVEL WILL BE USED BY MANY INSPECTORS IN THE POST CONSTRUCTION CONDITION TO MEASURE ADA SLOPES. A 24" LEVEL HAS A NARROWER TOLERANCE THAN LONGER ELECTRONIC LEVELS AND REPRESENTS THE WHEREAS OF A TYPICAL WHEELCHAIR. AS SUCH, A PROPERLY CALIBRATED, 24" ELECTRONIC LEVEL IS RECOMMENDED FOR SETTING AND MEASURING SLOPES IN ALL ADA ACCESSIBLE AREAS THROUGHOUT THE CONSTRUCTION PROCESS.

RAMPS

13. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5.00%) IS A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS.
14. AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR FOLLOW A RAMP AS REQUIRED BY SITE-SPECIFIC CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20 (5.00%), WITH A CROSS SLOPE NOT EXCEEDING 1:50 (2.00%). SLOPES EXCEEDING 1:20 (5.00%), BUT LESS THAN 1:12 (8.33%), CONSTITUTE RAMPS AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS, ETC.) AS DETAILED ON THE CIVIL AND ARCHITECTURAL PLANS. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1:12 (8.33%), NOR HAVE A CROSS SLOPE EXCEEDING 1:50 (2.00%).
15. THE GENERAL CONTRACTOR/CONTRACTOR SHALL MEASURE THE SUBGRADE AND CROSS FORMS PRIOR TO INSTALLATION OF ASPHALT OR CONCRETE IMPROVEMENTS TO ASSURE THE FINAL IMPROVEMENTS WILL MEET THESE MINIMAL ADA REQUIREMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE CIVIL ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.

CURB RAMPS

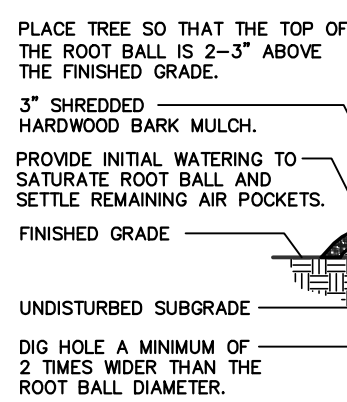
16. A CURB RAMP SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.
17. CURB RAMPS HAVE A MAXIMUM SLOPE OF 1:12 (8.33%) AND DO NOT REQUIRE HANDRAILS.
18. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS, OR GUARDRAILS, IT SHALL HAVE FLARED SIDES; THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1:12 (8.33%).

C-11		CHECKED BY: J. MILLER DESIGN BY: H. WITTENKELLER DRAWN BY: D. OLSON DATE: AUGUST 4, 2023 SCALE: PROJECT NO.: 21-082		 watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 275-1800		Prepared By:		McDonald's 110 N. Carpenter St. Chicago, IL 60607 McDonald's - ANKENY, IA 3525 NW State St Ankeny, Iowa		Prepared For:		NO. 1 2		REVISIONS PER CITY COMMENTS DATED 8/16/23 NONE		DATE 9/1/2023 9/21/2023	
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R=25.00'
L=39.25'
C=35.34'
CB=N45°17'22"E
Δ=89°57'04"

NOTE:
CONTRACTOR SHALL RESTORE IN KIND ALL
DISTURBED AREAS WITHIN ROW AREAS.

NOTE:
CONTRACTOR TO MULCH ALL PLANT BEDS
(PROPOSED AND EXISTING) WITH TWICE SHREDDED
HARDWOOD BARK, DARK BROWN IN COLOR, AND
SPADE EDGE WHERE APPLICABLE (TYP)



TREE PLANTING DETAIL

NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.

PERENNIAL PLANTING DETAIL

NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.

SHRUB PLANTING DETAIL

NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.

PLANT LIST

SHADE, ORNAMENTAL AND CONIFEROUS TREES

QTY.	ABBR.	BOTANICAL NAME	COMMON NAME	SIZE
3	ABS	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' Ht.
3	PSG	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" Cal.
2	SWO	Quercus bicolor	Swamp White Oak	2.5" Cal.
4	SSM	Acer Miyabei 'Morton'	State Street Maple	2.5" Cal.

FLOWERING AND EVERGREEN SHRUBS

QTY.	ABBR.	BOTANICAL NAME	COMMON NAME	SIZE
43	ALH	Aronia melanocarpa 'UCONNAM165'	Aronia Low Scape Hedge	5 Gal. (30" min. ht.)
19	BMV	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	5 Gal.
6	DJ	Juniperus procumbens 'Nana'	Dwarf Jagged Juniper	5 Gal.
19	DNY	Taxus x media 'Densiformis'	Densiformis Yew	5 Gal.
45	FWW	Weigela florida 'Bramwell'	Fine Wine Weigela	5 Gal. (30" min. ht.)
16	GLS	Rhus aromatica 'Grow-Low'	Grow-Low Sumac	5 Gal.
13	KOH	Diervilla 'GZX8854'	Kodiak Orange Honeysuckle	5 Gal.
34	LLH	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	5 Gal. (30" min. ht.)

PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS

QTY.	ABBR.	BOTANICAL NAME	COMMON NAME	SIZE
11	BSG	Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass	1 Gal.
13	BWC	Nepeta racemosa 'Blue Wonder'	Blue Wonder Catmint	1 Gal.
22	DTB	Penstemon digitalis 'Dark Towers'	Dark Towers Beardtongue	1 Gal.
27	GR	Geranium 'Rozanne'	Gervat' Geranium	1 Gal.
74	JTC	Coreopsis 'Jethro Tull'	Jethro Tull Coreopsis	1 Gal.
19	LSS	Pervoskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 Gal.
16	ODF	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass	1 Gal.
64	PDS	Sporobolus heterolepis	Prairie Dropseed	1 Gal.
22	SCD	Hemerocallis 'Strawberry Candy'	Strawberry Candy Daylily	1 Gal.

*Seed mix to be supplied by Arthur Clesen, Inc. (847) 537-2177 (or approved equal). Install per grower's Recommendations. Install erosion control blanket in all seeded areas. Use North American Green S75 (or equal) for the bottom of the basin/flat areas and S150 (or equal) for all side slopes.

NOTE:
ALL EXISTING ON-SITE PLANT MATERIAL NOT
EFFECTED BY CONSTRUCTION OR THE PROPOSED
LANDSCAPE, SHALL BE PROTECTED AS PART
OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF
CONSTRUCTION AND PROPOSED LANDSCAPE SHALL
BE REMOVED.

ON SITE LANDSCAPE DATA
OPEN SPACE CALCULATIONS
• MINIMUM REQUIRED OPEN SPACE:
(66,961 S.F. LOT AREA X 0.20)
REQUIRED: 13,392.20 S.F.
PROPOSED: 19,400.00 S.F.

OPEN SPACE LANDSCAPING
• REQUIRED OPEN SPACE PLANT UNITS:
(13,392.20 / 3000 S.F. = 4.46 P.U.)

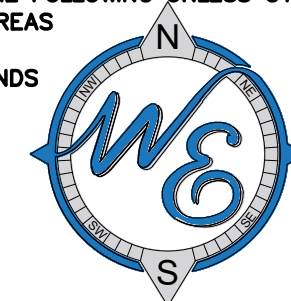
• REQUIRED OPEN SPACE TREES:
(4.46 P.U. X 2 = 8.92)
REQUIRED: 9
PROPOSED: 9

• REQUIRED OPEN SPACE SHRUBS:
(4.46 P.U. X 6 = 26.76)
REQUIRED: 27
PROPOSED: 190 (INCLUDES 85 PARKING LOT
SCREENING SHRUBS)

OFF-STREET PARKING - PARKING AREA CALCULATIONS
• GROSS PAVED AREA = 9315 S.F.
• REQUIRED SHADED AREA (G.P.A. X 0.20) = 1863 S.F.
• REQUIRED TREES (R.S.A. / 706) = 2.6
PROPOSED: 3
• REQUIRED PARKING LOT SCREENING (N & W FRONTS)
REQUIRED: 30" HT. LANDSCAPING
PROPOSED: 30" HT. SHRUBS (SOLID HEDGE)

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED, AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
- PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
- SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
- ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED, INCLUDING HAUL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- SÖL MIX PM35 BY MIDWEST TRADING COMPANY OR EQUAL SHALL BE ROTOTILLED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE ABOVE SÖL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
- CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
- ALL PLANT BEDS ARE TO BE MULCHED WITH 1" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. TURF SEED AND SÖD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SÖD.
- AREAS TO BE SÖDDED SHALL BE WITH AN "APPROVED TURFGRASS SÖD" OF PREMIUM GRADE. SÖD SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN TO THE PROJECT SITE. SÖD MUST BE MATURED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SÖD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SÖD SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SÖD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 90 DEGREES (F) NOR LESS THAN 55 DEGREES (F). SÖD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SÖL THICKNESS (1.5" OF SÖD IS DESIRED) BUT SÖL THICKNESS SHALL BE A THICKNESS NECESSARY TO MAINTAIN PLANT VIBILITY. SÖD SHALL BE LAID IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SÖD STAKES SHALL USED ON ALL SLOPES 4:1 OR GREATER.
- CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (INTENDED OR UNINTENDED) AT A MINIMUM, TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- THE EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS INTENDED SOLELY TO IDENTIFY THEM AS OBSERVED IN THE FIELD. THIS PLAN DOES NOT MAKE ANY CLAIMS ABOUT THE CONDITION OR SAFETY OF ANY OF THE PLANT MATERIAL DESCRIBED HEREIN OR OBSERVED IN THE FIELD.
- ALL TRANSPLANTED PLANT MATERIAL MUST BE INSTALLED IMMEDIATELY UPON EXTRACTION FROM ITS ORIGINAL LOCATION, UNLESS SPECIFIC ARRANGEMENTS HAVE BEEN MADE WITH THE LANDSCAPE ARCHITECT/DESIGNER. SHOULD IT BECOME UNREASONABLE TO TRANSPLANT ANY OF THE PLANT MATERIAL AS DESCRIBED IN THIS PLAN, DUE TO SITE CONSTRAINTS OR OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CONTRACTING LANDSCAPE ARCHITECT/DESIGNER TO MAKE ALTERNATIVE ARRANGEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME PLANT IS SELECTED THROUGH ITS INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
- BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING BID, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
- ALL EXISTING ON-SITE PLANT MATERIAL NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED AS PART OF THIS PLAN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
- IF IRRIGATION IS DEEMED NECESSARY, IT SHALL BE DESIGN/BUILD. THE PROPOSED IRRIGATION PLAN ALONG WITH AN AS BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
- IF EXISTING IRRIGATION IS PRESENT ON SITE, CONTRACTOR SHALL ADJUST, ADD TO, OR SUBTRACT FROM, THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE ANY PROPOSED ALTERATIONS/ADDITIONS TO THE EXISTING LANDSCAPE. CONTRACTOR SHALL PROVIDE THE OWNER AN AS BUILT OF THE IRRIGATION SYSTEM AND ALL CHANGES TO THE SYSTEM AFFECTED BY THIS PROJECT.
- PROVIDE TOPSOIL RE-Spread PER THE FOLLOWING UNLESS OTHERWISE NOTED:
A. 8" MINIMUM IN GRASS OR SÖD AREAS
B. 8" MINIMUM IN PLANTING AREAS
C. 12" MINIMUM IN LANDSCAPE ISLANDS



Know what's Below.
Call before you dig.



LANDSCAPE PLAN

DATE
9/1/2023
9/13/2023

REVISIONS
PER CITY REVIEW COMMENTS
PER CITY REVIEW COMMENTS

NO
1
2

Prepared For:

McDonald's
711 Jorie Blvd., 3rd Floor
Oak Brook, IL 60523
McDONALD'S - ANKENY, IA
3525 NW State St
Ankeny, Iowa

Prepared By:

Mark Engineering Resources
watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

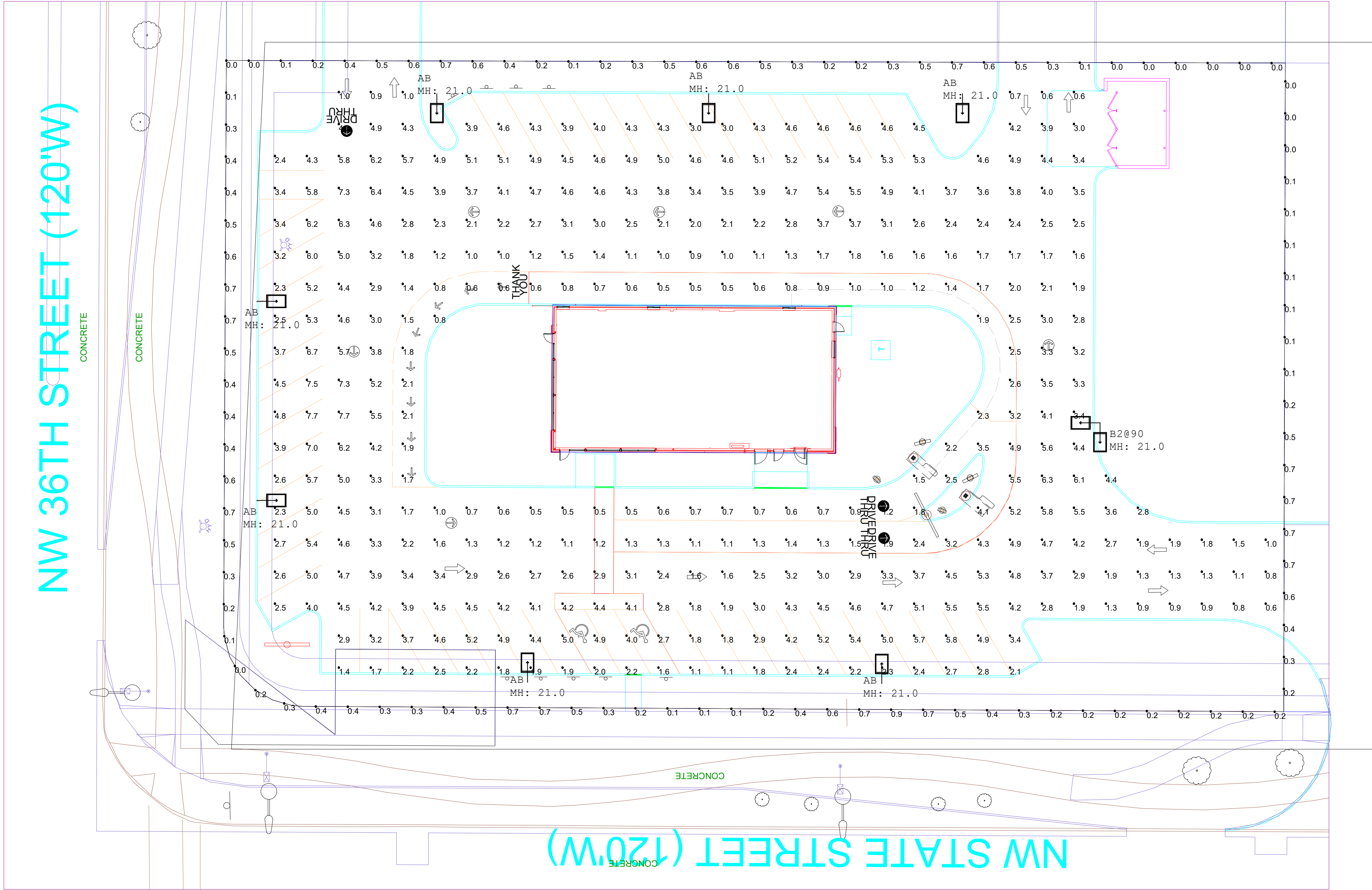
CHECKED BY: J.MILLER
DESIGN BY: H.WITTENKELLER
DRAWN BY: DOLSON
DATE: AUGUST 4, 2023
SCALE: 1" = 20'
PROJECT NO.: 21-082

L-1
LC #14-0363

LANDSCAPE PLAN

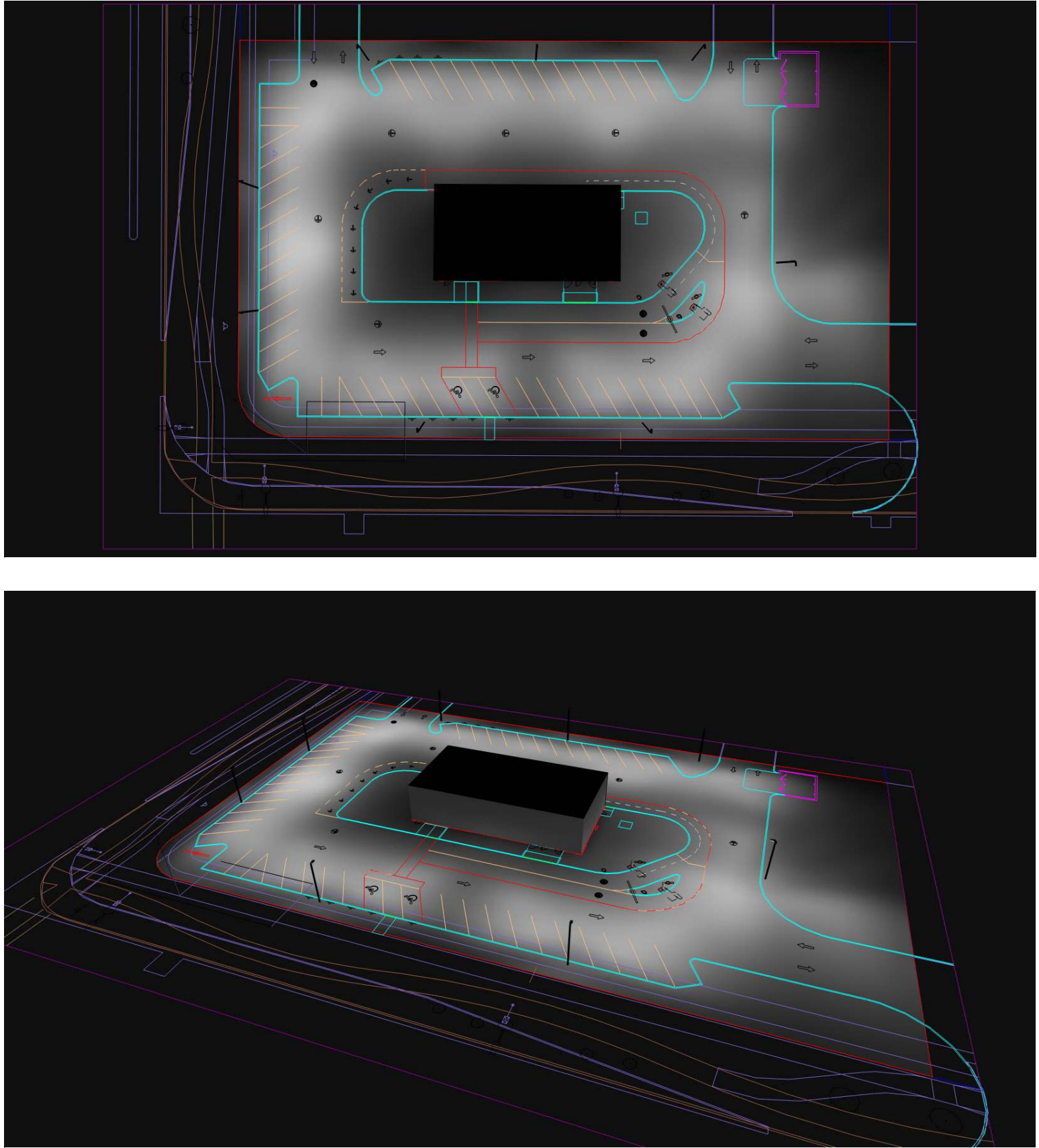
NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
2. DISTANCE BETWEEN READINGS _____ 10'



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.11	7.7	0.5	6.22	15.40
PROPERTY LINE READINGS	Illuminance	Fc	0.33	0.9	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
	7	AB	SINGLE	0.900	RAR-2-480L-240-5K7-4W-BC	226.9	0.607	21	SES-18-40-1-TA-GL-xx (4")
	1	B2@90	2 @ 90 DEGREES	0.900	RAR2-320L-140-5K7-4W	133.2	0.607	21	SES-18-40-1-TA-GL-xx (4")



Pole Fixtures Are Full Cutoff
Tilt=0
Calculation Grids Are At Grade
Pole Light Mounting Height=21ft
(18' Pole + 3' Base)

Regional Drawing
14-0363

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL
ALLOWED EPA 13.6 @ WIND LOAD 90 MPH

2100 Golf Road, Suite 400, Rolling Meadows, IL 60009
1-800-544-4848

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

SCALE 1"=20' 0"

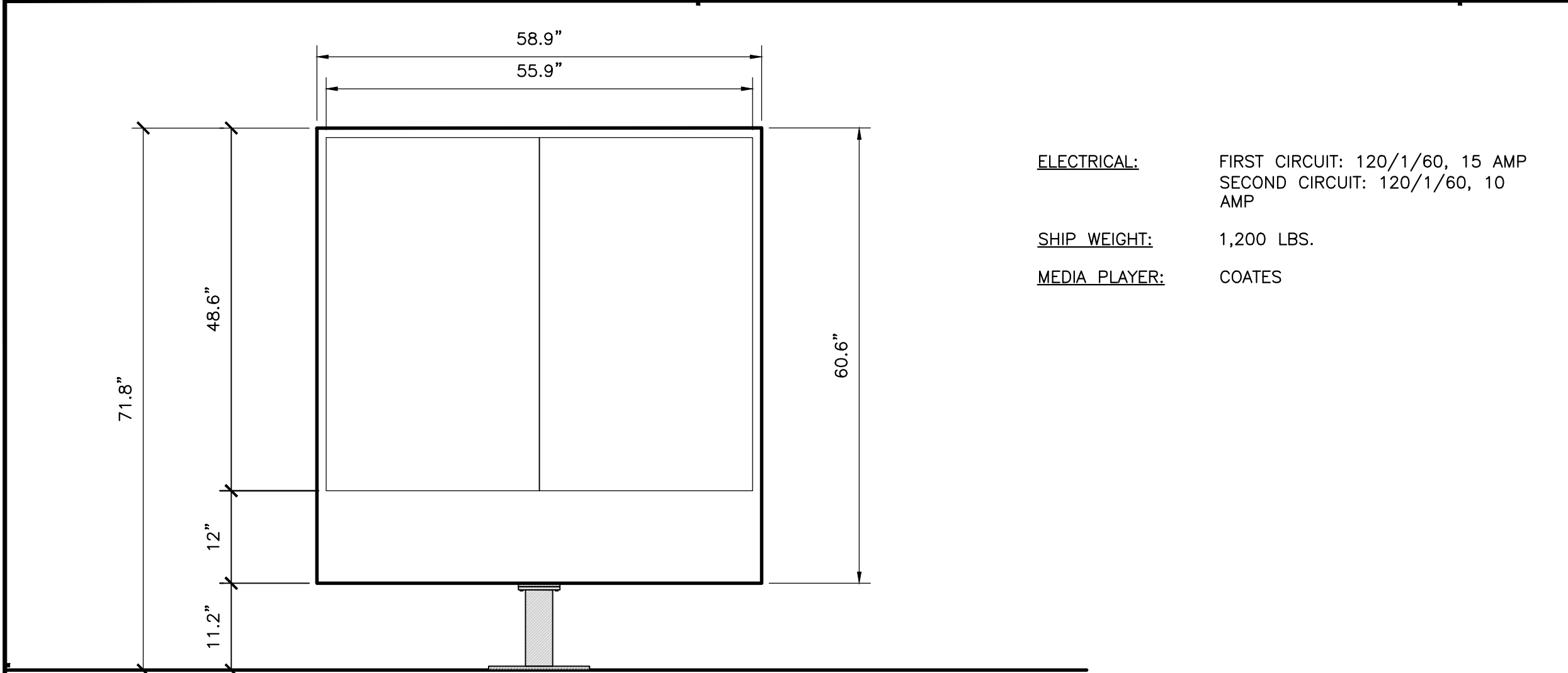
DRAWN BY CLB LEED AP BD+C

POINT-BY-POINT FOOTCANDLE PLOT FOR
MCDONALDS
301-1513 NW 36TH ST
ANKENY, IA 50023

NATIONAL STORE NUMBER
40553

DATE 6/27/2023

DRAWING NUMBER
A231091A.AGI



ELECTRICAL: FIRST CIRCUIT: 120/1/60, 15 AMP
SECOND CIRCUIT: 120/1/60, 10 AMP

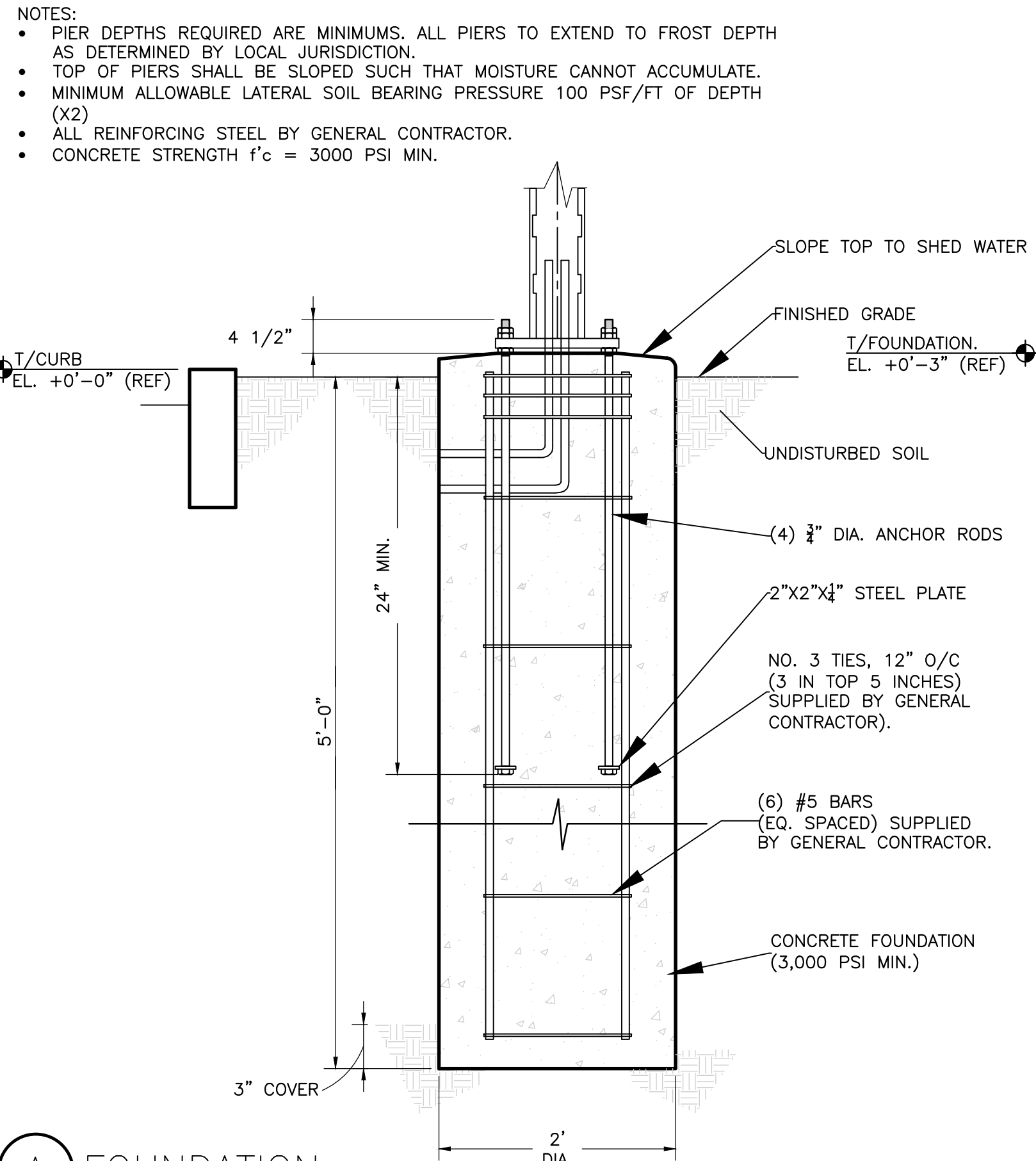
SHIP WEIGHT: 1,200 LBS.

MEDIA PLAYER: COATES

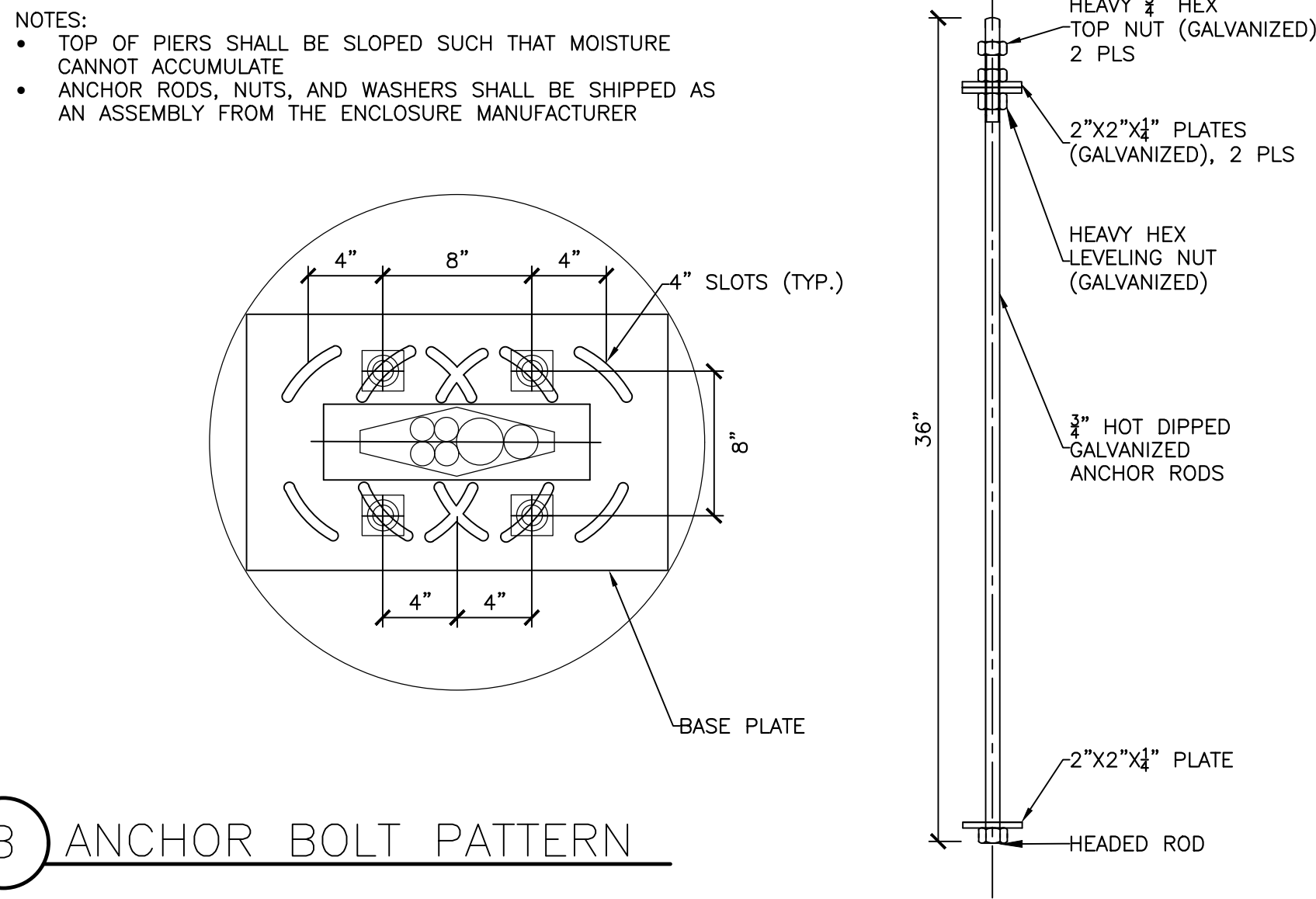
GENERAL NOTES
-THE FOLLOWING CODES WERE USED IN DESIGN:
-IBC 2015 (WITH LOCAL AMENDMENTS)
-ASCE 7-10
-ACI 318-14
-AISC 360-10 & AISC 341-10
-AWS D1.1
-WIND SPEED 115 MPH (ULTIMATE WIND SPEED)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
-AXIAL- 1,200 #
-SHEAR- 852 #
-MOMENT- 2,508 FT-#
-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS

CONCRETE:
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
-MINIMUM CONCRETE STRENGTH (F'C=3,000 PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
-AIR ENTERTAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS 2.6-A AND 2.13-A
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5 PERFORMED BY GENERAL CONTRACTOR
-ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E

STEEL:
-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35 KSI)
-HSS ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)
-HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR
-NUTS: ASTM A563A, HEAVY HEX
-WASHERS: ASTM F844 A36
-USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
-DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION

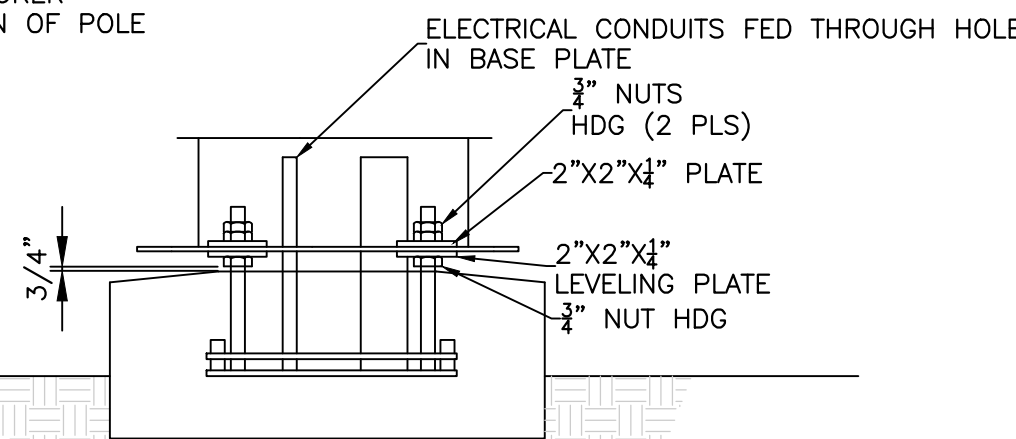


A FOUNDATION



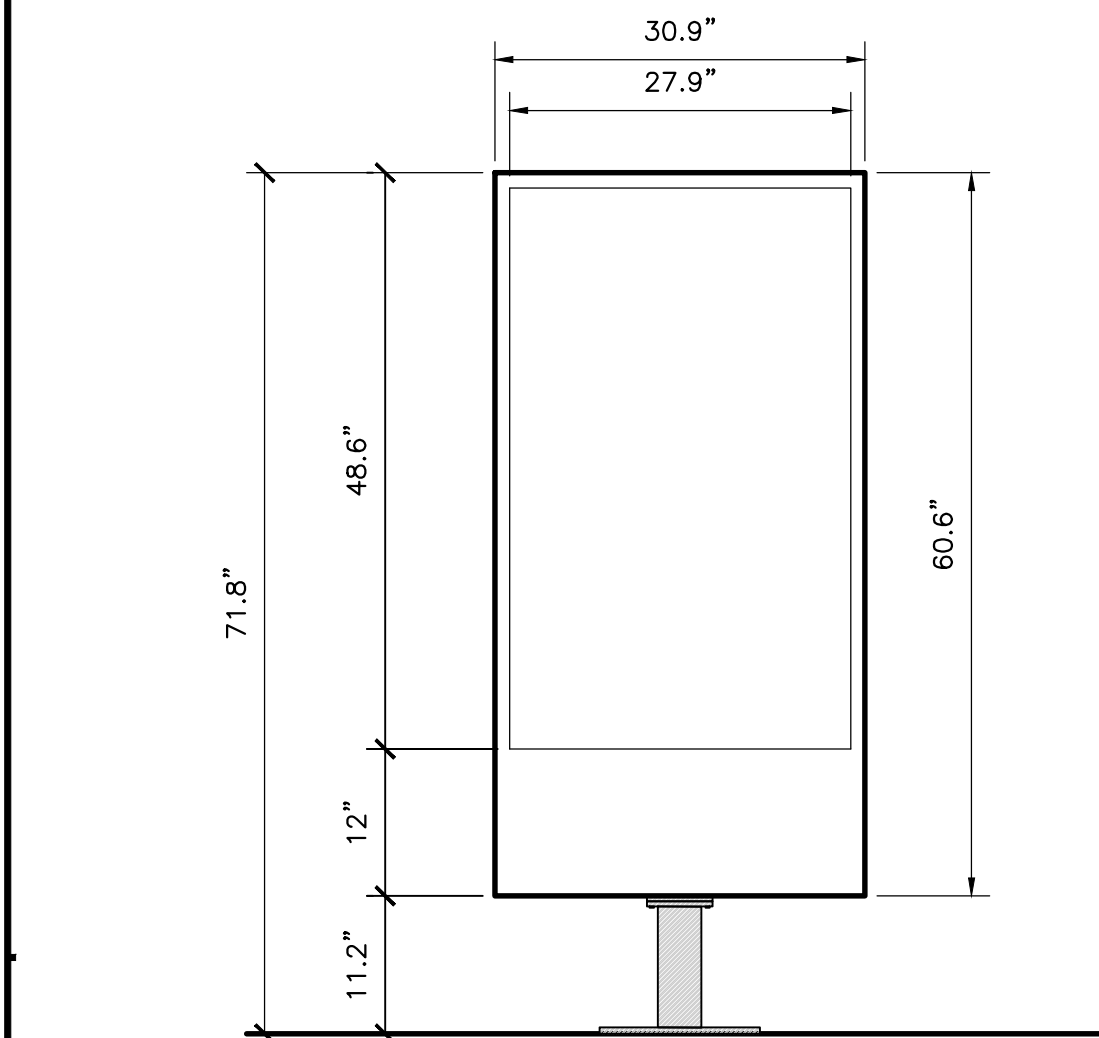
B ANCHOR BOLT PATTERN

NOTES:
• TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
• ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE ENCLOSURE MANUFACTURER
• DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



C CONNECTION DETAILS

1 DIGITAL MENU BOARD
SD1 SCALE: NONE



ELECTRICAL: FIRST CIRCUIT: 120/1/60, 15 AMP
SECOND CIRCUIT: 120/1/60, 10 AMP

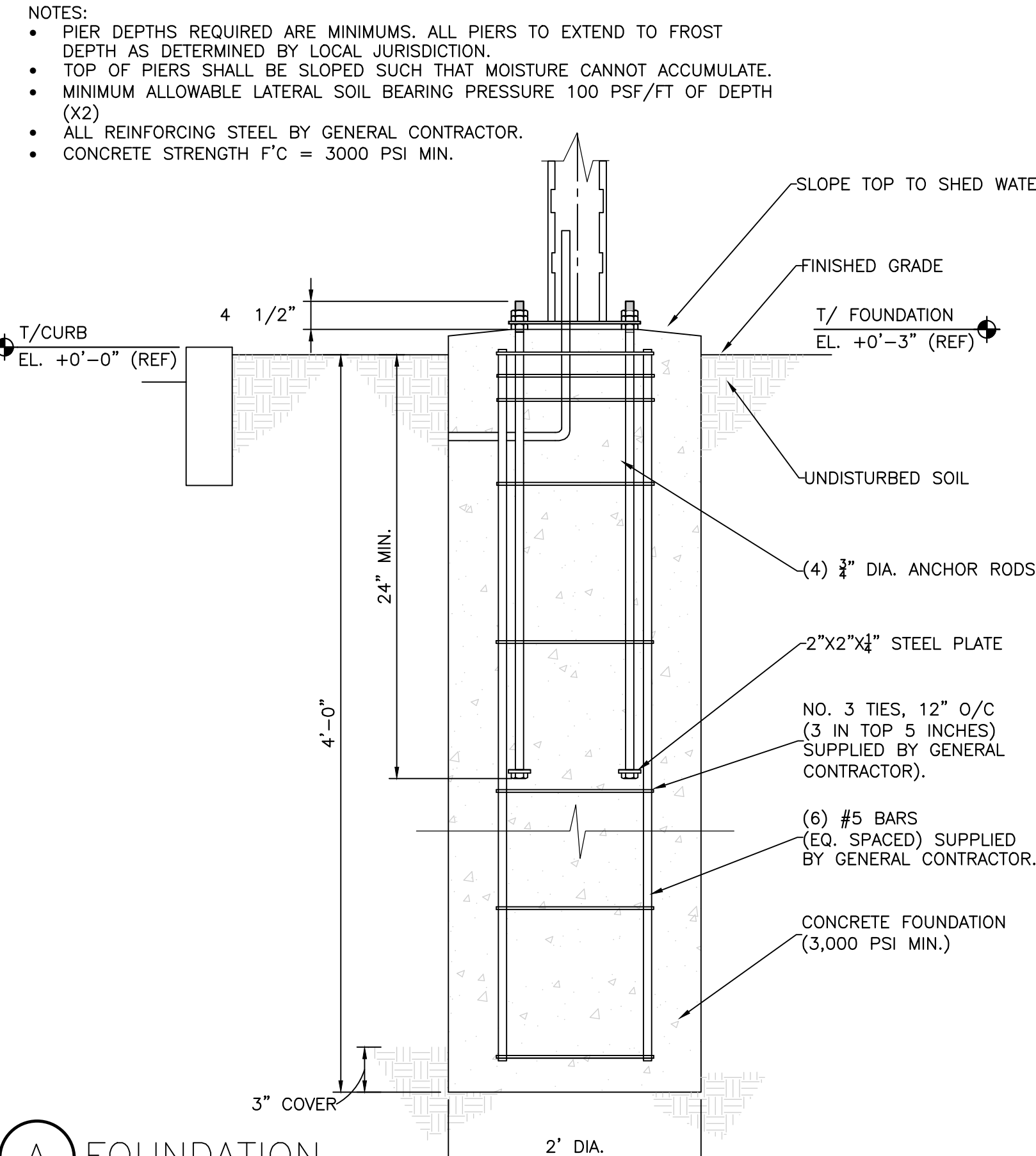
SHIP WEIGHT: 350 LBS.

MEDIA PLAYER: COATES

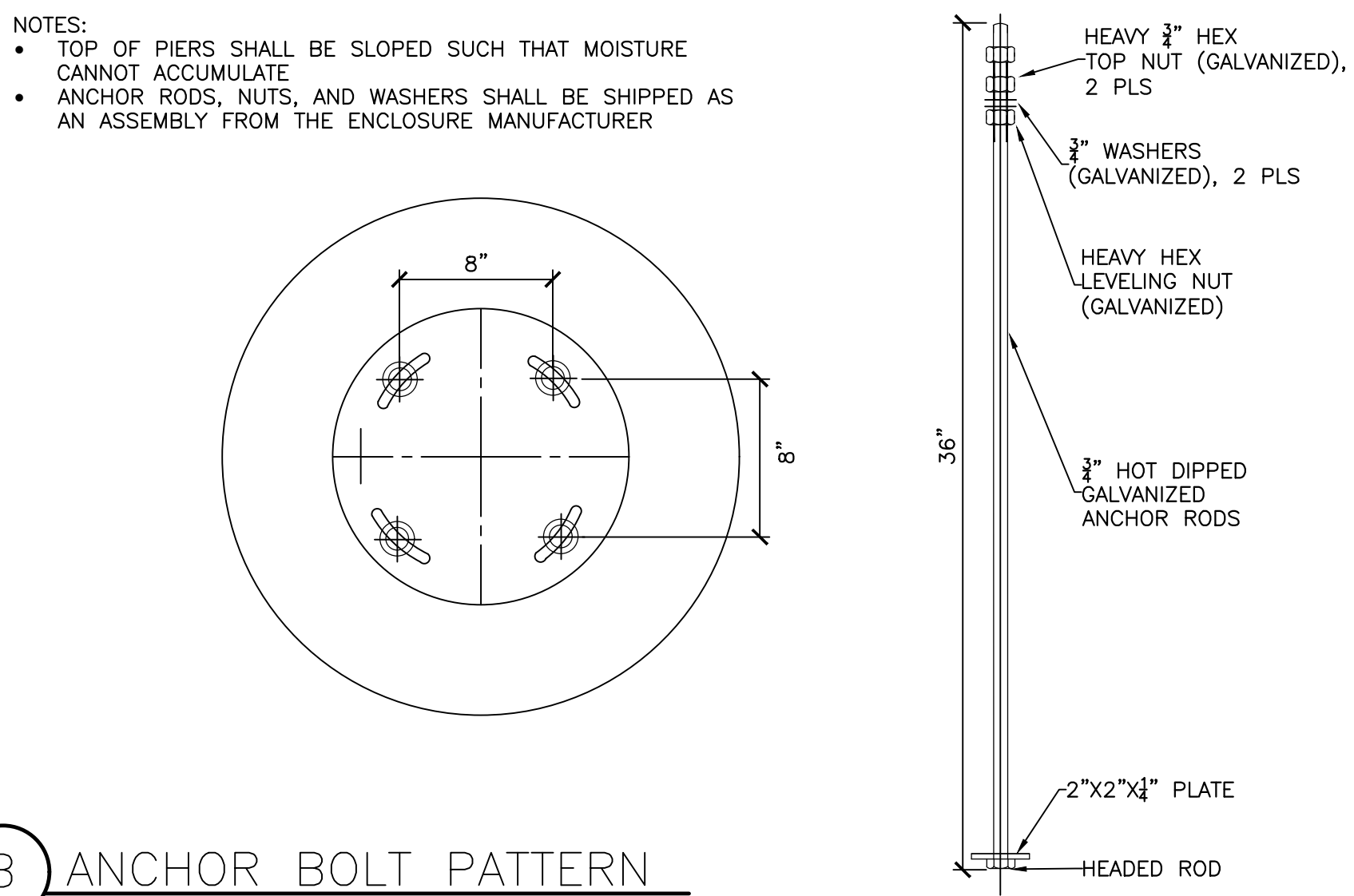
GENERAL NOTES
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-IBC 2015 (WITH LOCAL AMENDMENTS)
-ASCE 7-10
-ACI 318-14
-AISC 360-10 & AISC 341-10
-AWS D1.1
-WIND SPEED 115 MPH (ULTIMATE WIND SPEED)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
-AXIAL- 350 #
-SHEAR- 460 #
-MOMENT- 1,407 FT-#
-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
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-HSS ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)
-HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
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-NUTS: ASTM A563A, HEAVY HEX
-WASHERS: ASTM F844 A36
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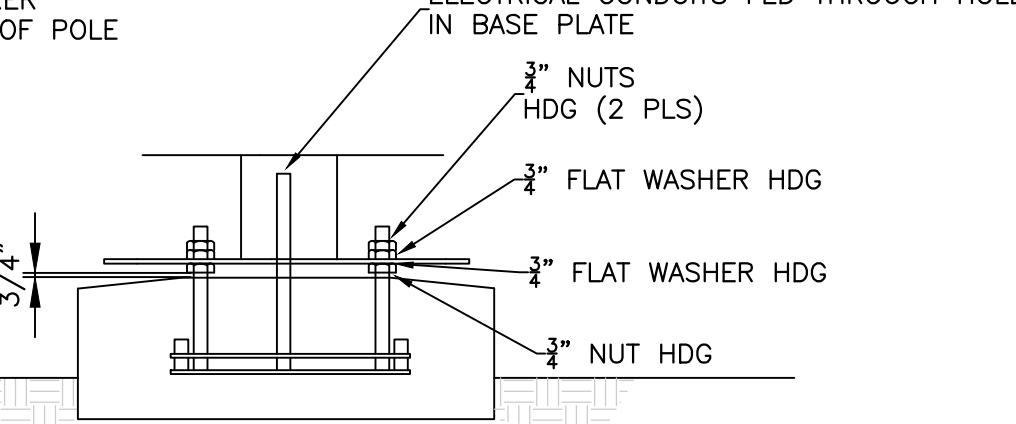


A FOUNDATION



B ANCHOR BOLT PATTERN

NOTES:
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• DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



C CONNECTION DETAILS

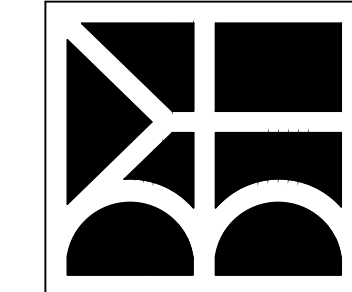
2 DIGITAL PRE-BROWSE BOARD
SD1 SCALE: NONE

ENGINEER
MZ
CHECKED BY
TT
DATE
01/27/23
REVISIONS
△
△
△
△

BRADLEY YOUNG
REGISTERED PROFESSIONAL ENGINEER
NO. 17414
IOWA

PROJECT:
McDonald's - ANKENY, IA.
NW 36TH STREET & NW STATE STREET
ANKENY, IA. 50023

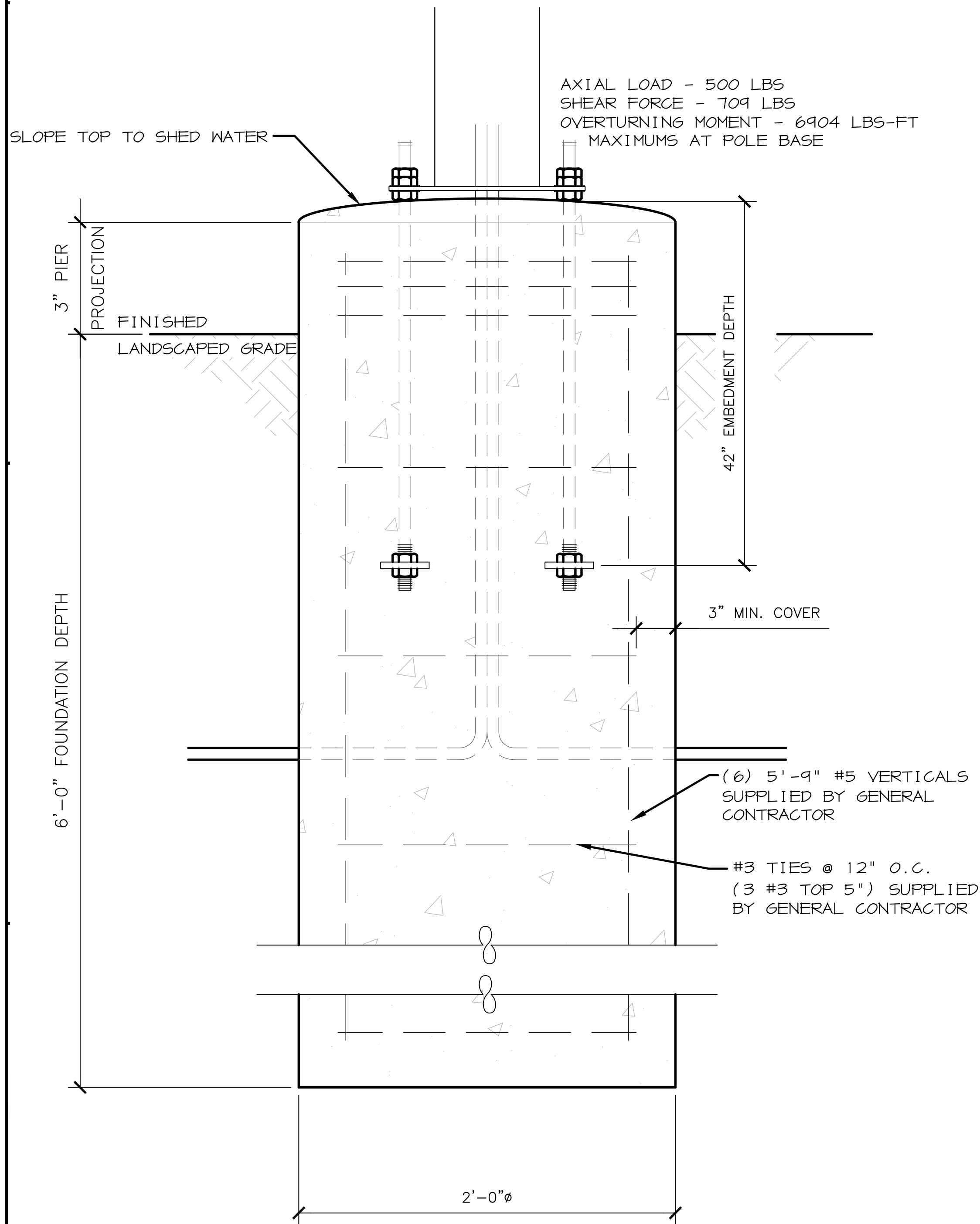
BRAD YOUNG & ASSOCIATES, INC.
STRUCTURAL ENGINEERING



PROJECT NUMBER
BY# 22661
DIGITAL MENU BOARD
SHEET NUMBER

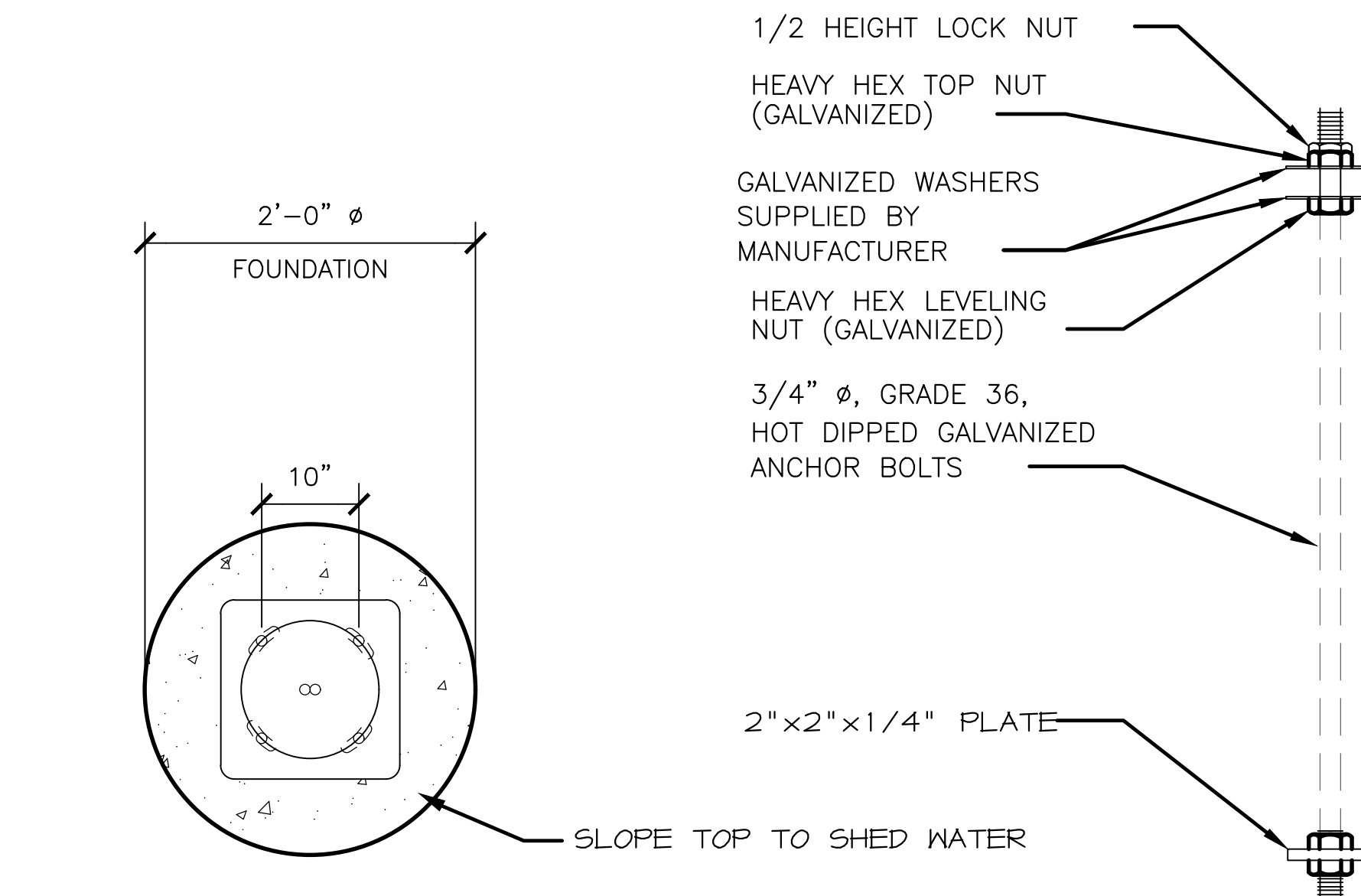
FD1

345 POLLASKY
CLOVIS, CALIFORNIA 93612
PHONE: (559) 323-9600 FAX: (559) 323-9633



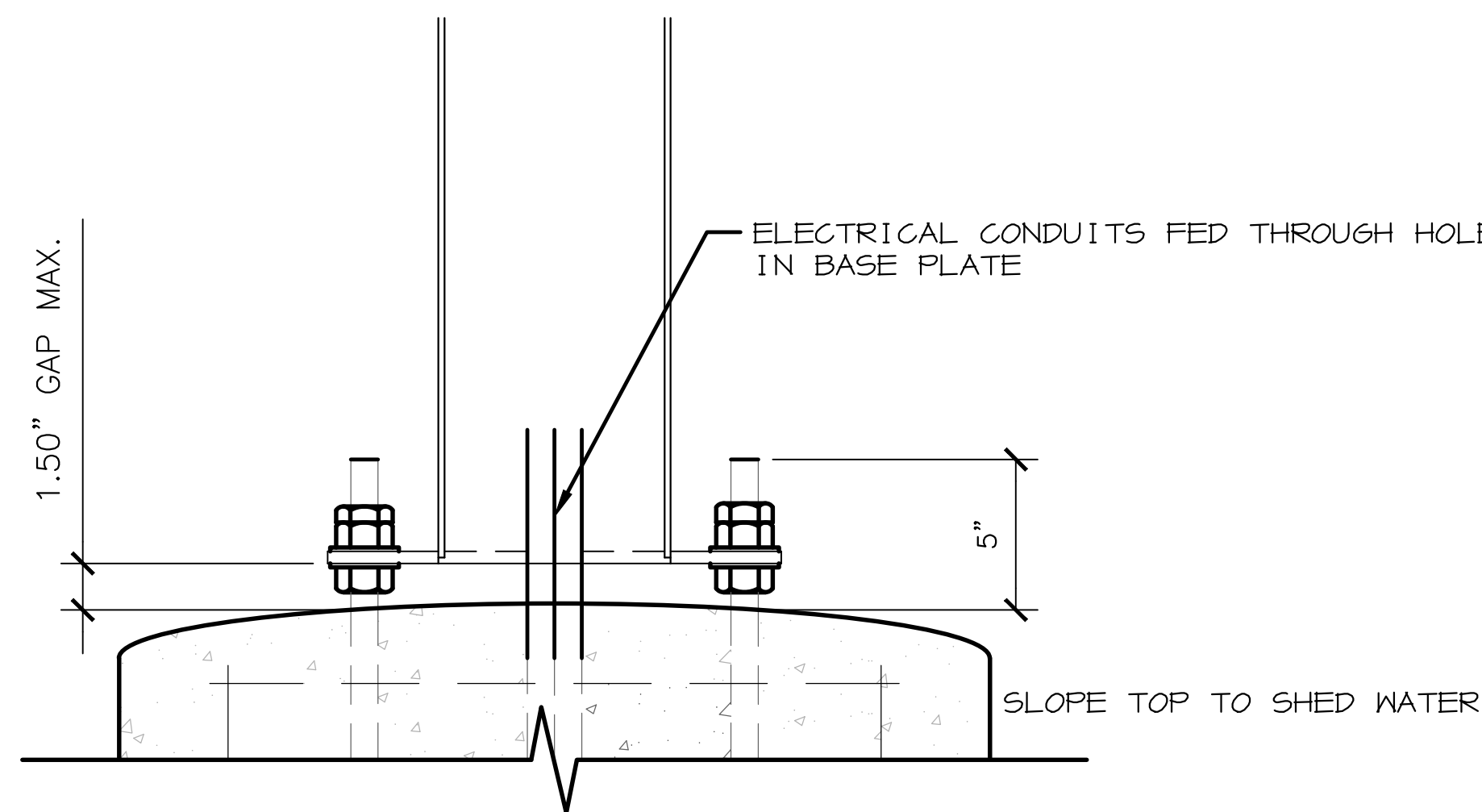
A CLEARANCE GATEWAY
NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-USE F1554 GRADE 36 BOLTS MINIMUM
-USE HOT DIPPED GALVANIZED BOLTS
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



B ANCHOR BOLT PATTERN
NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



C CONNECTION DETAILS
NTS

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
-IBC 2015
-ASCE 7-10
-ACI 318-14
-AISC 14th EDITION
-AWS D1.1

-WIND SPEED 115 MPH (3-SEC. ULT. GUST)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
-AXIAL - 500 LBS
-SHEAR - 709 LBS
-MOMENT - 6904 LBS-FT

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

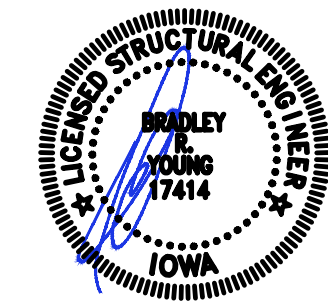
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-MINIMUM CONCRETE STRENGTH (F'c) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:

-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy = 35ksi)
-HSS ROUND SECTION: ASTM A500 GRADE B (Fy = 42ksi)
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy = 46ksi)
-CONNECTION BOLTS A325
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: GRADE 60 - BY GENERAL CONTRACTOR
-NUTS: A563DH OR A194-2H
-WASHERS: F436
-USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

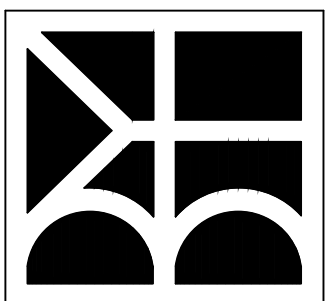
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS

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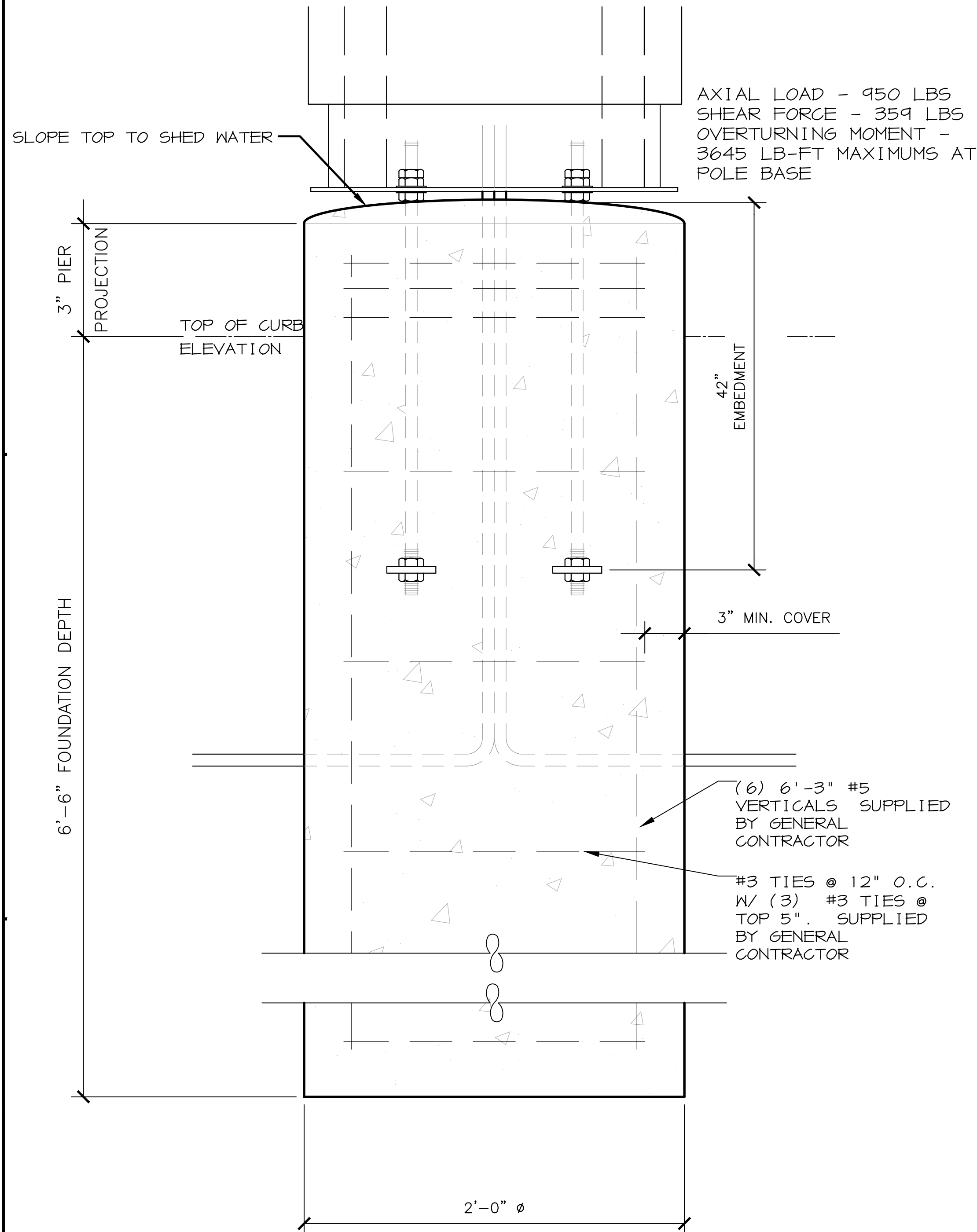
PROJECT:
McDonald's - ANKENY, IA.
NW 36TH STREET & NW STATE STREET
ANKENY, IA. 50023

BRAD YOUNG & ASSOCIATES, INC.
STRUCTURAL ENGINEERING

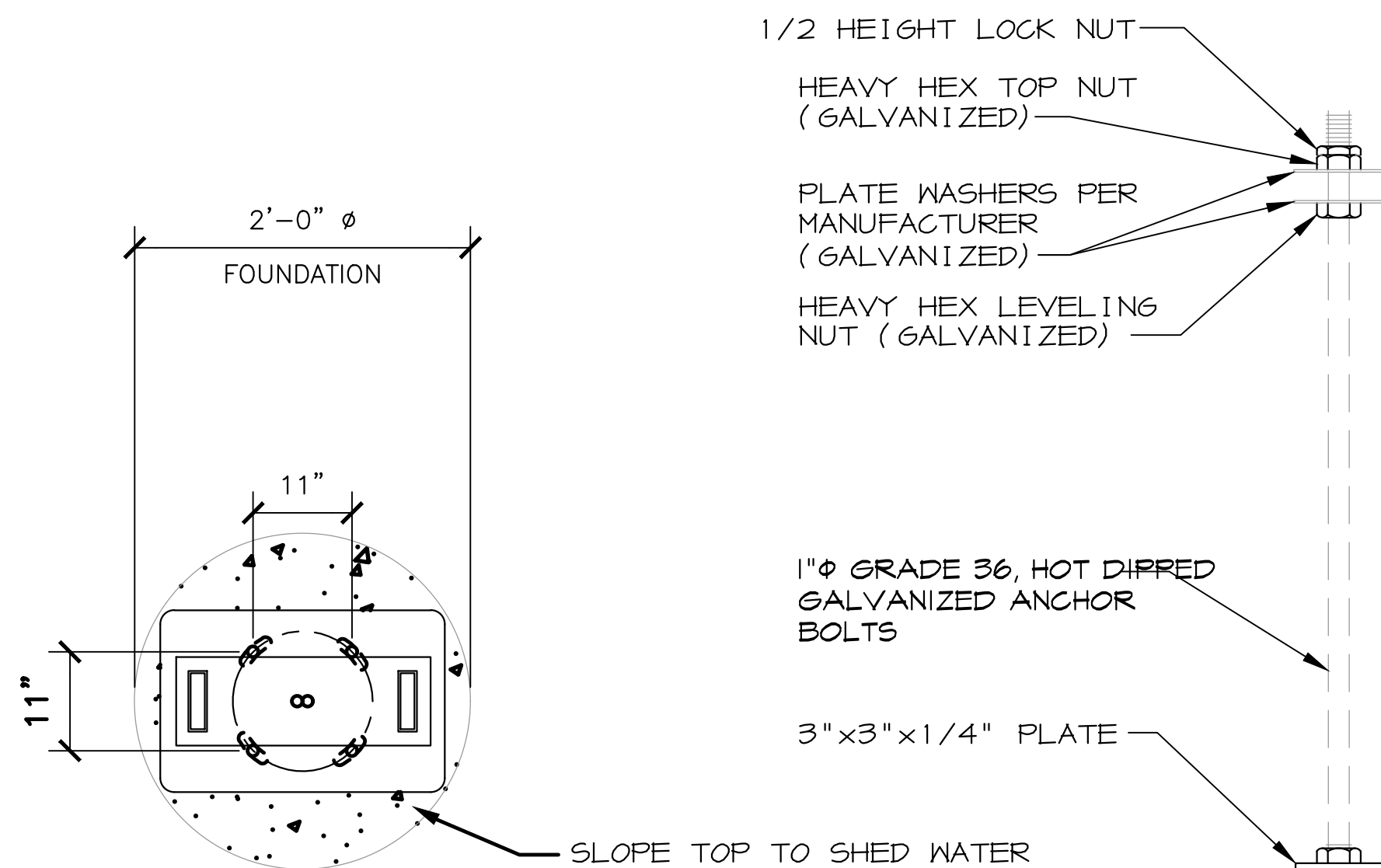


PROJECT NUMBER
BYA# 22661
CLEARANCE GATEWAY FOUNDATION
SHEET NUMBER

FD2

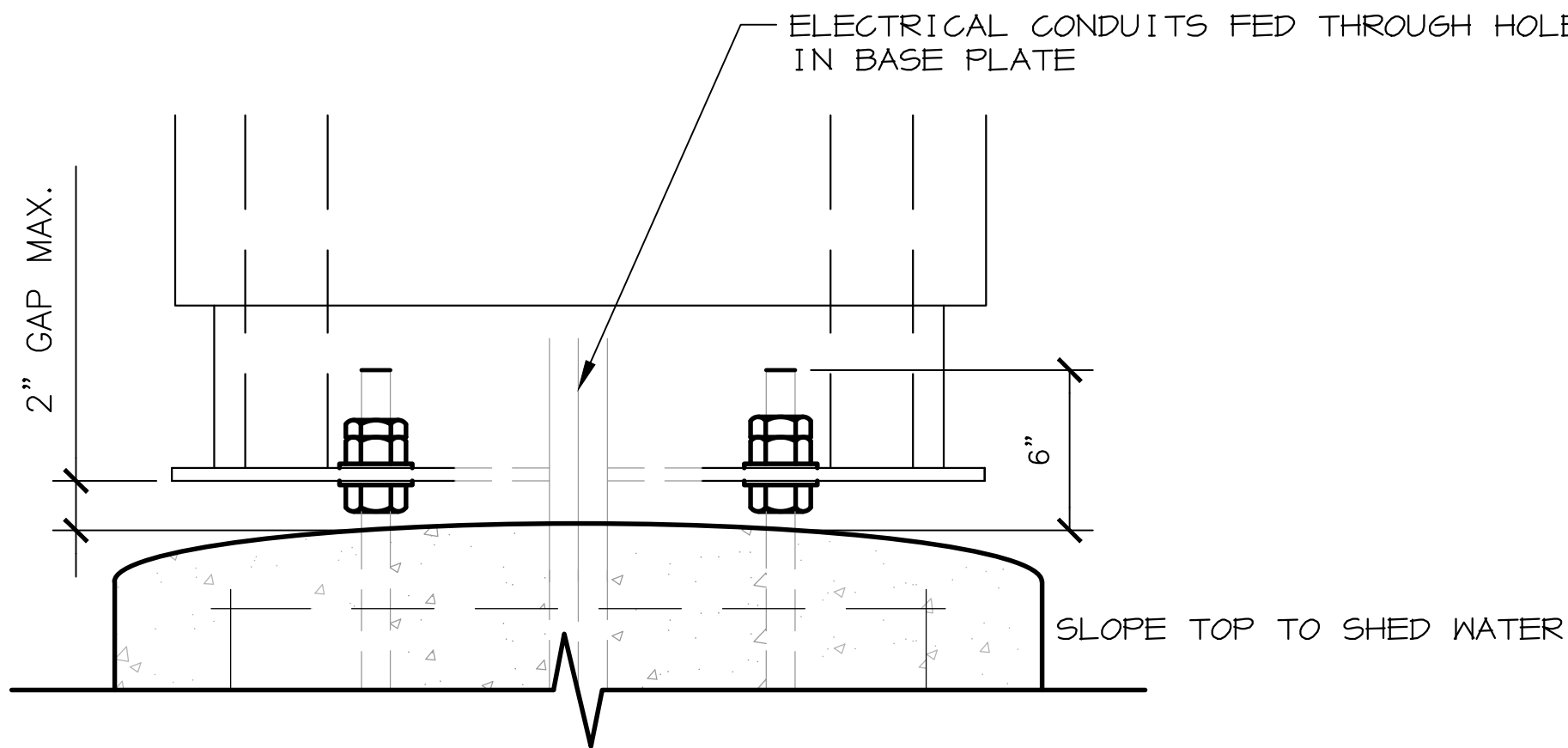


NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-USE F1554 GRADE 36 BOLTS MINIMUM
-USE HOT DIPPED GALVANIZED BOLTS
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



B ANCHOR BOLT PATTERN
NTS

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C CONNECTION DETAILS
NTS

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
-IBC 2015
-ASCE 7-10
-ACI 318-10
-AISC 14th EDITION
-ANS D1.1
-WIND SPEED 115 MPH, (3 SEC. ULT. GUST)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
-AXIAL - 950 LBS
-SHEAR - 359 LBS
-MOMENT - 3645 LB-FT

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.
IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

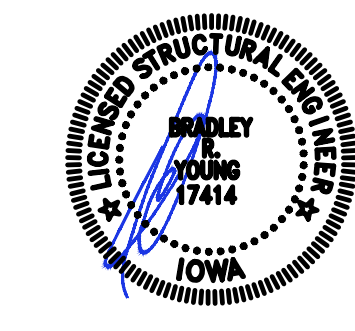
CONCRETE:

-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
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STEEL:

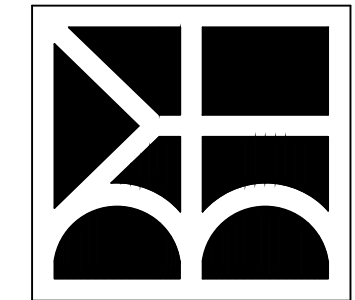
-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy = 35ksi)
-HSS ROUND SECTION: ASTM A500 GRADE B (Fy = 42ksi)
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy = 46ksi)
-CONNECTION BOLTS A325
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: GRADE 60 - BY GENERAL CONTRACTOR
-NUTS: A563DH OR A194-2H
-WASHERS: A36
-USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER

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01/27/23
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PROJECT:
McDonald's - ANKENY, IA.
NW 36TH STREET & NW STATE STREET
ANKENY, IA. 50023

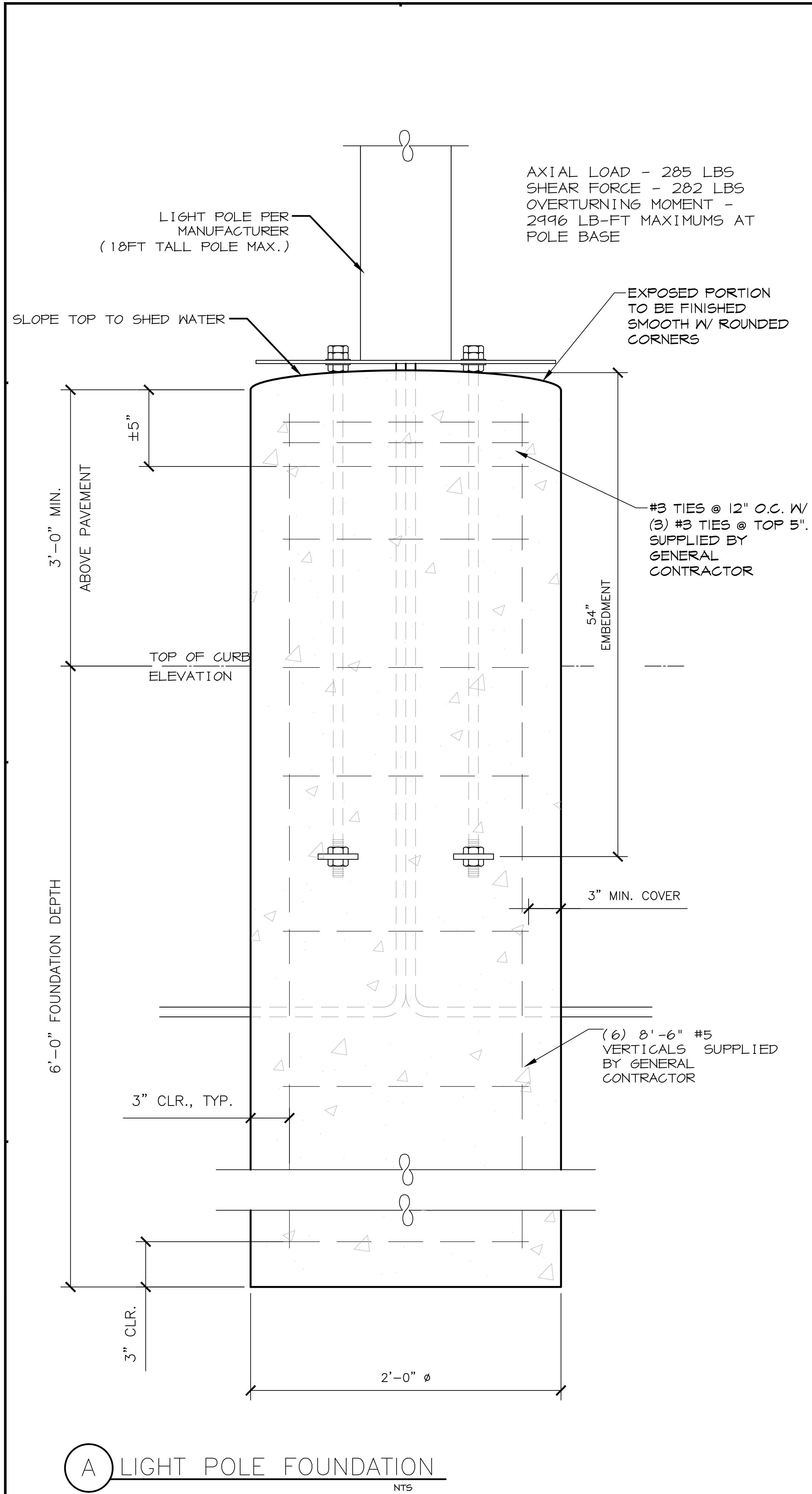
BRAD YOUNG & ASSOCIATES, INC.
STRUCTURAL ENGINEERING



PROJECT NUMBER
BYA# 22661

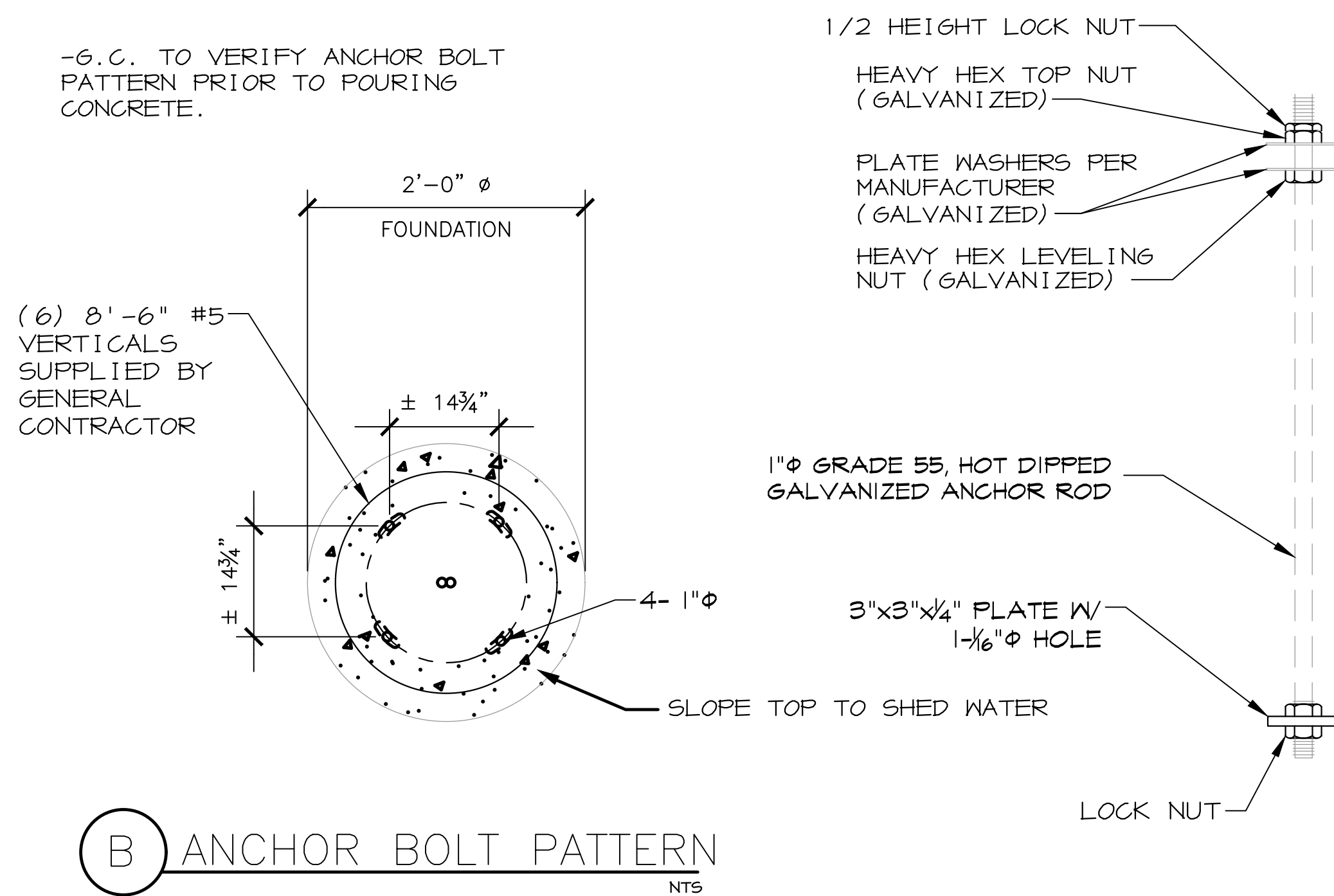
ORDER HERE CANOPY FOUNDATION
SHEET NUMBER

FD3

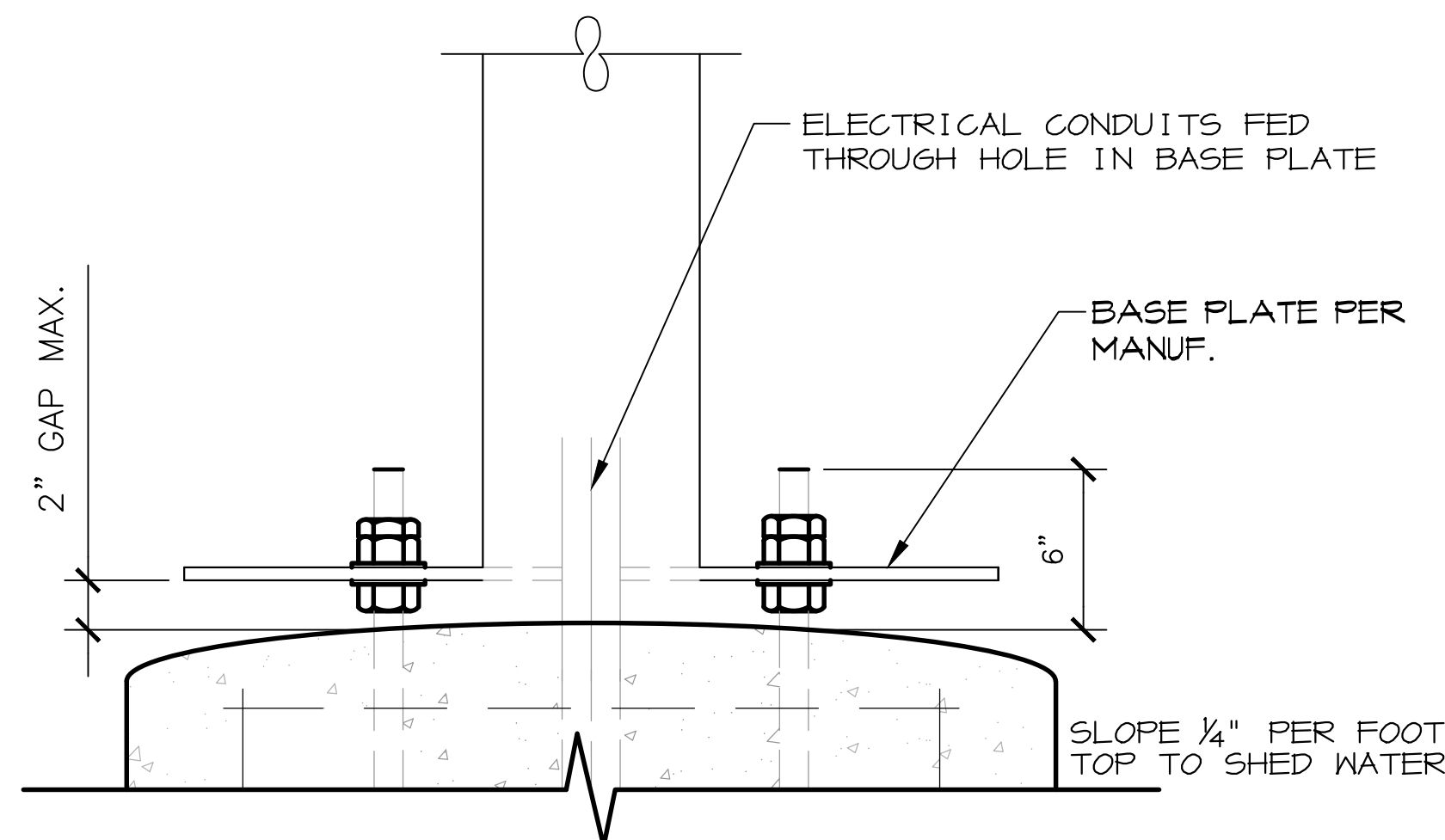


NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-USE F1554 GRADE 55 BOLTS MINIMUM
-USE HOT DIPPED GALVANIZED BOLTS
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE LIGHT POLE MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE

-G.C. TO VERIFY ANCHOR BOLT PATTERN PRIOR TO POURING CONCRETE.



NOTES:
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GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:

- IBC 2015
- ASCE 7-10
- ACI 318-10
- AISC 14th EDITION
- ANS D1.1
- WIND SPEED 115 MPH, (3 SEC. ULT. GUST)
- EXPOSURE C
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
- AXIAL - 285 LBS
- SHEAR - 282 LBS
- MOMENT - 2996 LB-FT

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
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STEEL:

-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F_y = 35ksi)
-HSS ROUND SECTION: ASTM A500 GRADE B (F_y = 42ksi)
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F_y = 46ksi)
-CONNECTION BOLTS A325
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: GRADE 60 - BY GENERAL CONTRACTOR
-NUTS: A563DH OR A194-2H
-WASHERS: A36
-USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER

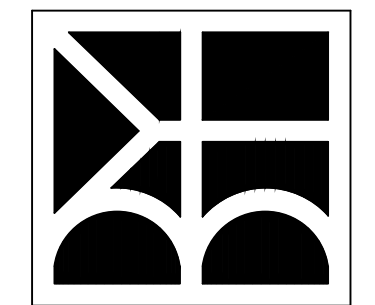
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01/27/23
REVISIONS
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PROJECT:
McDonald's - ANKENY, IA.
NW 36TH STREET & NW STATE STREET
ANKENY, IA. 50023

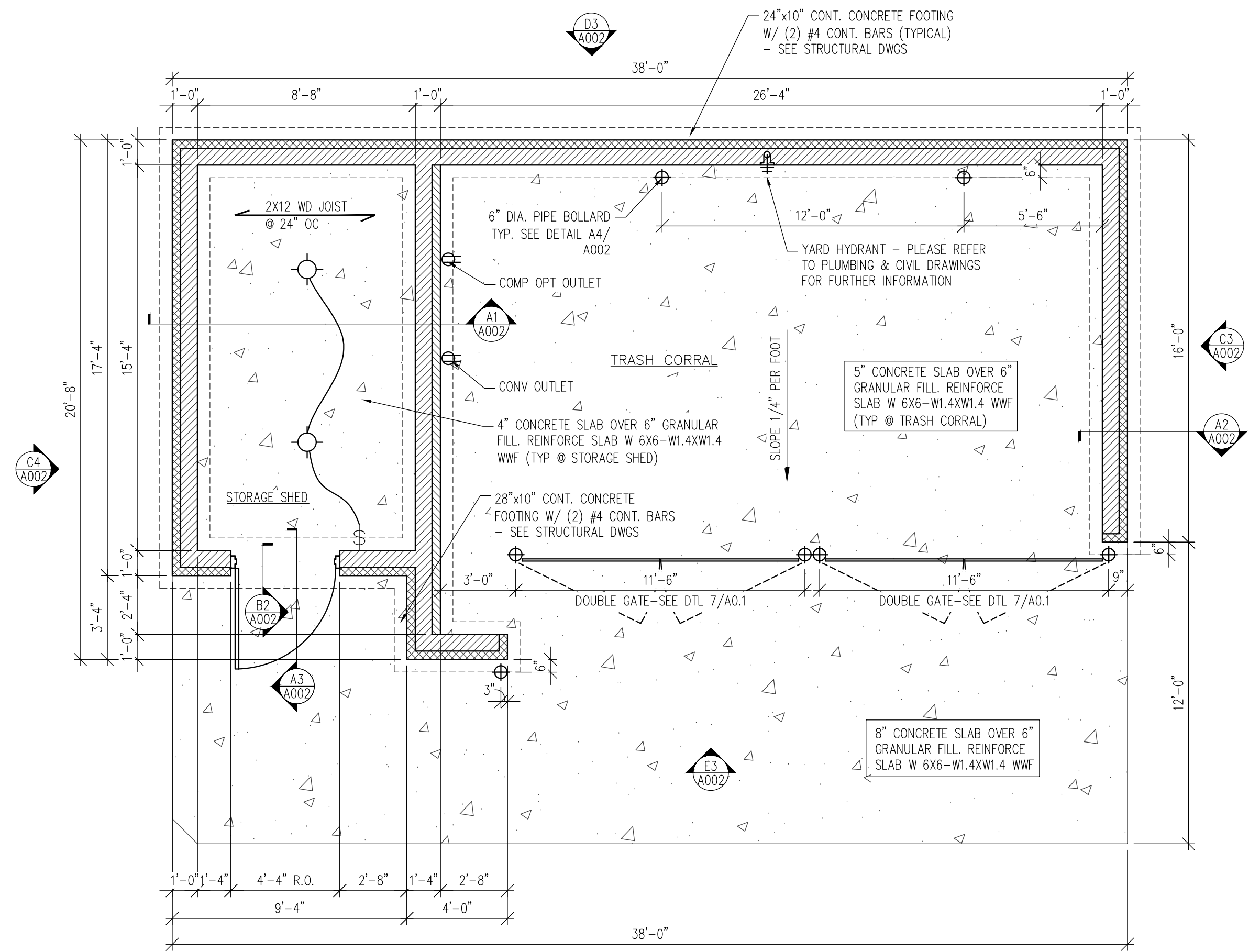
BRAD YOUNG & ASSOCIATES, INC.
STRUCTURAL ENGINEERING

345 POLLASKY
CLOVIS, CALIFORNIA 93612
PHONE: (559) 323-9600 FAX: (559) 323-9633

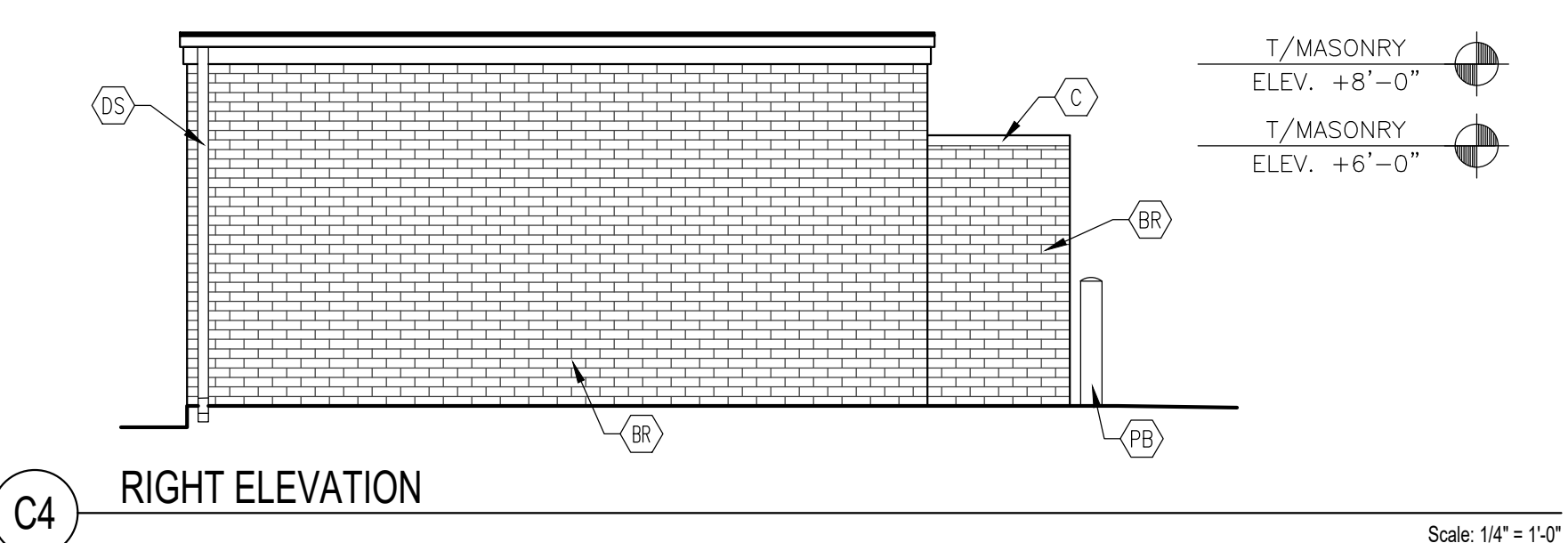
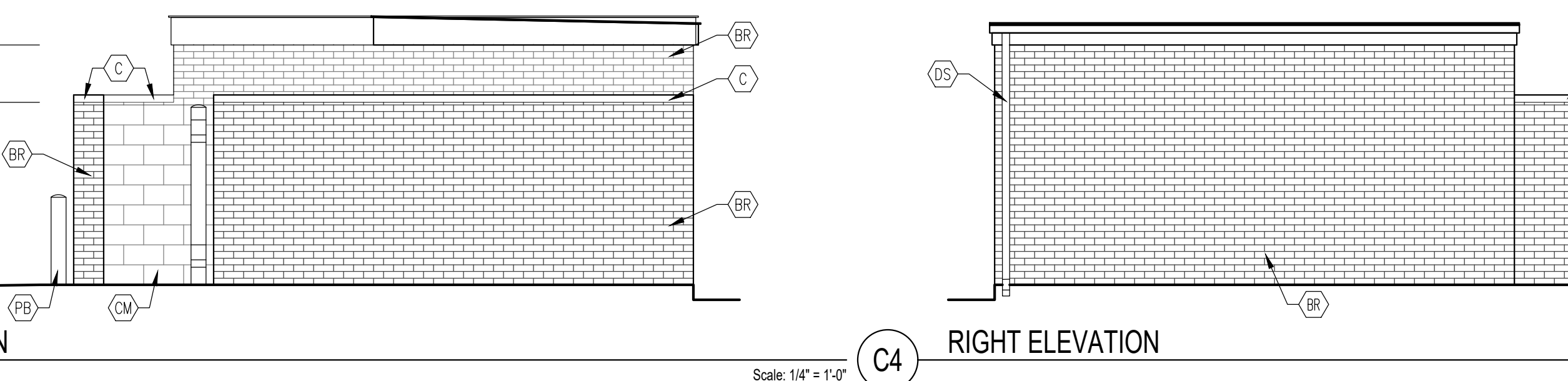
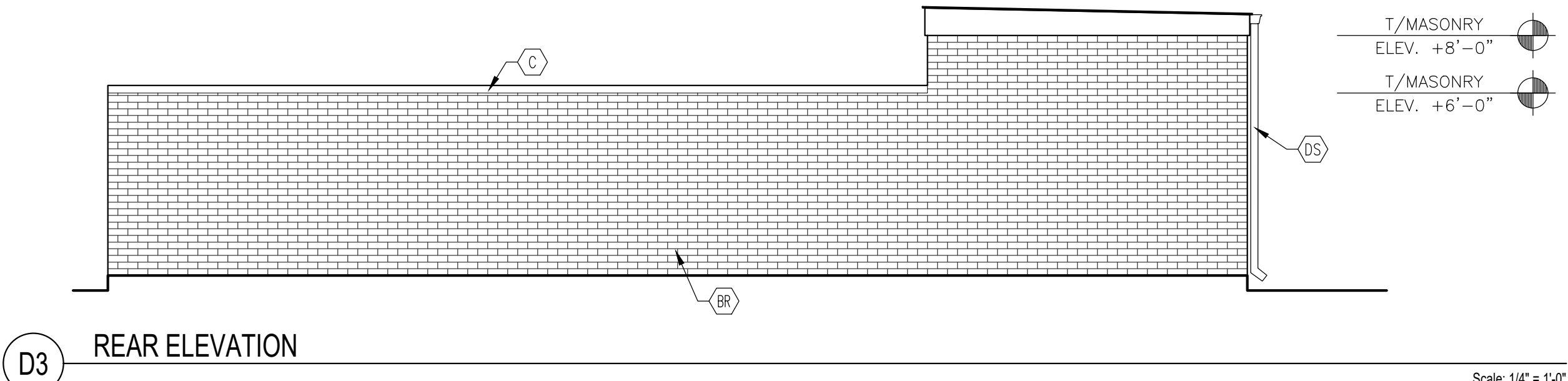
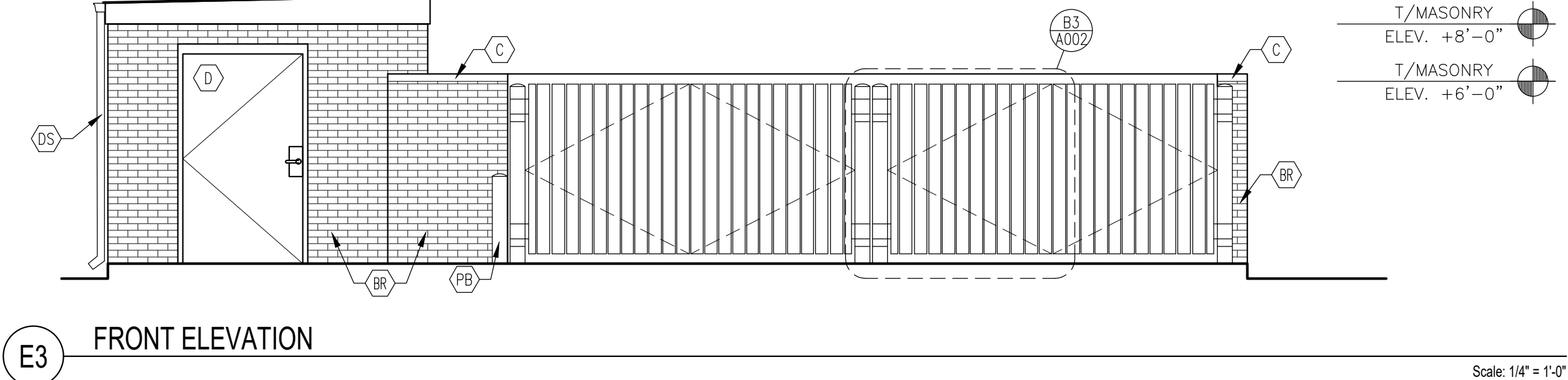


PROJECT NUMBER
BYA# 22661
SITE LIGHT POLE FOUNDATION
SHEET NUMBER

FD4



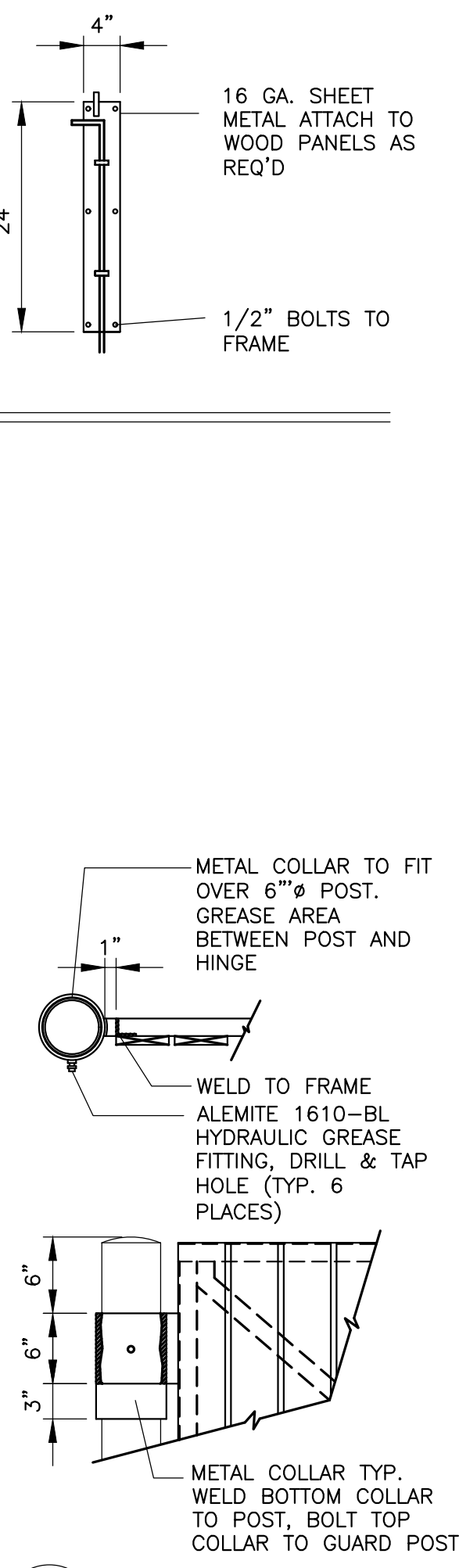
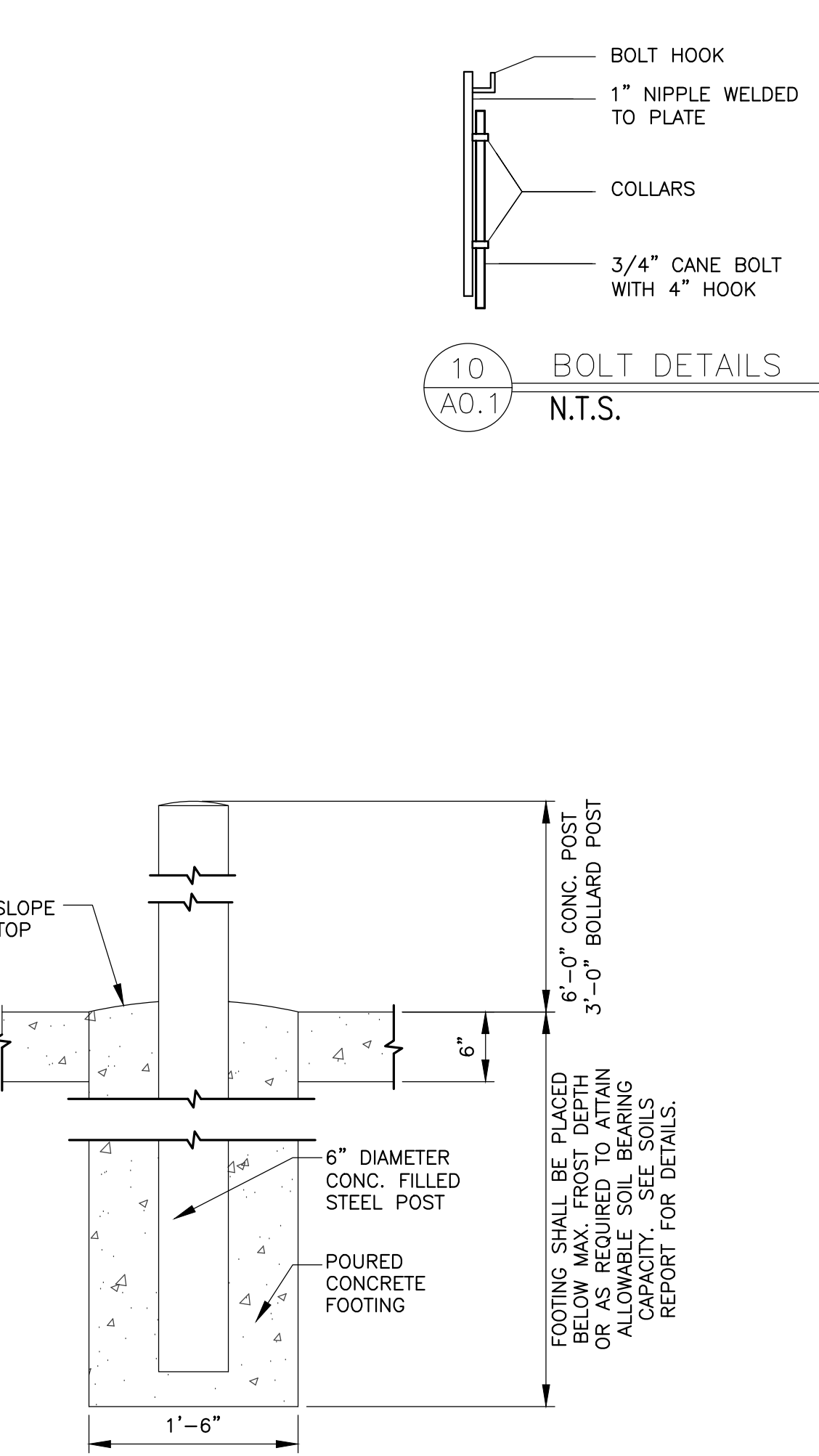
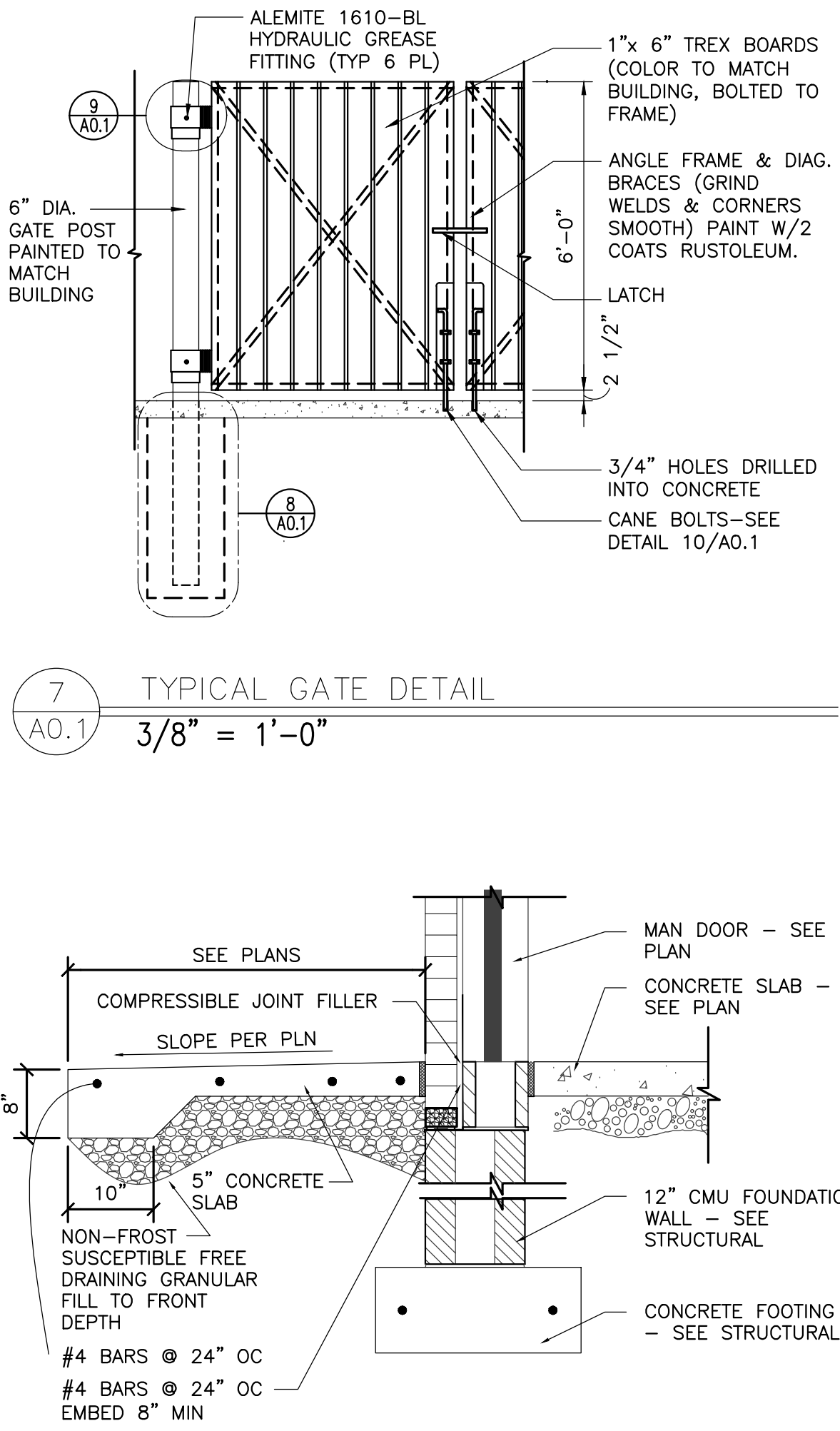
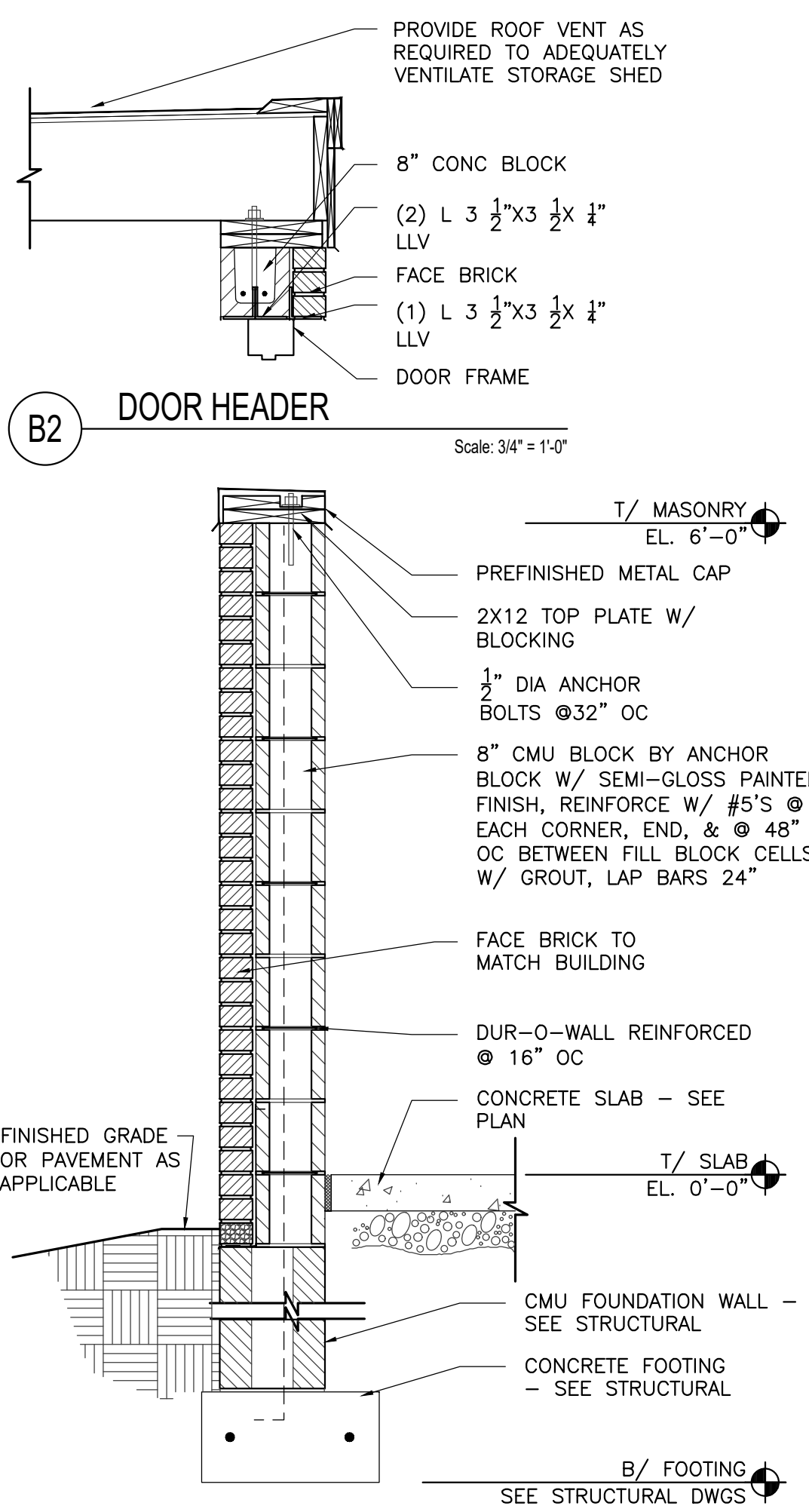
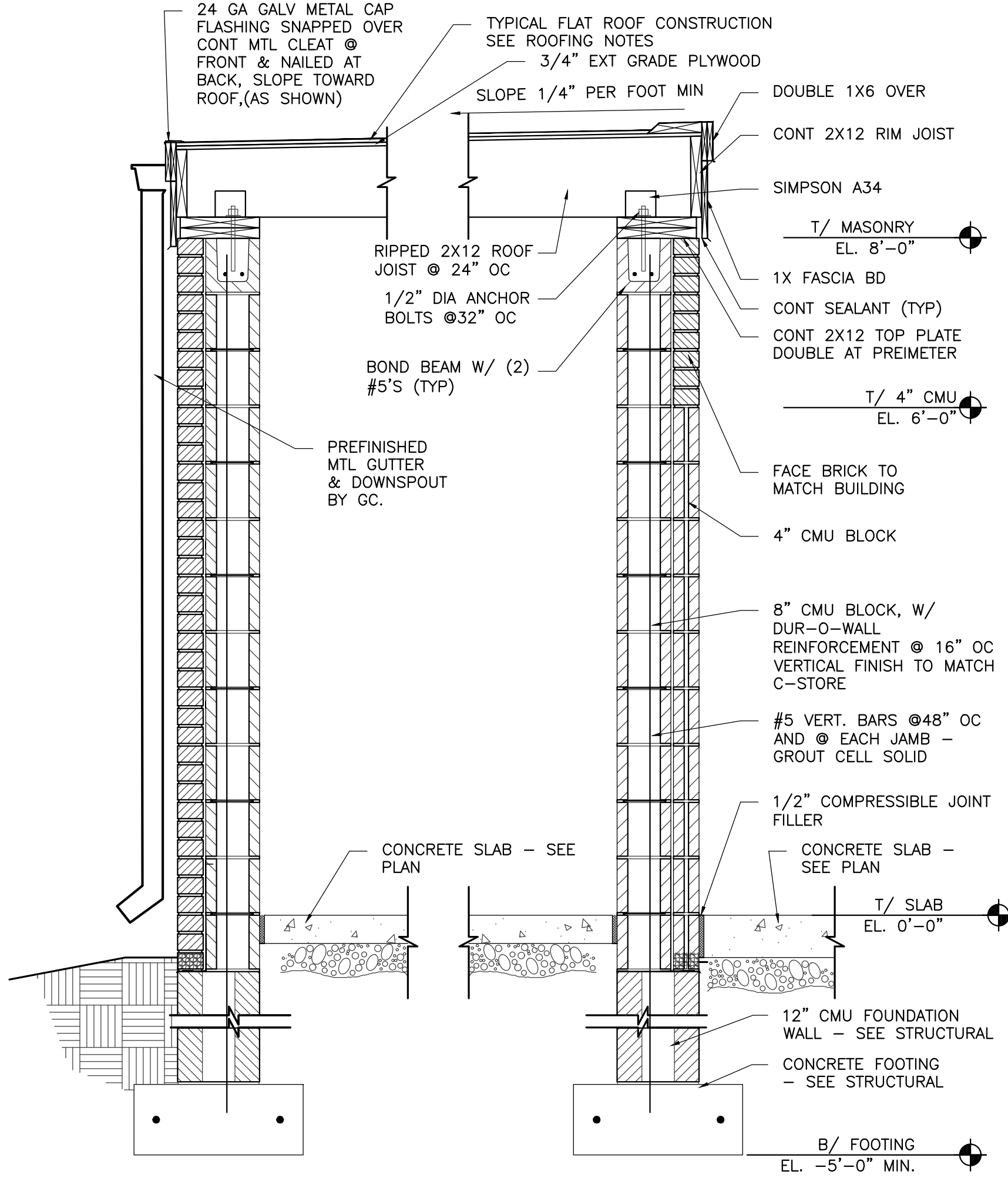
NOTE:
- HOLLOW METAL DOOR SHALL BE 4'-0"X7'-0"X1 3/4" WITH FRAME, THRESHOLD, CONTINUOUS HINGE, LEVER HANDLE AND STOREROOM JIMMY-PROOF LOCKSET AND CLOSER W/ HOLD OPEN.
- INCANDESCENT LIGHT FIXTURE SHALL BE FURNISHED, WIRE GUARD, 40 WATT LAMP, AND SURFACE MOUNT. PASS & SEMORE-#44 OR LIGHTING LTD-#1743-2000 AWG



C1 TRASH ENCLOSURE PLAN W/ SHED

C3 LEFT ELEVATION

C4 RIGHT ELEVATION



A1 SECTION

A2 TYPICAL WALL SECTION

A3 SECTION AT TRASH ENCLOSURE STOOP

8 TYP PIPE BOLLARD & GATE POST DTL

9 HINGE DETAILS

- KEY NOTES:
- BRICK VENER BY ENDICOTT
 - MEDIUM IRON SPOT 46
 - MORTAR: SM750 SILVERSTONE BY SPEC MIX
 - METAL COPING - UNA-CLAD BY FIRESTONE ANNOXIDIZED ALUMINUM COLOR: WEATHERED ZINC
 - CMU SEMI-GLOSS PAINTED FINISH
 - HOLLOW METAL DOOR, PAINT 1469 EAGLE ROCK BY BENJAMIN MOORE
 - PIPE BOLLARD - PAINTED YELLOW
 - GUTTER AND DOWNSPOUT COLOR: PAINT TO MATCH SURROUNDING MATERIALS



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STATE ID: 140363 NATIONAL #: 40655
PROJECT #: 23-214 DATE: 06/26/23
DRAWN BY: RP CHECKED BY: JK

REVISIONS

1	07/24/23 - USRD COMMENTS
2	08/31/23 - CITY COMMENTS
3	
4	
5	
6	

CLIENT

McDonald's USA, LLC

ADDRESS

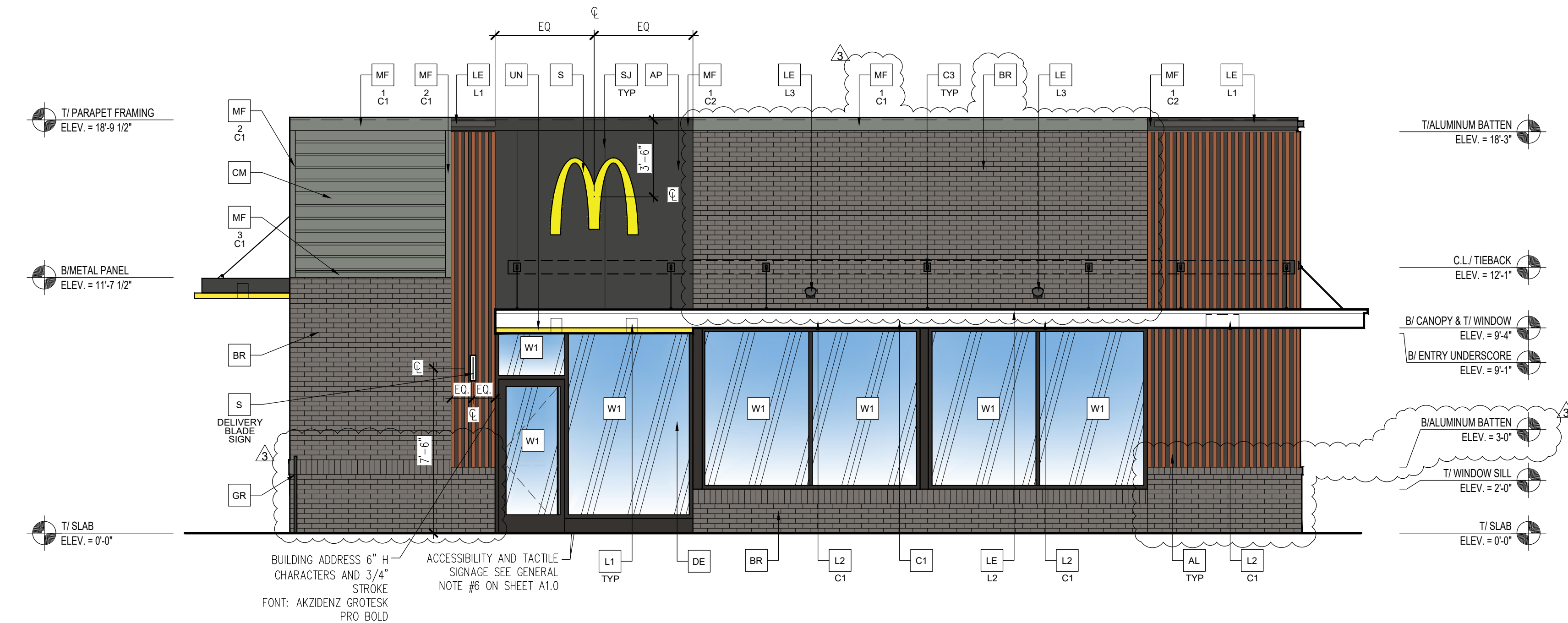
NW 36TH & STATE
ANKENY, IA 50023

SHEET TITLE

TRASH ENCLOSURE
PLAN AND
DETAILS

SHEET NUMBER:

A0.1

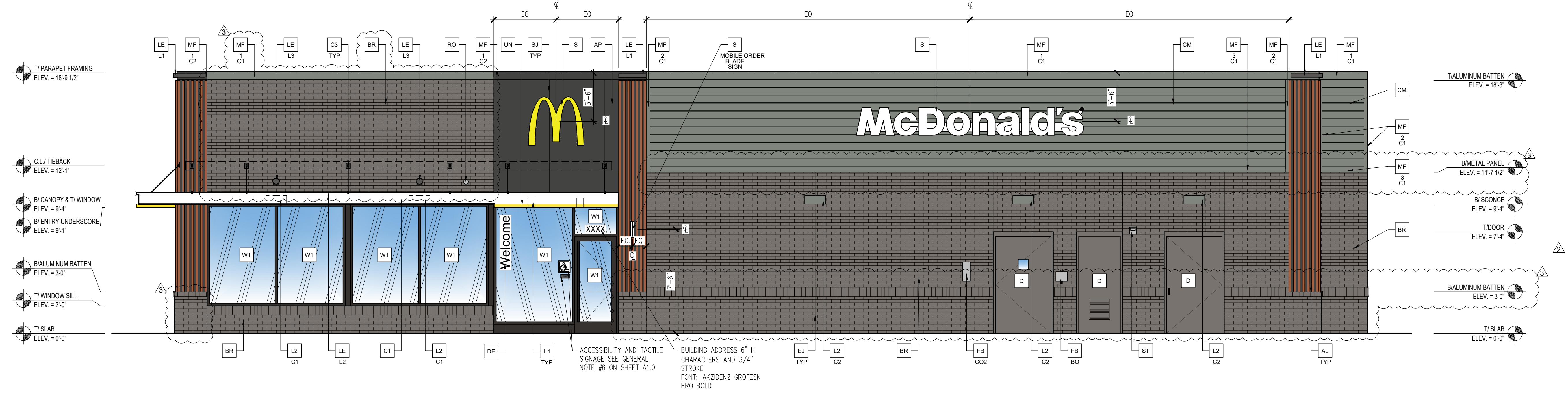


NORTH ELEVATION MATERIAL PERCENTAGE BREAKDOWN:			
METAL REVEAL PANEL	49 SF	6%	
BRICK	339 SF	39%	
FENESTRATION	236 SF	27%	
VERTICAL BATTENS	137 SF	16%	
METAL FASCIA	27 SF	3%	
ALPOLIC PANEL	81 SF	9%	
TOTAL	869 SF	100%	
PUBLIC FACING ELEVATION REQUIRES 60%		66%	

TOTAL ELEVATIONS MATERIAL PERCENTAGE BREAKDOWN:			
METAL REVEAL PANEL	1,180 SF	24%	
BRICK	2,295 SF	46%	
FENESTRATION	543 SF	11%	
VERTICAL BATTENS	435 SF	9%	
METAL FASCIA	154 SF	3%	
ALPOLIC PANEL	275 SF	5%	
PAINTED DELIVERY DOORS	112 SF	2%	
TOTAL	4,994 SF	100%	

WEST ELEVATION MATERIAL PERCENTAGE BREAKDOWN:			
METAL REVEAL PANEL	332 SF	21%	
BRICK	737 SF	45%	
FENESTRATION	236 SF	15%	
VERTICAL BATTENS	101 SF	6%	
METAL FASCIA	50 SF	3%	
ALPOLIC PANEL	81 SF	5%	
PAINTED DELIVERY DOORS	88 SF	5%	
TOTAL	1,625 SF	100%	
PUBLIC FACING ELEVATION REQUIRES 60%		60%	

2 NORTH ELEVATION



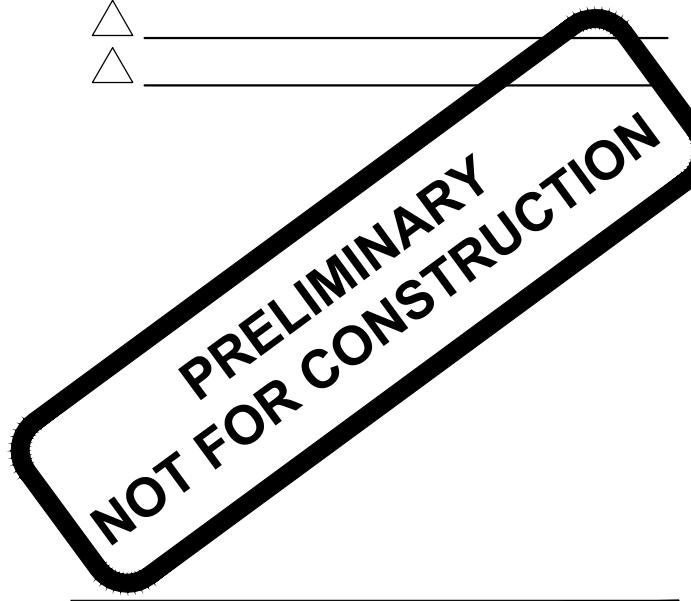
1 WEST ELEVATION



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STATE ID: 140363	NATIONAL #: 40655
PROJECT #: 23-214	DATE: 09/27/23
DRAWN BY: RP	CHECKED BY: JK

REVISIONS	
△	08/25/2023 - P & Z COMMENTS
△	09/20/2023 - P & Z COMMENTS
△	09/27/2023 - P & Z COMMENTS
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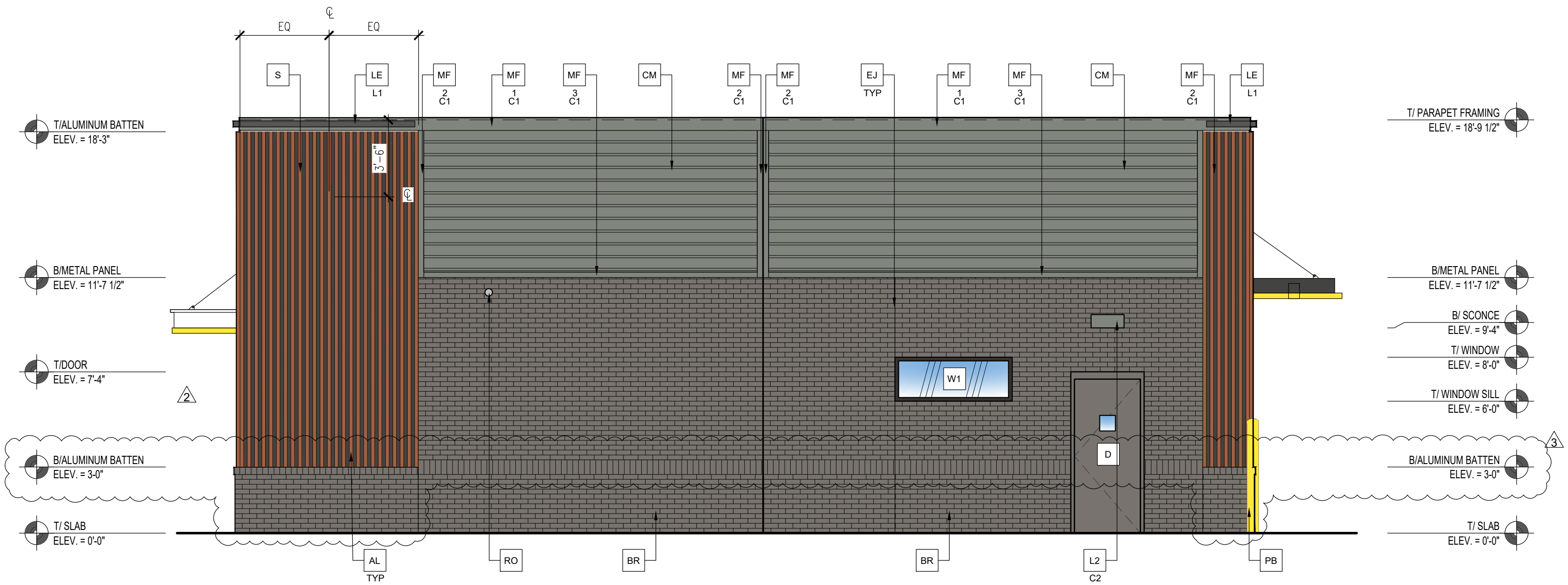
**McDonald's
USA, LLC**

ADDRESS
**NW 36TH & STATE
ANKENY, IA 50023**

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER:
A2.0

ELEVATION KEY NOTES:			
COLOR SCHEME: 'STEEL' SCHEME			
AL ALUMINUM BATTEN SYSTEM MFR: BH INDUSTRIES SIZE: 2"x2" PROFILE COLOR: FORTINA, WOOD GRAIN, BACKRAIL UNFINISHED, END CAP PAINTED TO MATCH SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1. HDO BOTH FACES. APAP TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AN DPAINT BOTH SIDES AND ALL EDGES. SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS	C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022 C3 ALUMINUM CANOPY TIEBACK COLOR: RAL 7022 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/A5.0	EJ EXPANSION JOINT, SEE DETAIL 7/A4.1 FB FILL BOX ## - TYPE: C02 = BULK C02 BO = BULK OIL GR GUARD RAIL - SEE SITE PLAN AND DETAIL 5/A2.1 COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL COLOR: GOLD L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL ## - COLOR: C1 = WHITE C2 = PLATINUM SILVER	LE LED ACCENT LIGHTING - SEE ELECTRICAL ## - TYPE: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE MF METAL FASCIA ## - TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES COLOR: C1 = WEATHERED ZINC C2 = RAL 7022 PB PIPE BOLLARD - PAINTED YELLOW PT (RMHC) COIN COLLECTOR: SEE DETAIL 4/A2.1 MODEL: #MPT STD CALL 1-888-743-7435 TO ORDER RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
AP ALPOLIC METAL PANEL COLOR: RAL 7022 BR BRICK VENEER BY HEBRON SLATE GRAY - SMOOTH ## MORTAR: SM750 SILVERSTONE BY SPEC MIX	CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA COLOR: WEATHERED ZINC D HOLLOW METAL DOOR PAINT: GAUNTLET GRAY SW 7019 BY SHERWIN WILLIAMS DE DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, am.bowen@vomela.com GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com		S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT WEATHERED ZINC RACEWAY WHERE OCCURS SJ ALPOLIC "WET" SEALED JOINT, SEE DETAIL 20/A4.1 ST C02 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION. TE TRU-EXTERIOR 1"x6" TRIM, PAINTED ON-SITE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS UN METAL UNDERSCORE COLOR: GOLD W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: DARK BRONZE W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT



SOUTH ELEVATION MATERIAL PERCENTAGE BREAKDOWN:

METAL REVEAL PANEL	239 SF	27%
BRICK	412 SF	47%
FENESTRATION	11 SF	1%
VERTICAL BATTENS	162 SF	19%
METAL FACIA	27 SF	3%
PAINTED DELIVERY DOORS	24 SF	3%
TOTAL	875 SF	100%

INTERIOR FACING ELEVATION REQUIRES 40% 47%

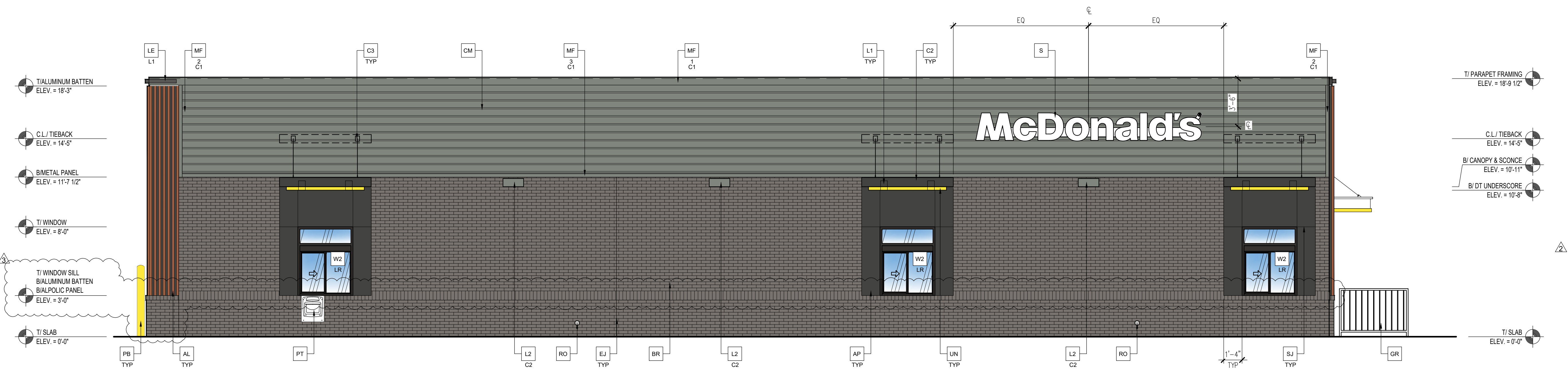
EAST ELEVATION MATERIAL PERCENTAGE BREAKDOWN:

METAL REVEAL PANEL	560 SF	34%
BRICK	807 SF	50%
FENESTRATION	60 SF	4%
VERTICAL BATTENS	35 SF	2%
METAL FACIA	50 SF	3%
ALPOLIC PANEL	113 SF	7%
TOTAL	1,625 SF	100%

INTERIOR FACING ELEVATION REQUIRES 40% 54%

2 SOUTH ELEVATION

Scale: 1/4"=1'-0"



1 EAST ELEVATION

Scale: 1/4"=1'-0"

ELEVATION KEY NOTES:

COLOR SCHEME: 'STEEL' SCHEME

AL ALUMINUM BATTEN SYSTEM
MFR: B+H INDUSTRIES
SIZE: 2"x2" PROFILE
COLOR: FORTINA, WOOD GRAIN, BACKRAIL UNFINISHED, END CAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1. HDO BOTH FACES. APAP TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AN DPAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

AP ALPOLIC METAL PANEL
COLOR: RAL 7022

BR BRICK VENEER BY HEBRON
SLATE GRAY - SMOOTH
MORTAR: SM750 SILVERSTONE BY SPEC MIX

C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE

C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022

C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/A5.0

CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
COLOR: WEATHERED ZINC

D HOLLOW METAL DOOR
PAINT: GAUNTLET GRAY SW 7019 BY SHERWIN WILLIAMS

DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS: VOMELA (865) 330-7337, amt.bowen@vomela.com
GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com

EJ EXPANSION JOINT, SEE DETAIL 7/A4.1

FB FILL BOX
- TYPE:
CO2 = BULK CO2
BO = BULK OIL

GR GUARD RAIL -SEE SITE PLAN AND DETAIL 5/A2.1
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD

L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
- COLOR:
C1 = WHITE
C2 = PLATINUM SILVER

LE LED ACCENT LIGHTING - SEE ELECTRICAL
- TYPE:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE

MF METAL FASCIA
- TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES

COLOR:
C1 = WEATHERED ZINC
C2 = RAL 7022

PB PIPE BOLLARD - PAINTED YELLOW

PT (RMHC) COIN COLLECTOR:SEE DETAIL 4/A2.1
MODEL: #MPT STD
CALL 1-888-743-7435 TO ORDER

RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL

S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT WEATHERED ZINC RACEWAY WHERE OCCURS

SJ ALPOLIC "WET" SEALED JOINT, SEE DETAIL 20/A4.1

ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.

TE TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

UN METAL UNDERSCORE
COLOR: GOLD

W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE

W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
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STATE ID: 140363
PROJECT #: 23-214
DRAWN BY: RP
NATIONAL #: 40655
DATE: 09/27/23
CHECKED BY: JK

REVISIONS

- 08/25/2023 - P & Z COMMENTS
- 09/20/2023 - P & Z COMMENTS
- 09/27/2023 - P & Z COMMENTS
-
-
-

**PRELIMINARY
NOT FOR CONSTRUCTION**

CLIENT

**McDonald's
USA, LLC**

ADDRESS

**NW 36TH & STATE
ANKENY, IA 50023**

SHEET TITLE

**EXTERIOR
ELEVATIONS**

SHEET NUMBER:

A2.1



PLAN AND ZONING COMMISSION

October 3, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

The Crossings at Deer Creek Plat 13 Final Plat

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **Yes**

Cost participation for the extension of 16-inch water main along NE 38th Street in an amount estimated to be \$30,375.

Cost participation for the extension of 15-inch sanitary sewer along NE 6th Street in an amount estimated to be \$6,750.

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:





ACTION REQUESTED:

Action: Consider MOTION to recommend City Council grant preliminary approval of The Crossings at

Deer Creek Plat 13 Final Plat; and authorize cost participation for the extension of 16-inch water main in an amount estimated to be \$30,375, and 15-inch sanitary sewer in an amount estimated to be \$6,750.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download
 Aerial Map
 Staff Report
 Applicant Letter
 Final Plat





*Plan and Zoning Commission
Staff Report*

Meeting Date: October 3, 2023

Agenda Item: The Crossings at Deer Creek Plat 13 – Final Plat
Report Date: September 26, 2023
Prepared By: Derek Silverthorn
Associate Planner

ESC

Staff Recommendation:

That the Plan and Zoning Commission recommend that City Council grant preliminary approval of The Crossings at Deer Creek Plat 13 Final Plat; and authorize cost participation for the extension of 16-inch water main in an amount estimated to be \$30,375, and 15-inch sanitary sewer in an amount estimated to be \$6,750.

Project Summary:

The Crossings at Deer Creek Plat 13 is a proposed 19.91-acre (+/-) plat located north of E 1st Street, and immediately west of NE 38th Street. The subject plat creates 60 single-family residential lots, six street lots, and two outlots. All 60 single-family residential lots are platted in accordance with the amended Deer Creek PUD Conceptual Master Plan, approved in 2018; and the Deer Creek South Phase 3 Preliminary Plat, approved in 2020.

Project Report:

Streets: The proposed development will provide extensions of existing portions of NE 3rd Street, NE 5th Street, NE 6th Street, NE 7th Street/Court, NE Doe Pointe Drive, and NE Crossing Oaks Drive from the north and west. Of these extensions, NE 3rd Street and NE 6th Street will create intersections with NE 38th Street—both widened with center left-turn lanes onto northbound NE 38th Street. NE 38th Street will also be widened to accommodate northbound center left-turn lanes from NE 38th Street onto westbound NE 3rd Street and NE 6th Street. All proposed streets in the development will be required to have five-foot sidewalk.

A temporary traffic signal will be installed at the intersection of E 1st Street and SE Four Mile Drive due to the Deer Creek PUD reaching the peak hour warrant based on traffic study findings. The construction of traffic signal improvements and associated Development Agreement are tied to Plat 15; however, the traffic signal is warranted with construction of either plat 13 or 15, depending on whichever public improvements are accepted by City Council first. The associated development agreement outlines cost participation responsibilities between the City and developer for traffic signal improvements, including the addition of left-turn lanes on E 1st Street for a 50-foot left-turn lane west of SE Four Mile Drive and a 150-foot left-turn lane east of SE Four Mile Drive.

Water: Eight-inch water main will be extended from adjacent plats to the north, west, and south throughout the subject development, connecting to a 16-inch water main that will be installed along NE 38th Street via City cost participation in an amount estimated to be \$30,375.

- Sewer: Eight-inch sanitary sewer will be extended from adjacent plats to the north, west, and south throughout the subject development. The subject plat will extend 15-inch trunk sewer along NE 6th Street to the intersection at NE 38th Street via City cost participation in an amount estimated to be \$6,750. Wastewater in the development will be conveyed off-site to the west into the Four Mile Interceptor.
- Drainage: Lots 1-6 will drain to the west into a storm sewer constructed with Plat 10 to carry stormwater to an existing pond in Plat 10. The southwest portion of the subject plat will drain to Outlot X—an extension of a detention pond created with Plat 11—while the remaining plat area south of NE 6th Street will drain to a detention pond located on Outlot Z. Both detention ponds on Outlots X and Z, as well as the remaining plat area north of NE 6th Street will drain off-site to the north into a detention pond located in Plat 12. All stormwater for the Deer Creek PUD will ultimately be conveyed into Deer Creek.
- Parkland: Parkland within the Deer Creek PUD includes a 6.61-acre park located on Outlot W, The Crossings at Deer Creek Plat 12, which was deeded to the City on January 10, 2023. In order to fulfill the remaining parkland dedication requirement as specified in the City's Subdivision Regulations in Chapter 200.35.A.1 (Criteria for Requiring Parkland Dedication) for development, the developer requests that the City accept payment in lieu of parkland for the subject plat, in an amount equal to \$9,720 based on \$12,000 per acre.

**CITY OF ANKENY
SUBDIVISION DATA**

NAME OF PLAT: The Crossings at Deer Creek Plat 13
NAME OF OWNER/ DEVELOPER: Deer Creek Estates, LLC

GENERAL INFORMATION:

PLAT LOCATION: North of E 1st Street, immediately west of NE 38th Street
SIZE OF PLAT: 19.91 acres
ZONING: Deer Creek PUD

LOTS:

NUMBER: 60 single-family lots; six street lots; two outlots
SIZE/DENSITY: 6.06 units per acre
USE: Residential

BUILDING LINES: **Lots 1-33: 60' min. lot width**
Front: 30' for garage doors
 25' for house
 15' for porch
Rear: 30' (decks may extend 12' into)
 10' for front-loaded detached garage
Side: 12' total (min. 6' one side)

 Lots 34-60: 50' min. lot width
Front: 30' for garage doors
 25' for house
 15' for porch
Rear: 30' (decks may extend 12' into)
 10' for front-loaded detached garage
Side: 10' total (min. 5' one side)
 20' for side street

ADJACENT LANDS:

NORTH: Undeveloped; Canyon Landing PUD
SOUTH: First Street Commons, Deer Creek PUD
EAST: NE 38th Street; Undeveloped (Polk County)
WEST: The Crossings at Deer Creek Plats 10 & 11

PARKLAND DEDICATION:

Parkland within the Deer Creek PUD includes a 6.61-acre park located on Outlot W, The Crossings at Deer Creek Plat 12, which was deeded to the City on January 10, 2023. In order to fulfill the remaining parkland dedication requirement as specified in the City's Subdivision Regulations in Chapter 200.35.A.1 (Criteria for Requiring Parkland Dedication) for development, the developer requests that the City accept payment in lieu of parkland for the subject plat, in an amount equal to \$9,720 based on \$12,000 per acre.

STREET DEVELOPMENT:

NAME: NE 3rd Street
LENGTH: 482'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

NAME: NE 5th Street
LENGTH: 171'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

NAME: NE 6th Street
LENGTH: 524'
CLASSIFICATION: Minor Collector
R.O.W. (REQ'D./PROV.): 70'/70'
PAVEMENT WIDTH: 31'

NAME: NE 7th Street
LENGTH: 497'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

NAME: NE 38th Street
LENGTH: 1212'
CLASSIFICATION: Minor Arterial
R.O.W. (REQ'D./PROV.): 120'/60' (half right-of-way)
PAVEMENT WIDTH: Varies

NAME: NE Doe Pointe Drive
LENGTH: 407'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

NAME: NE Crossing Oaks Drive
LENGTH: 263'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

WASTE WATER:

PROJECTED FLOWS: 60 units X 3 persons/unit X 330 GPD/person = 59,400 GPD

WRA CAPACITY: 47 MGD; current daily avg. 18 MGD

NEAREST DOWNSTREAM INTERCEPTOR/TRUNK LINE: Four Mile Interceptor

STORM WATER:

BASIN FLOWS: This plat lies in the Four Mile Creek Drainage Basin.

WATER SYSTEM:

USAGE: $60 \text{ units} \times 3 \text{ persons/unit} \times 100 \text{ GPD/person} = 18,000 \text{ GPD}$

SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD

FINAL PLAT DRAWING: Staff recommends approval.

CONSTRUCTION PLANS: To be approved.



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,
PLANNERS & SURVEYORS

September 26, 2023

Honorable Mayor, City Council and Plan and Zoning Commission Members
c/o Derek Silverthorn
City of Ankeny
1210 NW Prairie Ridge Drive
Ankeny, Iowa 50023

RE: The Crossings at Deer Creek Plat 13
Final Plat and Construction Drawing Submittal

Dear Plan and Zoning Commission Members, Council Members, and Honorable Mayor;

On behalf of Deer Creek Ankeny, Inc., we are pleased to submit herewith a final plat and construction drawings for The Crossings at Deer Creek Plat 13 located within the Deer Creek PUD, east of NE Four Mile Drive, north of E 1st Street. The property contains approximately 19.9 acres.

Plat 13 will include development of 60 single family lots, which is consistent with the Deer Creek PUD and Deer Creek South Phase 3 preliminary plat. The project contains several new public streets including the extension of NE 3rd Street, NE 5th Street, NE Crossing Oaks Drive, NE Doe Pointe Drive, and NE 7th Street.

We are requesting that preliminary approval of the final plat be granted by City Council at the next regular City Council meeting. We respectfully request the City's consideration for cost participation, in accordance with City policy, for the extension of 16-inch water main in the amount of \$25/LF (\$30,375 total) and 15-inch sanitary sewer in the amount of \$15/LF (\$6,750 total).

Sincerely,
CIVIL DESIGN ADVANTAGE, LLC

Emily Harding, Project Manager

cc: Jeff Grubb, Deer Creek Ankeny, Inc.

FILE: H:\2021\210314\DWG\210314-FINAL PLAT.DWG
DATE PLOTTED: 9/19/2023 8:50 AM
DRAWN BY: JACOB SPENCER, TECH
CHECKED BY: LOUIS M. KELEHAN, P.L.S.

INDEX LEGEND

LOCATION: SEC 17-80-23, PT SE1/4
ANKENY, POLK COUNTY, IOWA

REQUESTOR: DEER CREEK ANKENY, INC.

PROPRIETOR: DEER CREEK ESTATES LLC
160 ADVENTURELAND DRIVE NW
ALTOONA, IOWA 50009

SURVEYOR: LOUIS M. KELEHAN

SURVEYOR
COMPANY: CIVIL DESIGN ADVANTAGE

PREPARED BY
& RETURN TO: CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH: 515-369-4400

OWNER

DEER CREEK ESTATES LLC
CONTACT: JEFF GRUBB
160 ADVENTURELAND DRIVE NW
ALTOONA, IOWA 50009
PH: (515) 208-5227

DEVELOPER

DEER CREEK ANKENY, INC.
CONTACT: JEFF GRUBB
160 ADVENTURELAND DRIVE NW
ALTOONA, IOWA 50009
PH: (515) 208-5227

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
CONTACT: EMILY HARDING
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH: (515) 369-4400

DATE OF SURVEY

FIELDWORK: DECEMBER, 2020

PLAT DESCRIPTION

A PART OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE CROSSINGS AT DEER CREEK PLAT 11, AN OFFICIAL PLAT IN SAID CITY OF ANKENY; THENCE NORTH 07°00'00" WEST ALONG THE EASTERLY LINE OF SAID THE CROSSINGS AT DEER CREEK PLAT 11, A DISTANCE OF 130.06 FEET; THENCE NORTH 83°00'00" EAST CONTINUING ALONG SAID EASTERLY LINE, 11.24 FEET; THENCE NORTH 07°00'00" WEST CONTINUING ALONG SAID EASTERLY LINE, 185.00 FEET; THENCE NORTH 31°18'46" EAST CONTINUING ALONG SAID EASTERLY LINE, 64.47 FEET; THENCE NORTH 05°09'38" WEST CONTINUING ALONG SAID EASTERLY LINE, 185.00 FEET; THENCE WESTERLY CONTINUING ALONG SAID EASTERLY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 320.00 FEET, WHOSE ARC LENGTH IS 21.41 FEET AND WHOSE CHORD BEARS SOUTH 86°45'22" WEST, 21.41 FEET; THENCE NORTH 07°35'26" WEST CONTINUING ALONG SAID EASTERLY LINE AND THE EASTERLY LINE OF THE CROSSINGS AT DEER CREEK PLAT 10, AN OFFICIAL PLAT IN SAID CITY OF ANKENY, 159.00 FEET; THENCE NORTH 01°24'41" EAST CONTINUING ALONG SAID EASTERLY LINE OF THE CROSSINGS AT DEER CREEK PLAT 10, A DISTANCE OF 103.09 FEET; THENCE NORTH 05°06'23" EAST CONTINUING ALONG SAID EASTERLY LINE, 70.00 FEET; THENCE NORTH 84°53'37" WEST CONTINUING ALONG SAID EASTERLY LINE, 14.74 FEET; THENCE NORTH 05°06'23" EAST CONTINUING ALONG SAID EASTERLY LINE, 130.00 FEET; THENCE NORTH 84°53'37" WEST CONTINUING ALONG SAID EASTERLY LINE, 143.00 FEET; THENCE NORTH 05°06'23" EAST CONTINUING ALONG SAID EASTERLY LINE, 6.57 FEET; THENCE NORTH 84°53'37" WEST CONTINUING ALONG SAID EASTERLY LINE, 225.59 FEET; THENCE NORTH 13°32'30" EAST CONTINUING ALONG SAID EASTERLY LINE, 242.61 FEET; THENCE NORTH 00°17'29" EAST CONTINUING ALONG SAID EASTERLY LINE, 120.00 FEET; THENCE NORTH 02°19'31" WEST CONTINUING ALONG SAID EASTERLY LINE, 25.18 FEET; THENCE NORTH 87°41'30" EAST, 199.73 FEET; THENCE SOUTHERLY ALONG A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 630.00 FEET, WHOSE ARC LENGTH IS 14.73 FEET AND WHOSE CHORD BEARS SOUTH 01°38'19" EAST, 14.73 FEET; THENCE NORTH 89°01'52" EAST, 134.69 FEET; THENCE SOUTH 02°45'58" EAST, 8.47 FEET; THENCE NORTH 89°39'55" EAST, 195.00 FEET; THENCE SOUTHERLY ALONG A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 960.00 FEET, WHOSE ARC LENGTH IS 49.79 FEET AND WHOSE CHORD BEARS SOUTH 01°09'04" WEST, 49.79 FEET; THENCE SOUTH 87°21'47" EAST, 308.39 FEET; THENCE NORTH 89°44'42" EAST, 60.00 FEET TO THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE SOUTH 00°21'27" WEST ALONG SAID EAST LINE, 1212.13 FEET TO THE NORTHEAST CORNER OF PARCEL '2021-34' AS SHOWN ON PLAT OF SURVEY RECORDED IN BOOK 18471, PAGE 815 BEING A PART OF SAID SOUTHEAST QUARTER; THENCE NORTH 89°38'33" WEST ALONG THE NORTHERLY LINE OF SAID PARCEL '2021-34', A DISTANCE OF 262.21 FEET; THENCE WESTERLY CONTINUING ALONG SAID NORTHERLY LINE AND A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 1970.00 FEET, WHOSE ARC LENGTH IS 76.69 FEET AND WHOSE CHORD BEARS SOUTH 89°14'32" WEST, 76.68 FEET TO THE NORTHWEST CORNER OF SAID PARCEL '2021-34'; THENCE SOUTH 01°52'22" EAST ALONG THE WESTERLY LINE OF SAID PARCEL '2021-34', A DISTANCE OF 130.00 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL '2021-34', SAID POINT BEING ON THE NORTHERLY LINE OF PARCEL '2019-184' AS SHOWN ON PLAT OF SURVEY RECORDED IN BOOK 17498, PAGE 244 BEING A PART OF SAID SOUTHEAST QUARTER; THENCE SOUTH 87°21'40" WEST ALONG SAID NORTHERLY LINE, 49.20 FEET; THENCE SOUTH 85°49'45" WEST CONTINUING ALONG SAID NORTHERLY LINE, 49.20 FEET; THENCE SOUTH 84°17'50" WEST CONTINUING ALONG SAID NORTHERLY LINE, 49.20 FEET; THENCE SOUTH 83°01'04" WEST CONTINUING ALONG SAID NORTHERLY LINE, 50.92 FEET TO THE POINT OF BEGINNING AND CONTAINING 19.91 ACRES (867,395 SQUARE FEET).

PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

NOTES

- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
- OUTLOTS 'X' AND 'Z' WILL BE OWNED AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION AND WILL BE RESERVED FOR THE STORM WATER MANAGEMENT FACILITY EASEMENT.
- THE DEVELOPER WILL BE RESPONSIBLE FOR STREET LIGHT INSTALLATION WITHIN THE PLAT BOUNDARY.
- INDIVIDUAL PROPERTY OWNERS MAY BE RESPONSIBLE FOR THE CONSTRUCTION OF SIDEWALKS ON THEIR PROPERTY. PRIOR TO CONSTRUCTION OF ANY SIDEWALKS, REFER TO THE PROJECT CONSTRUCTION DRAWINGS AND CONFIRM WITH CITY THE LOCATION, WIDTH AND ELEVATION OF SIDEWALKS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING A TEMPORARY TRAFFIC SIGNAL AND ALL RELATED APPURTENANCES AT THE INTERSECTION OF SE FOUR MILE DRIVE & E. 1ST STREET. THE DEVELOPER'S FINANCIAL PORTION OF RESPONSIBILITY FOR THE TEMPORARY TRAFFIC SIGNAL WILL BE RESOLVED THROUGH A DEVELOPMENT AGREEMENT.
- STREET LOTS 'A', 'B', 'C', 'D', 'E' AND 'F' TO BE DEDICATED TO THE CITY OF ANKENY & SHALL BE USED AS PUBLIC STREET RIGHT OF WAY.
- FENCES ON LOTS ADJACENT TO NE 38TH STREET SHALL BE SETBACK 20' FROM THE NE 38TH STREET RIGHT-OF-WAY. FENCES WILL BE ALLOWED AT A 10' SETBACK FROM THE NE 38TH STREET RIGHT-OF-WAY WITH THE CONDITION THAT TWO TREES ARE PLANTED BETWEEN THE FENCE AND THE NE 38TH STREET RIGHT-OF-WAY.
- NO LOTS SHALL HAVE DIRECT ACCESS TO NE 38TH STREET.
- DRIVEWAY LOCATIONS FOR LOTS 2, 21, 29 & 37 NEED TO AVOID THE SIDEWALK RAMPS.
- THE DRIVEWAY FOR LOT 57 SHALL BE PLACED TO AVOID THE STORM SEWER MANHOLE.
- SIDE YARD (EGRESS) WINDOWS ALONG THE SWALE BETWEEN LOTS 53/54 AND LOTS 40/41 ARE NOT ALLOWED.

ZONING AND BULK REGULATIONS

ZONING

DEER CREEK PUD

BULK REGULATIONS

LOTS 1-33

MINIMUM LOT WIDTH: 60 FEET

FRONT: 30 FEET FOR GARAGE DOORS
25 FEET FOR HOUSE
15 FEET PORCH

REAR: 30 FEET (DECKS MAY EXTEND 12 FEET INTO RYSB)
10 FEET FOR FRONT-LOADED DETACHED GARAGE

REAR LOADED GARAGE: MINIMUM 7 FEET OR GREATER THAN 18 FEET
SIDE: 12 FEET TOTAL (MIN. 6' ONE SIDE)

R-2 ZONING REGULATIONS SHALL APPLY TO ANY ITEMS NOT COVERED WITHIN THIS PUD

LOTS 34-60

MINIMUM LOT WIDTH: 50 FEET

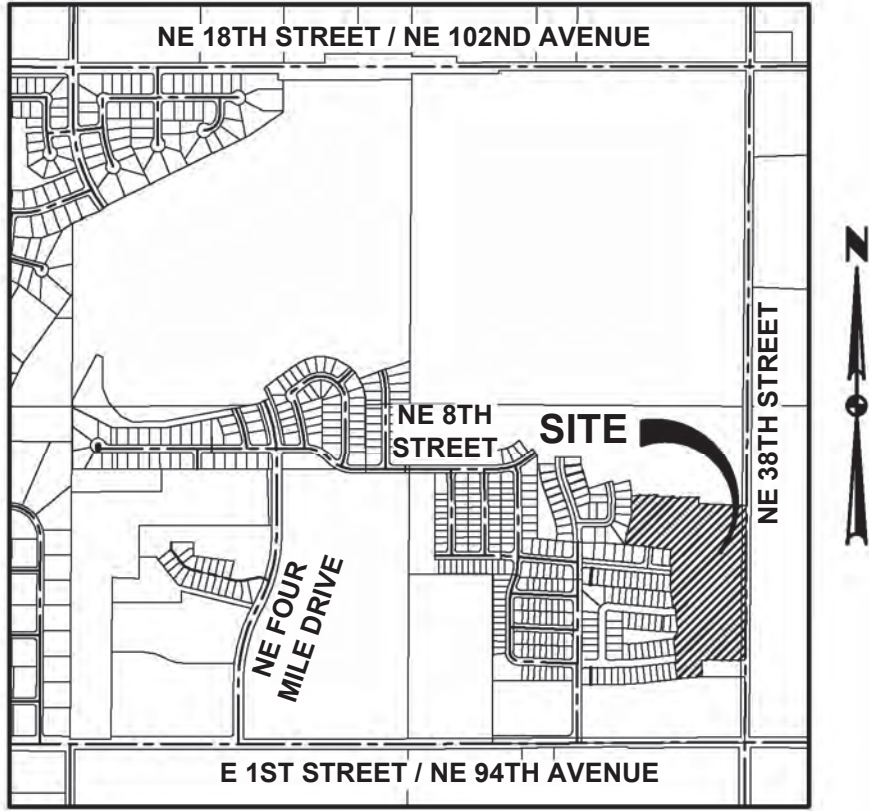
FRONT: 30 FEET FOR GARAGE DOORS
25 FEET FOR HOUSE
15 FEET PORCH

REAR: 30 FEET (DECKS MAY EXTEND 12 FEET INTO RYSB)
10 FEET FOR FRONT-LOADED DETACHED GARAGE

REAR LOADED GARAGE: MINIMUM 7 FEET OR GREATER THAN 18 FEET
SIDE: 10 FEET TOTAL (MIN. 5' ONE SIDE), 20 FEET FOR SIDE STREET

R-3 ZONING REGULATIONS SHALL APPLY TO ANY ITEMS NOT COVERED WITHIN THIS PUD

VICINITY MAP



ANKENY, IOWA

LEGEND

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW CAP#18660 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE	---	---
SECTION LINE	----	----
EASEMENT LINE	----	----
BUILDING SETBACK LINE	----	----
PLAT BOUNDARY	=====	=====

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD	CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	2°13'49"	1970.00'	76.69'	S89°14'32"W	76.68'	C41	8°29'46"	380.00'	56.35'	S17°38'00"E	56.30'
C2	2°58'18"	960.00'	49.79'	S01°09'04"W	49.79'	C42	88°08'37"	25.00'	38.46'	S22°11'25"W	34.78'
C3	7°21'27"	2000.00'	256.82'	N86°40'43"E	256.65'	C43	18°34'39"	320.00'	103.76'	S75°33'03"W	103.30'
C4	32°21'27"	350.00'	197.66'	S15°49'17"E	195.04'	C44	7°04'41"	380.00'	46.94'	N81°18'02"E	46.91'
C5	2°04'03"	350.00'	12.63'	S30°57'59"E	12.63'	C45	12°51'23"	380.00'	85.27'	N71°20'00"E	85.09'
C6	35°02'21"	350.00'	214.04'	S12°24'47"E	210.72'	C46	83°05'42"	25.00'	36.26'	S73°32'51"E	33.16'
C7	24°46'19"	350.00'	151.32'	N72°27'13"E	150.15'	C47	4°37'03"	320.00'	25.79'	S29°41'29"E	25.78'
C8	0°11'00"	1495.00'	4.78'	S84°59'07"E	4.78'	C48	5°09'49"	320.00'	28.84'	N24°48'03"W	28.83'
C9	4°55'24"	1495.00'	128.46'	S87°32'18"E	128.42'	C49	14°21'41"	320.00'	80.21'	S20°12'07"E	80.00'
C10	1°20'22"	630.00'	14.73'	S01°38'19"E	14.73'	C50	90°44'29"	25.00'	39.59'	S44°29'20"W	35.58'
C11	5°26'28"	930.00'	88.32'	S02°23'09"W	88.29'	C51	3°18'29"	2030.00'	117.20'	S88°12'20"W	117.19'
C12	3°08'55"	350.00'	19.23'	S86°28'04"E	19.23'	C52	1°23'39"	2030.00'	49.39'	S85°51'16"W	49.39'
C13	7°24'54"	600.00'	77.65'	S01°23'57"W	77.59'	C53	1°23'39"	2030.00'	49.39'	S84°27'37"W	49.39'
C14	7°24'54"	570.00'	73.77'	S01°23'57"W	73.71'	C54	0°45'48"	2030.00'	27.04'	S83°22'54"W	27.04'
C15	5°41'17"	630.00'	62.54'	N01°52'31"E	62.52'	C55	0°31'52"	1970.00'	18.26'	N83°15'56"E	18.26'
C16	0°23'14"	630.00'	4.26'	N04°54'46"E	4.26'	C56	1°31'55"	1970.00'	52.68'	N84°17'50"E	52.67'
C17	90°00'00"	25.00'	39.27'	N39°53'37"W	35.36'	C57	1°31'55"	1970.00'	52.68'	N85°49'45"E	52.67'
C18	90°00'00"	25.00'	39.27'	S50°06'23"W	35.36'	C58	1°31'55"	1970.00'	52.68'	N87°21'40"E	52.67'
C19	0°34'42"	900.00'	9.08'	S04°49'03"W	9.08'	C59	90°00'00"	25.00'	39.27'	S45°21'27"W	35.36'
C20	4°51'47"	900.00'	76.39'	S02°05'48"W	76.36'	C60	89°05'11"	25.00'	38.87'	N45°05'58"W	35.07'
C21	2°28'10"	960.00'	41.38'	N03°52'18"E	41.37'	C61	6°22'10"	380.00'	42.24'	N03°44'27"W	42.22'
C22	103°06'23"	25.00'	44.99'	N46°26'48"W	39.16'	C62	7°04'41"	380.00'	46.94'	N10°27'53"W	46.91'
C23	48°03'17"	33.50'	28.10'	S57°58'22"W	27.28'	C63	7°04'41"	380.00'	46.94'	N17°32'34"W	46.91'
C24	30°11'54"	61.50'	32.41'	S49°02'40"W	32.04'	C64	7°04'41"	380.00'	46.94'	N24°37'15"W	46.91'
C25	48°17'44"	61.50'	51.84'	S88°17'29"W	50.32'	C65	3°50'25"	380.00'	25.47'	N30°04'48"W	25.46'
C26	43°28'48"	61.50'	46.67'	N45°49'15"W	45.56'	C66	12°29'56"	320.00'	69.81'	N25°45'02"W	69.67'
C27	45°17'13"	61.50'	48.61'	N01°26'15"W	47.35'	C67	12°12'49"	320.00'	68.21'	N13°23'39"W	68.09'
C28	41°23'19"	61.50'	44.43'	N41°54'01"E	43.47'	C68	10°36'00"	320.00'	59.20'	N01°59'15"W	59.12'
C29	52°29'31"	61.50'	56.34'	N88°50'26"E	54.39'	C69	89°35'07"	25.00'	39.09'	N48°06'19"E	35.23'
C30	14°58'05"	61.50'	16.07'	S57°25'46"E	16.02'	C70	2°53'52"	1530.00'	77.38'	S88°33'04"E	77.37'
C31	48°03'17"	33.50'	28.10'	S73°58'22"E	27.28'	C71	90°21'27"	30.00'	47.31'	S44°49'17"E	42.56'
C32	7°07'40"	380.00'	47.27'	N85°33'50"E	47.24'	C72	2°12'32"	1530.00'	58.98'	S85°59'52"E	58.98'
C33	5°58'43"	380.00'	39.65'	S87°52'58"E	39.63'	C73	0°29'53"	2030.00'	17.64'	N89°53'29"W	17.64'
C34	90°00'00"	25.00'	39.27'	N50°06'23"E	35.36'	C74	0°33'12"	1460.00'	14.10'	N85°10'12"W	14.10'
C35	89°38'33"	25.00'	39.11'	S45°10'43"W	35.24'	C75	9°57'28"	350.00'	60.83'	N86°58'44"E	60.75'
C36	1°53'06"	1460.00'	48.04'	N89°03'27"W	48.03'	C76	12°08'22"	320.00'	67.80'	S06°57'05"E	67.67'
C37	2°40'05"	1460.00'	67.99'	N86°46'51"W	67.98'	C77	3°50'00"	320.00'	21.41'	S86°45'22"W	21.41'
C38	88°31'48"	25.00'	38.63'	S40°37'43"E	34.90'						
C39	8°29'46"	380.00'	56.35'	S00°36'42"E	56.30'						
C40	8°31'33"	380.00'	56.55'	S09°07'21"E	56.49'						

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

LOUIS M. KELEHAN, P.L.S.
LICENSE NUMBER 18660
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 1-2

DATE

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400



ANKENY, IOWA

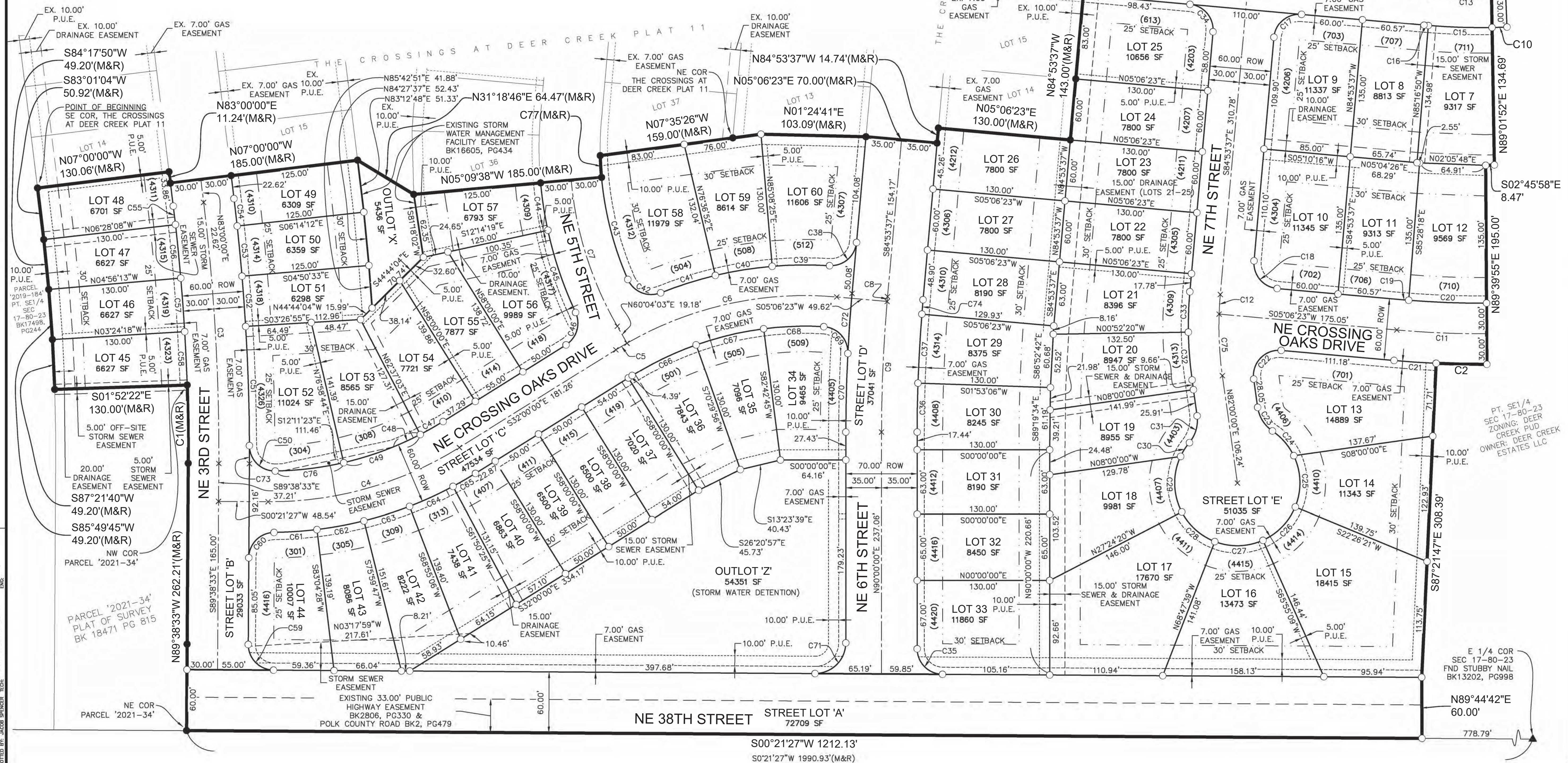
THE CROSSINGS AT DEER CREEK PLAT 13

FINAL PLAT

1 / 2
2103.141



FINAL PLAT



		THE CROSSINGS AT DEER CREEK PLAT 13 FINAL PLAT			
		ANKENY, IOWA			
2103.141 <div style="font-size: 2em; font-weight: bold; margin: 0;">2 / 2</div>					
3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400		ENGINEER:		TECH:	
REVIEW:		THIRD SUBMITTAL		9/19/2023	
		SECOND SUBMITTAL		11/10/2021	
		FIRST SUBMITTAL		10/09/2021	
REVISEMENTS		DATE			



PLAN AND ZONING COMMISSION

October 3, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Enhance Quality of Life

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Request by Legacy Housby, LLC for 80/20 Voluntary Urbanized Annexation of property into the City of Ankeny (Legacy Housby)

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

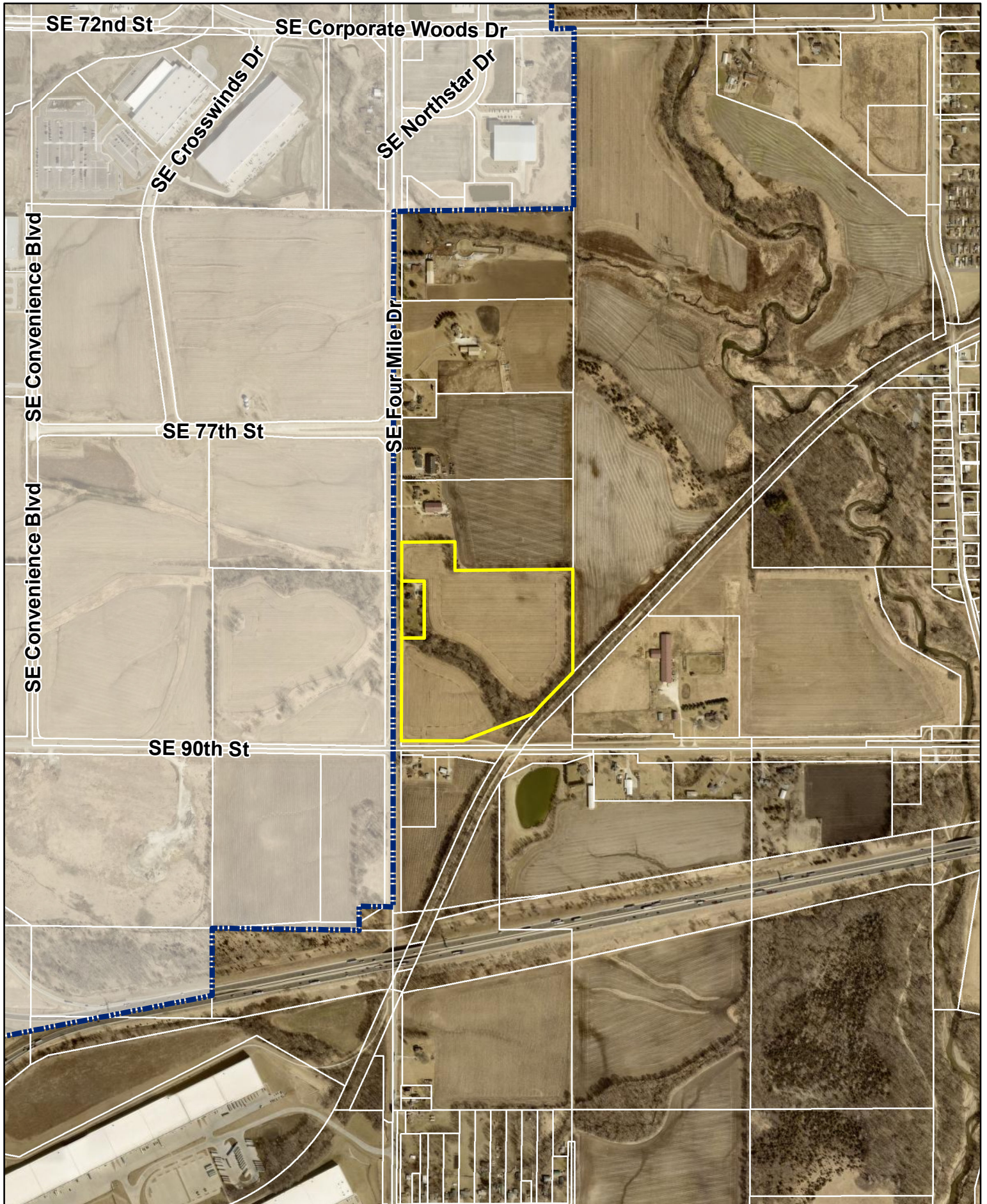
ACTION REQUESTED:

Action: Consider MOTION to recommend City Council approval of the Legacy Housby 80/20 Voluntary Urbanized Annexation.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download
 Aerial Map
 Staff Report
 Annexation Petition
 Landowner's Map
 Annexation Map
 Future Land Use Map
 Zoning Map
 Utility Connection Map
 Distance Map
 Engineers Exhibit





*Plan and Zoning Commission
Staff Report*

Meeting Date: October 2, 2023

Agenda Item: Legacy Housby Annexation - 80/20 Voluntary Urbanized Annexation
Report Date: September 27, 2023
Prepared By: Laura Hutzell
Associate Planner

Recommendation:

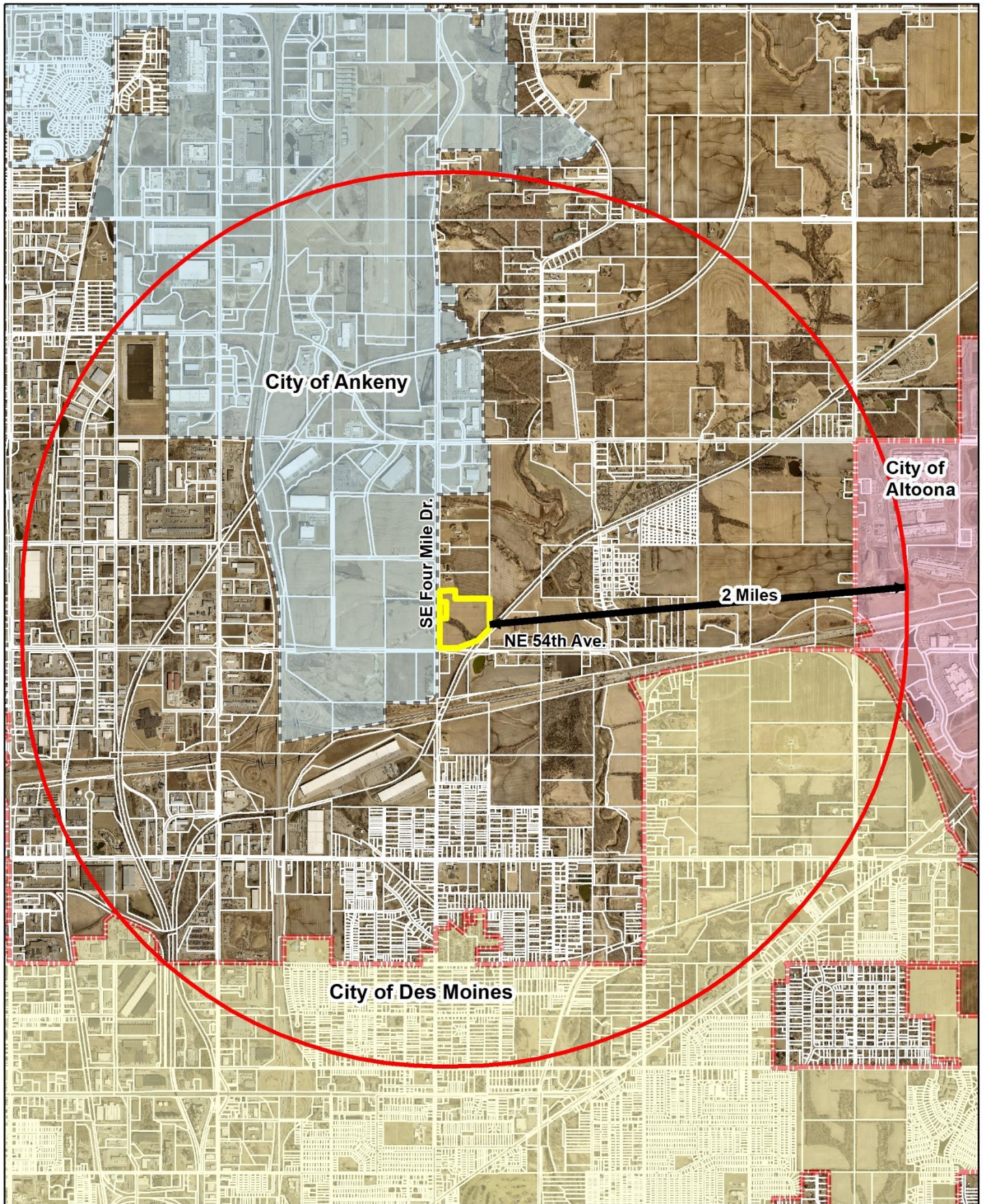
That the Plan and Zoning Commission recommend that City Council approve the Legacy Housby 80/20 Voluntary Urbanized Annexation.

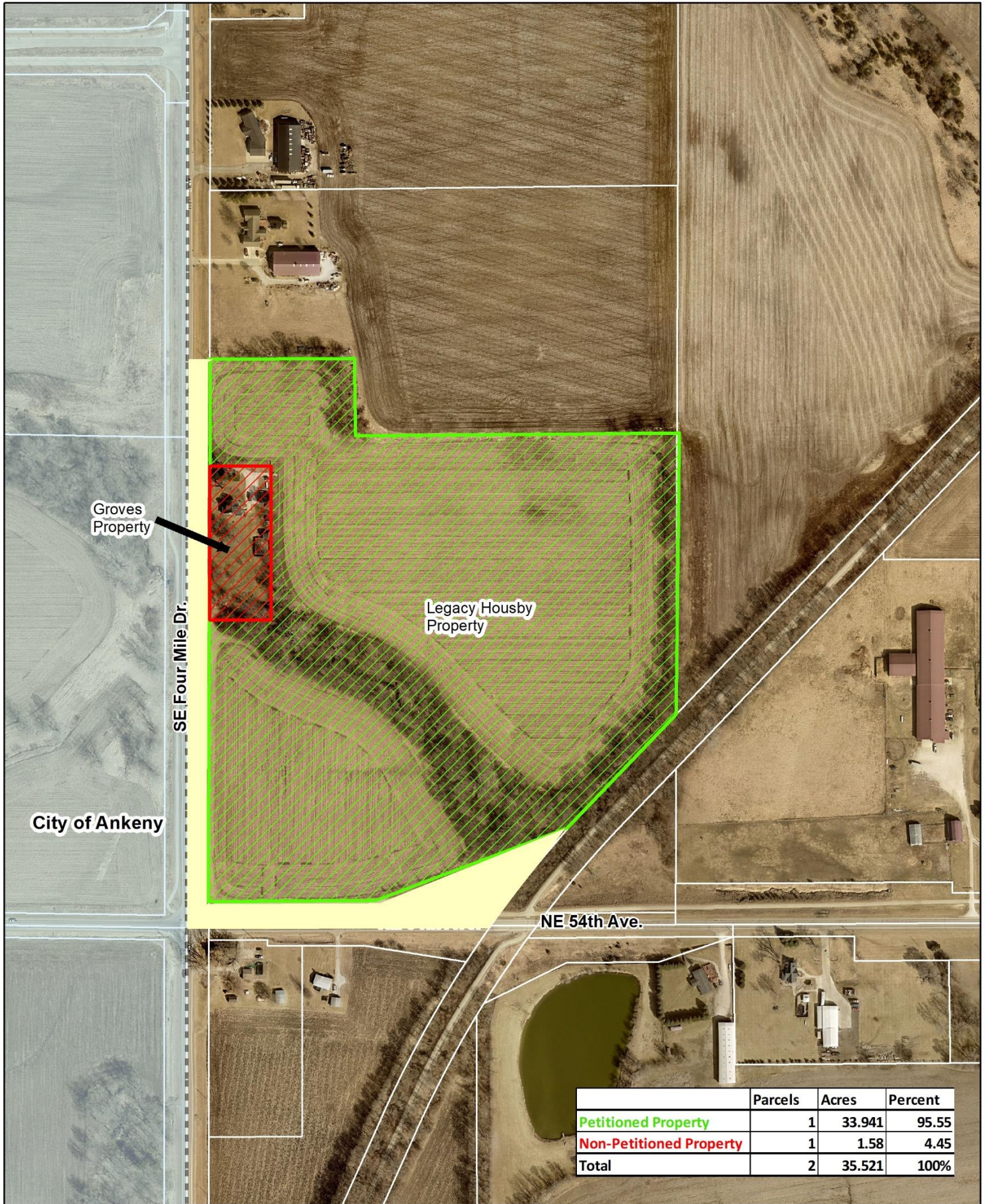
Discussion:

The City of Ankeny has received a request for annexation of certain territory adjacent to the City's southeastern boundary, generally located north of NE 54th Avenue, and east of SE Four Mile Drive. The annexation area is located within two miles of the City of Des Moines And City of Altoona, which per Iowa Code, classifies the request as an urbanized annexation. The annexation territory encompasses approximately 35.521 acres (+/-), 33.941 acres (+/-) of which are owned by property owners who have signed a petition consenting to the annexation, while 1.58 acres (+/-) are owned by property owners who have not signed a petition consenting to the annexation. The non-consenting properties are included in the annexation request to avoid the creation of islands and to provide for uniform boundaries, which is required by Iowa Code. Approximately 4.157 acres (+/-) of public road right-of-way are included in the annexation as well, as the City is required to incorporate any and all county road right-of-way to the centerline of the adjacent road.

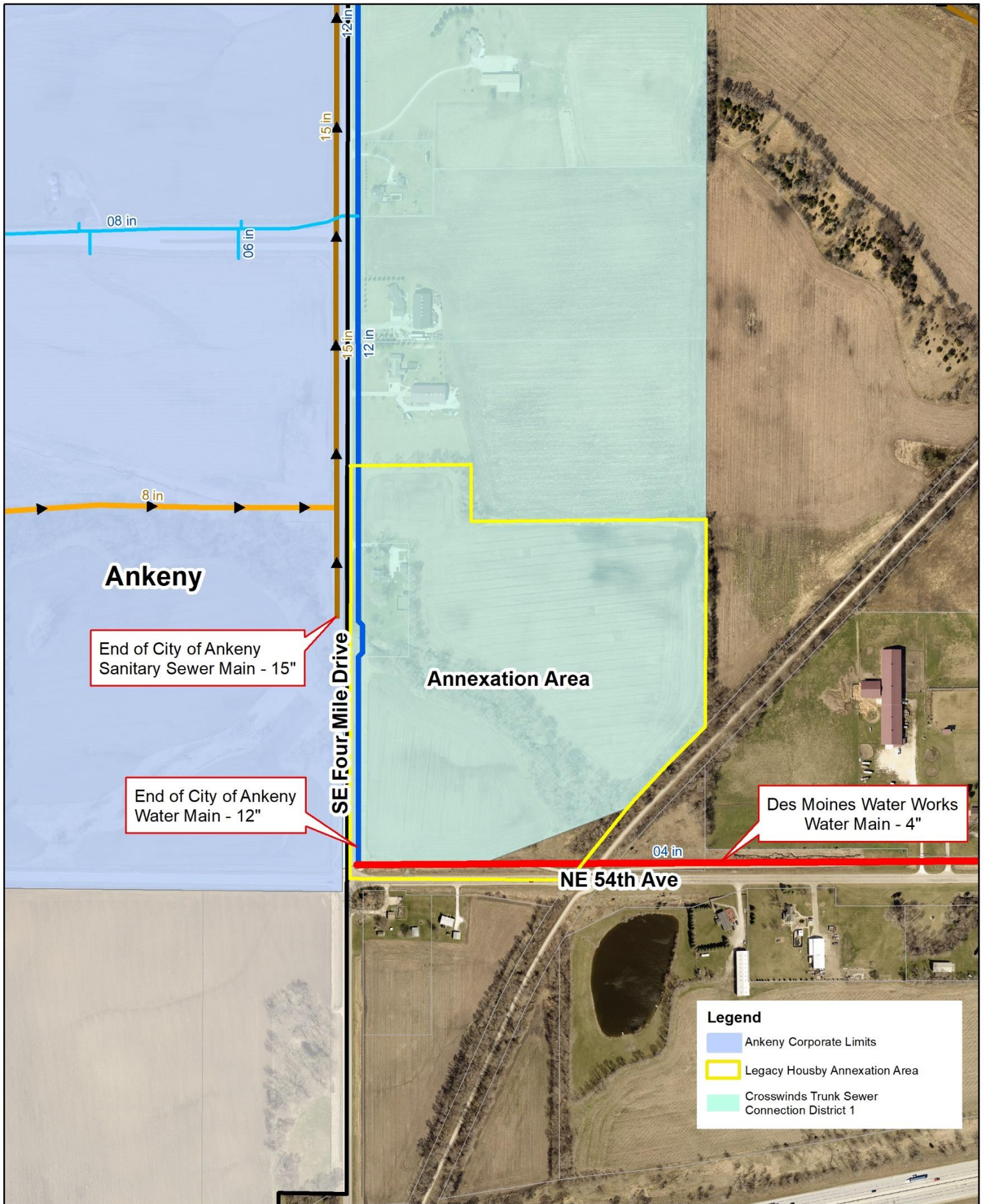
At this time, one of the two properties included in the proposed annexation have provided petitions consenting to the request. If petitions are not received for all properties, the Code of Iowa allows cities to annex up to 20% of the total land area to be annexed from non-consenting owners to avoid the creation of islands and to create uniform boundaries. The current petitioned land area is approximately 33.941 acres (+/-), which equals 95.55% of the 35.521 (+/-) total calculated acres, excluding Polk County road right-of-way. The land area of the one non-petitioned property totals 1.58 acres (+/-), equaling 4.45% of the calculated land area, excluding Polk County road right-of-way.

The annexation area is identified in The Ankeny Plan 2040 Comprehensive Plan as being suitable for Light Industrial. If the annexation request is approved by the City Development Board, it will be initially zoned R-1, One-Family Residence District, consistent with all newly incorporated properties into the City of Ankeny. A map has been included to show the annexation area in relation to Ankeny's Corporate Limits.





	Parcels	Acres	Percent
Petitioned Property	1	33.941	95.55
Non-Petitioned Property	1	1.58	4.45
Total	2	35.521	100%



1 inch = 450 feet

Date: 9/20/2023

**Legacy Housby Annexation
80/20 Voluntary Urbanized Annexation
Utility Map**

Legend

- Ankeny Corporate Limits
- Legacy Housby Annexation Area
- Crosswinds Trunk Sewer Connection District 1

A. Consenting Property Owners' Petitions:

The City of Ankeny received written voluntary annexation petitions from the following property owners:

Consenting Properties	Acreage
1: Legacy Housby, LLC	33.941
Total Consenting Property Acreage	33.941

B. General Statement of Proposal / Integration of Smart Planning Principles:

This 80/20 voluntary urbanized annexation is in accordance with the Ankeny Plan 2040 Comprehensive Plan, which was developed with consideration to the Smart Planning Principles of Chapter 18B of the Iowa Code.

The Ankeny Plan 2040 is a Comprehensive Plan with goals and objectives that establish the community's vision for the future. It does not dictate how the community is to be developed, but it is meant to outline a possible future that could occur over time through the use of planning and investment policies, and regulatory tools. The Comprehensive Plan contains policy goals for many aspects of the community including land use, transportation, housing, parks and open space, infrastructure, community facilities and economic development. The Ankeny Plan's 2040 goals are as follows:

1. Ensure that growth occurs within the context of new "neighborhoods", and not separate disconnected developments.
2. Provide infrastructure investments that correspond to the community's growth potential.
3. Ensure that new development is marked by attractive design and contributes to the community's character.
4. Ensure that development within Ankeny and on Ankeny's periphery demonstrates environmental responsibility and adheres to the City's long-term growth goals.
5. Maintain the unique, separate character of the City, while acknowledging Ankeny's increasing important role as a member of the metropolitan Des Moines community.
6. Assure that the transportation system is adequate to meeting future demands.
7. Maintain variety in the City's housing stock, with dwelling units affordable to a variety of income levels and age groups.
8. Provide additional opportunities for commercial, industrial, and small business growth and ensure appropriate location in accordance with the City's overall transportation and land use plan.
9. Encourage the development of an interconnected system of parks, trails and civic parkways and maintain a high level of service for recreational facilities as new neighborhoods emerge.
10. Promote the emergence of Ankeny as a major employment center within the area by stimulating growth in office, industrial and business park development.
11. Strengthen Ankeny's traditional City Center and civic campus as the focus of the community.
12. Promote a sense of community and premier quality of life as growth occurs.
13. Seek opportunities for collaboration between the City and the Ankeny Community School District to address growth and quality of life issues in Ankeny.

This annexation furthers the foregoing goals, adds land to the City of Ankeny's developable land inventory, and assures compact, efficient development to urbanized standards.

C. Current and Projected Land Uses:

The annexation area is currently identified in the Comprehensive Plan as primarily Light Industrial with an area of Open Space running through the middle of the annexation area. The Ankeny Plan 2040 defines those uses as the following:

- ***Light Industrial:*** This land use category is designed to accommodate most types of light industrial uses as well as warehouse and distribution facilities. Appropriate light industrial activity includes fabrication, manufacturing, assembly, or processing of materials that are in refined form and do not require transformation that creates smoke, gas, odor, dust, vibrations, soot, or other noxious elements. Lot sizes will vary based on specific use, but will typically require larger lots with a minimum of 10,000 square feet. Sites should be located on arterial and/or collector streets.
- ***Open Space:*** This land use category includes land within the floodplain, contains wetlands, nature preserves, steep slopes, or significant tree cover. Typical uses include natural areas, land devoted to agricultural use or crop production, and very low-density residential development. Residential dwellings should be limited to no more than 1 dwelling unit per 20 acres. This land use also includes city managed greenspace such as greenbelts that have remained more natural and provide passive, low impact recreational activities.

The proposed annexation area consists of Light Industrial and Open Space land uses. If annexed, the properties will be initially zoned R-1, One-Family Residence District, as is all newly annexed land. The current land uses may continue in their current capacities; however, any proposed development or redevelopment must align with the allowable uses in the R-1 zoning district (single-family residential, churches, schools, public facilities, or non-retail agricultural uses). If a property is to be developed as anything not allowed in the R-1 zoning district, appropriate rezoning will be required. Development concepts will be evaluated as part of the rezoning and platting processes to ensure that proposed development plans align with the Comprehensive Plan. Any proposed changes to the future land uses identified in the Comprehensive Plan would require a land use plan amendment prior to consideration for rezoning.

D. Current Municipal Services:

The City of Ankeny presently provides no municipal services (other than fire and EMS) to the annexation territory, but has the immediate fiscal and physical capability of extending substantial municipal services to the annexation territory.

E. Reasons for Annexation:

1. City Council annexation policy.

The City Council has adopted a policy document regarding the annexation of land into the City of Ankeny, requiring all annexations to be consistent with Comprehensive Plan of the City. These annexation policies set forth a framework for managing the growth of the City of Ankeny. The primary goal of these policies is to ensure that adequate land is available to accommodate future growth, while allowing for efficient delivery of public services in a manner that is most beneficial to the current and future citizens of the community. The relevant policy statements are discussed below:

d. Comprehensive planning and zoning.

- I. Ankeny will consider annexations within the urban growth area established in the Ankeny Comprehensive Plan.

This policy means that the City will consider annexations if the land is located within the urban growth area of the Comprehensive Plan, which is defined as the Planning Boundary on the Future Land Use Map of the Comprehensive Plan. As previously indicated, the annexation area is located within the City's Planning Boundary.

e. Extension of services.

- I. Ankeny will support extensions of public water and sewer services within the urban growth area that are consistent with...applicable studies authorized and/or adopted by the Ankeny City Council.
- V. The City of Ankeny will use development policies such as utility extension policies and development fees to encourage growth consistent with the City's ability to effectively manage such growth.

The City will utilize tools such as the infrastructure extension requirements of the City's Subdivision Ordinance and financing mechanisms via connection fee districts or development agreements when making annexation decisions to encourage orderly growth. The annexation area is adjacent to existing public infrastructure which can be extended to serve the area.

2. The City of Ankeny has a need for developable land.

The City of Ankeny has experienced significant residential, commercial, and industrial growth throughout the city, as the population of Ankeny has exceeded 70,000. The Ankeny Plan 2040 Comprehensive Plan identifies an estimated total of 4,713 to 9,828 acres of developable land to accommodate the future growth of Ankeny. In 2022, the City of Ankeny recorded 30 plats creating 749 lots on 493 acres, permitted 1133 new dwelling units and 34 new commercial and industrial buildings, and added \$528,705,923 in valuation. While the northeastern quadrant is comprised primarily of residential, community commercial, neighborhood mixed use, and office business park land uses, the Ankeny Plan 2040 still identifies the southeastern quadrant of Ankeny as a suitable area to further fill the need for developable land over the next decade.

3. The annexation territory is in accord with Smart Planning Principles integrated into The Ankeny Plan 2040 Comprehensive Plan.

This annexation is in accordance with the Ankeny Plan 2040 Comprehensive Plan, which takes into consideration the Smart Planning Principles of Chapter 18B of the Iowa Code.

4. The City of Ankeny has fiscal and physical capabilities of providing municipal services to the annexation territory.

Consistent with the foregoing, the City of Ankeny has the fiscal and physical capabilities of providing substantial municipal services to the annexation territory:

a. Sanitary Sewer:

Existing sanitary sewer via the City of Ankeny is shown on the provided utility map. Currently, the City has a 15" sanitary trunk main that exists along the west side of SE Four Mile Drive, this line will serve the Crosswinds Trunk Sewer Connection District 1.

All sanitary sewer constructed within a development is the responsibility of the developer. Other sanitary sewer trunk mains that are extended to serve future development are often installed through connection fee districts. The established connection fees for the Crosswinds Trunk Sewer Connection District 1 are outlined below:

Effective Date	Sewer Connection Fee (per acre – 1 acre minimum)
Prior to and through December 31, 2008	\$1,768
January 1, 2009	\$1,835
January 1, 2010	\$1,905
January 1, 2011	\$1,977
January 1, 2012	\$2,053
January 1, 2013	\$2,131
January 1, 2014	\$2,212
January 1, 2015	\$2,296
January 1, 2016	\$2,383
January 1, 2017 and thereafter	\$2,473

b. Water:

Currently the City of Ankeny has a 12” water main installed along the east side of SE Four Mile Drive south to NE 54th Avenue. These current water mains along with the County or Des Moines Water Works water mains are shown on the provided utility map. These water mains will be extended into the annexation area to serve the future development at such time as this area develops. The developer is responsible for the construction of all water mains within their developments. The City will participate in cost sharing, paying for the over-sizing of water mains, for those mains to be installed that are 12” or larger and serve areas beyond the development. Also, larger water mains that are not located within a development, but are extended to serve development are often installed through a connection fee district.

c. Law Enforcement:

Ankeny has a professional law enforcement department headed by the Police Chief, and supported by a Criminal Division comprised of 1 captain, 1 lieutenant, 8 detectives, 1 police technician, 1 records supervisor, and 5 records clerks and the Operations Division comprised of 1 captain, 2 lieutenants, 5 sergeants, 34 police officers and 3 community service officers. The Criminal Division provides crime scene response and investigation, and records requests, and the Operations Division provides basic police services while responding to calls for service.

The annexation area can be expected to develop with low-density residential. The additional territory will impact police coverage areas, as does all new development. Members of the Ankeny Police Department regularly attend Technical Review Committee meetings, and coordinate with the Community Development Staff on design concerns. It is not anticipated that there will be any additional staff or equipment needed to initially serve the annexation territory. As the annexation territory develops, the City of Ankeny recognizes that additional staff and equipment may be needed, and that the City has fiscal capabilities of providing such.

d. Fire and EMS:

All employees of the Ankeny Fire Department are public safety professionals who are trained in fire suppression, rescue and emergency medical services. The Fire Department provides Advanced Life Support (ALS) ambulances, fire suppression, extraction, boat-based water rescue, fire investigation, and other services 24 hours a day, 7 days per week via 3 fire stations. The Ankeny Fire Department's Emergency Medical Services Division provides Basic Life Support and Advanced Life Support service to the City of Ankeny, City of Alleman, City of Elkhart, and the surrounding area.

This annexation territory is currently located within the Delaware Township fire protection area. If annexed, a water system designed to provide fire flows and domestic service will be extended throughout the area as it is developed. As the annexation territory develops, the City of Ankeny recognizes that additional staff and equipment may be needed, and that the City has fiscal capabilities of providing such.

e. Public Works:

The City of Ankeny has a fully staffed Public Works Department consisting of a Director and 44 full-time employees. The Public Works Department is comprised of Roadway Engineering, Operations, Storm Water and Environmental, and Traffic Engineering. The Ankeny Public Works Department provides the residents, businesses and visitors with safe, reliable and clean infrastructure that is maintained in an economical and efficient manner. That is accomplished through comprehensive annual programs that include: public improvement construction plans, street pavement preservation and maintenance, storm water and drainage, recycling events, snow and ice removal, street cleaning, and traffic control maintenance. Ankeny has a full complement of trucks, tractors, loaders, mowers and other equipment necessary to assure Ankeny's roads and public ways are properly maintained.

It is not anticipated that there will be any additional staff or equipment needed to initially serve the annexation territory. As the annexation territory develops, the City of Ankeny recognizes that additional staff and equipment may be needed, and that the City has fiscal capabilities of providing such.

f. Community Development:

The City of Ankeny has a fully staffed Community Development Department consisting of a Director and 25 full-time employees. The Community Development Department is comprised of building, planning, permitting, rental housing, code enforcement and other related staff. These departments will oversee development of the annexation territory in accordance with the City's comprehensive plan and applicable ordinances. The Community Development Department's mission is to ensure that Ankeny is recognized as a safe and sustainable community. This ongoing effort is accomplished by managing city development in accordance with the Municipal Code, the Ankeny Comprehensive Plan, Plan and Zoning Commission recommendation and City Council policy; and by enforcing adopted construction, zoning, subdivision, housing and nuisance codes and ordinances.

It is not anticipated that there will be any additional staff or equipment needed to initially serve the annexation territory. As the annexation territory develops, the City of Ankeny recognizes that additional staff and equipment may be needed, and that the City has fiscal capabilities of providing such.

g. Municipal Utilities:

The City of Ankeny has a fully staffed Municipal Utilities Department consisting of a Director and 35 full-time employees. The Municipal Utilities Department is comprised of Development Engineering, Wastewater Utility, and Water Utility. These departments oversee the technical review process for private development within the City of Ankeny corporate limits, maintenance activities associated with wastewater collection system including two lift stations, activities related to the delivery of drinking water; including storage, pump stations and water mains.

It is not anticipated that there will be any additional staff or equipment needed to initially serve the annexation territory. As the annexation territory develops, the City of Ankeny recognizes that additional staff and equipment may be needed, and that the City has fiscal capabilities of providing such.

h. Library, Parks & Recreation:

The City of Ankeny has amenities such as the public library, multiple parks, the Albaugh Family Senior Center, and numerous recreation programs administered by the City's Parks and Recreation Department, which enhance the quality of life in Ankeny. The Parks and Recreation Department is staffed by a Director and 35 full-time employees, and the Library is staffed by a Director and 22 employees.

It is not anticipated that there will be any additional staff or equipment needed to initially serve the annexation territory. As the annexation territory develops, the City of Ankeny recognizes that additional staff and equipment may be needed, and that the City has fiscal capabilities of providing such.

i. Fiscal:

The City of Ankeny's bond rating is Aa1, and is currently bonded to 34% of its total bondable capacity. This high rating is due to its rapidly growing tax base; healthy financial profile characterized by prudent management, strong reserve levels, and significant revenue raising flexibility; elevated debt profile; and manageable exposure to unfunded pension liabilities based on participation in two statewide cost-sharing plans. These efforts recognized the City of Ankeny with the Distinguished Budget Presentation Award for fiscal year July 1, 2020. Ankeny's general fund levy of \$6.05 per \$1,000 of taxable property valuation remains the lowest of any sizable city in Polk County, and is significantly below the \$8.10 statutory cap. Ankeny has a property tax levy of \$9.95 per \$1,000 of taxable property valuation, which is the lowest among the largest Iowa cities. Ankeny's FY22 budget marks the eighth straight year of property tax levy reductions. The City of Ankeny is professionally managed, fiscally sound, and has the fiscal wherewithal to provide substantial municipal services to the annexation territory.

F. Urban Services Agreement and Boundary:

The City of Ankeny currently has an urban service agreement with Polk City. This agreement is west of the City limits and would not apply to this annexation area. No other 28E agreements or annexation moratorium agreements would be breached by virtue of this annexation.

G. Combined Legal Descriptions:

The composite legal description of the annexation territory is listed in the annexation map included with this report. The annexation includes all abutting road right-of-way to the centerline of the adjacent road, specifically NE 54th Avenue, and SE Four Mile Drive.

H. Polk County Auditor Verification:

The City of Ankeny provided copies of the landowners' annexation petitions and legal descriptions, as well as a composite legal description of the entire annexation territory to the Polk County Auditor. The provided documents have been finalized.

I. Maps of the Annexation Territory and Two-Mile Notification Requirement:

The annexation territory is located within two miles of the urbanized area of the City of Des Moines and the City of Altoona. The annexation area is located approximately 0.72 miles away from Des Moines' corporate limits, and 1.75 miles from Altoona's corporate limits.

J. State-Owned and County-Owned Right-of-Way:

The annexation territory contains no State of Iowa right-of-way, but does contain approximately 4.157 acres (+/-) of Polk County right-of-way.

K. Certification of Compliance with Other Notice Requirements:

A consultation meeting was scheduled to be held on September 25, 2023. Notice of the meeting was sent via certified mail to the Polk County Board of Supervisors and Delaware Township Trustees; and by regular mail to Polk County Planning & Development, Saydel Community School District, and Ankeny Community School District. No members of the public attended the meeting. No written comments have been provided to staff. The parties involved in the consultation meeting have seven days from the date of the meeting to submit written comments regarding the proposed annexation.

L. Transition of Taxes:

The City of Ankeny is not offering property tax abatement with this annexation.

M. Identification of Non-Consenting Property Owners and Legal Descriptions:

The representation of non-consenting properties is outlined in the following table and legal descriptions below:

Non-Consenting Properties	Acreage
1: Richard W. & Peggy J. Groves	1.58
Total Non-Consenting Property Acreage	1.58

LEGAL DESCRIPTIONS:

1. LEGACY HOUSBY, LLC

POLK COUNTY DISTRICT/PARCEL NUMBER:

190/00115-006-000

LEGAL DESCRIPTION:

THE SOUTH 208.71 FEET OF THE WEST 450.42 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND EXCEPT THE SOUTH 416 FEET OF THE NORTH 493 FEET OF THE WEST 225 FEET, THAT PORTION LAYING NORTHWEST OF THE UNION PACIFIC RAILROAD RIGHT-OF-WAY OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL IN SECTION 8, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, EXCEPT THAT PART CONVEYED TO POLK COUNTY BY WARRANTY DEED FILED JUNE 19, 1996 AND RECORDED IN BOOK 7426 PAGE 486, POLK COUNTY, IOWA.
AREA OF PROPERTY 33.941 ACRES.

2. RICHARD W. & PEGGY J. GROVES

POLK COUNTY DISTRICT/PARCEL NUMBER:

190/00115-005-000

LEGAL DESCRIPTION:

THE SOUTH 416 FEET OF THE NORTH 493 FEET OF THE WEST 225 FEET OF THE SW 1/4 OF THE SW 1/4 OF SECTION 8, TOWNSHIP 79, RANGE 23 WEST OF THE 5TH P.M. POLK COUNTY, IOWA EXCEPT PUBLIC ROAD RIGHT OF WAY ON THE WEST SIDE THEREOF.
AREA OF PROPERTY 1.58 ACRES.

N. Parcel Acreage and Percentage of Consenting, Non-Consenting, and Public Right-of-Way:

The following table outlines the acreage of each property, as well as road right-of-way, within the annexation territory:

Consenting Properties	Acreage
1: Legacy Housby, LLC	33.941
Total Consenting Property Acreage	33.941
Non-Consenting Properties	Acreage
1: Richard W. & Peggy J. Groves	1.58
Total Non-Consenting Property Acreage	1.58
Total Annexation (minus road right-of-way)	35.521
Polk County Road Right-of-Way	4.157
Total Annexation Acres	39.678

O. Map of Annexation Territory Related to the City of Ankeny:

Maps included depict the annexation territory, consenting landowners, public right-of-way, and the relationship of the annexation territory to Ankeny and surrounding cities.

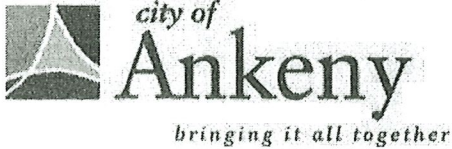
P. Property Taxes:

The following table sets forth an example of the property tax implications between Polk County and the City of Ankeny for a current residential property with an assessed valuation of \$150,000. The City of Ankeny will not be offering any property tax abatement with this annexation.

Jurisdiction	Valuation	Gross Tax
Polk County	\$150,000	\$3,010.05*
City of Ankeny	\$150,000	\$3,368.50*
*These numbers are an example and for reference only.		

Q. Impact on Other Governmental and Quasi-Governmental Entities:

If the annexation is approved, there will be no impact on any other governmental or quasi-governmental entities, except that the public water supply services will be transitioned from Des Moines Water Works to the City of Ankeny in accordance with the agreement for the transition of such services.



ANNEXATION APPLICATION

To the Council of the City of Ankeny, Iowa:

We, being all of the owners of the following described territory adjoining the City of Ankeny, Iowa hereby make application to your Honorable Body to assent by resolution to such territory becoming a part of the City of Ankeny, Iowa. **Attached hereto, is a plat of such territory showing the situation thereof with reference to the existing limits of the City.**

Property Address for this Voluntary Annexation or a Description of the General Location if an Address has not been assigned _____

Legal Description (if necessary, provide attachment) see Exhibit A attached hereto

Property Owner(s): Legacy Housby, LLC, an Iowa limited liability company

Address: 4200 River Oaks Drive, Des Moines, Iowa 50312

Address: _____

Phone #: 515-360-7059

Signed by: _____

Patricia S. Housby
Property Owner Signature *

Patricia S. Housby, Manager

Name (Print/Type)

Date: 8/11/23

Date: _____

Property Owners Signature

Name (Print/Type)

Date: _____

Property Owners Signature

Name (Print/Type)

STATE OF IOWA, COUNTY OF POLK, ss

On this _____ day of _____, 20____, before me, a Notary Public in and for Polk County, personally appeared _____, to me known to be the person named in and who executed the foregoing instrument, and acknowledged that he/she executed the same as voluntary act and deed.

Notary Public in and Polk County, Iowa

(Notary Stamp)

STATE OF IOWA, COUNTY OF POLK, ss

On this _____ day of _____, 20____, before me, a Notary Public in and for Polk County, personally appeared _____, to me known to be the person named in and who executed the foregoing instrument, and acknowledged that he/she executed the same as voluntary act and deed.

Notary Public in and for Polk County, Iowa

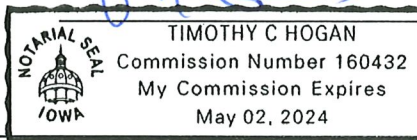
(Notary Stamp)

STATE OF IOWA, COUNTY OF POLK, ss

On this 11 day of AUGUST, 2023, before me, a Notary Public in and for Polk County, personally appeared PATRICIA S. HOUSBY, to me personally known, who being by me duly sworn, did say that that person is the MANAGER (title) of said limited liability company executing the within and foregoing instrument to which this is attached; that no seal has been procured by the limited liability company; that the instrument was signed on behalf of the limited liability company by authority of its managers; and that PATRICIA S. HOUSBY, as said officer, acknowledged the execution of the foregoing instrument to be the voluntary act and deed of the limited liability company, by it and by them voluntarily executed.

Notary Public in and for Polk County, Iowa

(Notary Stamp)



Applicant / Contact Timothy C. Hogan

Address: Hogan Law Office, 1717 Ingersoll Avenue, Suite 200, Des Moines, Iowa 50309

Phone #: 515-279-9059

Signed by:

Timothy C. Hogan

Applicant/Contact

Name (Print/Type)

Date:

8/1/23

*If a limited liability corporation, association, trust, non-profit organization, or any other legal entity owns the property proposed for voluntary annexation, an agent or agents responsible for the affairs of the legal entity must sign the application as the property owner(s). It must be noted that the assignee(s) is (are) acting on behalf of the legal entity.

In addition, documentation, such as incorporation documents, must be included that show the assignee's (assignees') authority to act on behalf of the legal entity.

If the property owner is a religious institution, a written explanation must be provided on the institution's letterhead that the person(s) signing the application can act on behalf of the institution. One or more established leaders of the religious congregation must also attest the letter.

The Annexation Application will not be considered complete
unless it complies with all the submittal requirements.

EXHIBIT A

Legal Description of Property to be Annexed

The South 208.71 feet of the West 450.42 feet of the Northwest 1/4 of the Southwest 1/4 and Except the South 416 feet of the North 493 feet of the West 225 feet, that portion lying Northwest of the Union Pacific Railroad right-of-way of the Southwest 1/4 of the Southwest 1/4, all in Section 8, Township 79 North, Range 23 West of the 5th P.M., Polk County, Iowa, Except that part conveyed to Polk County by Warranty Deed filed June 19, 1996 and recorded in Book 7426 Page 486, Polk County, Iowa.

Iowa Secretary of State
321 East 12th Street
Des Moines, IA 50319
sos.iowa.gov



FILED

Date 10/7/2020 09:10 AM
Corp No 643888
Cert No FT0076067

Certificate of Organization - LLC

Information

CODE 489 DOMESTIC LIMITED LIABILITY COMPANY

Chapter

Legacy Housby, LLC

Name of Entity

10/7/2020 12:00:00 AM

Effective Date and Time

Perpetual

Expiration Date

No

Does the limited liability company hold an interest in agricultural land in Iowa?

Registered Agent and Registered Office Address

Charles E Cuttler

Full Name

1307 50TH STREET

Address1

Address2

West Des Moines

City

IA

State

50266

Zip

USA

Country

Principal office

3200 Jordan Grove

Address1

Address2

West Des Moines

City

IA

State

50265

Zip

USA

Country

Signature(s)

Timothy C Hogan

Organizer

10/7/2020 9:09:02 AM

Date

CERTIFICATE OF ORGANIZATION

OF

LEGACY HOUSBY, LLC

The undersigned, acting as organizer to form a limited liability company under the Revised Uniform Limited Liability Company Act, does sign, verify and deliver to the Secretary of State of the State of Iowa this Certificate of Organization.

ARTICLE I.

NAME OF COMPANY

The name of the limited liability company shall be Legacy Housby, LLC.

ARTICLE II.

REGISTERED OFFICE AND AGENT FOR SERVICE OF PROCESS

The address of the registered agent's office is 1307 50th Street, West Des Moines, Iowa 50266.

The name of the registered agent for service of process is Charles E. Cutler.

Dated: October 7, 2020.



Timothy C. Hogan, Organizer

OPERATING AGREEMENT

OF

LEGACY HOUSBY, LLC

ARTICLE I. ORGANIZATION OF THE COMPANY

1.1 Formation. The parties to this Agreement, by execution of this Operating Agreement, hereby agree to the formation of Legacy Housby, LLC as an Iowa limited liability company pursuant to and in accordance with the Iowa Revised Uniform Limited Liability Company Act as amended from time to time. A Certificate of Organization has been filed with the Iowa Secretary of State. The Managers of the Company may take any such further action as they deem necessary to permit the Company to conduct business as a limited liability company in any other jurisdiction.

1.2 Principal Office. The principal office of the Company in the State of Iowa shall be located at 3200 Jordan Grove, West Des Moines, Iowa 50265. The Company may have such other offices, either within or without the State of Iowa, as the Members may designate or as the business of the Company may from time to time require.

1.3 Registered Agent. The initial registered agent for service of process on the Company, required by the Iowa Revised Uniform Limited Liability Company Act, to be maintained in the State of Iowa is Charles E. Cutler, whose address is 1307 50th Street, West Des Moines, Iowa 50266. The registered office and the registered agent for service of process may be changed from time to time by action of the Members and by filing the prescribed form with the Secretary of State of the State of Iowa.

1.4 Business of the Company. The Company may engage in any business permitted by Iowa law.

ARTICLE II. MEETINGS

2.1 Meetings. Meetings of the Members, for any purpose or purposes, unless otherwise prescribed by statute, may be called by a Manager or by any of the Members.

2.2 Notice of Meeting. Written, email or telephonic notice stating the place, day and hour of the meeting and the purposes for which the meeting is called, shall be delivered not less than three (3) days before the date of the meeting, either personally or by mail or email, by or at the direction of a Manager to each Member of record entitled to vote at such meeting. If mailed, such notice shall be deemed to be delivered when deposited in the United States mail, addressed to the Member at his address as it appears on the books of the Company, with postage thereon prepaid. When all the Members of the Company are present at any meeting, or if those not present sign in writing a waiver of notice of such meeting, or subsequently ratify all the proceedings

thereof, the transactions of such meeting are as valid as if a meeting were formally called and notice had been given.

2.3 Quorum. At any meeting of the Members, a majority of the Units of the Company, as reflected by the books of the Company, represented in person or by proxy, shall constitute a quorum at a meeting of Members. If less than the majority of the Units are represented at a meeting, a majority of the Units so represented may adjourn the meeting from time to time without further notice. At such adjourned meeting at which a quorum shall be present or represented, any business may be transacted which might have been transacted at the meeting as originally notified. The Members present at a duly organized meeting may continue to transact business until adjournment, notwithstanding the withdrawal of enough Members to leave less than a quorum.

2.4 Proxies. At all meetings of Members, a Member may vote by proxy executed in writing by the Member or by his duly authorized attorney-in-fact. Such proxy shall be filed with the Manager of the Company before or at the time of the meeting. No proxy shall be valid after three months from date of execution, unless otherwise provided in the proxy.

2.5 Voting by Certain Members. Certificates of Ownership standing in the name of a corporation, partnership or limited liability company may be voted by such officer, partner, member, manager, agent or proxy as the Bylaws or Operating Agreement of such entity may prescribe. Certificates of Ownership held by a trustee, personal representative, administrator, executor, guardian or conservator may be voted by him, either in person or by proxy, without a transfer of such certificates into his name.

2.6 Formal Action by Members. Ordinarily, the act of a majority of the Members present at a meeting at which a quorum is present shall be the act of the Members. Upon demand of any Member, voting on a particular issue may be in accordance with the Members' Units in the Company.

2.7 Procedure. A Manager of the Company shall preside at meetings of the Members, may move or second any item of business but shall not vote upon any matter when there is an even number of Members present and the Members are evenly divided as to an issue. A record shall be maintained of the meetings of the Members. The Members may adopt their own rules of procedure which shall not be inconsistent with this Operating Agreement. This provision is not intended to limit or restrict a Manager of the Company from voting upon matters in his capacity as a Member.

2.8 Presumption of Assent. A Member of the Company who is present at a meeting of the Members at which action on any matter is taken shall be presumed to have assented to the action taken, unless his dissent shall be entered in the minutes of the meeting or unless he shall file his written dissent to such action with the person acting as the secretary of the meeting before the adjournment thereof or shall forward such dissent by certified mail to the secretary of the meeting immediately after the adjournment of the meeting. Such right to dissent shall not apply to a Member who voted in favor of such action.

2.9 Informal Action of Members. Unless otherwise provided by law, any action required to be taken at a meeting of the Members, or any other action which may be taken at a meeting of the Members, may be taken without a meeting if a consent in writing, setting forth the action so taken, shall be signed by all the Members entitled to vote with respect to the subject matter thereof.

2.10 Telephonic Meeting. Members of the Company may participate in any meeting of the Members by means of conference telephone or similar communication if all persons participating in such meeting can hear one another for the entire discussion of the matter(s) to be voted upon. Participating in a meeting pursuant to this Section shall constitute presence in person at such meeting.

ARTICLE III. CERTIFICATES OF OWNERSHIP AND THEIR TRANSFER

3.1 Certificates. Certificates of Ownership representing each Member's ownership of Units in the Company shall be in such form as shall be determined by the Members. Such Certificates of Ownership shall be signed by a Manager. All Certificates of Ownership shall be consecutively numbered or otherwise identified. The name and address of the person to whom the Certificates of Ownership are issued, with the number of Units issued, shall be entered in the Register of Certificates of the Company. In case of a lost, destroyed or mutilated Certificate of Ownership, a new one may be issued upon such terms and indemnity to the Company as the Members may prescribe.

3.2 Initial Capital Contributions. The initial capital contributions to the Company by the Members shall be as set forth on Schedule A attached hereto and incorporated herein by this reference.

3.3 Additional Capital Contributions. Members may contribute in proportionate amounts any additional capital deemed necessary for the operation of the Company, provided, however, that in the event that any Member deems it advisable to refuse or fails to contribute his share of any or all of the additional capital, then the other Members or any one of them may contribute the additional capital not paid in by such refusing Member and shall receive therefore additional Units of the Company in direct proportion to the additional capital contributed. Unless otherwise agreed, the right to make up additional capital contributions of a refusing Member shall be available proportionately or in such proportions as the remaining Members may agree.

3.4 Additional Members. The existing Members may, upon a majority vote, admit additional Members to the Company. The new Members of the Company shall have all of the rights and obligations of a Member under the Operating Agreement.

3.5 Transfers of Units. Any Member proposing a transfer or assignment of his Units in the Company shall first notify the Company, in writing, of all the details and consideration for the proposed transfer or assignment. The Company, for the benefit of the remaining Members, shall have the first right to acquire the Units under the same terms and conditions first proposed

by the withdrawing Member. If the Company declines to elect such option, the remaining Members desiring to participate may proportionately (or in such proportions as the remaining Members may agree) purchase the Units under the same terms and conditions first proposed by the withdrawing Member. The election of both the Company and the remaining Members shall be exercised within ten (10) days after the date of notification to the Company.

If the transfer or assignment is made as originally proposed and the other Members fail to approve the transfer or assignment by unanimous written consent, the transferee or assignee shall have no right to participate in the management of the business and affairs of the Company or to become a Member. The transferee or assignee shall only be entitled to receive the share of the profit or other compensation by way of income and the return of contributions to which that Member would otherwise be entitled.

ARTICLE IV. FISCAL YEAR, BOOKS AND RECORDS

4.1 Fiscal Year. The fiscal year of the Company shall begin on the first day of January and end on the last day of December each year, unless otherwise determined by resolution of the Members.

4.2 Books and Records. The books and records of the Company shall be kept at the principal office of the Company or at such other places, as the Managers shall from time to time determine.

4.3 Right of Inspection. Any Member of record shall have the right to examine, at any reasonable time or times for all purposes, the books and records of account, minutes and records of Members and to make copies thereof. Such inspection may be made by any agent or attorney of the Member.

4.4 Financial Records. All financial records shall be maintained and reported based on generally acceptable accounting practices.

ARTICLE V. DISTRIBUTION OF PROFITS

5.1 Distribution of Profits. Distributions will be made at the discretion of the Managers. Any distributions made will be pro rata in proportion to the respective ownership interests of the Members. No distribution will be declared or paid if the Company is unable to pay its debts or the Company's total assets would be less than the sum of its liabilities.

ARTICLE VI.
MANAGEMENT OF THE COMPANY

6.1 Management. The Company's business activities and the management of its affairs shall be exercised and conducted exclusively by the Managers, who shall have authority to act for the Company in all matters, and those persons selected from time to time by the Managers to perform such other services as may from time to time be required. Except as otherwise set forth in this Operating Agreement, the Members shall not participate in the management of the Company or have any power or authority to bind the Company. The words "Manager" and/or "Managers" shall be used interchangeably throughout this Agreement regardless of the number of Managers that are ultimately elected.

6.2 Managers. The Company shall initially be managed by one (1) Manager, **Patricia S. Housby**, which number may be changed from time to time by the Members of the Company. Each Manager shall have an equal right, power and authority with the other Managers in management and operation of the activities of the Company. In the event of a difference arising among the Managers as to a matter in the ordinary course of the activities of the Company, such difference shall be decided by a majority of the Managers.

6.3 Election and Tenure. The Managers of the Company shall be elected by majority vote of the Members. Managers need not be selected from among the Members. Each Manager shall hold office from date of election until death, resignation or removal.

6.4 Resignations and Removal. Any Manager may resign at any time by giving written notice to the other Managers, and, unless otherwise specified therein, the acceptance of such resignation shall not be necessary to make it effective. Any Manager may be removed at any time by the Members with or without cause. The Members may, at their discretion, elect a new Manager to replace the resigning or removed Manager at a meeting called for such purpose.

6.5 Salaries. The salaries of the Managers (if any) shall be fixed from time to time by the Members and no Manager shall be prevented from receiving such salary by reason of the fact that he is also a Member of the Company.

6.6 Deposits. All funds of the Company shall be deposited from time to time to the credit of the Company in such banks, trust companies or other depositories as the Managers may select.

6.7 Checks, Drafts, Etc. All checks, drafts or other orders for the payment of money, and all notes or other evidences of indebtedness issued in the name of the Company shall be signed by any Manager.

6.8 Loans. Loans may be contracted on behalf of the Company by any Manager.

6.9 Contracts. Any Manager may enter into any contract or execute any instrument in the name of and on behalf of the Company.

6.10 Real Estate Transactions. Any Manager may execute any deed or other instrument relating to the purchase or sale of real estate in the name of and on behalf of the Company.

6.11 Accountant. One or more accountant(s) may be selected from time to time by the Managers to perform such tax and accounting services as may from time to time be required.

6.12 Legal Counsel. One or more attorney(s) at law may be selected from time to time by the Managers to perform such other services as may from time to time be required.

ARTICLE VII. MISCELLANEOUS

7.1 Notice. Any notice required or permitted to be given pursuant to the provisions of the Iowa Revised Uniform Limited Liability Company Act, the Certificate of Organization of the Company or this Operating Agreement shall be effective as of the date personally delivered; or if sent by mail, on the date deposited with United States Postal Service, prepaid and addressed to the intended receiver at his last known address as shown in the records of the Company; or if sent by email, on the date the email was sent.

7.2 Waiver of Notice. Whenever any notice is required to be given pursuant to the provisions of the Iowa Revised Uniform Limited Liability Company Act, the Certificate of Organization of the Company or this Operating Agreement, a waiver thereof, in writing, signed by the persons entitled to such notice, whether before or after the time stated therein, shall be deemed equivalent to the giving of such notice.

7.3 Indemnification By Company. The Company shall indemnify any person who was or is a party defendant or is threatened to be made a party defendant to any threatened, pending or completed action, suit or proceeding, whether civil, criminal, administrative, or investigative (other than an action by or in the right of the Company) by reason of the fact that he is or was a Member of the Company, Manager, employee or agent of the Company, or is or was serving at the request of the Company, against expenses (including attorney's fees), judgments, fines and amounts paid in settlement actually and reasonably incurred by him in connection with such action, suit or proceeding if the Members determine that he acted in good faith and in a manner he reasonably believed to be in or not opposed to the best interest of the Company, and with respect to any criminal action or proceeding, has no reasonable cause to believe his conduct was unlawful. The termination of any action, suit, or proceeding by judgment, order, settlement, conviction, or upon a plea of nolo contendere or its equivalent, shall not in itself create a presumption that the person did or did not act in good faith and in a manner which he reasonably believed to be in the best interest of the Company, and, with respect to any criminal action or proceeding, had reasonable cause to believe that his conduct was unlawful.

7.4 Indemnification Funding. The Company shall fund the indemnification obligations provided by Section 7.3 in such manner and to such extent as the Members may from time to time deem proper.

7.5 Duality of Interest Transactions. Managers and Members of this Company have a duty of honesty to this Company in all matters affecting this Company's interests. Managers and Members may hold interests in and manage entities engaged in business similar to the Company.

7.6 Anticipated Transactions. Notwithstanding the provision of Section 7.5, it is anticipated that the Members may from time to time have other legal and financial relationships outside of the Company and/or participate in contracts and transactions outside of their membership in the Company.

7.7 Gender and Number. Whenever the context requires, the gender of all words used herein shall include the masculine, feminine and neuter, and the number of all words shall include the singular and plural thereof.

7.8 Articles and other Headings. The Articles and other headings contained in this Operating Agreement are for reference purposes only and shall not affect the meaning or interpretation.

7.9 Reimbursement of Managers and Members. Managers and Members shall receive reimbursement for expenses reasonably incurred in the performance of their duties.

7.10 Authority. Each person executing this Operating Agreement has the legal capacity with full power and authority to execute this Operating Agreement on behalf of the Member they represent and this Operating Agreement has been duly authorized, approved and ratified by each respective entity Member and is therefore binding on such entity Member.

ARTICLE VIII. TERMINATION AND DISSOLUTION

8.1 Events Requiring Termination and Dissolution. The Company shall be dissolved upon the happening of any of the following events:

- (a) The occurrence of any event which would make unlawful the continuing existence of the Company; or
- (b) The affirmative action of its Members.

8.2 Business After Dissolution. After dissolution, the Company shall not engage in any business except that necessary to wind up the Company's affairs and to protect the value of and distribute the Company's assets.

8.3 Profits and Losses During Winding Up. Profits and losses earned or incurred during the course of the winding up of the Company shall be credited or debited to the Members in the same proportion as before dissolution.

8.4 Management of the Company After Dissolution. The management of the Company after dissolution shall be the same as provided in this Operating Agreement for the Company prior to dissolution.

8.5 Distribution of Assets Upon Dissolution. In settling accounts after dissolution, the assets of the Company shall be distributed in the following order:

- (a) To creditors, including the Members who are creditors (to the extent permitted by law) in satisfaction of the liabilities of the Company, other than for distributions to Members under the Iowa Revised Uniform Limited Liability Company Act.
- (b) To the Members in satisfaction of liabilities for distributions under the Iowa Revised Uniform Limited Liability Company Act.
- (c) To the Members of the Company.

8.6 Certificate of Dissolution. When all debts, liabilities and obligations have been paid and discharged or reasonably adequate provisions have been made therefore and all of the remaining property and assets have been distributed to the Members, articles of dissolution shall be executed and filed with the Iowa Secretary of State. Thereafter, the existence of the Company shall cease, except for the purpose of suits, other proceedings and appropriate action as may be expressly provided in the Iowa Revised Uniform Limited Liability Company Act. The Managers shall thereafter have authority to distribute any Company property discovered after dissolution, convey real estate and take such other action as may be necessary on behalf of and in the name of the Company.

ARTICLE IX. AMENDMENTS

9.1 Amendments. This Operating Agreement may be altered, amended, restated, or repealed and a new Operating Agreement may be adopted by majority vote of the Members, after notice and opportunity for discussion of the proposed alteration, amendment, restatement, or repeal.

CERTIFICATION

THE UNDERSIGNED, being all of the Members of the Company, hereby evidence their adoption and ratification of the foregoing Operating Agreement of the Company.

DATED this 7th day of October, 2020.

By: 

Patricia S. Housby, Trustee of the Patricia
Sargent Housby Family Trust

SCHEDULE A

<u>Member and Address</u>	<u>Initial Capital Contributions</u>	<u>Units</u>	<u>Certificate Number</u>	<u>Date</u>
Patricia S. Housby, Trustee of the Patricia Sargent Housby Family Trust 3200 Jordan Grove West Des Moines, IA 50265	\$100.00	100	1	10/07/2020

CONSENT TO ACTIONS TAKEN
IN LIEU OF AN ORGANIZATIONAL MEETING OF THE MEMBERS
OF
LEGACY HOUSBY, LLC

THE UNDERSIGNED, being the Members of Legacy Housby, LLC, a limited liability company (the "Company") duly organized and existing under the laws of the State of Iowa, pursuant to the provisions of the Iowa Revised Uniform Limited Liability Company Act, do hereby consent, adopt and subscribe to the following resolutions by unanimous written consent, which consent shall have the same force and effect as a unanimous vote by the Members in lieu of holding an organizational meeting of the Company.

WHEREAS, the proposed draft of Operating Agreement prepared by counsel for the Company has been reviewed and should be adopted as the Operating Agreement for the Company.

WHEREAS, the proposed form of Certificate of Ownership prepared by counsel for the Company has been reviewed and should be adopted for use by the Company.

NOW THEREFORE RESOLVED, that the proposed draft of Operating Agreement is adopted as the Operating Agreement of the Company.

FURTHER RESOLVED, that Patricia S. Housby is elected to serve as Manager of the Company until death, resignation or removal as provided in the Operating Agreement of the Company.

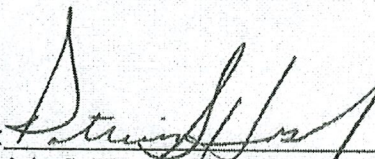
FURTHER RESOLVED, that the proposed form of Certificate of Ownership is adopted for use by the Company and that the Manager is authorized and directed to prepare and issue Certificates of Ownership for Units in the Company as follows:

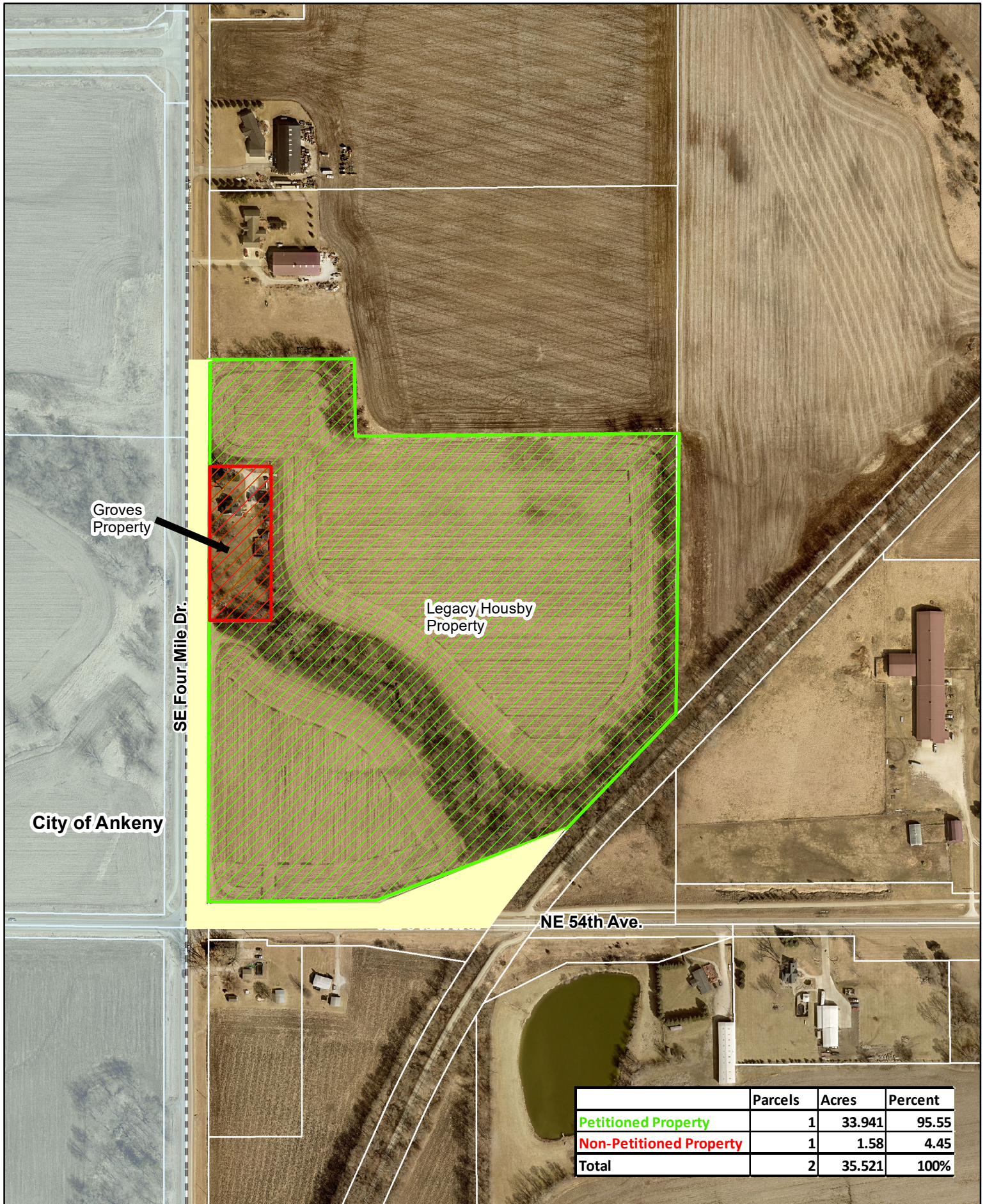
<u>Member</u>	<u>Units</u>	<u>Certificate Number</u>	<u>Percentage</u>
Patricia S. Housby, Trustee of the Patricia Sargent Housby Family Trust	100	1	100%

FURTHER RESOLVED, that the Managers are authorized and directed to execute a resolution and other documents reasonably necessary to conduct business with a bank for the Company and when so executed the documents will become a binding obligation on the Company.

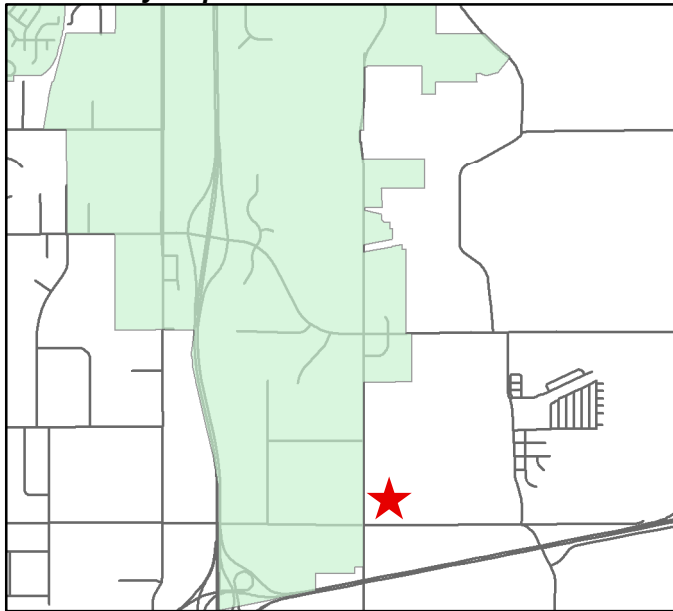
FURTHER RESOLVED, that the Registered Agent of the Company is authorized, directed and empowered to sign the Biennial Report of the Company and to file the same with the Secretary of State of the State of Iowa.

DATED this 7th day of October, 2020.

By: 
Patricia S. Housby, Trustee of the Patricia
Sargent Housby Family Trust



Vicinity Map

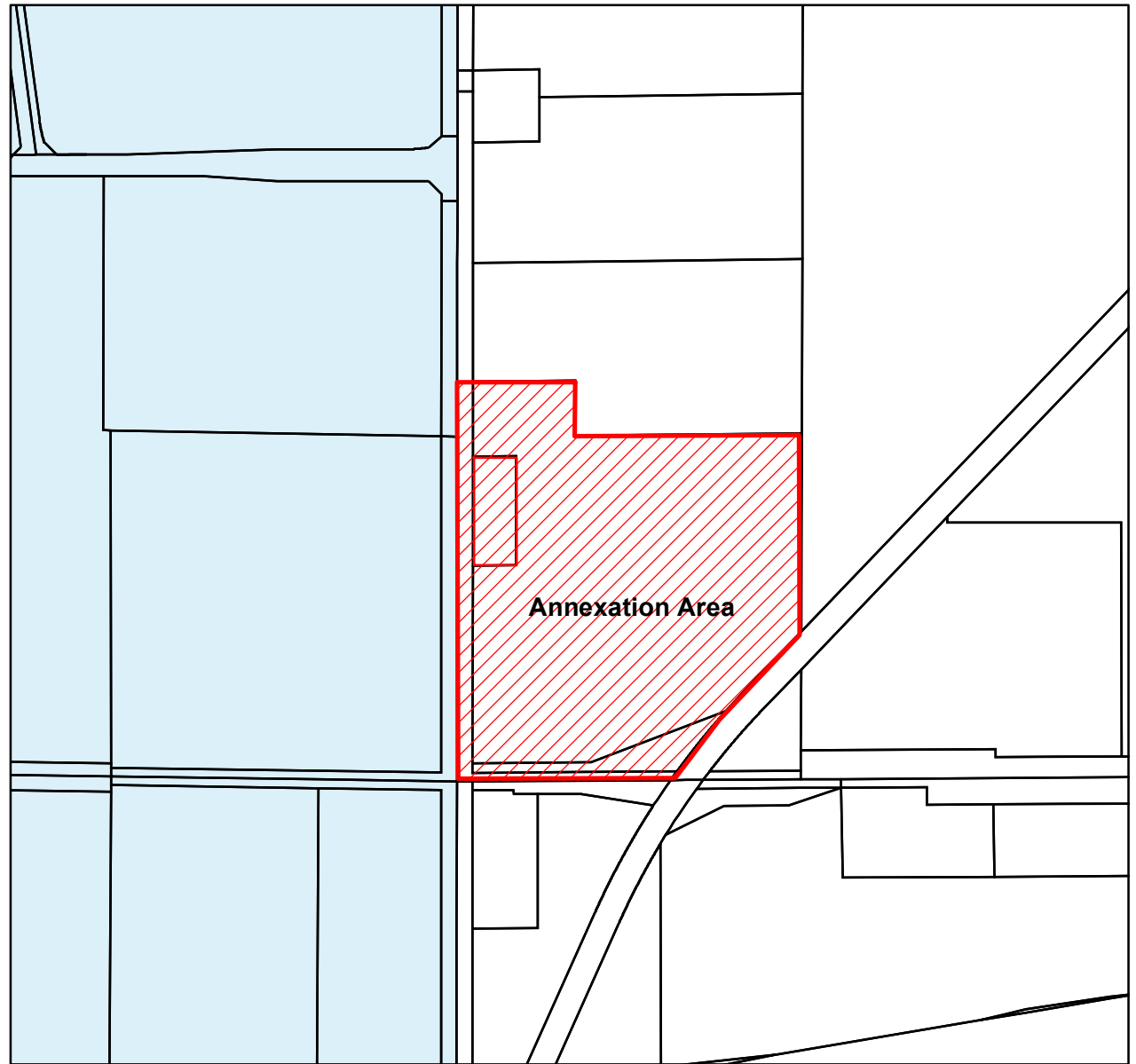


LEGAL DESCRIPTION:

THE SOUTH 208.71 FEET OF THE WEST 450.42 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THAT PORTION LAYING NORTHWEST OF THE UNION PACIFIC RAILROAD RIGHT-OF-WAY OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL IN SECTION 8, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA.

ALL BEING IN POLK COUNTY, IOWA.

THE ANNEXATION ALSO INCLUDES ANY AND ALL COUNTY ROAD RIGHT-OF-WAY TO THE CENTERLINE OF THE ADJACENT ROAD.



1 inch = 650.337 feet

Annexation Map

Property Owners:
Legacy Housby LLC, Richard W. & Peggy J. Groves

City of Ankeny

**Legacy Housby
Annexation**

Sheet No.
1 of 1

City of Ankeny, Iowa
Community Development Department

Drawn By: LLH

Checked by:

Date: August 29, 2023



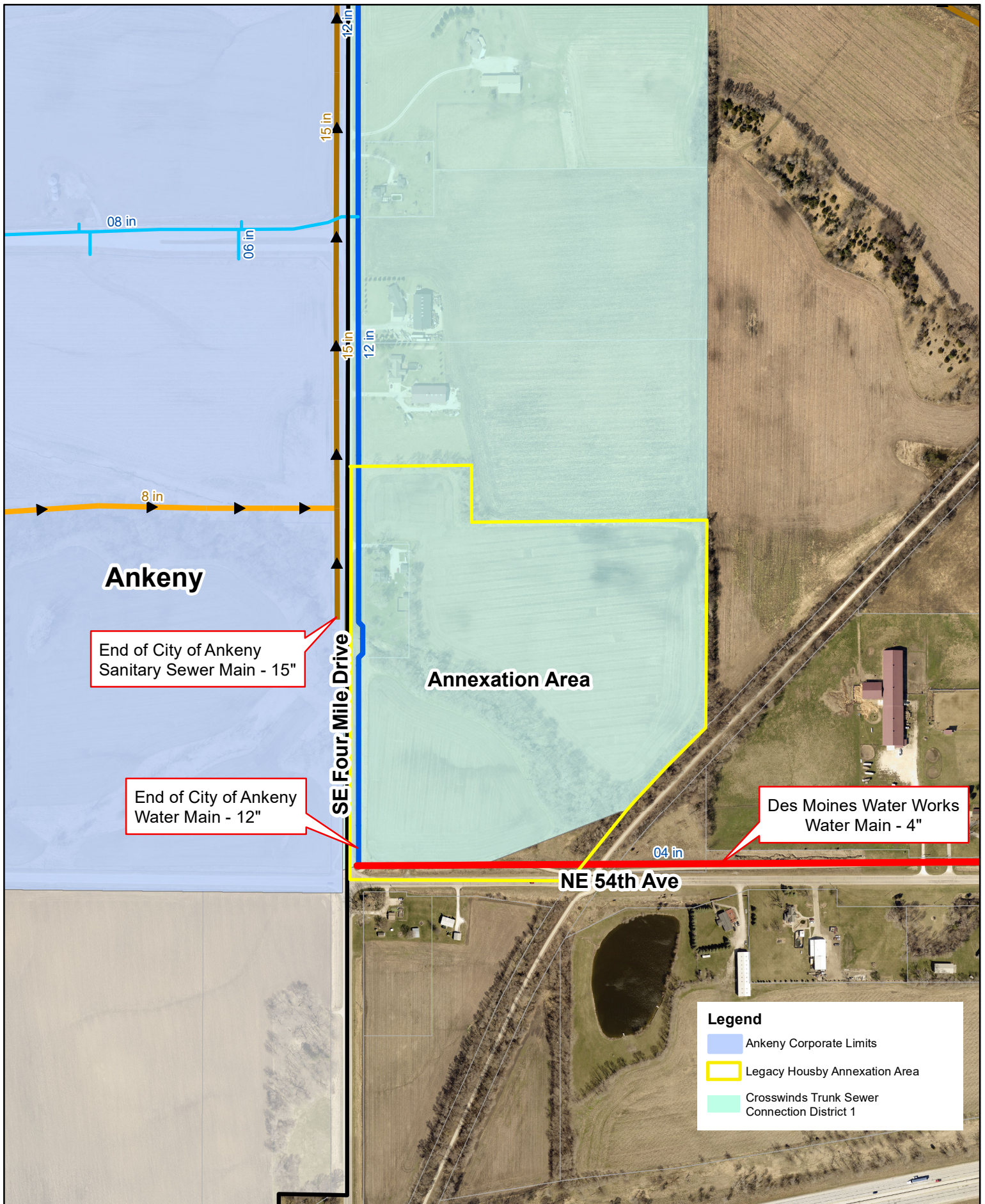
1 inch = 530 feet
Date: 9/27/2023

**Legacy Housby Annexation
80/20 Voluntary Urbanized Annexation
Future Land Use Map**



1 inch = 530 feet
Date: 9/20/2023

**Legacy Housby Annexation
80/20 Voluntary Urbanized Annexation
Zoning Map**



1 inch = 450 feet

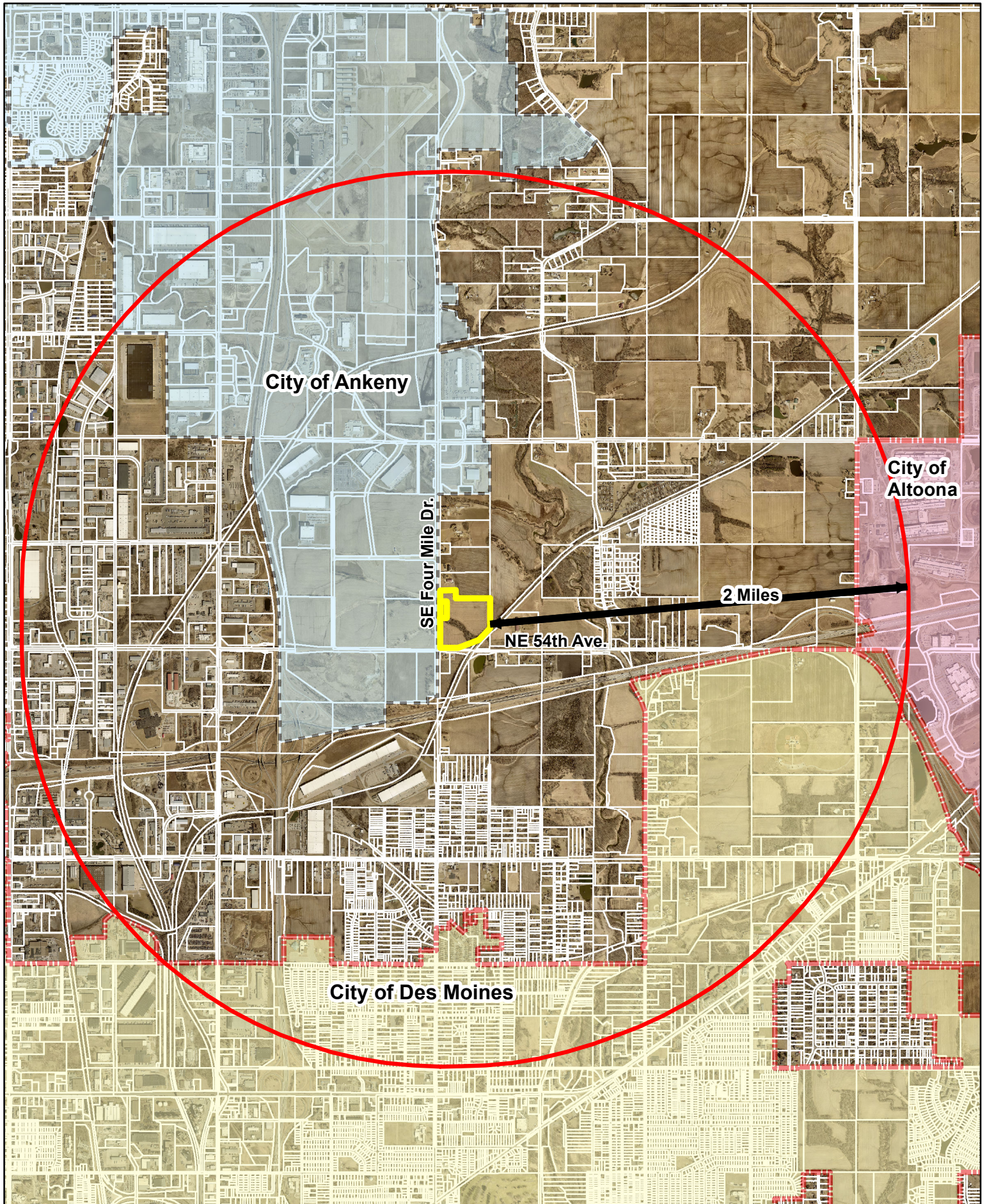
Date: 9/20/2023

Legacy Housby Annexation 80/20 Voluntary Urbanized Annexation Utility Map

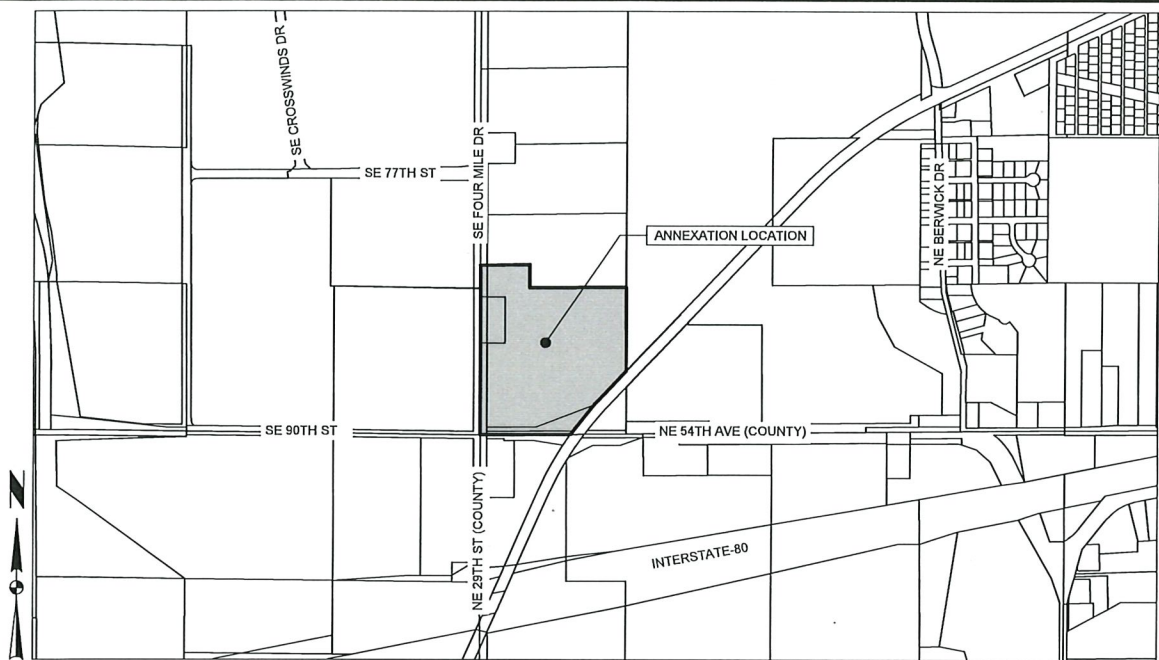
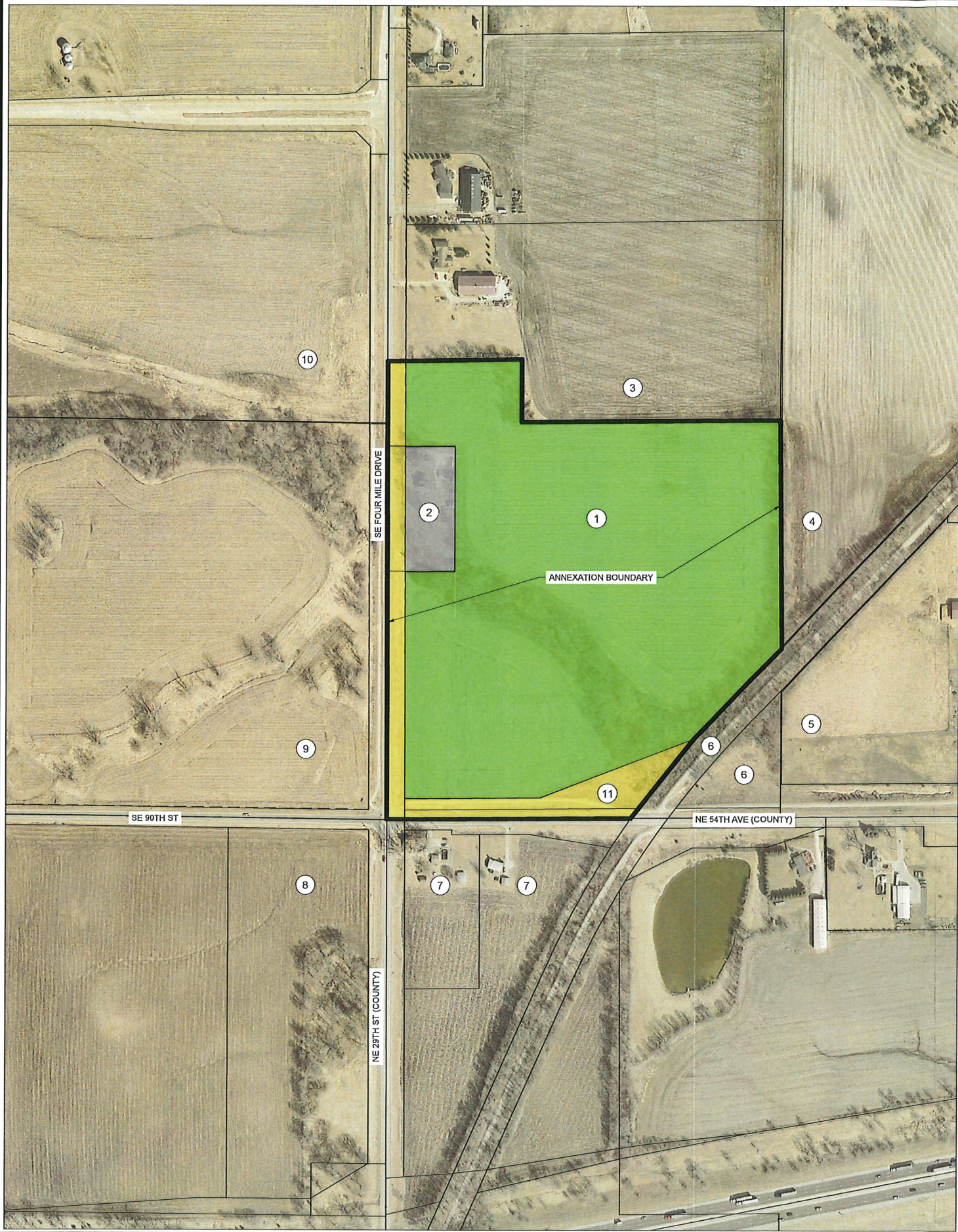
Legend

- Ankeny Corporate Limits
- Legacy Housby Annexation Area
- Crosswinds Trunk Sewer Connection District 1





V:\Projects\2021\121_0588_01\CAD\1210588_01\ANNEXATION MAP.dwg CHAO CONLEY 2/24/2024 10:02 AM AND FULL BLEED D (04.00 X 22.00 INCHES)



NOT TO SCALE

VICINITY MAP

ANNEXATION LEGAL DESCRIPTION PROPERTY 1

THE SOUTH 208.71 FEET OF THE WEST 450.42 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND EXCEPT THE SOUTH 416 FEET OF THE NORTH 493 FEET OF THE WEST 225 FEET, THAT PORTION LYING NORTHWEST OF THE UNION PACIFIC RAILROAD RIGHT-OF-WAY OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL IN SECTION 8, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, EXCEPT THAT PART CONVEYED TO POLK COUNTY BY WARRANTY DEED FILED JUNE 19, 1996 AND RECORDED IN BOOK 7426 PAGE 486, POLK COUNTY, IOWA

ANNEXATION LEGAL DESCRIPTION PROPERTY 2

THE SOUTH 416 FEET OF THE NORTH 493 FEET OF THE WEST 225 FEET OF THE SW 1/4 OF THE SW 1/4 OF SECTION 8, TOWNSHIP 79, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA EXCEPT PUBLIC ROAD RIGHT OF WAY ON THE WEST SIDE THEREOF AND RESERVING AN EASEMENT FOR INGRESS AND EGRESS OVER THE NORTH 16 FEET OF THE WEST 110 FEET OF SAID PROPERTY. THIS DEED MADE AND EXECUTED PURSUANT TO A CONTRACT FOR THE SALE OF SAID PROPERTY, FROM LESTER H. DAVIS TO THE ABOVE NAMED GRANTEES AND IT SHALL BE PLACED IN ESCROW TO BE DELIVERED TO THE GRANTEES, THEIR HEIRS OR ASSIGNS UPON FULL PAYMENT OF THE CONTRACT.

ALL BEING IN POLK COUNTY, IOWA.

THE ANNEXATION ALSO INCLUDES ANY AND ALL COUNTY ROAD RIGHT-OF-WAY TO THE CENTERLINE OF THE ADJACENT ROAD.

OWNER

- LEGACY HOUSBY LLC
4200 RIVER OAKS DR
DES MOINES, IA 50312-4617
CONTACT: PATTY HOUSBY
PH: 515-360-7059
- PEGGY & RICHARD GROVES
5569 NE 29TH ST DES MOINES, IA 50317
- ROW - POLK COUNTY

ANNEXATION OWNERSHIP AREAS (EXCLUDING ROW)

OWNER	ACRES	PERCENTAGE OF		
		OWNERSHIP	PETITION	NON PETITION
1	33.941	95.55%	95.55%	0.0%
2	1.580	4.45%	0.0%	4.45%
11	4.157			
TOTAL	39.678	100%		

SURROUNDING PROPERTY OWNERSHIP

- | | |
|---|--|
| 3. CHARLES & MARILYN HARDEN
5671 NE 29TH ST DES MOINES, IA 50317 | 7. JERI RENES
ROSE M BROWN
VICKI BROWN
2969 NE 54TH AVE DES MOINES, IA 50317 |
| 4. POLK COUNTY CONSERVATION
IOWA NATURAL HERITAGE FOUNDATION
505 5TH AVE STE 444
DES MOINES, IA 50309-2321 | 8. COMMERCE CENTER LLC
5312 NE 29TH ST ANKENY, IA 50021 |
| 5. LAWRENCE D BAIN
3296 NE 54TH AVE DES MOINES, IA 50317 | 9. SILVER LAND COMPANY LC
6152 NE 46TH ST
ALTOONA, IA 50009-9568 |
| 6. POLK COUNTY
5885 NE 14TH ST
DES MOINES, IA 50313-1202 | 10. LEGACY CUTLER LLC
LEGACY HOUSBY LLC
1305 50TH ST
WEST DES MOINES, IA 50266-1705 |



LEGACY HOUSBY LLC / IPE1031 REV390 LLC

ANNEXATION MAP

ANKENY, IOWA

SNYDER & ASSOCIATES, INC. |

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



Project No: 121.0588.01

Sheet Z100

Sheet Z100

Project No: 121.0588.01

ANKENY, IOWA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

LEGACY HOUSBY LLC / IPE1031 REV390 LLC

ANNEXATION MAP

SNYDER & ASSOCIATES, INC. |

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



Project No: 121.0588.01

Sheet Z100

Sheet Z100

Project No: 121.0588.01



PLAN AND ZONING COMMISSION

October 3, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

ACTION REQUESTED:

LEGAL:

SUBJECT:

1. October 2, 2023 City Council Report - Staff

2. Director's Report

Tentative agenda items for October 17, 2023

September 2023 Building Permit Report

3. Commissioner's Reports

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:


PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download
 September 2023 Building Permit Report

City of Ankeny
Building Permit Report
Month of September 2023

	Issued		Issued		Issued Calendar Year				Issued Fiscal Year	
	September-23		September-22		1/1/2023-9/30/2023		1/1/2022-9/30/2022		7/1/2023-9/30/2023	
	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation
RESIDENTIAL										
New Dwellings										
New Single Family Detached	26	\$10,039,426	40	\$12,779,241	338	\$113,834,823	389	\$121,646,069	96	\$36,190,455
New Single Family Attached/Duplex	2	\$794,064	22	\$5,838,498	184	\$47,274,723	205	\$49,645,379	36	\$9,986,545
New Multi - Family	0	\$0	0	\$0	1	\$7,270,821	19	\$39,105,871	0	\$0
Total New Residential Permits	28	\$10,833,490	62	\$18,617,739	523	\$168,380,367	613	\$210,397,319	132	\$46,177,000
Additions/Alterations/Other (1)	70	\$1,671,514	84	\$1,235,162	633	\$8,362,451	739	\$9,514,523	218	\$3,725,823
Total New Dwelling Units	28		62		573		802		132	
NON-RESIDENTIAL										
New Commercial 3	3	\$10,734,256	2	\$41,217,904	21	\$51,739,282	28	\$141,838,675	8	\$15,279,574
COM Additions/Alterations/Other	4	\$371,400	5	\$769,620	66	\$41,658,261	80	\$15,807,855	16	\$25,092,657
New Church	0	\$0	0	\$0	0	\$0	1	\$13,679,075	0	\$0
CHR Additions/Alterations/Other	0	\$0	1	\$4,800	1	\$17,000	3	\$359,880	0	\$0
New School	1	\$6,186,000	0	\$0	2	\$6,256,000	1	\$27,196,293	1	\$6,186,000
SCH Additions/Alterations/Other	0	\$0	0	\$0	5	\$325,913	3	\$40,550	3	\$165,000
Total Non Residential Permits	8	\$17,291,656	8	\$41,992,324	95	\$99,996,456	116	\$198,922,328	28	\$46,723,231
MISC PERMITS (2)	112	\$209,705	97	\$154,732	734	\$845,371	802	\$1,089,492	290	\$375,537
TOTALS	218	\$30,006,365	251	\$61,999,957	1985	\$277,584,645	2270	\$419,923,662	668	\$97,001,591

(1) includes permits issued for sheds, pools, garages, decks, porches, auxiliary structures

(2) includes permits issued for: driveway approach, signs, fences, other misc. non-residential

RSF includes attached & detached dwelling units; RDF includes duplexes; RMF includes apartments & stacked condo units

* includes footing & foundation permits

The City Of Ankeny
Building Permit Report (Monthly)
Issued from September 1, 2023 - September 30, 2023

Type of Use	Type of Work	Issue Date	Valuation	Permit Number	Street Address	Applicant Name	Contractor Name
Single Family Detached	New Building	9/1/2023	\$365,692	23-5194-NEW	2810 NW Westwood Ct	DRA Properties	DRA Properties, LC
Single Family Detached	New Building	9/7/2023	\$503,045	23-4964-NEW	2720 NW Cedarwood Dr	Meadowbrook Homes LLC	Meadowbrook Homes LLC
Single Family Detached	New Building	9/7/2023	\$466,540	23-5318-NEW	5525 NE Seneca Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/7/2023	\$464,480	23-5319-NEW	5518 NE Seneca Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/8/2023	\$436,572	23-4924-NEW	1001 NW Benjamin Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	9/8/2023	\$505,893	23-5145-NEW	1107 NW Benjamin Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	9/8/2023	\$481,660	23-5327-NEW	1114 NW Jackson Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	9/10/2023	\$477,022	23-5326-NEW	4706 NW 10th St	Titan Builders, LLC	Titan Builders, LLC
Single Family Detached	New Building	9/11/2023	\$236,917	23-5132-NEW	2801 NW 30th Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/11/2023	\$236,917	23-5133-NEW	2805 NW 30th Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/12/2023	\$292,734	23-5130-NEW	2721 NW 30th Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/12/2023	\$478,169	23-5294-NEW	6009 NE Terrace Ridge Dr	Kimberley Development Corp	Kimberley Development Corp
Single Family Detached	New Building	9/13/2023	\$365,572	23-5195-NEW	2814 NW Westwood Ct	DRA Properties	DRA Properties
Single Family Detached	New Building	9/14/2023	\$292,734	23-5461-NEW	2809 NW 30th Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/18/2023	\$290,544	23-5537-NEW	3316 NE 6th Ln	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	9/26/2023	\$351,059	23-5623-NEW	1640 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/26/2023	\$348,499	23-5624-NEW	1636 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/26/2023	\$375,696	23-5625-NEW	1632 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/26/2023	\$398,625	23-5626-NEW	1628 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/27/2023	\$335,467	23-5729-NEW	114 NE Harvest Ridge Ln	Harvest Ridge Builders	Harvester Ridge Builders LLC
Single Family Detached	New Building	9/27/2023	\$516,479	23-5528-NEW	1209 NW Benjamin Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	9/27/2023	\$445,971	23-5745-NEW	3502 NW 28th St	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	9/29/2023	\$550,754	23-5756-NEW	1403 SW Cherry St	Haven Homes Design Build	Haven Homes Design Build
Single Family Detached	New Building	9/29/2023	\$236,917	23-5721-NEW	2813 NW 30th Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/29/2023	\$292,734	23-5722-NEW	2817 NW 30th Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	9/29/2023	\$292,734	23-5724-NEW	2821 NW 30th Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	9/26/2023	\$397,032	23-5664-NEW	1110 NE 17th Ln	MJ Properties	MJ Properties
Single Family Attached	New Building	9/26/2023	\$397,032	23-5738-NEW	1114 NE 17th Ln	MJ Properties	MJ Properties
Single Family Detached	Building Alteration	9/5/2023	\$19,215	23-4967-ALT	701 NE Canterbury Dr	Vishal Patel	Vishal Patel
Single Family Detached	Solar	9/5/2023	\$23,328	23-5347-SOL	1309 NE Vicksburg Dr	Purelight Power	Purelight Power
Single Family Detached	Porch	9/5/2023	\$2,880	23-5356-PRCH	4104 NW Abilene Rd	Fred E Castle	Beam
Single Family Detached	Solar	9/6/2023	\$40,141	23-4435-SOL	519 NE 53rd Ct	Blue Sky	Blue Sky
Single Family Detached	Building Alteration	9/6/2023	\$43,596	23-5292-ALT	5251 NE Seneca Dr	Vittoria Homes, LLC	Vittoria Homes, LLC
Single Family Detached	Building Alteration	9/8/2023	\$14,330	23-5391-ALT	413 NW Scott St	Generators for Sale	Generators for Sale
Single Family Detached	Building Alteration	9/10/2023	\$18,585	23-5338-ALT	906 NW Horizon Dr	Sender's Construction LLC	Sender's Construction LLC
Single Family Detached	Pergola	9/11/2023	\$40,000	23-5426-PERG	5246 NE Seneca Dr	L Widger Virgil	Country Landscapes
Single Family Detached	Building Addition	9/12/2023	\$50,211	23-5430-ADD	2018 NW Logan St	Inca Homes Construction	Inca Homes Construction
Single Family Detached	Building Alteration	9/12/2023	\$16,128	23-5456-ALT	3104 NW 29th St	Ryan Dillon	Ryan Dillon
Single Family Detached	Solar	9/12/2023	\$85,093	23-5470-SOL	4108 NW Applewood St	SunPro Solar	Michael S Wade
Single Family Detached	Solar	9/12/2023	\$41,310	23-5492-SOL	4302 NE Trilein Dr	Purelight Power	Purelight Power
Single Family Detached	Solar	9/13/2023	\$24,500	23-5417-SOL	1509 NW Pine View Cir	CB Solar Inc	CB Solar Inc

Single Family Detached	Solar	9/13/2023	\$12,690	23-5542-SOL	802 NW 22nd St	One Source Solar	One Source Solar
Single Family Detached	Building Alteration	9/14/2023	\$10,919	23-5464-ALT	810 SE Peterson Dr	Thrasher Foundation Repair	Thrasher Inc
Single Family Detached	Building Alteration	9/15/2023	\$4,300	23-5569-ALT	3014 SW Prairie View Rd	BAM Basements	BAM Basements
Single Family Attached	Solar	9/18/2023	\$16,750	23-5305-SOL	205 NW Ridgeline Dr	One Source Solar	8x8 Contracting LLC
Single Family Detached	Building Alteration	9/18/2023	\$5,000	23-5372-ALT	905 SE Summerbrook Ct	& Melissa Smythe Stephen	Clear Choice Windows
Single Family Detached	Fire Repair	9/18/2023	\$444,000	23-5521-FREP	2718 NE Trilein Dr	Weidman Chris	Firstcall Restoration
Single Family Detached	Building Alteration	9/19/2023	\$29,295	23-5649-ALT	2525 SW Vineyard Ln	Bella Homes LLC	Bella Homes LLC
Single Family Detached	Solar	9/19/2023	\$22,032	23-5650-SOL	2304 NW 31st St	Purelight Power	Purelight Power
Single Family Detached	Building Alteration	9/19/2023	\$45,454	23-5651-ALT	610 NW 18th St	Bella Homes LLC	Bella Homes LLC
Single Family Detached	Building Addition	9/22/2023	\$40,169	23-5637-ADD	2729 NW Park Ln	Buresh Home Solutions	Buresh Homes Solutions
Single Family Detached	Building Alteration	9/22/2023	\$25,736	23-5676-ALT	2112 NW Reinhart Dr	Ultimate Construction Services	Ultimate Construction Services
Single Family Detached	Building Addition	9/22/2023	\$18,270	23-5680-ADD	2205 NW Pleasant St	Sergei Pedashov	Sergei Pedashov
Single Family Detached	Garage	9/24/2023	\$35,101	23-5719-GAR	301 NW Arlan Dr	Macho John	Affordable Construction
Single Family Detached	Gazebo	9/22/2023	\$2,500	23-5685-GAZ	1701 NE Lowell Ct	Dilpreet Singh	
Single Family Detached	Porch	9/27/2023	\$7,280	23-5733-PRCH	4210 NW 2nd Ct	A & J Home Improvement	A & J Home Improvement
Single Family Detached	Solar	9/27/2023	\$15,240	23-5782-SOL	3124 NW 15th St	One Source Solar	1 Source Solar
Single Family Detached	Building Alteration	9/29/2023	\$6,000	23-5754-ALT	602 NE 7th St	Dunwoody Construction	Dunwoody Construction
Single Family Detached	Solar	9/29/2023	\$8,120	23-5851-SOL	1417 NW 9th St	Purelight Power	Purelight Power
Single Family Detached	Shed	9/7/2023	\$640	23-5384-SHD	1614 SW Des Moines St	Dominic Foster	Dominic Foster
Single Family Detached	Shed	9/8/2023	\$1,920	23-5388-SHD	813 NW Parkside Dr	Keith A Petterson	Gold Dome Buildings LLC
Single Family Detached	Shed	9/11/2023	\$4,000	23-4794-SHD	2908 NE 94th Ave	Lang Deng	Lang Deng
Single Family Detached	Shed	9/14/2023	\$2,880	23-4986-SHD	5003 NW 6th St	Walker Shawn	Walker Shawn
Single Family Detached	Shed	9/18/2023	\$2,000	23-4768-SHD	1710 NW Reinhart Dr	Boston Brandon	Sunrise Sheds
Single Family Detached	Shed	9/18/2023	\$3,120	23-5628-SHD	2205 NW Pleasant St	Sergei Pedashov	Sergei Pedashov
Single Family Detached	Shed	9/26/2023	\$2,400	23-5622-SHD	4109 NW 3rd St	CKC Property Services	CKC Property Services
Single Family Detached	Shed	9/26/2023	\$1,680	23-5765-SHD	506 NE 55th St	ETCH Outdoor Living	ETCH Outdoor Living
Single Family Detached	Shed	9/28/2023	\$6,000	23-5744-SHD	1161 SW Kenworthy Dr	Colin Harrington	Colin Harrington
Single Family Detached	Spa/Hot Tub	9/8/2023	\$0	23-5411-SPA	620 SW Stonegate Ct	Randy Rupiper Construction	Randy Rupiper Construction
Single Family Detached	Spa/Hot Tub	9/11/2023	\$0	23-5459-SPA	1321 NE 51st St	Mark Peckham	Mark Peckham
Single Family Detached	Spa/Hot Tub	9/22/2023	\$0	23-5543-SPA	1129 NW Wagner Blvd	Connor Brown	Connor Brown
Single Family Detached	Swimming Pool	9/7/2023	\$0	23-4947-POOL	3814 NW Beechwood St	Premier Pools & Spas	Premier Pools & Spas
Single Family Detached	Swimming Pool	9/8/2023	\$0	23-5427-POOL	3531 NW Trestle Point Dr	Juarez Excavating LLC	Juarez Excavating LLC
Multi-Family	Swimming Pool	9/14/2023	\$421,800	23-5428-POOL	1014 SW Des Moines Ln	Happe Commercial	Happe Commercial
Single Family Detached	Swimming Pool	9/14/2023	\$0	23-5572-POOL	3019 SW 21st Ct	David L Leever	David L Leever
Single Family Detached	Swimming Pool	9/20/2023	\$0	23-5435-POOL	2202 NE Trilein Dr	Taylor Mailey	Kelly Builds Pools LLC
Single Family Detached	Swimming Pool	9/21/2023	\$0	23-5476-POOL	607 NE 53rd Ct	Premier Pools & Spas	Premier Pools & Spas
Single Family Detached	Swimming Pool	9/21/2023	\$0	23-5613-POOL	607 NE Mission Ct	Premier Pools & Spas	Premier Pools & Spas
Single Family Detached	Deck	9/5/2023	\$2,880	23-5274-DECK	1301 NE Stone Valley Cir	Custom Decks LLC	Chad Rouse
Single Family Detached	Deck	9/5/2023	\$2,976	23-5363-DECK	4513 SW Bluegrass Dr	Deck & Drive Solutions	Deck & Drive Solutions
Single Family Attached	Deck	9/7/2023	\$2,016	23-5389-DECK	1605 NW Northwood Dr	Karla Dougherty	Jim Reinker
Single Family Detached	Deck	9/7/2023	\$1,920	23-5403-DECK	925 SE 3rd St	DLR Construction	DLR Construction
Single Family Detached	Deck	9/11/2023	\$2,592	23-5447-DECK	3512 NW Singing Hill Cir	Buresh Home Solutions	Buresh Homes Solutions
Single Family Detached	Deck	9/13/2023	\$1,200	23-4535-DECK	1317 NE 56th St	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	Deck	9/13/2023	\$3,456	23-5449-DECK	506 NE Georgetown Blvd	Better Builders	Better Builders

Single Family Detached	Deck	9/13/2023	\$2,484	23-5524-DECK	1413 NW North Creek Dr	Luiken Elizabeth	Concrete Brothers
Single Family Detached	Deck	9/13/2023	\$3,600	23-5538-DECK	2303 SW Vintage Pkwy	MJ Properties LLC	MJ Properties LLC
Single Family Detached	Deck	9/14/2023	\$8,770	23-5212-DECK	620 NE 45th Ct	Vishal Patel	Vishal Patel
Single Family Detached	Deck	9/15/2023	\$2,304	23-5497-DECK	4509 SW Bluegrass Dr	Nathan Ober	Nathan Ober
Single Family Detached	Deck	9/15/2023	\$3,360	23-5596-DECK	2205 NW Pleasant St	Sergei Pedashov	Sergei Pedashov
Single Family Detached	Deck	9/18/2023	\$2,736	23-5033-DECK	409 NE Stone Valley Dr	Vishal Patel	Vishal Patel
Single Family Detached	Deck	9/20/2023	\$576	23-5684-DECK	112 NW Des Moines St	Abby Blocker	Abby Blocker
Single Family Attached	Deck	9/21/2023	\$2,688	23-5700-DECK	3208 SW Snyder Blvd	Custom Decks LLC	Chad Rouse
Single Family Detached	Deck	9/25/2023	\$3,456	23-5713-DECK	4402 SW Sawgrass Pkwy	Amazed Construction Service INC	Amazed Construction Services Inc
Single Family Detached	Deck	9/26/2023	\$3,552	23-5472-DECK	2315 SW 36th St	Rench Services LLC	Rench Services LLC
Single Family Detached	Deck	9/26/2023	\$1,248	23-5771-DECK	2508 SW Vineyard Ln	J & G Builders	J & G Builders
Single Family Detached	Deck	9/27/2023	\$4,320	23-5231-DECK	3710 NW 13th St	Franko Construction	Franko Construction
Single Family Detached	Deck	9/29/2023	\$768	23-5847-DECK	506 NE 9th St	Thomas A Bruce II	Thomas A Bruce II
Other (MF - Pool Bldg)	New Building	9/8/2023	\$193,000	23-4660-NEW	1014 SW Des Moines Ln	Happe Commercial	Happe Commercial
Retail	New Building	9/20/2023	\$8,541,256	23-3623-NEW	5075 SE Delaware Ave	Hobby Lobby Stores, Inc	Hobby Lobby Stores, Inc
Office	New Building	9/22/2023	\$2,000,000	23-4400-NEW	310 NW 18th St	DOWNING CONSTRUCTION, INC.	Downing Construction Inc
School	New Building	9/18/2023	\$6,186,000	23-4319-NEW	1302 N Ankeny Blvd	Henkel Construction	Henkel Construction
Office	Building Alteration	9/5/2023	\$120,000	23-4541-ALT	617 SW 3rd St Unit 101	Imprint Architects	Karl Chambers
Restaurant	Building Alteration	9/5/2023	\$50,000	23-4548-ALT	617 SW 3rd St Unit 102	Imprint Architects	Karl Chambers
Other	Building Alteration	9/7/2023	\$1,400	23-5260-ALT	3606 NE Otterview Cir Unit 102	Cory's Carpentry	Cory's Carpentry
Restaurant	Building Alteration	9/11/2023	\$200,000	23-1370-ALT	1465 SW Park Square Dr Ste 103	DRA Properties	DRA Properties
Single Family Detached	Fence/Wall	9/5/2023	\$0	23-4697-FNCE	3215 NW 27th Cir	Gordon Gilbert Jonathon	Titan Fence, LLC
Single Family Detached	Fence/Wall	9/5/2023	\$0	23-5158-FNCE	3145 NW 27th Cir	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/5/2023	\$0	23-5198-FNCE	1622 NW Maple Pl	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/5/2023	\$0	23-5324-FNCE	3311 NW 27th St	Bos Fencing	Bos Fencing
Single Family Detached	Fence/Wall	9/5/2023	\$0	23-5350-FNCE	3101 NW Westwood St	Jacobs Benjamin	Jacobs Benjamin
Single Family Detached	Fence/Wall	9/6/2023	\$0	23-5290-FNCE	813 NE Meadow Landing Dr	Halcyon Fencing	Halcyon Fencing
Single Family Detached	Fence/Wall	9/6/2023	\$0	23-5358-FNCE	2018 SE Justice Ct	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/6/2023	\$0	23-5360-FNCE	3120 SE Magnolia Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/6/2023	\$0	23-5361-FNCE	4315 NW Abilene Rd	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/7/2023	\$0	23-5408-FNCE	1808 NW 31st St	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	9/11/2023	\$0	23-5406-FNCE	825 SE 3rd St	Richard Ardon	Richard Ardon
Single Family Detached	Fence/Wall	9/11/2023	\$0	23-5442-FNCE	1303 NW Bayview Ct	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	9/11/2023	\$0	23-5457-FNCE	612 NE Pearl Dr	Zandohn Kpor	Cashimee Handyman
Single Family Detached	Fence/Wall	9/12/2023	\$0	23-5471-FNCE	1619 SE Frisk Dr	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	9/12/2023	\$0	23-5498-FNCE	1007 NW Jackson Dr	Superior Fence and Rail	Superior Fence and Rail
Single Family Detached	Fence/Wall	9/12/2023	\$0	23-5501-FNCE	3512 NW 14th St	Garry Buckner	Garry Buckner
Single Family Detached	Fence/Wall	9/12/2023	\$0	23-5504-FNCE	730 NE 9th St	Eginoire Chet	Eginoire Chet
Single Family Detached	Fence/Wall	9/13/2023	\$0	23-4732-FNCE	4603 NE Briarwood Dr	Nicholas S McClure	Nicholas S McClure
Single Family Detached	Fence/Wall	9/13/2023	\$0	23-5555-FNCE	2202 NE Trilein Dr	Marie Dose Andrea	Marie Dose Andrea
Single Family Detached	Fence/Wall	9/14/2023	\$0	23-4489-FNCE	841 SE Wanda Dr	Dylan Courtney	Dylan Courtney
Single Family Detached	Fence/Wall	9/14/2023	\$0	23-4490-FNCE	2501 NW Greenwood St	Dylan Courtney	Dylan Courtney
Single Family Detached	Fence/Wall	9/14/2023	\$0	23-5564-FNCE	2515 SW Vintage Pkwy	Affordable Fencing Inc.	Affordable Fencing Inc.
Single Family Detached	Fence/Wall	9/14/2023	\$0	23-5570-FNCE	5009 NW 7th St	Mark Olson	Central Iowa Fencing

Single Family Detached	Fence/Wall	9/14/2023	\$0	23-5573-FNCE	3019 SW 21st Ct	David L Leever	David L Leever
Single Family Detached	Fence/Wall	9/15/2023	\$0	23-5429-FNCE	3228 NW 28th St	Spencer Hastings	Precision Fencing
Single Family Detached	Fence/Wall	9/15/2023	\$0	23-5544-FNCE	607 NE Mission Ct	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/15/2023	\$0	23-5566-FNCE	826 SE 3rd St	Adam Dingeman	Justus Fencing
Single Family Attached	Fence/Wall	9/15/2023	\$0	23-5590-FNCE	1116 SW 50th St	Huber Fencing	Huber Fencing
Single Family Detached	Fence/Wall	9/15/2023	\$0	23-5600-FNCE	3223 NW 28th St	Eddie Rumbaugh	Eddie Rumbaugh
Single Family Detached	Fence/Wall	9/18/2023	\$0	23-5588-FNCE	1531 NE Williamsburg Dr	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	9/18/2023	\$0	23-5589-FNCE	607 NE 53rd Ct	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	9/18/2023	\$0	23-5631-FNCE	2106 NW Lakeside Ct	Eddie Rumbaugh	Eddie Rumbaugh
Single Family Detached	Fence/Wall	9/18/2023	\$0	23-5635-FNCE	6110 NE Briarwood Dr	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	9/19/2023	\$0	23-4854-FNCE	5203 NW 13th St	Hadaway Fencing LLC	Hadaway Fencing LLC
Single Family Detached	Fence/Wall	9/19/2023	\$0	23-5204-FNCE	3806 SW Stonehaven Ln	Zach Kreider	Zach Kreider
Single Family Detached	Fence/Wall	9/19/2023	\$0	23-5640-FNCE	311 SW 15th St	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	9/19/2023	\$0	23-5646-FNCE	507 NE 47th St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/19/2023	\$0	23-5648-FNCE	1711 SW Abilene Rd	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/20/2023	\$0	23-5053-FNCE	2609 NW School St	Cebuhar Colten	Cebuhar Colten
Single Family Detached	Fence/Wall	9/20/2023	\$0	23-5672-FNCE	5005 NW 7th St	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	9/20/2023	\$0	23-5674-FNCE	2401 SW Vintage Pkwy	Affordable Fencing Inc.	Affordable Fencing Inc.
Single Family Detached	Fence/Wall	9/22/2023	\$0	23-5730-FNCE	4726 NW 10th St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/25/2023	\$0	23-5732-FNCE	2410 NW Reinhart Dr	Ploen Alana	Ploen Alana
Single Family Detached	Fence/Wall	9/25/2023	\$0	23-5735-FNCE	618 NE Keystone Dr	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	9/25/2023	\$0	23-5736-FNCE	2107 NW Reinhart Dr	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	9/26/2023	\$0	23-5303-FNCE	413 NE 57th Ct	Halcyon Fencing	Halcyon Fencing
Single Family Detached	Fence/Wall	9/26/2023	\$0	23-5368-FNCE	2712 NW Boulder Point Pl	Gordon Gilbert Jonathon	Titan Fence, LLC
Single Family Detached	Fence/Wall	9/27/2023	\$0	23-5758-FNCE	2708 SW 21st Cir	Dylan Courtney	Dylan Courtney
Single Family Detached	Fence/Wall	9/27/2023	\$0	23-5809-FNCE	1913 NW Logan St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/27/2023	\$0	23-5810-FNCE	1406 NW North Creek Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	9/28/2023	\$0	23-5780-FNCE	1107 NW Boulder Dr	Johnson Brittany	Johnson Brittany
Single Family Detached	Fence/Wall	9/28/2023	\$0	23-5822-FNCE	3107 NW Greenwood St	Absolute Fence LLC	Absolute Fence LLC
School	Sign	9/1/2023	\$4,000	23-3622-SIGNP	3004 NW 18th St	Fastsigns of Clive	Fastsigns of Clive
Office	Sign	9/1/2023	\$2,890	23-4862-SIGNP	641 S Ankeny Blvd	Signarama Ankeny and YESCO	Signarama Ankeny and YESCO
Restaurant	Sign	9/1/2023	\$2,400	23-5070-SIGNP	127 N Ankeny Blvd	Signarama Ankeny and YESCO	Signarama Ankeny and YESCO
School	Sign	9/1/2023	\$5,000	23-5191-SIGNP	3004 NW 18th St	Fastsigns of Clive	Fastsigns of Clive
Other	Sign	9/5/2023	\$6,717	23-5234-SIGNP	1105 N Ankeny Blvd Ste 102	NAGLE/EAGLE SIGN CO	NAGLE/EAGLE SIGN CO
Retail	Sign	9/5/2023	\$6,755	23-5325-SIGNP	1802 SE Delaware Ave Ste 107	Iowa Sign Company	Iowa Sign Company
Restaurant	Sign	9/7/2023	\$7,200	23-4467-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$2,750	23-4474-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$2,750	23-4475-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$950	23-4476-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$1,300	23-4477-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$1,300	23-4478-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$1,300	23-4479-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$1,300	23-4480-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$1,300	23-4481-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$3,000	23-4482-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$3,000	23-4483-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/7/2023	\$9,975	23-4484-SIGNP	3155 N Ankeny Blvd	Chesnut Signs	Chesnut Signs

Multi-Family	Sign	9/7/2023	\$19,240	23-4800-SIGNP	1010 SW Magazine Rd	MediaQuest Sign Company, LLC	MediaQuest Signs
Office	Sign	9/8/2023	\$1,500	23-5402-SIGNP	1200 SW State St Ste E	Etc Graphics Inc	Etc Graphics Inc
Office	Sign	9/11/2023	\$8,800	23-5060-SIGNP	1551 SW Prairie Trail Pkwy	Signarama Urbandale	Signarama Urbandale
Office	Sign	9/11/2023	\$2,036	23-5267-SIGNP	220 W 1st St Ste 101	Signarama Ankeny and YESCO	Signarama Ankeny and YESCO
Restaurant	Sign	9/17/2023	\$2,995	23-5468-SIGNP	1806 SE Delaware Ave	Lakeco Enterprises, Inc.	Lakeco Enterprises, Inc.
Office	Sign	9/18/2023	\$5,065	23-5239-SIGNP	2010 SE Delaware Ave	Chesnut Signs	Chesnut Signs
Office	Sign	9/18/2023	\$5,065	23-5240-SIGNP	2010 SE Delaware Ave	Chesnut Signs	Chesnut Signs
Office	Sign	9/18/2023	\$5,065	23-5241-SIGNP	2010 SE Delaware Ave	Chesnut Signs	Chesnut Signs
Office	Sign	9/18/2023	\$5,065	23-5242-SIGNP	2010 SE Delaware Ave	Chesnut Signs	Chesnut Signs
Office	Sign	9/18/2023	\$2,235	23-5243-SIGNP	2010 SE Delaware Ave	Chesnut Signs	Chesnut Signs
Office	Sign	9/18/2023	\$835	23-5244-SIGNP	2010 SE Delaware Ave	Chesnut Signs	Chesnut Signs
Office	Sign	9/18/2023	\$835	23-5245-SIGNP	2010 SE Delaware Ave	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/18/2023	\$3,850	23-5436-SIGNP	1510 N Ankeny Blvd Ste 101	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/18/2023	\$1,905	23-5437-SIGNP	1510 N Ankeny Blvd Ste 101	Chesnut Signs	Chesnut Signs
Restaurant	Sign	9/18/2023	\$4,015	23-5438-SIGNP	1510 N Ankeny Blvd Ste 101	Chesnut Signs	Chesnut Signs
Office	Sign	9/25/2023	\$5,792	23-5587-SIGNP	1510 SW Oralabor Rd Ste D	Chesnut Signs	Chesnut Signs
Office	Sign	9/25/2023	\$4,285	23-5629-SIGNP	911 N Ankeny Blvd	Signarama Ankeny and YESCO	Signarama Ankeny and YESCO
Restaurant	Sign	9/28/2023	\$1,780	23-5387-SIGNP	255 NW 36th St	Springfield Sign & Graphics	Springfield Sign
Retail	Sign	9/28/2023	\$6,300	23-5656-SIGNP	1620 N Ankeny Blvd Ste 108	Iowa Sign Company	Iowa Sign Company
Restaurant	Sign	9/28/2023	\$1,780	23-5704-SIGNP	255 NW 36th St	Springfield Sign & Graphics	Springfield Sign & Graphics
Restaurant	Sign	9/28/2023	\$2,350	23-5705-SIGNP	255 NW 36th St	Springfield Sign & Graphics	Springfield Sign & Graphics
Restaurant	Sign	9/28/2023	\$1,780	23-5706-SIGNP	255 NW 36th St	Springfield Sign & Graphics	Springfield Sign & Graphics
Restaurant	Sign	9/28/2023	\$115	23-5707-SIGNP	255 NW 36th St	Springfield Sign & Graphics	Springfield Sign & Graphics
Restaurant	Sign	9/28/2023	\$5,650	23-5708-SIGNP	255 NW 36th St	Springfield Sign & Graphics	Springfield Sign & Graphics
Restaurant	Sign	9/28/2023	\$5,650	23-5709-SIGNP	255 NW 36th St	Springfield Sign & Graphics	Springfield Sign & Graphics
Restaurant	Sign	9/28/2023	\$41,830	23-5710-SIGNP	255 NW 36th St	Springfield Sign & Graphics	Springfield Sign & Graphics
Church	Temporary Sign	9/5/2023	\$0	23-5063-SIGNT	849 S Ankeny Blvd	Angela Hall	Angela Hall
Other	Temporary Sign	9/11/2023	\$0	23-5404-SIGNT	116 SE Lorenz Dr	Joe Brammer	Joe Brammer
Other	Temporary Sign	9/18/2023	\$0	23-5247-SIGNT	2010 SE Delaware Ave	Chesnut Signs	
Other	Canopy/Tent	9/14/2023	\$0	23-4814-TENT	1500 SW Main St	DRA Properties	DRA Properties
Single Family Detached	Demolition	9/12/2023	\$0	23-5455-DEMO	4210 NW 2nd Ct	McAninch Mike	A&J Home Improvement
Single Family Detached	Drive Approach	9/7/2023	\$0	23-5412-RSTRM	1018 NE 15th St	Solis Concrete	Solis Concrete
Other	Drive Approach	9/12/2023	\$0	23-5431-RSTRM	1501 SE Cortina Dr	Stapes Concrete & Grading LLC	Stapes Concrete & Grading LLC
Industrial	Drive Approach	9/12/2023	\$0	23-5453-RSTRM	1509 SE Cortina Dr	Stapes Concrete & Grading LLC	Stapes Concrete & Grading LLC
Single Family Detached	Drive Approach	9/13/2023	\$0	23-5546-RSTRM	406 NW Rock Creek Cir	Ben Dunkin	Ben Dunkin
Single Family Detached	Drive Approach	9/14/2023	\$0	23-5575-RSTRM	1209 SE Hayes Dr	Michael Tapp	Michael Tapp
Single Family Detached	Drive Approach	9/21/2023	\$0	23-5712-RSTRM	326 NW Stratford Ln	Ikerson Concrete	Ikerson Concrete
Single Family Detached	Drive Approach	9/28/2023	\$0	23-5823-RSTRM	310 NW 9th St	Midwest Builders Of Iowa	Midwest Builders Of Iowa
Single Family Attached	Sidewalk	9/1/2023	\$0	23-5105-RSWRP	1002 NW Cedarwood Dr	Steven Kleppe	Steven Kleppe
Single Family Detached	Sidewalk	9/1/2023	\$0	23-5320-RSWRP	3115 SW Chestnut Ct	Gonzalez Concrete Inc	Gonzalez Concrete Inc
Single Family Detached	Sidewalk	9/12/2023	\$0	23-5515-RSWRP	5818 NE Oak Dr	CMC Solutions, LLC	CMC Solutions, LLC
Multi-Family	Sidewalk	9/20/2023	\$0	23-5682-RSWRP	1602 NW Prairie Lakes Dr	Elite Property Maintenance LLC	Elite Property Maintenance LLC