



Meeting Agenda

Plan and Zoning Commission

Tuesday, November 7, 2023

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Ted Rapp, Chair

Glenn Hunter, Vice Chair

Trina Flack
Randall Weisheit

Lisa West

Annette Renaud
Todd Ripper

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER:

A. ROLL CALL:

B. AMENDMENTS TO AGENDA:

Consider MOTION to approve and accept the November 7, 2023 agenda with/without amendments.

C. COMMUNICATIONS:

D. CITIZEN'S REQUEST:

E. CONSENT AGENDA ITEMS:

1. Minutes

Consider MOTION to approve and accept the October 3, 2023 minutes of the Plan and Zoning Commission meeting.

2. 710 SW 3rd Street - Trailside Tap Building Addition Site Plan

Consider MOTION to approve the site plan for 710 SW 3rd Street, Trailside Tap Building Addition.

3. 2806 SE Peachtree Drive - Des Moines Mobile Wash Addition Site Plan

Consider MOTION to approve the site plan for 2806 SE Peachtree Drive, Des Moines Mobile Wash Addition.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #3.

F. REMOVED CONSENT AGENDA ITEMS:

G. PUBLIC HEARINGS:

H. BUSINESS ITEMS:

I. OLD BUSINESS:

J. REPORTS:

1. November 6, 2023 City Council Report - Staff

2. Director's Report

Tentative agenda items for November 21, 2023

October 2023 Building Permit Report

3. Commissioner's Reports

K. MISCELLANEOUS ITEMS:

November 20, 2023 - 5:30 p.m. City Council Representative: Staff

L. ADJOURNMENT:

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

November 7, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to approve and accept the October 3, 2023 minutes of the Plan and Zoning Commission meeting.

ADDITIONAL INFORMATION:

ATTACHMENTS:

[Click to download](#)



Meeting Minutes

Plan & Zoning Commission Meeting

Tuesday, October 3, 2023

Ankeny City Council Chambers, Second Floor
1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER

Chair Ted Rapp called the October 3, 2023 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL

Members present: Ted Rapp, Trina Flack, Annette Renaud, Todd Ripper, Lisa West, and Randy Weisheit. Absent: Glenn Hunter. Staff present: E.Jensen, E.Carstens, J.Heil, B.Morrissey, D.Silverthorn, L.Hutzell, R.Kirschman and B.Fuglsang.

AMENDMENTS TO THE AGENDA

Motion by T.Flack to approve and accept the October 3, 2023 agenda without amendments. Second by L.West. All voted aye. Motion carried 6 – 0.

COMMUNICATIONS

There were no communications.

CITIZEN'S REQUEST

There were no requests.

CONSENT AGENDA ITEMS

Item #1. Minutes

Motion to approve and accept the September 19, 2023 minutes of the Plan and Zoning Commission meeting.

Items #2. 710 SE Creekview Drive - Ankeny Kitchen & Bath Site Plan

Motion to approve the site plan for 710 SE Creekview Drive, Ankeny Kitchen and Bath, subject to obtaining the required flood permits.

Item #3. 3525 NW State Street - McDonald's Site Plan

Motion to approve the site plan for 3525 NW State Street, McDonald's, subject to City Council approval of the associated Storm Water Management Easement document.

Item #4. The Crossings at Deer Creek Plat 13 Final Plat

Motion to recommend City Council grant preliminary approval of The Crossings at Deer Creek Plat 13 Final Plat; and authorize cost participation for the extension of 16-inch water main in an amount estimated to be \$30,375, and 15-inch sanitary sewer in an amount estimated to be \$6,750.

Motion by T.Ripper to approve the recommendations for Consent Agenda Item #1 - #4. Second by R.Weisheit. All voted aye. Motion carried 6 – 0.

PUBLIC HEARINGS

There were no public hearings.

BUSINESS ITEMS

Item #5. Request by Legacy Housby, LLC for 80/20 Voluntary Urbanized Annexation of property into the City of Ankeny (Legacy Housby)

Staff Report: L.Hutzell reported that the City of Ankeny has received an annexation request from Tim Hogan on behalf of Legacy Housby, LLC. The annexation area is generally located north of NE 54th Avenue, and east of SE Four Mile Drive and is located within two miles of the City of Des Moines and the City of Altoona. She stated that the annexation area encompasses approximately 35.521 acres, with 33.941 acres owned by property owners who have signed a petition consenting to the annexation, 1.58 acres owned by property owners who are non-consenting and 4.157 acres of public road right-of-way, to the centerline of the adjacent road. She said, at this time, one of the two properties included in the proposed annexation has provided petitions consenting to the request. If petitions are not received for all properties, the Code of Iowa allows cities to annex up to 20% of the total land area to be annexed from non-consenting owners to avoid the creation of islands and to create uniform boundaries. L.Hutzell noted that the

annexation area is identified in The Ankeny Plan 2040 Comprehensive Plan as being suitable for Light Industrial and if the annexation request is approved by the City Development Board, it will be initially zoned R-1, One-Family Residence District, consistent with all newly incorporated properties into the City of Ankeny. She shared that, if annexed, the City of Ankeny has the capability to provide water and sewer to this area, police and fire would be expanded into this area and the school district boundary would continue to be the Saydel Community School District. L.Hutzell said a consultation meeting was held. No one from the public attended the meeting and to date, staff has not received any written comments. Staff recommend that the Plan and Zoning Commission recommend that the City Council approve the Legacy Housby 80/20 Voluntary Urbanized Annexation.

T.Rapp asked staff if there is an intended use for this land.

Jon Hanson, Snyder & Associates, Inc., 2727 SW Snyder Boulevard, Ankeny shared that nothing is on the table at this time.

Motion by A.Renaud to recommend City Council approval the Legacy Housby 80/20 Voluntary Urbanized Annexation. Second by R.Weisheit. All voted aye. Motion carried 6 – 0.

REPORTS

City Council Meeting

E.Jensen reported on the October 2, 2023 City Council meeting.

Director's Report

E.Jensen presented the tentative agenda items for the October 17, 2023 Plan and Zoning Commission meeting and the September 2023 Building Permit Report.

Commissioner's Reports

T.Rapp mentioned that he was happy to see SW State Street, NW 18th Street and NE Delaware open back up.

MISCELLANEOUS ITEMS

October 16, 2023 – 5:30 p.m. City Council Meeting Representative: Staff

ADJOURNMENT

There being no further business, T.Rapp motioned to adjourn. Meeting adjourned at 6:40 p.m.



Submitted by Brenda Fuglsang, Secretary
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

November 7, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

710 SW 3rd Street - Trailside Tap Building Addition Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):






PUBLIC OUTREACH EFFORTS:

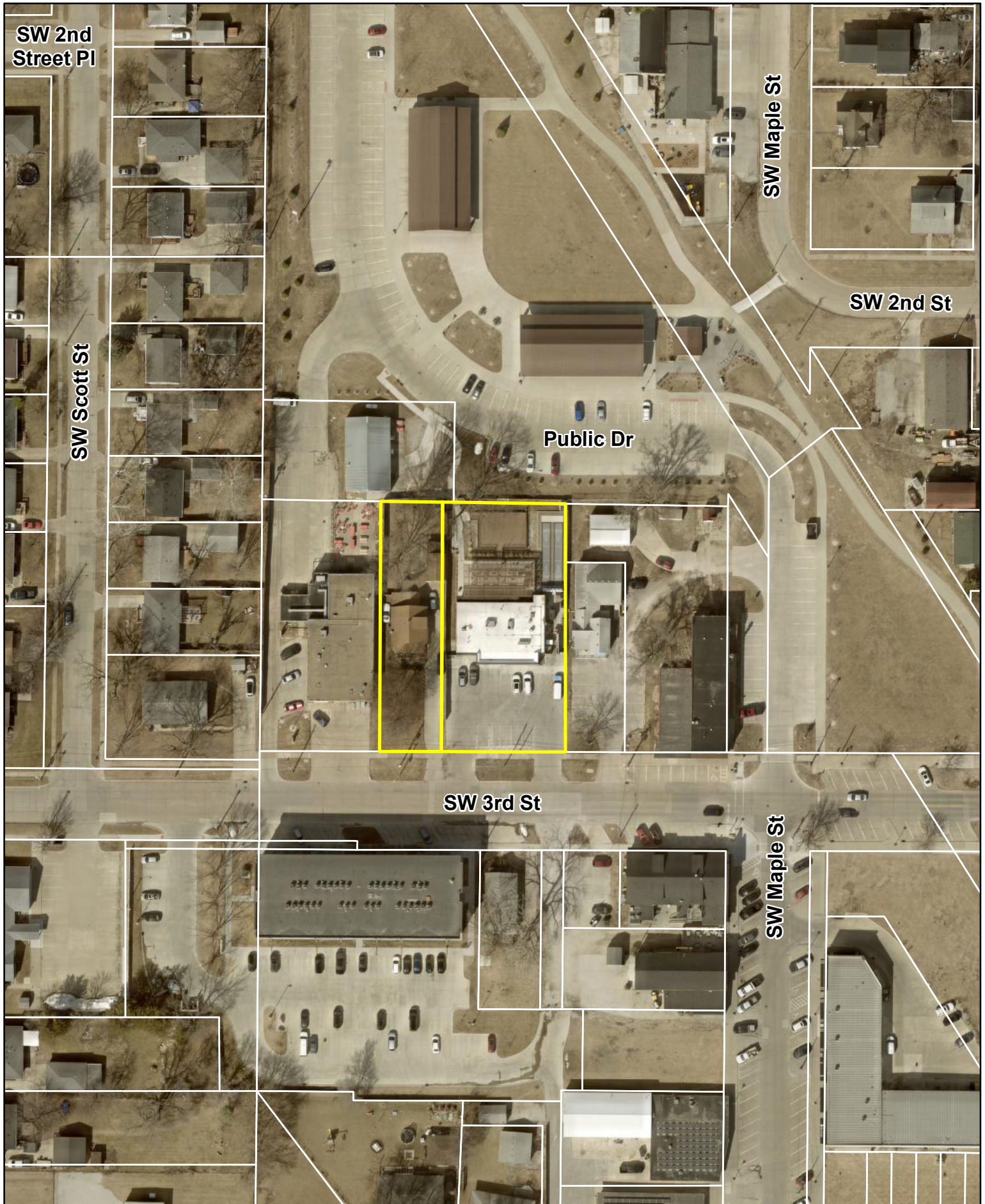
ACTION REQUESTED:

Action: Consider MOTION to approve the site plan for 710 SW 3rd Street, Trailside Tap Building Addition.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Site Plan
	Elevations





*Plan and Zoning Commission
Staff Report*

Meeting Date: November 7, 2022

Agenda Item: 710 SW 3rd Street – Trailside Tap Building Addition
Report Date: November 1, 2023
Prepared by: Jake Heil
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission approve the site plan for 710 SW 3rd Street, Trailside Tap Building Addition.

Project Summary:

The subject property at 710 SW 3rd Street totals 0.24 acres (+/-), and is located north of SW 3rd Street and east of SW Scott Street. The site is zoned C-2A, Central Business Commercial District; and is surrounded by properties to the north, south, east and west which are zoned the same. The proposed site plan includes the demolition of the current two-story house located at 714 SW 3rd Street, the construction of a two-story 9,666, sf building addition, parking improvements, pedestrian connections, landscaping, utility service connections and associated site improvements.

The proposed building will have a maximum height of 30' to the uppermost point and will be constructed primarily of charcoal and light grey CMU, brick, steel and glacier colored reinforced fiber cement panels, polycarbonate, metal and glass. The landscaping shown on the proposed site plan generally complies with all applicable regulations. The site will be accessed directly from SW 3rd Street via the existing accesses. There are no parking or open space requirements within the C-2A zoning district. However, the existing parking lot will be expanded to the west, adding 12 parking stalls for a total of 26 parking stalls on site. Sidewalk connections are provided on the site, along with providing access to the High Trestle Trail which is just north of the site.

With the proposed addition the site will add a new 6 inch sanitary sewer service that connects to the existing 6 inch service main on site. A new 6 inch water service main will be extended north to the existing building from the existing 6 inch main along SW 3rd Street, this is in addition to the current 2 inch water service that is currently on site. The site generally drains to the northside of the site, where stormwater is then conveyed north and east offsite utilizing open source channels and conduit, eventually emptying into Fourmile Creek. From there stormwater flows south and east ultimately outletting into the Des Moines River.

Site Plan Worksheet
710 SW 3rd Street
Trailside Tap Building Addition Site Plan

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The primary building facade will still face south towards SW 3rd Street. The site will be accessed directly from SW 3rd Street. The existing parking lot will be extended to the west, adding 12 parking stalls to the site. The proposed building and parking meet all setbacks required by code. The proposed site is complimentary to the existing buildings in the Uptown Ankeny area.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan conforms with the open space and parking requirements of the Code, and enhances the existing streetscape in the Uptown area.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides for adequate parking and circulation. The C-2A zoning district does not require any parking. The existing parking lot will be expanded to the west, adding 12 parking stalls for a total of 26 parking stalls on site. The proposed site provides sidewalk connections to the High Trestle Trail which is just north of the site.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The site will continue to use the two existing accesses along SW 3rd Street.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

There are no minimum parking requirements for off-street parking and loading in the C-2A District; however, the applicant is expanding the existing parking lot to the west, adding 12 parking stalls for a total of 26 parking stalls on site

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

There is no new proposed trash enclosures or service areas that need screening with this addition.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services will be underground.

- 8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Site lighting will be directed away from adjoining property and downward.

- 9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

The existing stormwater management plan for the site was updated to include the additional lot and proposed addition. A new 8 inch storm sewer service will be installed along the west property line to accommodate stormwater from the proposed addition. The existing basin on the northside of the site is able to handle the additional stormwater runoff caused by the addition.

- 10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

With the proposed addition the site will add a new 6 inch sanitary sewer service that connects to the existing 6 inch service main on site. A new 6 inch water service main will be extended north to the existing building from the existing 6 inch main along SW 3rd Street, this is in addition to the current 2 inch water service that is currently on site.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

There is no minimum requirement for open space in the C-2A District.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

Existing trees on site were kept whenever it was possible, and proposed landscaping helps enhance the site.

B. Building Design

- 1. Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

The proposed 9,666 square-foot building will be a maximum height of 30 feet to the uppermost point. The scale and position of the proposed building is appropriate for its proximity to neighboring properties.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The proposed building will be constructed primarily of charcoal and light grey CMU, brick, steel and glacier colored reinforced fiber cement panels, polycarbonate, metal and glass. The proposed materials complement adjacent development in the Uptown District.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There are no rooftop mechanical equipment and the existing dumpster is screened from view with an enclosure that utilizes materials matching the building.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

There is only one proposed building on this site, and the submitted elevations complement adjacent developments.

C. Signs

No new signs are proposed with this addition.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

- 1. Conformance to Design Standards and other applicable code requirements.**

The plans submitted generally conform to the written regulations of the City.

- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The building meets all setbacks required by Code, and is complementary to adjacent development.

3. Layout and utilization of building, parking, drive-ways, and open spaces.

The proposed addition will not adversely affect traffic flow of vehicles and pedestrians.

4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.

The proposed 9,666 square-foot building will have a maximum height of 30' to the uppermost point and will be constructed primarily of charcoal and light grey CMU, brick, steel and glacier colored reinforced fiber cement panels, polycarbonate, metal and glass. The proposed materials complement adjacent development in the Uptown District.

5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.

It appears that the impacts on these utility systems can be accommodated adequately.



October 27, 2023

Plan and Zoning Commission
City of Ankeny
1250 SW District Drive
Ankeny, Iowa 50023

RE: SITE PLAN - RESUBMITTAL
TRAILSIDE TAP – BUILDING ADDITION
710 SW 3RD STREET
ANKENY, IOWA
S&A Project No. 123.1114.01

Dear Plan and Zoning Commission:

On behalf of Jake Happe with Happe Commercial, LLC as Applicant, please find accompanying the revised Site Plan and associated information for the above referenced project. This document has been prepared in accordance with City of Ankeny Site Plan design standards. We respectfully request the City's review and approval of the Site Plan. The document illustrates development for a two-story expansion of the Trailside Tap building and associated improvements. The proposed expansion is located west of the existing restaurant.

As requested, we have addressed all items of the Tech Review through plan modification and discussions with Staff.

Please find accompanying the following items:

- Two (2) copies of the Comment Response letter indicating any substantial design changes and how the comments have been addressed,
- Four (4) copies of the revised Site Plan,
- Four (4) copies of the colored building elevations (to be submitted under separate cover by the Architect), and
- One (1) signed copy of the Storm Water Management Plan.

We are anticipating this project being placed on the November 7, 2023 Plan and Zoning Commission agenda.

If additional questions or comments come forth on this project, please contact me at your convenience. Thank you.

Sincerely,

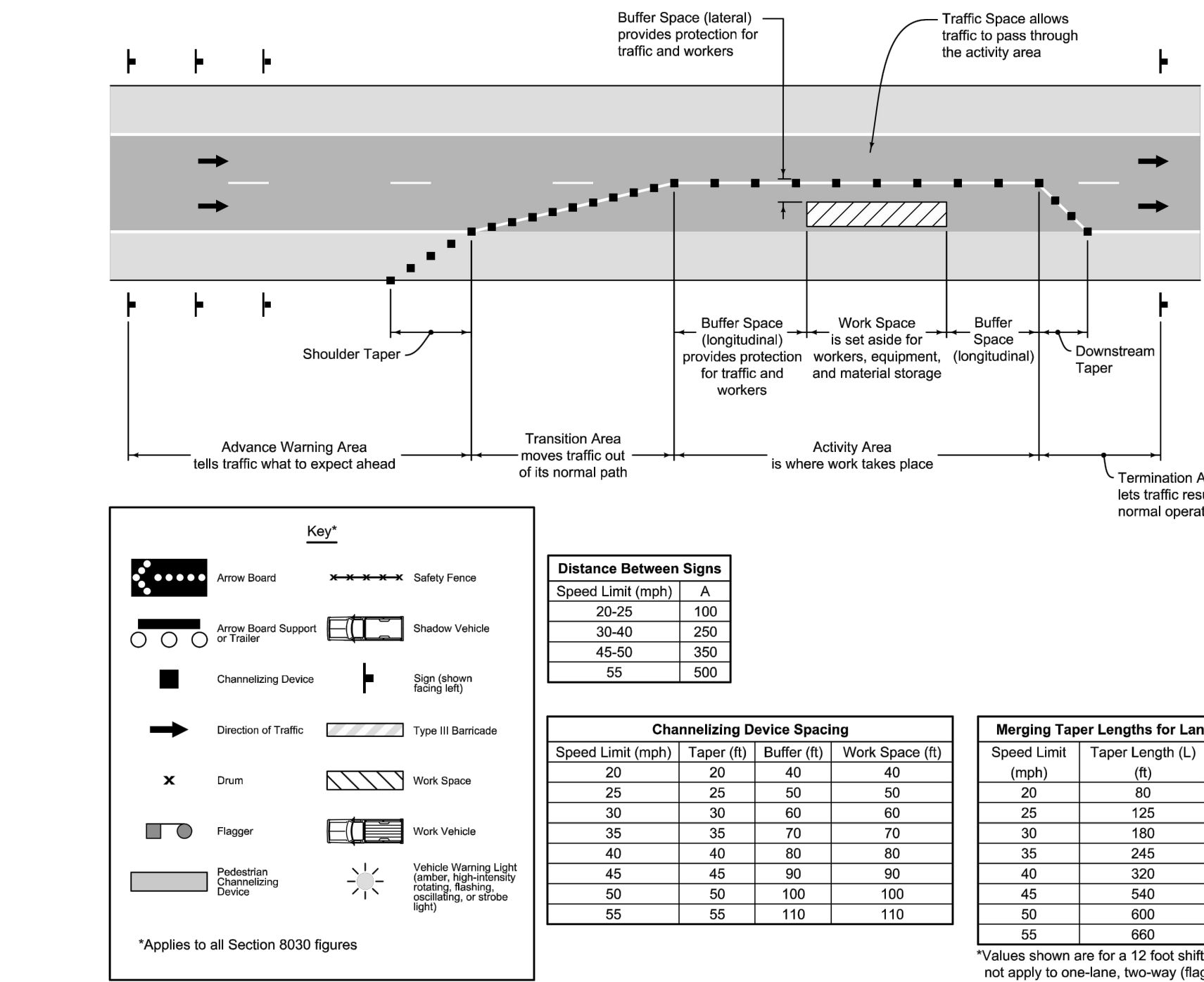
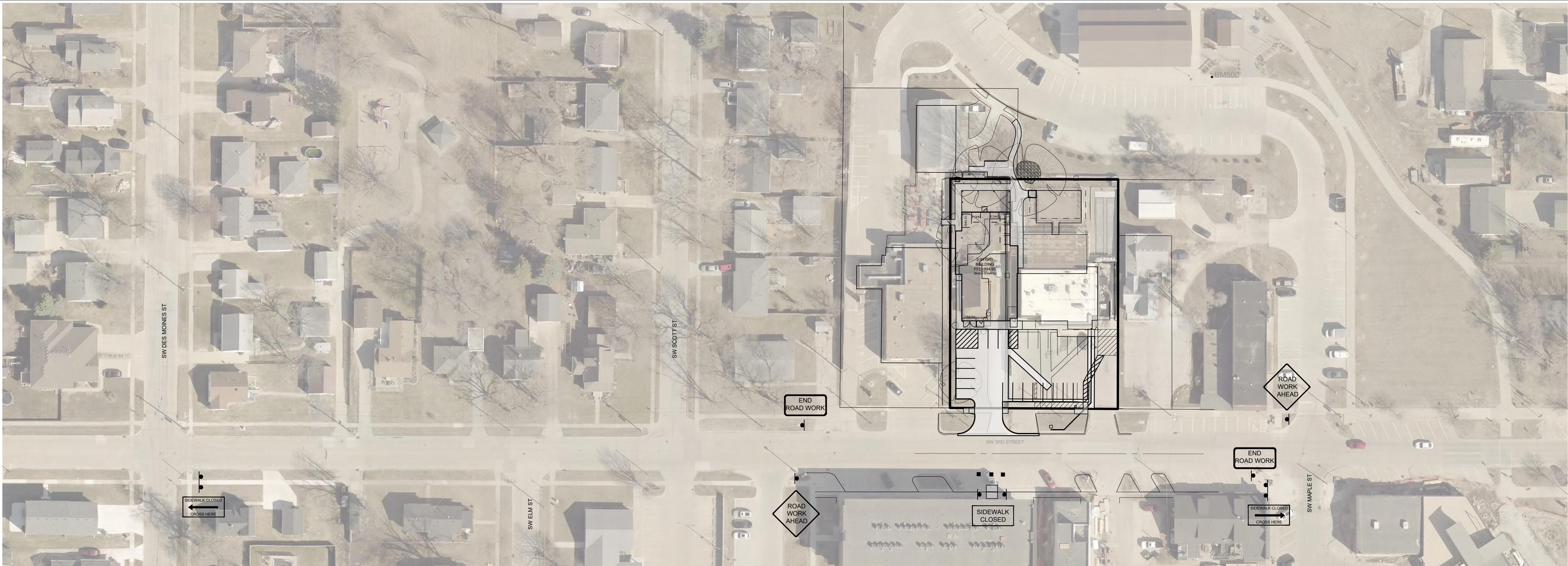
SNYDER & ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read 'Brent K. Culp', is written over the printed name.

Brent K. Culp

cc: Jake Happe, Happe Commercial, LLC (w/enclosures emailed)
File (electronic)

V:\p\2023\123.1114\123.1114.TBEC.dwg ALAN SMITH, TRAFFIC CONTROL PLAN - SOUTH SIDE SW 3RD STREET, 2023/10/26, 4:29 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



1
C102

SUDAS FIGURE 8030.101
NO SCALE

It may be necessary to combine two or more examples to adequately address the traffic control needed.

Utilize vehicle warning lights (amber, high-intensity rotating, flashing, oscillating, or strobe light) on all shadow and work vehicles.

Vehicle hazard lights may be used to supplement warning lights. Do not use hazard lights alone.

Flags may be used to call attention to the advanced warning signs.

If a closure extends overnight, utilize channelizing devices with retroreflective sheeting.

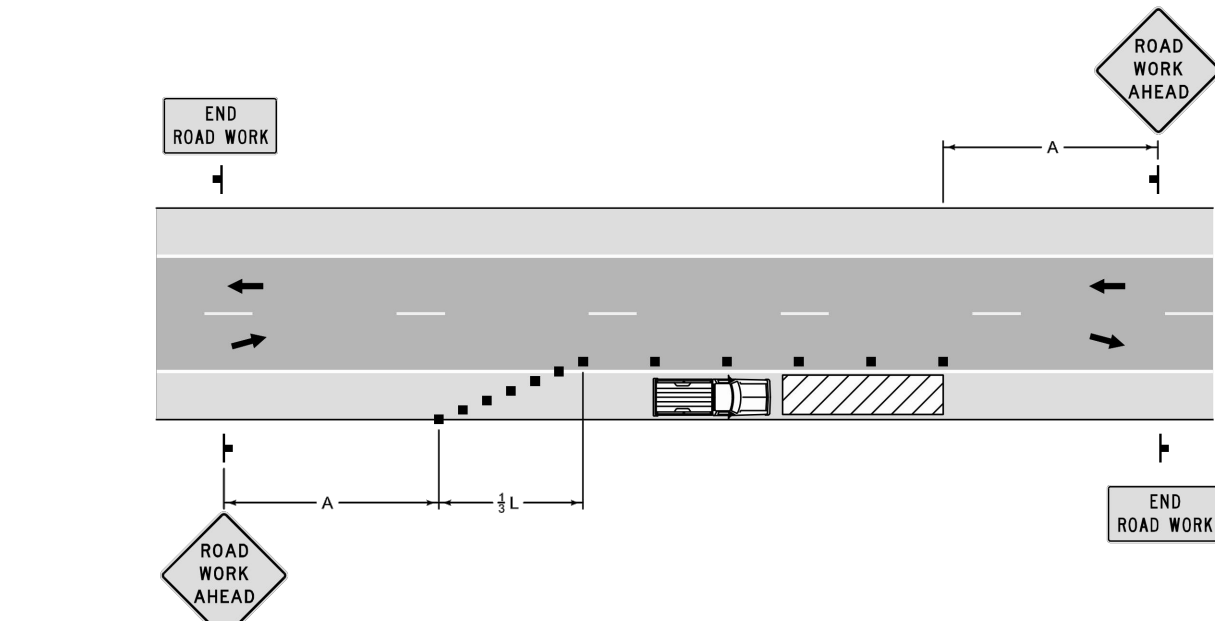
Speed limit refers to the legally established and signed speed limit.

If an arrow board is used on 2-lane roads, operate only in the caution mode.

Adjust the position of warning signs and channelizing devices for available sight distance.

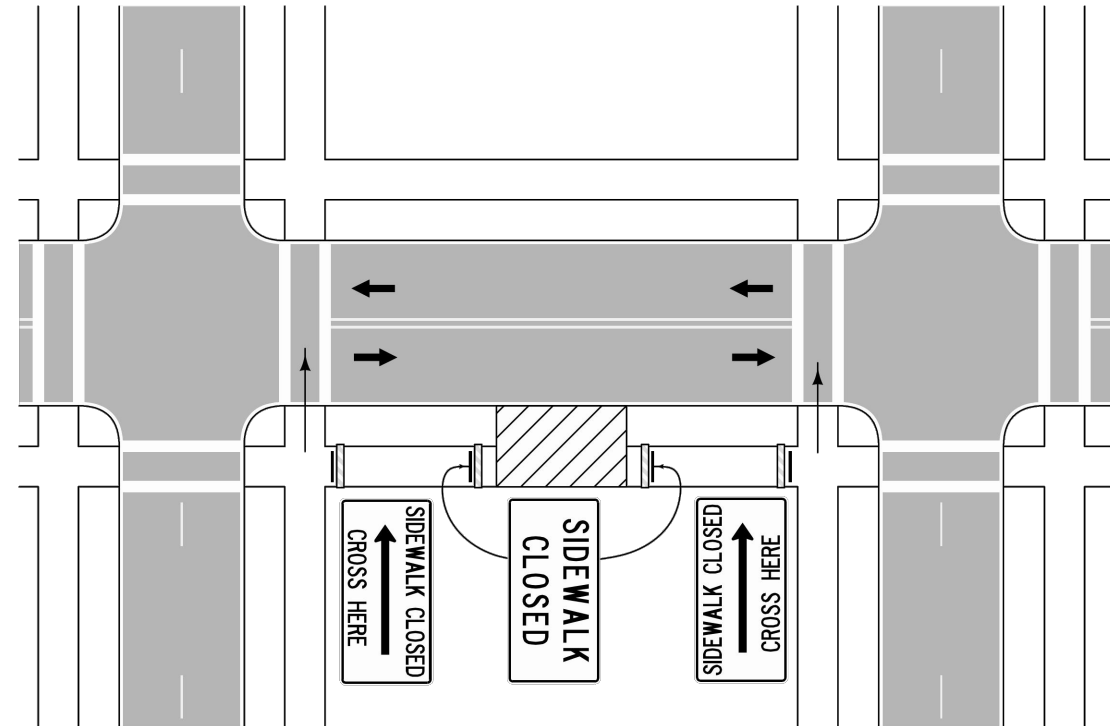
Do not install temporary traffic control devices until work is ready to begin, and remove or cover all signs and devices promptly when they are not needed.

The END WORK (G20-2) signs shown on all figures are optional.



2
C102

SUDAS FIGURE 8030.102
NO SCALE



3
C102

SUDAS FIGURE 8030.117
NO SCALE

Use only on minor, low speed (≤ 40 mph) streets. Provide a lane closure for higher speed traffic conditions.

Maintain a minimum lane width of 10 feet as measured to the near face of channelizing devices. For short-term use on low speed, low volume roads without wider heavy commercial vehicles, a minimum lane width of 9 feet may be used.

Where the opposite shoulder is suitable for carrying vehicular traffic, lanes may be shifted by using closely spaced channelizing devices provided the resulting lane widths are at least 10 feet wide.

Additional advanced warning may be appropriate, such as a ROAD NARROWS sign.

For short-term work, the taper and channelizing devices may be omitted if a shadow vehicle with activated vehicle warning lights is used.

Refer to Figure 8030.101 for symbol key and sign spacing.

Use when crosswalks, sidewalks, or other pedestrian facilities are closed or relocated. Ensure temporary facilities are detectable and include accessibility features consistent with the features present in the existing pedestrian facility.

Signs such as KEEP RIGHT (LEFT) may be placed to guide or direct pedestrians.

Provide continuous barriers or fencing complying with the requirements of PROWAG to secure work areas from pedestrians.

When required in the contract documents, provide auxiliary lighting or audible information devices to assist pedestrians with visual disabilities.

Only the temporary traffic control devices related to pedestrians are shown. Other devices related to control of vehicular traffic may be necessary.

Refer to Figure 8030.101 for symbol key and sign spacing.

- TRAFFIC CONTROL NOTES:**
- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD) AS ADOPTED BY THE IOWA DEPARTMENT OF TRANSPORTATION PER 761 IOWA ADMINISTRATIVE CODE, CHAPTER 130. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE IOWA DOT'S STANDARD ROAD PLANS AND SUDAS STANDARD SPECIFICATIONS.
 - FURNISH AND INSTALL ALL TRAFFIC CONTROL DEVICES AND MAINTAIN IN THE CORRECT POSITION, PROMPTLY CLEAN AND REPLACE DAMAGED TRAFFIC CONTROL DEVICES. PATROL THE WORK AREAS AS FREQUENTLY AS NEEDED TO ENSURE ALL TRAFFIC CONTROL DEVICES ARE PROPERLY SET.
 - REMOVE THE EXISTING PERMANENT TRAFFIC CONTROL SIGNS LOCATED WITHIN THE LIMITS OF THE PROJECT IN CONFLICT WITH TEMPORARY TRAFFIC CONTROL AND PLACE THEM ON THE SITE OUT OF THE WAY. NOTIFY THE CITY TO COLLECT THE PERMANENT TRAFFIC CONTROL SIGNS AND ALSO WHEN THE SITE IS READY FOR THE SIGNS TO BE REINSTALLED, THE CITY WILL REINSTALL THE PERMANENT TRAFFIC CONTROL SIGNS.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE PLACED A MINIMUM OF FOUR (4) FEET CLEAR FROM THE FACE OF THE CURB OR A MINIMUM OF SIX (6) FEET CLEAR FROM THE TRAVELED WAY WHEN NO CURB IS PRESENT.
 - ALL SIGN FACES SHALL BE RETROREFLECTIVE MEETING THE REQUIREMENTS OF ASTM-D4956 TYPE III (HIGH INTENSITY) OR GREATER REFLECTIVE SHEETING UNLESS OTHERWISE NOTED.
 - THE PROPOSED SIGNING MAY BE MODIFIED TO MEET FIELD CONDITIONS, PREVENT OBSTRUCTIONS AND ACCOMMODATE CONSTRUCTION SCHEDULING UPON APPROVAL OF THE ENGINEER.
 - ALL TYPE III BARRICADES SHALL HAVE TYPE "A" FLASHING LIGHTS. THE BACK SIDE OF THE BARRICADES SHALL BE REFLECTORIZED BY A MINIMUM OF SIX (6) YELLOW REFLECTORS, ONE AT EACH END OF EACH RAIL.
 - NOTIFY ALL PROPERTY OWNERS IN WRITING WHOSE ACCESS MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES AT LEAST 48 HOURS PRIOR TO COMMENCING WORK. THE NOTICE SHALL INCLUDE A TELEPHONE NUMBER WHERE THE CONTRACTOR CAN BE REACHED 24 HOURS A DAY IN THE EVENT OF AN EMERGENCY. THE CONTRACTOR SHALL ALSO ATTEMPT TO VERBALLY CONTACT ALL PROPERTY OWNERS.
 - WHEN SIDEWALK SECTIONS ARE CLOSED DURING CONSTRUCTION ACTIVITIES, PROVIDE ADEQUATE PROTECTION FOR PEDESTRIANS. USE APPROPRIATE BARRICADING AND SIGNING. THESE DEVICES SHALL REMAIN IN PLACE DURING CONSTRUCTION ACTIVITIES. REOPEN TO THE PEDESTRIAN TRAFFIC AFTER CONSTRUCTION ACTIVITIES ARE FINISHED AT THE END OF THE DAY. COST FOR THE INSTALLATION AND MAINTENANCE OF THE DEVICES FOR SIDEWALK TRAFFIC CONTROL ARE CONSIDERED INCIDENTAL TO THE LUMP SUM BID FOR TRAFFIC CONTROL.
 - A PHASING PLAN AND PROJECT SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO COMMENCING WORK THAT OUTLINES THE TIMELINE AND PROCESS TO COMPLETE THE STAGED CONSTRUCTION.
 - ALL SPECIAL TYPE SIGNS SHALL HAVE HIGHWAY C SERIES FONT. STREET NAME ONLY SIGNS SHALL HAVE 6" LETTERING. ALL OTHER SPECIAL SIGNS SHALL HAVE 5" LETTERING.
 - CONTRACTOR SHALL UTILIZE SUDAS FIGURE 8030.101 AND 8030.102 AS A BASIS DURING CONSTRUCTION.
 - SPACING OF TRAFFIC CONTROL DEVICES WILL BE BASED ON OPERATIONAL SPEED OF 25 MPH.
 - THE CONTRACTOR SHALL COORDINATE TRAFFIC CONTROL WITH ANY OTHER PROJECTS IN THE AREA.

TRAILSIDE TAP - BUILDING ADDITION

ANKENY, IOWA

TRAFFIC CONTROL PLAN - SOUTH SIDE SW 3RD STREET

SNYDER & ASSOCIATES, INC.



Project No: 123.1114.01

Sheet C102

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

Sheet C102

Project No: 123.1114.01

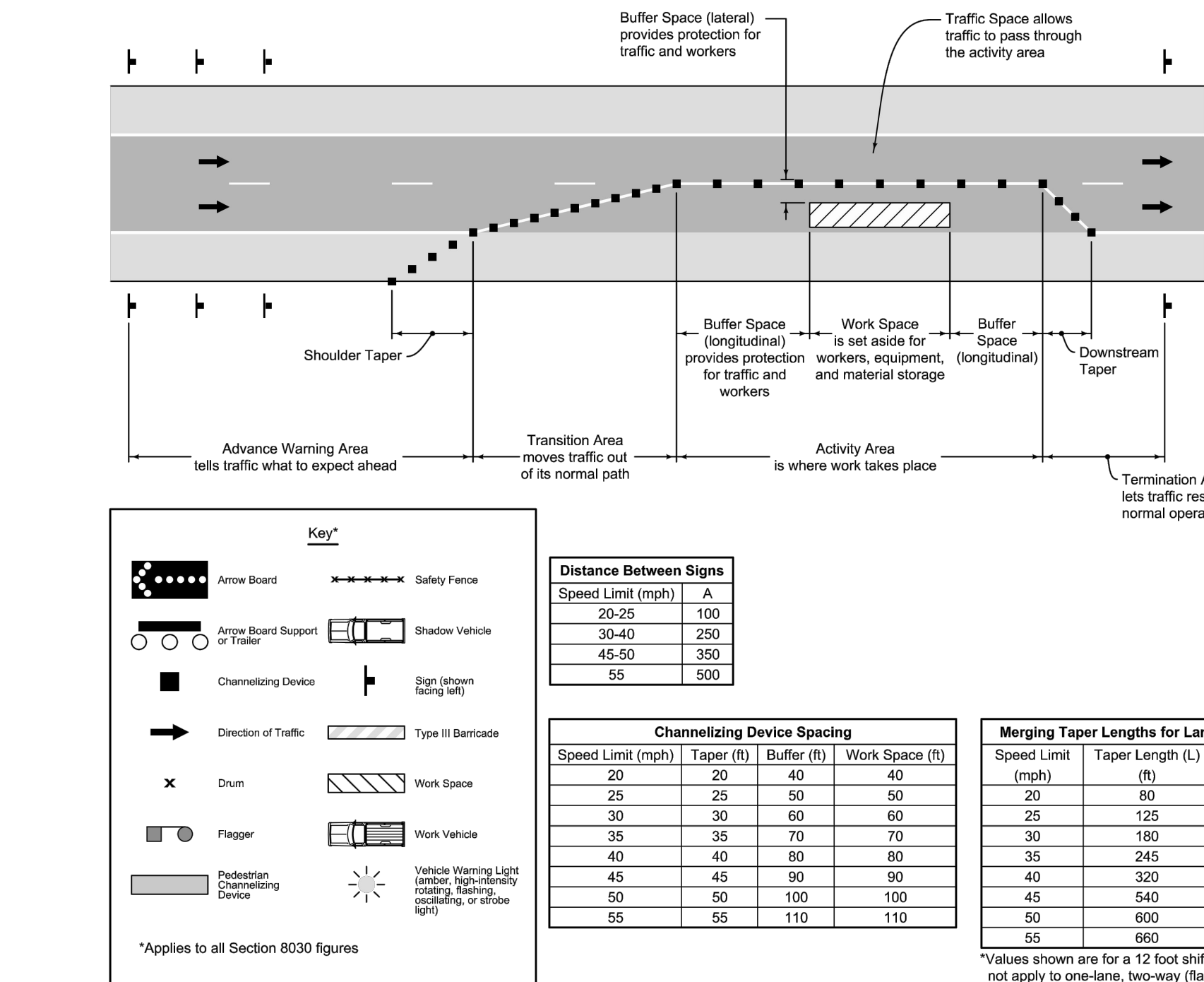
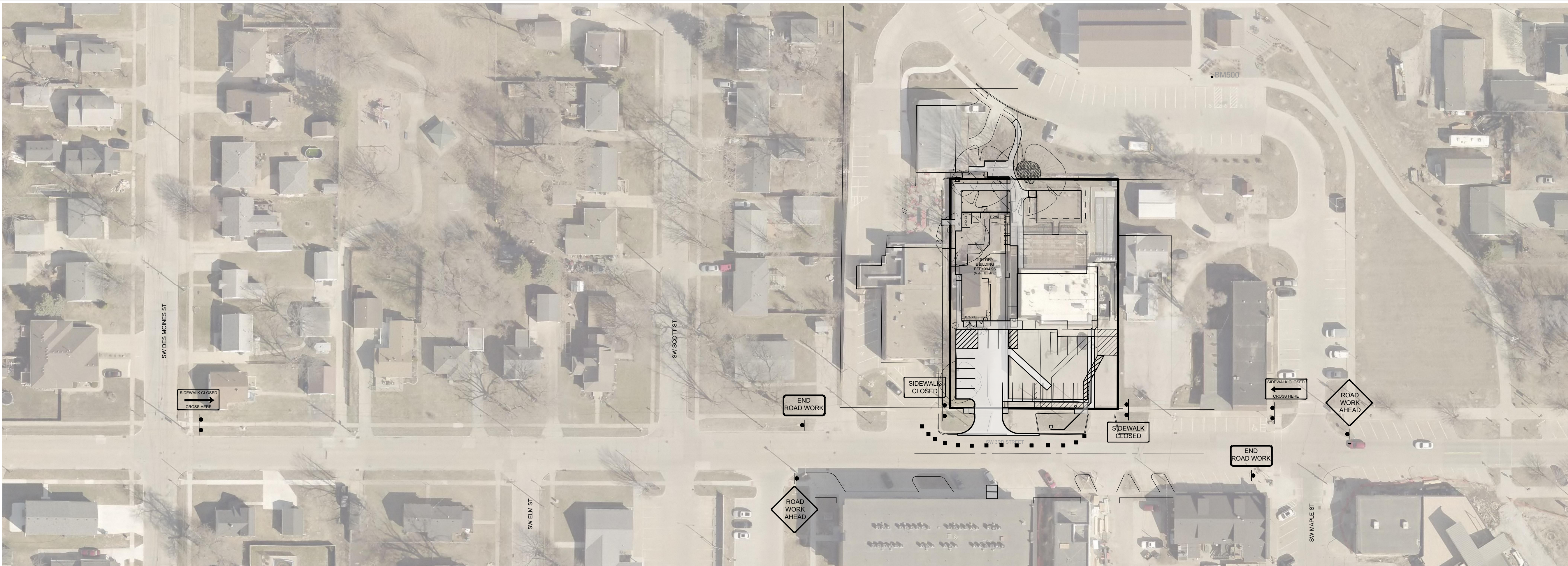
10-27-23 AWS
DATE
BY

REVISION
CHECKED BY: BKC
Engineer: CDD
Checked By: BKC
Scale: 1" = 40'

1
MARK
REVISION
CHECKED BY: BKC
Engineer: CDD
Checked By: BKC
Scale: 1" = 40'

REVISOR PER CITY COMMENTS
10-27-23 AWS
DATE
BY

V:\projects\2023\123.1114.01\ADD\TC02 - 123.1114.01\TC02.dwg ALAN SMITH, TRAFFIC CONTROL PLAN - NORTH SIDE SW 3RD STREET, 2023/10/26, 4:28 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



1
C103
SUDAS FIGURE 8030.101
NO SCALE

It may be necessary to combine two or more examples to adequately address the traffic control needed.

Utilize vehicle warning lights (amber, high-intensity rotating, flashing, oscillating, or strobe light) on all shadow and work vehicles.

Vehicle hazard lights may be used to supplement warning lights. Do not use hazard lights alone.

Flags may be used to call attention to the advanced warning signs.

If a closure extends overnight, utilize channelizing devices with retroreflective sheeting.

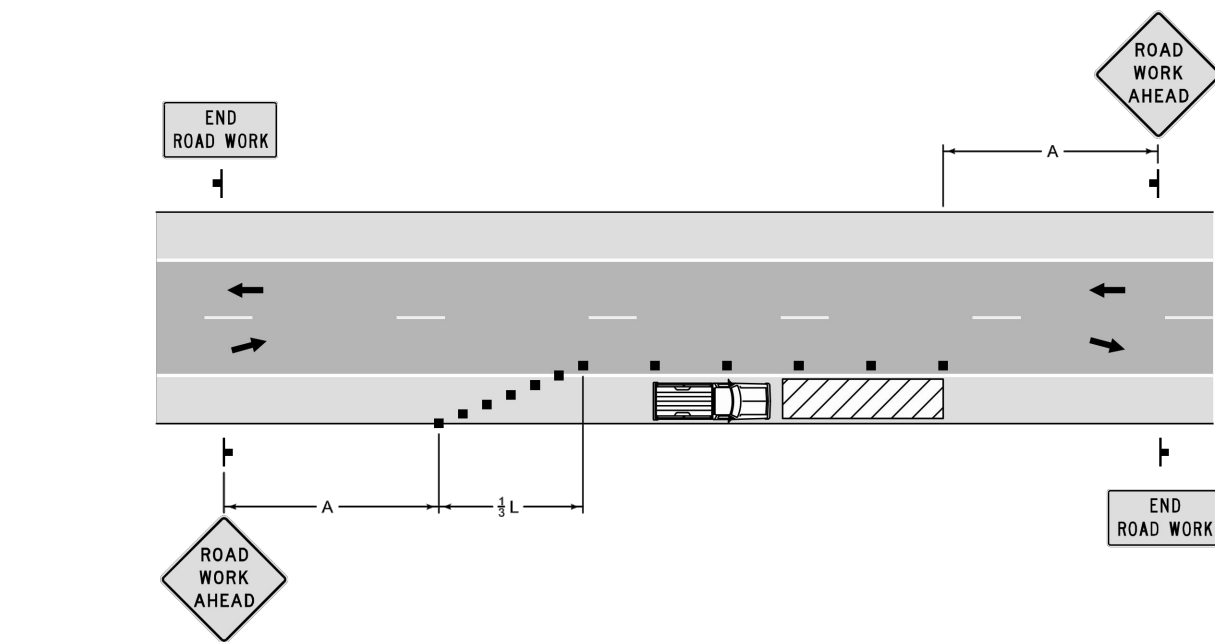
Speed limit refers to the legally established and signed speed limit.

If an arrow board is used on 2-lane roads, operate only in the caution mode.

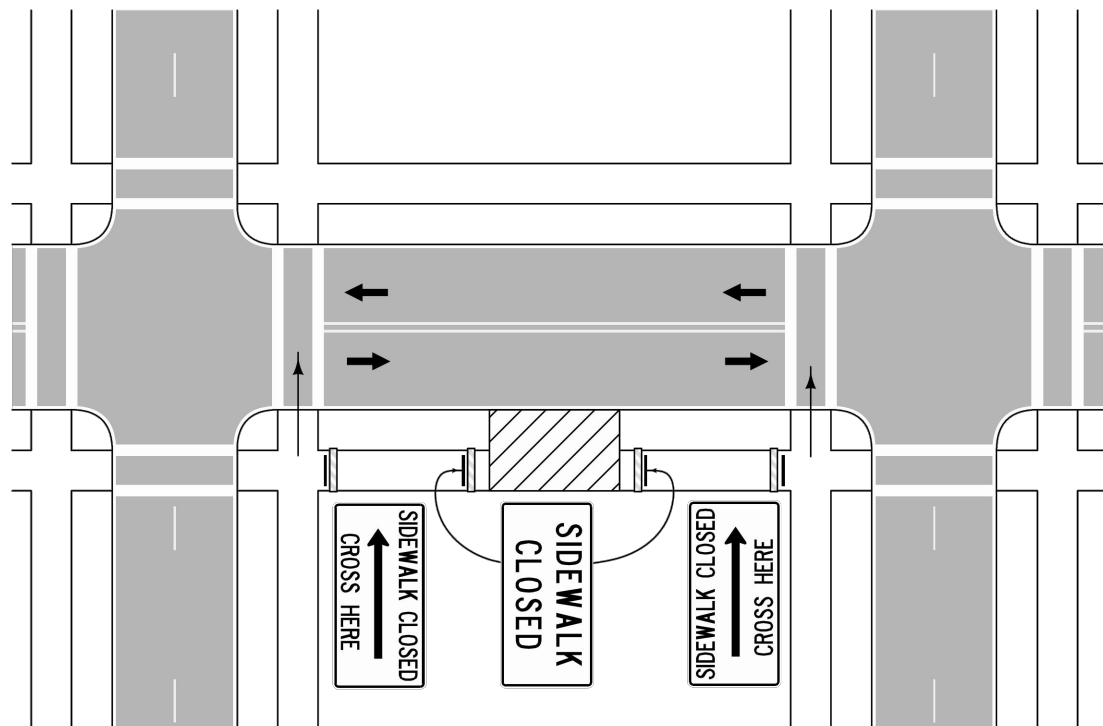
Adjust the position of warning signs and channelizing devices for available sight distance.

Do not install temporary traffic control devices until work is ready to begin, and remove or cover all signs and devices promptly when they are not needed.

The END WORK (G20-2) signs shown on all figures are optional.



2
C103
SUDAS FIGURE 8030.102
NO SCALE



3
C103
SUDAS FIGURE 8030.117
NO SCALE

Use only on minor, low speed (≤ 40 mph) streets. Provide a lane closure for higher speed traffic conditions.

Maintain a minimum lane width of 10 feet as measured to the near face of channelizing devices. For short-term use on low speed, low volume roads without wider heavy commercial vehicles, a minimum lane width of 9 feet may be used.

Where the opposite shoulder is suitable for carrying vehicular traffic, lanes may be shifted by using closely spaced channelizing devices provided the resulting lane widths are at least 10 feet wide.

Additional advanced warning may be appropriate, such as a ROAD NARROWS sign.

For short-term work, the taper and channelizing devices may be omitted if a shadow vehicle with activated vehicle warning lights is used.

Refer to Figure 8030.101 for symbol key and sign spacing.

Use when crosswalks, sidewalks, or other pedestrian facilities are closed or relocated. Ensure temporary facilities are detectable and include accessibility features consistent with the features present in the existing pedestrian facility.

Signs such as KEEP RIGHT (LEFT) may be placed to guide or direct pedestrians.

Provide continuous barriers or fencing complying with the requirements of PROWAG to secure work areas from pedestrians.

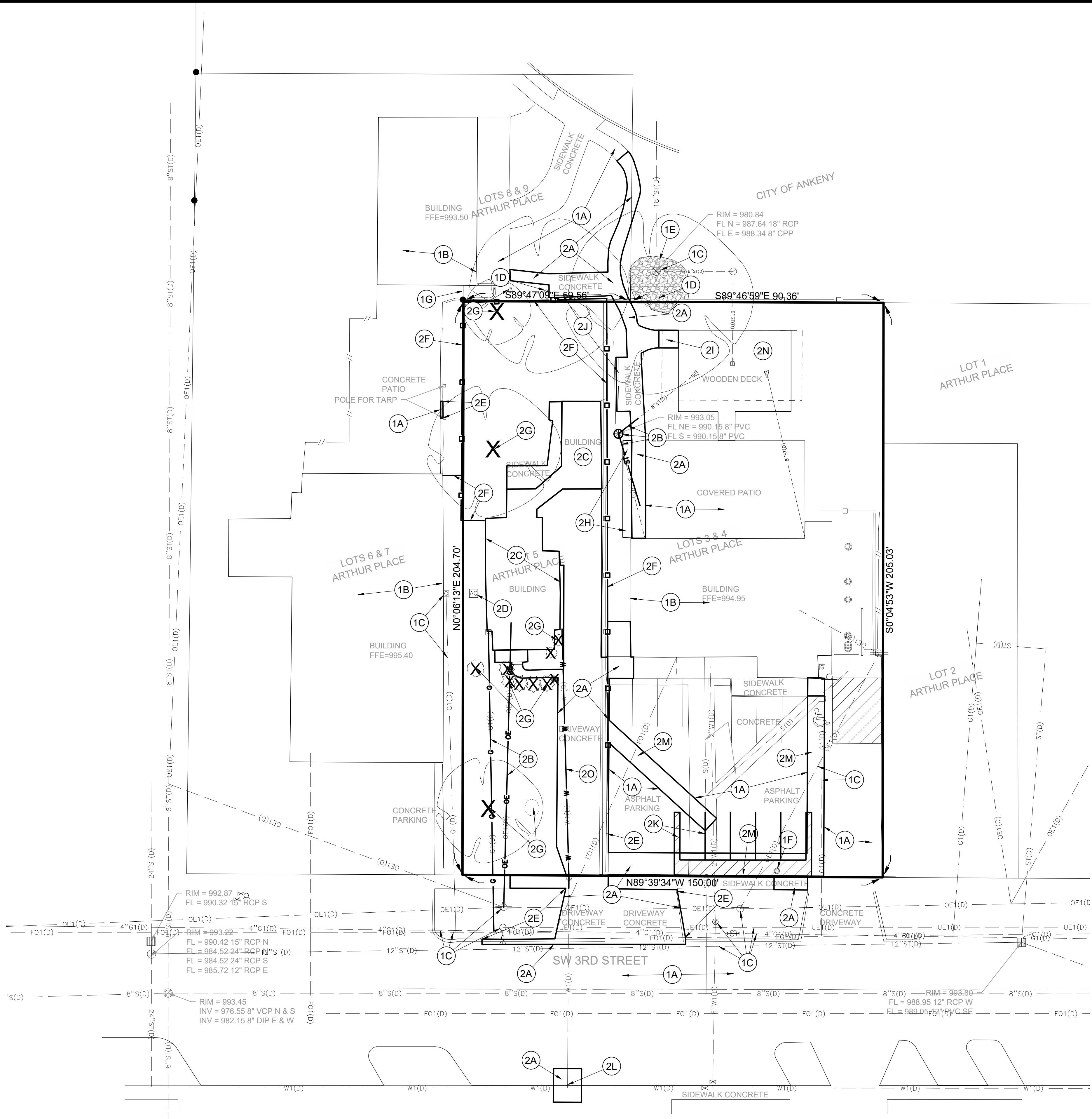
When required in the contract documents, provide auxiliary lighting or audible information devices to assist pedestrians with visual disabilities.

Only the temporary traffic control devices related to pedestrians are shown. Other devices related to control of vehicular traffic may be necessary.

Refer to Figure 8030.101 for symbol key and sign spacing.

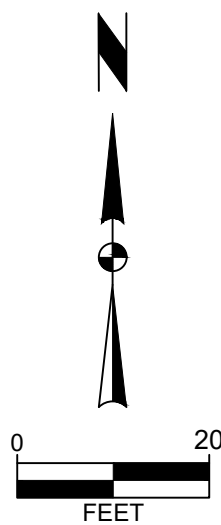
- TRAFFIC CONTROL NOTES:**
- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD) AS ADOPTED BY THE IOWA DEPARTMENT OF TRANSPORTATION PER 761 IOWA ADMINISTRATIVE CODE, CHAPTER 130. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE IOWA DOT'S STANDARD ROAD PLANS AND SUDAS STANDARD SPECIFICATIONS.
 - FURNISH AND INSTALL ALL TRAFFIC CONTROL DEVICES AND MAINTAIN IN THE CORRECT POSITION, PROMPTLY CLEAN AND REPLACE DAMAGED TRAFFIC CONTROL DEVICES. PATROL THE WORK AREAS AS FREQUENTLY AS NEEDED TO ENSURE ALL TRAFFIC CONTROL DEVICES ARE PROPERLY SET.
 - REMOVE THE EXISTING PERMANENT TRAFFIC CONTROL SIGNS LOCATED WITHIN THE LIMITS OF THE PROJECT IN CONFLICT WITH TEMPORARY TRAFFIC CONTROL AND PLACE THEM ON THE SITE OUT OF THE WAY. NOTIFY THE CITY TO COLLECT THE PERMANENT TRAFFIC CONTROL SIGNS AND ALSO WHEN THE SITE IS READY FOR THE SIGNS TO BE REINSTALLED, THE CITY WILL REINSTALL THE PERMANENT TRAFFIC CONTROL SIGNS.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE PLACED A MINIMUM OF FOUR (4) FEET CLEAR FROM THE FACE OF THE CURB OR A MINIMUM OF SIX (6) FEET CLEAR FROM THE TRAVELED WAY WHEN NO CURB IS PRESENT.
 - ALL SIGN FACES SHALL BE RETROREFLECTIVE MEETING THE REQUIREMENTS OF ASTM-D4956 TYPE III (HIGH INTENSITY) OR GREATER REFLECTIVE SHEETING UNLESS OTHERWISE NOTED.
 - THE PROPOSED SIGNING MAY BE MODIFIED TO MEET FIELD CONDITIONS, PREVENT OBSTRUCTIONS AND ACCOMMODATE CONSTRUCTION SCHEDULING UPON APPROVAL OF THE ENGINEER.
 - ALL TYPE III BARRICADES SHALL HAVE TYPE "A" FLASHING LIGHTS. THE BACK SIDE OF THE BARRICADES SHALL BE REFLECTORIZED BY A MINIMUM OF SIX (6) YELLOW REFLECTORS, ONE AT EACH END OF EACH RAIL.
 - NOTIFY ALL PROPERTY OWNERS IN WRITING WHOSE ACCESS MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES AT LEAST 48 HOURS PRIOR TO COMMENCING WORK. THE NOTICE SHALL INCLUDE A TELEPHONE NUMBER WHERE THE CONTRACTOR CAN BE REACHED 24 HOURS A DAY IN THE EVENT OF AN EMERGENCY. THE CONTRACTOR SHALL ALSO ATTEMPT TO VERBALLY CONTACT ALL PROPERTY OWNERS.
 - WHEN SIDEWALK SECTIONS ARE CLOSED DURING CONSTRUCTION ACTIVITIES, PROVIDE ADEQUATE PROTECTION FOR PEDESTRIANS. USE APPROPRIATE BARRICADING AND SIGNING. THESE DEVICES SHALL REMAIN IN PLACE DURING CONSTRUCTION ACTIVITIES. REOPEN TO THE PEDESTRIAN TRAFFIC AFTER CONSTRUCTION ACTIVITIES ARE FINISHED AT THE END OF THE DAY. COST FOR THE INSTALLATION AND MAINTENANCE OF THE DEVICES FOR SIDEWALK TRAFFIC CONTROL ARE CONSIDERED INCIDENTAL TO THE LUMP SUM BID FOR TRAFFIC CONTROL.
 - A PHASING PLAN AND PROJECT SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO COMMENCING WORK THAT OUTLINES THE TIMELINE AND PROCESS TO COMPLETE THE STAGED CONSTRUCTION.
 - ALL SPECIAL TYPE SIGNS SHALL HAVE HIGHWAY C SERIES FONT. STREET NAME ONLY SIGNS SHALL HAVE 6" LETTERING. ALL OTHER SPECIAL SIGNS SHALL HAVE 5" LETTERING.
 - CONTRACTOR SHALL UTILIZE SUDAS FIGURE 8030.101 AND 8030.102 AS A BASIS DURING CONSTRUCTION.
 - SPACING OF TRAFFIC CONTROL DEVICES WILL BE BASED ON OPERATIONAL SPEED OF 25 MPH.
 - THE CONTRACTOR SHALL COORDINATE TRAFFIC CONTROL WITH ANY OTHER PROJECTS IN THE AREA.

V:\Projects\2023\123114\01\DEMOLITION PLAN.dwg ALAN SMITH, DEMOLITION PLAN, 2023/10/26, 4:29 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



DEMOLITION PLAN CONSTRUCTION NOTES

1. EXISTING FEATURES, PROTECT THE FOLLOWING:
- A. PAVEMENTS TO REMAIN. SAW CUT ALL PAVEMENTS TO FULL DEPTH AT REMOVAL LIMIT TO AVOID DAMAGE TO ADJACENT PAVEMENTS. ANY DAMAGE TO PAVEMENT SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
 - B. PROTECT EXISTING BUILDING.
 - C. PROTECT EXISTING UTILITIES. VERIFY LOCATION PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES DUE TO CONSTRUCTION SHALL BE REPAIRED AT CONTRACTORS EXPENSE. ADJUST EXISTING UTILITIES WHEN REQUIRED TO MATCH PROPOSED GRADE.
 - D. PROTECT EXISTING TREE.
 - E. PROTECT EXISTING LANDSCAPE ROCK AREA. REMOVE AND REPLACE ROCK AS NECESSARY FOR PROPOSED GRADING. PROVIDE WEED BARRIER FABRIC UNDER REPLACED ROCK.
 - F. PROTECT POLE FROM PREVIOUS FREE STANDING SIGN THAT IS NO LONGER USED.
 - G. PROTECT EXISTING WOOD GATE.
2. DEMOLITION, REMOVE THE FOLLOWING:
- A. REMOVE EXISTING PAVEMENT TO LIMITS SHOWN. SAWCUT FULL DEPTH AT REMOVAL LIMITS AT NEAREST JOINT LINE.
 - B. REMOVE EXISTING UTILITIES. COORDINATE DISCONNECT AND REMOVAL LIMIT WITH UTILITY PROVIDER PRIOR TO REMOVAL.
 - C. REMOVE EXISTING BUILDING AND FOUNDATION.
 - D. REMOVE AC UNIT AND PAD.
 - E. REMOVE PCC CURB AND GUTTER.
 - F. REMOVE EXISTING FENCING.
 - G. REMOVE EXISTING LANDSCAPING.
 - H. REMOVE AND RELOCATE LANDSCAPING.
 - I. REMOVE AND REPLACE DECK RAMP AS NECESSARY.
 - J. RELOCATE BIKE RACKS.
 - K. GRIND PAVEMENT STRIPING.
 - L. REMOVE EXISTING WATER SERVICE STUB AT THE CORPORATION AT THE MAIN. CAP AND PLUG AS PER THE CITY OF ANKENY REQUIREMENTS AND SPECIFICATIONS.
 - M. REMOVE EXISTING ASPHALT PAVEMENT.
 - N. REMOVE AND REPLACE DECK AS NECESSARY FOR STORM SEWER OUTLET INSTALLATION AND VERIFICATION OF DETENTION BASIN VOLUME.
 - O. REMOVE EXISTING WATER SERVICE TO LIMITS SHOWN. CAP AND PLUG SERVICE AS PER THE CITY OF ANKENY REQUIREMENTS AND SPECIFICATIONS.



TRAILSIDE TAP - BUILDING ADDITION

DEMOLITION PLAN

ANKENY, IOWA

SNYDER & ASSOCIATES, INC. |



Project No: 123.1114.01

Sheet C200

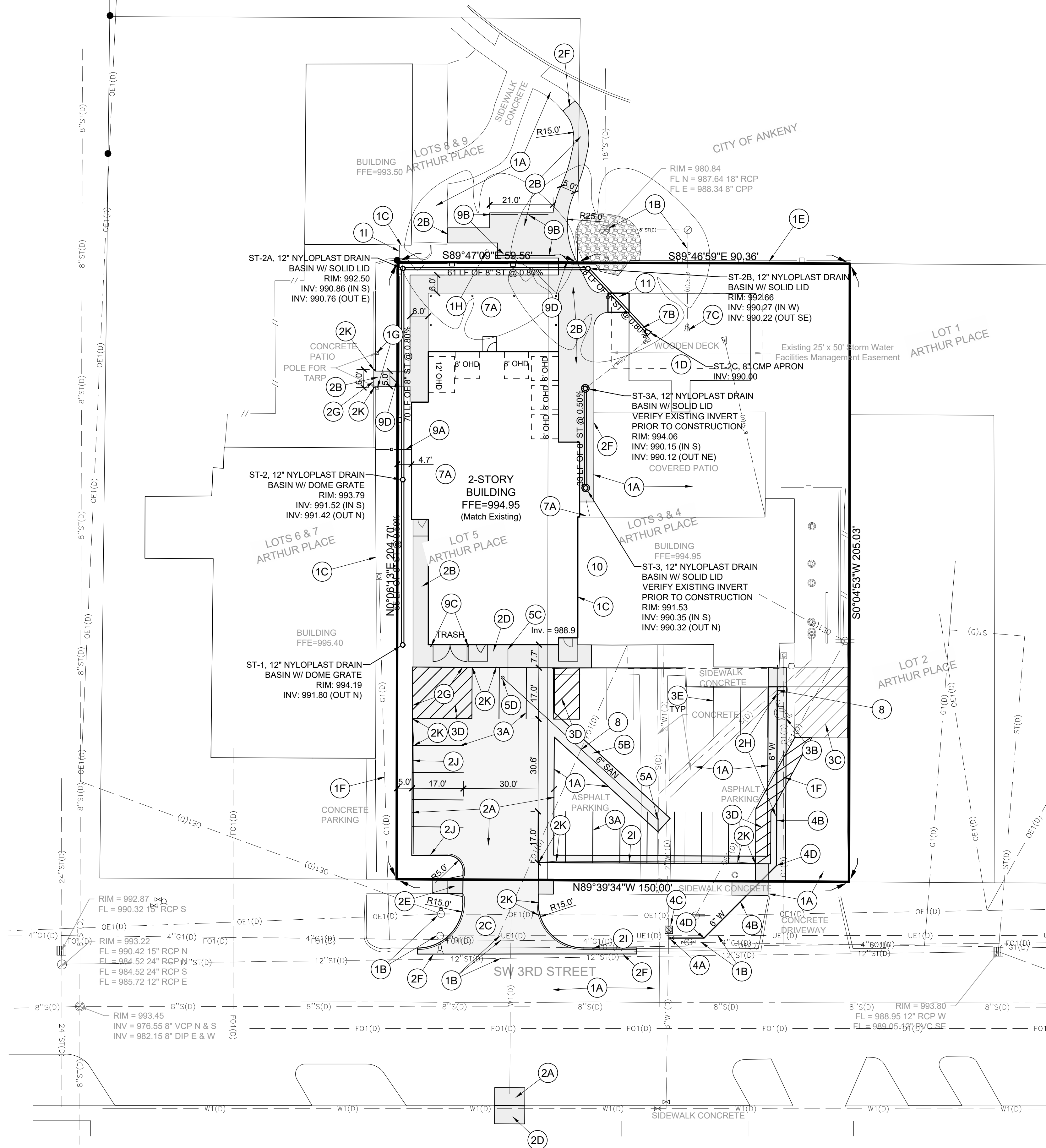
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Sheet C200

Project No: 123.1114.01

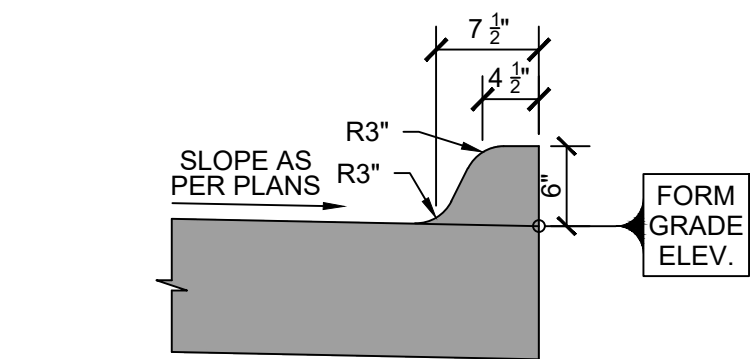
MARK	REVISION	DATE	BY
1	REVISED PER CITY COMMENTS	10-27-23 AWS	
Engineer: CDD	Checked By: BKC	Scale: 1" = 20'	
Technician: AWS	Date: 9-29-2023	T-R-S: 80N-24W-23	

V:\Projects\2023\123.1114.01\CD\DD\SP3_123114.dwg, ALAN SMITH, DIMENSION AND UTILITY PLAN, 2023/10/26, 4:20 PM, ANS FULL BLEED (14.00 X 22.00 INCHES)

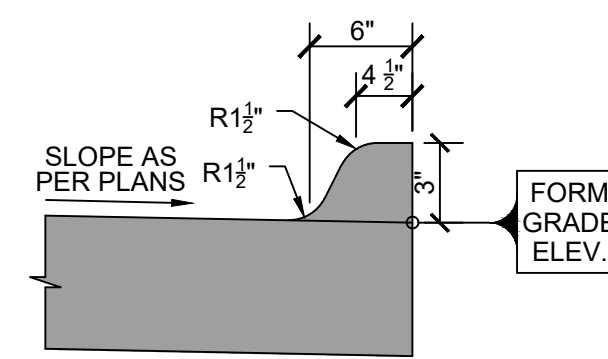


DIMENSION PLAN CONSTRUCTION NOTES

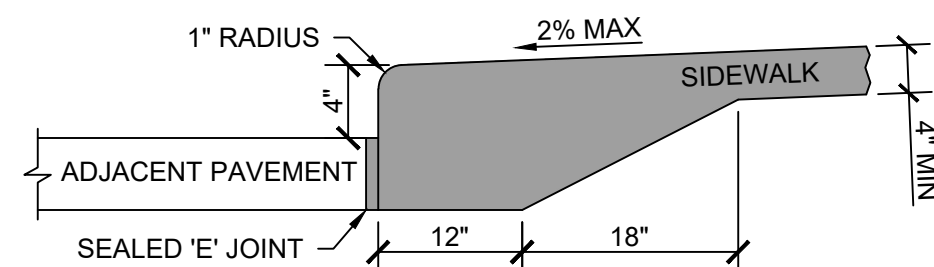
- EXISTING FEATURES. PROTECT THE FOLLOWING:
 - PAVEMENT TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
 - PROTECT EXISTING BUILDING.
 - PROTECT EXISTING DECK.
 - PROTECT EXISTING FENCE.
 - PROTECT EXISTING GAS SERVICE.
 - PROTECT EXISTING SHADE STRUCTURE AND COLUMNS.
 - PROTECT EXISTING TREE.
 - PROTECT EXISTING WOOD GATE.
- PAVEMENTS. PROVIDE THE FOLLOWING:
 - PCC DRIVES AND PARKING, 7" DEPTH PAVEMENT ON 12" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - PCC SIDEWALKS, 4" DEPTH PAVEMENT.
 - CONNECT TO EXISTING PAVEMENT WITH TYPE "B" DRIVEWAY CONNECTION (7030.101). MATCH EXISTING ELEVATIONS.
 - INTEGRAL SIDEWALK AND CURB. SEE DETAIL ON THIS SHEET.
 - PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33%.
 - CONNECT TO EXISTING PAVEMENT, DRILL AND DOWEL.
 - NO CURB.
 - FOR ANY OF THE EXISTING ASPHALT PARKING LOT THAT IS REMOVED FOR INSTALLATION OF THE WATER SERVICE OR OTHER CONSTRUCTION ACTIVITY, REPLACE WITH EQUAL DEPTH PCC PAVEMENT.
 - 6" STANDARD CURB.
 - 3" STANDARD CURB.
 - TRANSITION TO NO CURB.
- PAVEMENT MARKINGS. PROVIDE THE FOLLOWING:
 - 4" WIDE PAINTED PARKING STALL LINES.
 - PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
 - ACCESSIBLE AISLE. 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
 - 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
 - RESTRIPE EXISTING PARKING STALLS. MATCH EXISTING LINES AND SYMBOLS.
- WATER SERVICES. PROVIDE THE FOLLOWING:
 - CONNECT TO EXISTING 6" WATER SERVICE. VERIFY SIZE, LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. COORDINATE CONNECTION WITH THE CITY OF ANKENY WATER DEPARTMENT. PROVIDE A TAPPING SLEEVE AND VALVE IF NECESSARY.
 - 6" WATER SERVICE. CONFIRM WITH MECHANICAL PLANS FOR SIZE, LOCATION AND ELEVATION.
 - ENCASE EXISTING CURB STOP IN 18" X 18" PCC PAD.
 - 45° BEND.
- SANITARY SEWER SERVICES. PROVIDE THE FOLLOWING FOR DOMESTIC WASTE ONLY:
 - CONNECT TO EXISTING SANITARY SERVICE. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
 - 6" SANITARY SEWER SERVICE LINE AT 1.0% MINIMUM SLOPE (1/8" PER FOOT). PROVIDE 1:1 RISER AS NECESSARY.
 - CONNECT TO PROPOSED BUILDING SERVICE. CONFIRM WITH MECHANICAL PLANS FOR SIZE, LOCATION AND ELEVATION.
 - SANITARY SEWER CLEANOUT.
- SITE LIGHTING. PROVIDE THE FOLLOWING:
 - CONTRACTOR TO COORDINATE WITH THE UTILITY OWNER AND PROPERTY OWNER ALL ASPECTS OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.
 - SITE LIGHTING SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR TO COORDINATE WITH THE OWNER ALL ASPECTS SITE LIGHTING PRIOR TO CONSTRUCTION.
- PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN:
 - CONNECT ROOF DRAINS TO STORM SEWER SYSTEM AT 2% SLOPE. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
 - REMOVE AND REPLACE DECK AS NECESSARY FOR STORM SEWER OUTLET INSTALLATION AND VERIFICATION OF DETENTION BASIN VOLUME.
 - REMOVE EXISTING ORIFICE PLATE. REPLACE WITH 5-1/4" DIAMETER ORIFICE PLATE.
- CRITICAL CROSSING. CONTRACTOR TO MAINTAIN MINIMUM 18" SEPARATION.
- SITE AMENITIES. PROVIDE THE FOLLOWING:
 - 6-FOOT HIGH FENCE. SEE ARCHITECTURAL PLANS.
 - REPLACE SALVAGED BIKE RACKS.
 - BOLLARD, PAINTED AND FILLED WITH CONCRETE. PAINT COLOR TO BE DETERMINED BY OWNER.
 - PROVIDE 4-FOOT WIDE GATE. SEE ARCHITECTURAL PLANS.
- EXTEND THE EXISTING SANITARY SEWER SERVICE AT MINIMUM SLOPE TO PROVIDE SERVICE TO THE PROPOSED KITCHEN, THAT WILL DRAIN TO THE EXISTING GREASE INTERCEPTOR. REMOVE EXISTING CLEANOUT AND EXTEND AT MINIMUM SLOPE INTO BUILDING ADDITION.
- REMOVE AND REPLACE RAMP SECTION OF DOCK AS NECESSARY TO MATCH PROPOSED SIDEWALK ELEVATION.



1 6-INCH STANDARD CURB
C300 NO SCALE



2 3-INCH STANDARD CURB
C300 NO SCALE



3 INTEGRAL SIDEWALK AND CURB DETAIL
C300 NO SCALE

TRAILSIDE TAP - BUILDING ADDITION

DIMENSION AND UTILITY PLAN

ANKENY, IOWA

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com



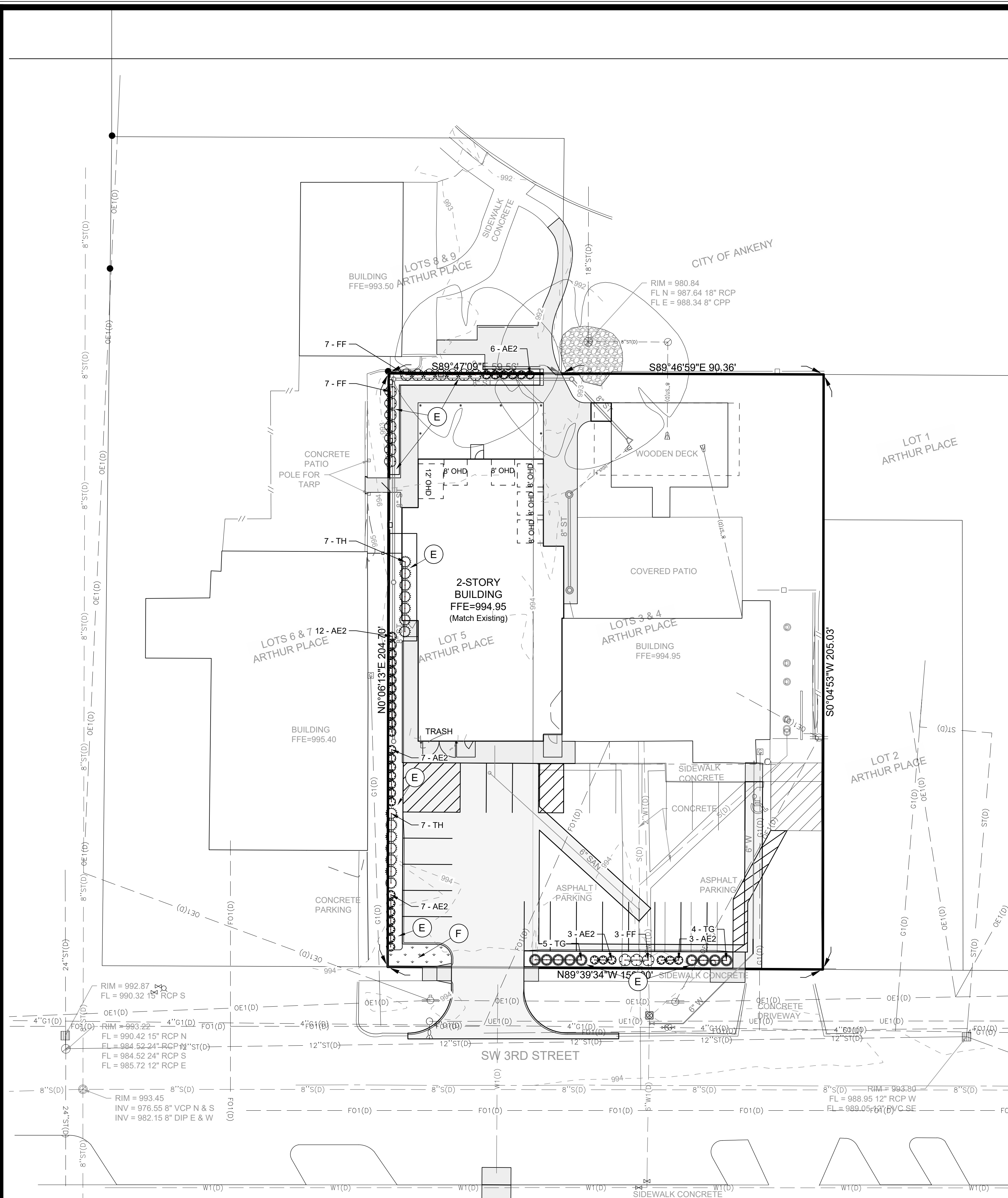
Project No: 123.1114.01

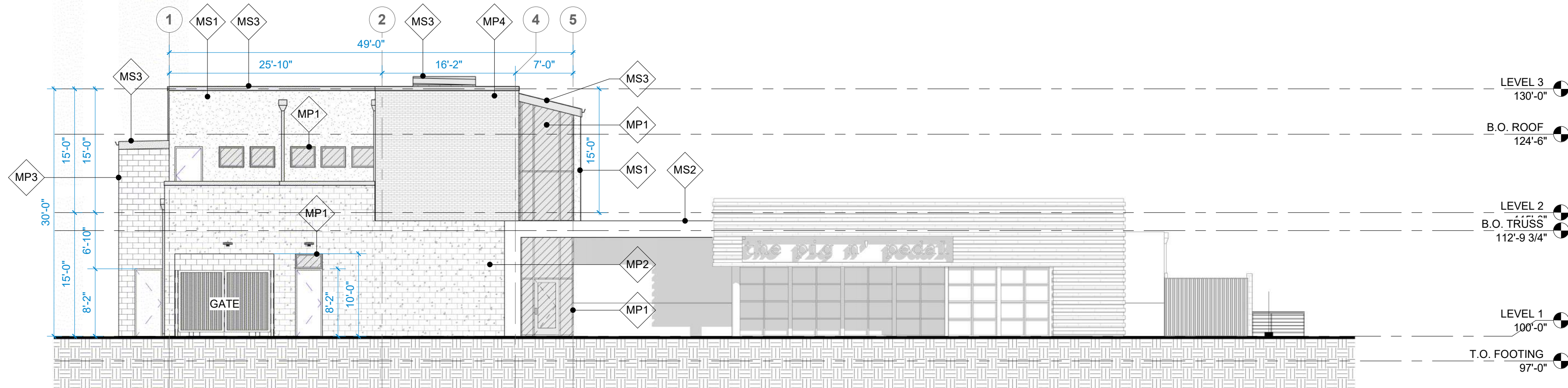
Sheet C300

Project No: 123.1114.01

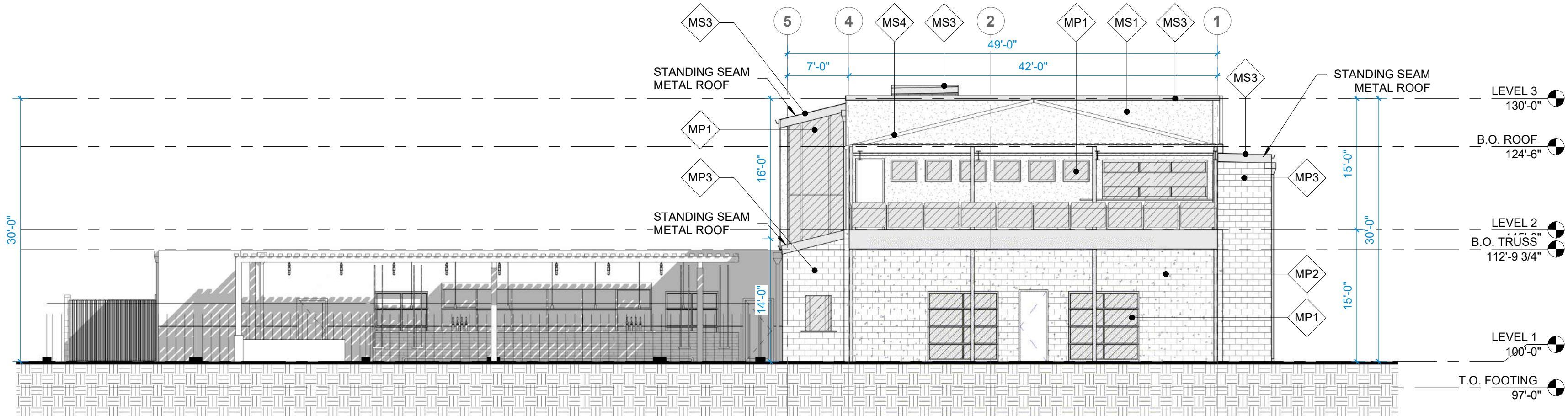
Sheet C300

MARK	REVISION	DATE	BY
1	REVISED PER CITY COMMENTS	10-27-23	AW
Engineer: CDD	Checked By: BKC	Scale: 1" = 20'	
Technician: AWS	Date: 9-29-2023	T-R-S: 80N-24W-23	

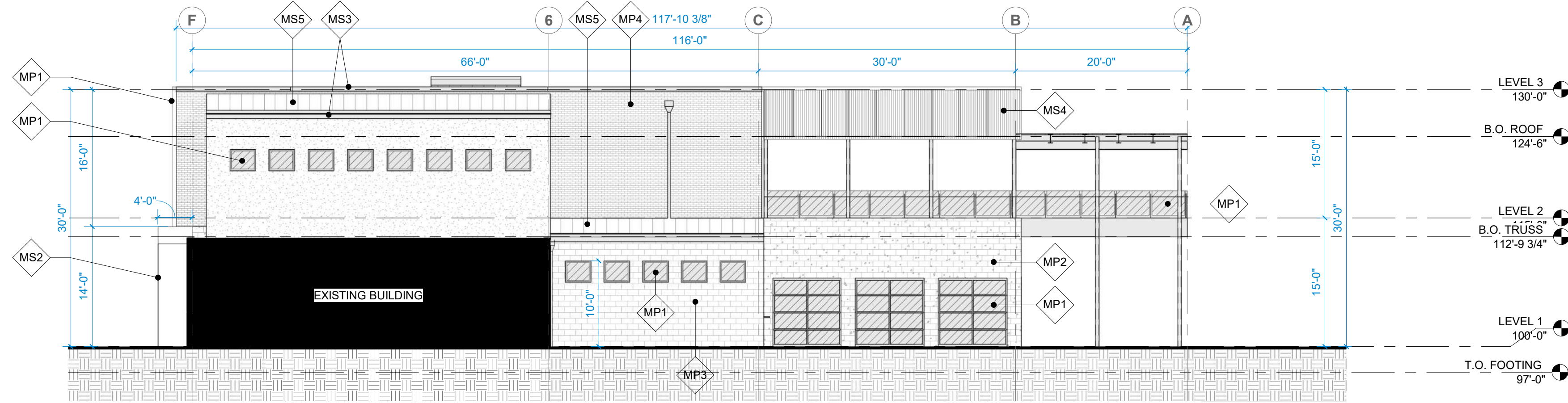




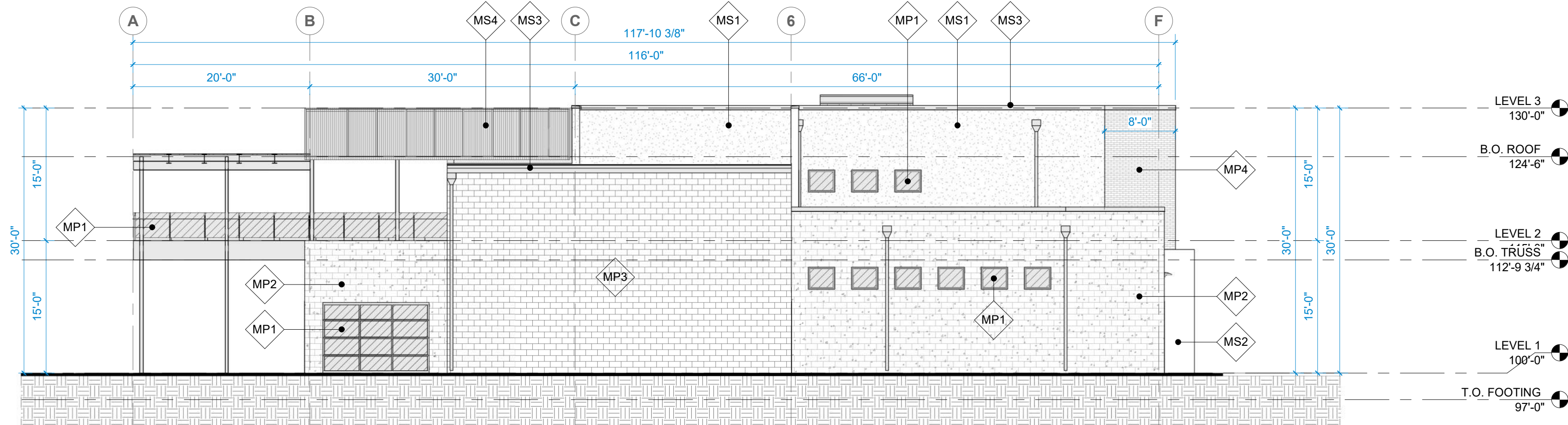
1 SOUTH - EXTERIOR ELEVATION
1" = 10'-0"



2 NORTH - EXTERIOR ELEVATION
1" = 10'-0"



3 WEST - EXTERIOR ELEVATION
1" = 10'-0"



4 EAST - EXTERIOR ELEVATION
1" = 10'-0"

MATERIAL TAKE-OFF (SOUTH)

PUBLIC-FACING FACADE

TOTAL ELEVATION AREA	=	1672 SF
OPENINGS	180 SF	(11%)
TOTAL SURFACE AREA W/O OPENINGS	=	1492 SF
MP1	210 SF	(14%)
MP2	533 SF	(36%)
MP3	97 SF	(7%)
MP4	280 SF	(19%)
MS1	218 SF	(15%)
MS2	75 SF	(5%)
MS3	79 SF	(5%)
MS4	-- SF	(0%)
MS5	-- SF	(0%)
TOTAL PRIMARY COVERAGE	=	75%

MATERIAL TAKE-OFF (NORTH)

REAR-FACING FACADE

TOTAL ELEVATION AREA	=	1611 SF
OPENINGS	40 SF	(2%)
TOTAL SURFACE AREA W/O OPENINGS	=	1571 SF
MP1	395 SF	(25%)
MP2	386 SF	(25%)
MP3	211 SF	(13%)
MP4	-- SF	(0%)
MS1	390 SF	(25%)
MS2	-- SF	(0%)
MS3	172 SF	(11%)
MS4	17 SF	(1%)
MS5	-- SF	(0%)
TOTAL PRIMARY COVERAGE	=	63%

MATERIAL TAKE-OFF (WEST)

INTERIOR SIDE FACADE

TOTAL ELEVATION AREA	=	2484 SF
OPENINGS	0 SF	(0%)
TOTAL SURFACE AREA W/O OPENINGS	=	2485 SF
MP1	366 SF	(15%)
MP2	258 SF	(10%)
MP3	263 SF	(11%)
MP4	421 SF	(17%)
MS1	300 SF	(12%)
MS2	50 SF	(2%)
MS3	519 SF	(21%)
MS4	188 SF	(8%)
MS5	120 SF	(5%)
TOTAL PRIMARY COVERAGE	=	53%

MATERIAL TAKE-OFF (EAST)

INTERIOR SIDE FACADE

TOTAL ELEVATION AREA	=	3077 SF
OPENINGS	0 SF	(0%)
TOTAL SURFACE AREA W/O OPENINGS	=	3077 SF
MP1	228 SF	(7%)
MP2	861 SF	(28%)
MP3	875 SF	(28%)
MP4	94 SF	(3%)
MS1	517 SF	(17%)
MS2	47 SF	(2%)
MS3	278 SF	(9%)
MS4	177 SF	(6%)
MS5	-- SF	(0%)
TOTAL PRIMARY COVERAGE	=	67%

GENERAL ELEVATION NOTES

- A) PRIMARY MATERIALS REQUIRED PER ANKENY CODE OF ORDINANCES, TABLE 192.02.01 WITHIN A C-2A ZONING DISTRICT:
- PUBLIC-FACING FACADES
PRIMARY MATERIALS = 70% MIN.
- INTERIOR SIDES & REAR FACADES
PRIMARY MATERIALS = 50% MIN.
- PER 192.02 SITE PLAN REQUIREMENTS:
- PRIMARY MATERIALS INCLUDE: FULL AND THIN BRICK, STONE, LIMESTONE, GRANITE, MARBLE, GLASS, CMU, PRE-CAST CONCRETE, OTHERS APPROVED BY P&Z.
- SECONDARY MATERIALS INCLUDE: STUCCO, EIFS, LAP SIDING, WOOD, COMPOSITE, FIBER CEMENT, VINYL, STEEL, ALUMINUM, PRE-FINISHED ARCHITECTURAL PANEL, METAL SIDING, OTHERS APPROVED BY P&Z.
- B) GUTTER AND DOWNSPOUT SYSTEM ON POLYCARBONATE STRUCTURE BY MANUFACTURER.
- C) REFER TO CIVIL FOR WATER RUN-OFF TIE-IN LOCATIONS

- MP - MATERIAL PRIMARY
- MS - MATERIAL SECONDARY

EXTERIOR FINISH LEGEND

MP1	GLASS (OR SIMILAR)*	DESCRIPTION SUPPLIER: CENTURION STONE COLOR: LIGHT GRAY DIMENSIONS: 3 5/8" INCH TYPE: GROUND FACE INSTAL: RUNNING
MP2	CMU VENEER, DARK (OR SIMILAR)*	DESCRIPTION SUPPLIER: CENTURION STONE COLOR: CHARCOAL DIMENSIONS: 3 5/8" INCH TYPE: GROUND FACE INSTAL: RUNNING
MP3	CMU VENEER, TYPICAL (OR SIMILAR)*	DESCRIPTION SUPPLIER: CENTURION STONE COLOR: LIGHT GRAY DIMENSIONS: 4 INCH TYPE: GROUND FACE INSTAL: RUNNING
MP4	ADHERED BRICK (OR SIMILAR)*	DESCRIPTION SUPPLIER: CENTURION STONE COLOR: TBD DIMENSIONS: STANDARD TYPE: THIN BRICK INSTAL: TBD
MS1	REINFORCED FIBER CEMENT PANEL, DARK (OR SIMILAR)	DESCRIPTION SUPPLIER: NICHHA PRODUCT: ARCH WALL PANEL STYLE: TUFFBLOCK SERIES: MODERN SERIES COLOR: STEEL INSTAL: STACKED
MS2	REINFORCED FIBER CEMENT PANEL, LIGHT (OR SIMILAR)	DESCRIPTION SUPPLIER: NICHHA PRODUCT: ARCH WALL PANEL STYLE: MIRAIA SERIES: DESIGNER SERIES COLOR: GLACIER INSTAL: STACKED
MS3	METAL FLASHING, TRIM, GUTTERS, DOWNSPOUTS	DESCRIPTION SUPPLIER: VARIES COLOR: BLACK (OR SIMILAR)
MS4	POLYCARBONATE FENESTRATION (OR SIMILAR)	DESCRIPTION SUPPLIER: PALRAM PRODUCT: SUNGLAZE INSTAL: ARCH SYSTEM COLOR: CLEAR
MS5	METAL STANDING SEAM ROOF (OR SIMILAR)	DESCRIPTION SUPPLIER: TBD COLOR: BLACK (OR SIMILAR)

PROJECT:
TRAILSIDE TAP - ADDITION
710 SW 3RD STREET
ANKENY, IOWA

DATE: 10/26/2023
DRAWN BY: EVZ
CHKD BY: KC

REVISED:

EXTERIOR
ELEVATIONS

A201

imprint
ARCHITECTS

617 SW 3RD ST SUITE 108,
ANKENY, IA 50023
PHONE: (515) 965-5336
FAX: (515) 965-5335
info@imprintarchitects.com

PRICING SET - NFC



PLAN AND ZONING COMMISSION

November 7, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

2806 SE Peachtree Drive - Des Moines Mobile Wash Addition Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to approve the site plan for 2806 SE Peachtree Drive, Des Moines Mobile Wash Addition.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download [Aerial Map](#) [Staff Report](#) [Applicant Letter](#) [Site Plan](#) [Elevations](#)



N



1 inch = 183 feet

Date: 11/2/2023

**2806 SE Peachtree Drive
Des Moines Mobile Wash Addition - Site Plan
Aerial Map**



*Plan and Zoning Commission
Staff Report*

Meeting Date: November 7, 2023

Agenda Item: 2806 SE Peachtree Drive – Des Moines Mobile Wash Addition

Report Date: November 2, 2023

Prepared by: Ryan Kirschman *EJC*
Planner

Staff Recommendation:

That the Plan and Zoning Commission approve the site plan for 2806 SE Peachtree Drive, Des Moines Mobile Wash.

Project Summary:

The subject property, 2806 SE Peachtree Drive, is located on Lot 2 Bines Addition which is approximately 1.155 acres – south of SE Oralabor Road and to the east of S Ankeny Boulevard, and west of SE Peachtree Drive. The property is zoned M-1, Light Industrial District. Properties to the north, south and west of the site are zoned M-1, Light Industrial District. Property to the east is zoned R-3, Multiple-Family Residence District. The future land use for the property is Community Commercial per The Ankeny Plan 2040 Figure 12.10 Ankeny Future Land Use Map. The use of the proposed building addition aligns with the zoning and current use of the property. The Des Moines Mobile Wash currently has a 3,600 sq. ft. building and the proposed expansion is 3,080 sq. ft. totaling approximately 6,680 sq. ft.

The site will have 14 parking stalls when this addition is complete, 7 are required. The site will have more than adequate parking. Pedestrian and bicycle traffic will have safe access to the building from the parking spaces on site. The site will be accessed via two accesses off of SE Peachtree Drive which are shared with a neighboring business. The project is not anticipated to significantly impact the traffic pattern in the area.

The exterior of the building addition is composed of stone and metal siding. These materials are complimentary to the existing building and adjacent properties along SE Peachtree Drive. These materials comply with the building materials requirements established in the Ankeny Municipal Code Chapter 192.02(B)(6).

Site Plan Worksheet

2806 SE Peachtree Drive – Des Moines Mobile Wash

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The site is located at 2806 SE Peachtree Drive, situated to the south of SE Oralabor Road and to the east of S Ankeny Boulevard. There is currently a 3,600 sq. ft. building on the site. The proposed building addition would complement the existing building in scale and design.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site is currently developed with a 3,600 sq. ft. building. The proposed building addition would complement the current building on the site in scale and design and the adjacent buildings along SE Peachtree Drive.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site will have 14 parking stalls when this addition is complete, 7 are required. The site will have more than adequate parking. Pedestrian and bicycle traffic will have safe access to the building from the parking spaces on site.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The site will be accessed via two accesses off of SE Peachtree Drive which are shared with a neighboring business. The project is not anticipated to significantly impact the traffic pattern in the area.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

The parking on the site will be screened from SE Peachtree Drive with shrubs that will be installed on the eastern side of the property.

6. **Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

The building will be adequately screened with a mixture of shrubs and trees between the building addition and SE Peachtree Drive.

7. **All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

8. **Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Any site lighting will be directed away from adjoining property and downward.

9. **The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm water on the site will be addressed with the existing storm water collection intakes.

10. **Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The site will utilize existing utilities on the site.

11. **Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The overall site layout provides for adequate open space.

12. **Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed parking lot shading and open space landscaping conform to the landscape requirements of the Code.

B. Building Design

1. **Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

The proposed addition conforms with the architecture of the current building.

2.

3. **Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The building materials are consistent with adjacent buildings along SE Peachtree Drive.

4. **All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There is not currently anything proposed on the site plan that would require additional screening.

5. **Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

The proposed addition is consistent with the surrounding buildings on the site and along SE Peachtree Drive.

C. Signs

1. **All signs shall have good scale and proportion in relationship to its site and function, as well as the signage and use of neighboring properties.**

There are no building signs indicated on the proposed building addition. Any proposed sign designs and allowances will be determined with future sign permits.

2. **Building signs shall be designed as an integral architectural element of the building.**

There are no building signs indicated on the proposed building addition. Any proposed sign designs and allowances will be determined with future sign permits.

3. **Ground signs shall be designed to provide elements compatible with the building design and architectural elements.**

There are no ground signs indicated with the proposed building addition. Any proposed sign designs and allowances will be determined with future sign permits.

4. **Each sign shall be designed in a manner not to compete for attention with signs on adjoining premises.**

All signs submitted for permit in the future shall comply with Chapter 195: Signs.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

1. **Conformance to Design Standards and other applicable code requirements.**

The plans submitted conform to the written regulations of the City.

- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The site layout is compatible with setbacks and scale of other buildings in the area.

- 3. Layout and utilization of building, parking, drive-ways, and open spaces.**

The site layout is consistent with the surrounding layout.

- 4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**

The proposed addition conforms with the architecture on the site.

- 5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**

It appears that the impacts on these utility systems can be accommodated adequately.

Planning and Zoning Commission,

The reason for my application with the city of Ankeny is for an addition we are doing on our building. We own a mobile pressure washing service and we do not have enough space to keep our trucks indoors out of inclement weather, so we are expanding our building so as to keep our equipment indoors. We are also bumping our office out a little further so that we can accommodate more desks as we continue to grow.

Thank You!

Shaun Reiner
President, Des Moines Mobile Wash, Inc.
dsmmobilewash@hotmail.com
C (515) 587-0714
T (515) 556-1045 Ext 1
F (515) 965-1448

DES MOINES MOBILE WASH ADDITION

2806 SE PEACHTREE DRIVE, ANKENY, IOWA

SITE PLAN

NAI #23054



EXISTING UTILITY NOTES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SPECIFICATION REFERENCE

THE 2023 IOWA SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND POLK COUNTY STANDARD SPECIFICATIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

LEGEND

Existing / Proposed	Portland cement concrete	Existing / Proposed	Address
ACC	Asphaltic concrete	Spot elevation	Spot elevation
FL	Pipe flange elevation	Sanitary sewer manhole	Sanitary sewer manhole
RCP	Reinforced concrete pipe	Channel	Channel
CMP	Corrugated metal pipe	Storm sewer manhole	Storm sewer manhole
PVC	Polyvinyl chloride pipe	Storm sewer intake	Storm sewer intake
GP	Cast iron pipe	Storm sewer tee/tee	Storm sewer tee/tee
P.U.E.	Public utility easement	Flared and section	Flared and section
S.W.F.E.	Surface water flowage easement	Water hydrant	Water hydrant
BB	Book of curb to back of curb	Water valve	Water valve
Section line	Section line	Water service shutoff	Water service shutoff
Proposed boundary line	Proposed boundary line	Water main manhole	Water main manhole
Future boundary line	Future boundary line	Manhole well	Manhole well
Underlying boundary line	Underlying boundary line	Yard hydrant	Yard hydrant
Existing easement line	Existing easement line	Well	Well
Proposed easement line	Proposed easement line	Gas meter	Gas meter
Existing easement line	Existing easement line	Gas valve	Gas valve
Chain-link fence line	Chain-link fence line	Air conditioning unit	Air conditioning unit
Straw Wattle	Straw Wattle	Electric manhole	Electric manhole
SB fence	SB fence	Electric meter	Electric meter
Sanitary sewer & size	Sanitary sewer & size	Electric pedestal	Electric pedestal
Storm sewer & size	Storm sewer & size	Electric transformer	Electric transformer
Water main & size	Water main & size	Utility hand hole	Utility hand hole
Gas main & size	Gas main & size	Utility pole	Utility pole
Overhead electric & wires	Overhead electric & wires	Ground up light	Ground up light
Underground electric	Underground electric	Liquid pipe	Liquid pipe
Underground television	Underground television	Traffic signal	Traffic signal
Underground communication	Underground communication	Traffic signal with light	Traffic signal with light
Contour elevation	Contour elevation	Traffic manhole	Traffic manhole
Contour elevation	Contour elevation	Communication pedestal	Communication pedestal
Edge of tree drip line	Edge of tree drip line	Telephone booth	Telephone booth
Construction limits	Construction limits	Trip pedestal	Trip pedestal
Construction fence	Construction fence	Reflected sign	Reflected sign
		Street sign	Street sign
		Down spout	Down spout
		Tree shrub	Tree shrub
		Deadwood tree and trunk diameter	Deadwood tree and trunk diameter
		Confiscated tree and trunk diameter	Confiscated tree and trunk diameter

BENCHMARKS

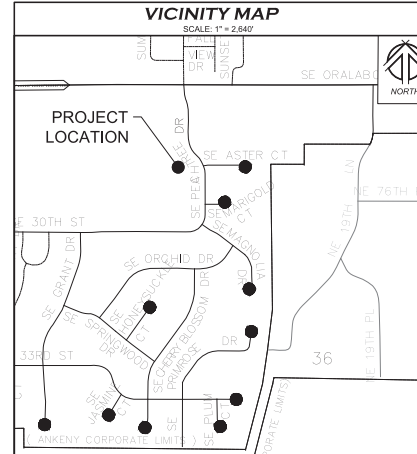
- CUT 'X' ON TOP OF CURB ON NORTH CURB LINE NORTH OF EXISTING BUILDING, 84' +/- EAST OF NW CORNER OF PARKING LOT, 124' +/- WEST OF NE CORNER OF PARKING LOT. ELEVATION = 948.85'
- CUT 'X' IN PARKING LOT, 39' +/- NORTH OF SW CORNER OF PARKING LOT, 2' +/- EAST OF WEST CURB LINE. ELEVATION = 947.56'

GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND:
A. SPOCK ENTERPRISES, LLC
B. CITY OF ANKENY
- ALL MATERIALS AND CONSTRUCTION RELATED TO WORK CONDUCTED AS PART OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE 2023 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), ANKENY SUPPLEMENTAL SPECIFICATIONS, AND DETAILS SHOWN ON THIS PLAN UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REMOVAL, REPLACEMENT, OR REINSTATEMENT OF ANY ITEM, ADVERSELY AFFECTED BY FAILURE TO FOLLOW SAID SPECIFICATIONS, REPORTS, AND PLANS.
- CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE INTENT OF THE WORK TO BE COMPLETED AND TO ADDRESS ANY QUESTIONS, CONCERNS, CONFLICTS, DISCREPANCY OR OTHER ISSUES THAT MAY AFFECT CONSTRUCTION WITH OWNER AND ENGINEER AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY ISSUE ENCOUNTERED DURING CONSTRUCTION THAT MAY AFFECT PROPOSED DESIGN. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF, AND PROTECT ALL UTILITIES AND STRUCTURES, DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE AND STORM DRAINS DISTURBED DURING CONSTRUCTION. RECONNECTIONS SHALL BE CONSIDERED INCIDENTAL TO PROJECT COST. NOTIFY THE CITY OF ANKENY AND NILLES ASSOCIATES PRIOR TO RECONNECTION SO THAT LOCATION OF RECONNECTION CAN BE DOCUMENTED AND INCLUDED ON RECORD DRAWINGS.
- DETAILS AND NOTES INCLUDED WITHIN THESE PLANS SHALL BE USED FOR CONSTRUCTION. FOR ITEMS WITH NO DETAILS OR NOTES INCLUDED WITHIN THIS PLANS SET, FOLLOW SUDAS DETAILS AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCY IS FOUND, NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING.
- COORDINATE ALL WORK ACTIVITIES WITH ANY OTHER CONSTRUCTION PROJECTS IN THE AREA.
- ANY DAMAGE TO PROPERTY THAT OCCURS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES OR ACTIONS SHALL BE REPAIRED AND RESTORED IN KIND.
- THE CONTRACTOR SHALL PROTECT UTILITY POLES NEAR CONSTRUCTION ACTIVITIES AS REQUIRED.
- FOR ALL WORK, THE CONTRACTOR SHALL PROVIDE ALL FIELD QUALITY CONTROL AND TESTING AS PER SUDAS. PROVIDE ENGINEER TESTING RESULTS.
- PROVIDE TO THE PROJECT OWNER ALL SHOP DRAWINGS FOR MATERIALS INCORPORATED IN THE WORK SUPPLIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS SITE.
- CONTRACTORS ON-SITE SHALL BE RESPONSIBLE FOR DAILY CLEAN-UP OF SEDIMENT AND DEBRIS TRACKED OR WASHED ONTO PUBLIC RIGHTS-OF-WAY AND AREAS OUTSIDE PROJECT LIMITS.
- DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE OFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY CITY OF ANKENY, SPOCK ENTERPRISES, LLC, AND NILLES ASSOCIATES BEFORE THE SITE IS FURTHER DISTURBED.

ERU CALCULATIONS

1 ERU = 4,000 SF OF HARDSPACE
"IN THE LIKELY EVENT OF A NON-WHOLE NUMBER, ROUND UP TO NEAREST WHOLE NUMBER WITH A MAXIMUM OF 60 ERU.
TOTAL COMBINED HARDSPACE = 23,375 SF
23,375 / 4,000 = 5.84375
TOTAL ERU = 6 ERU



GENERAL DIMENSION PLAN NOTES

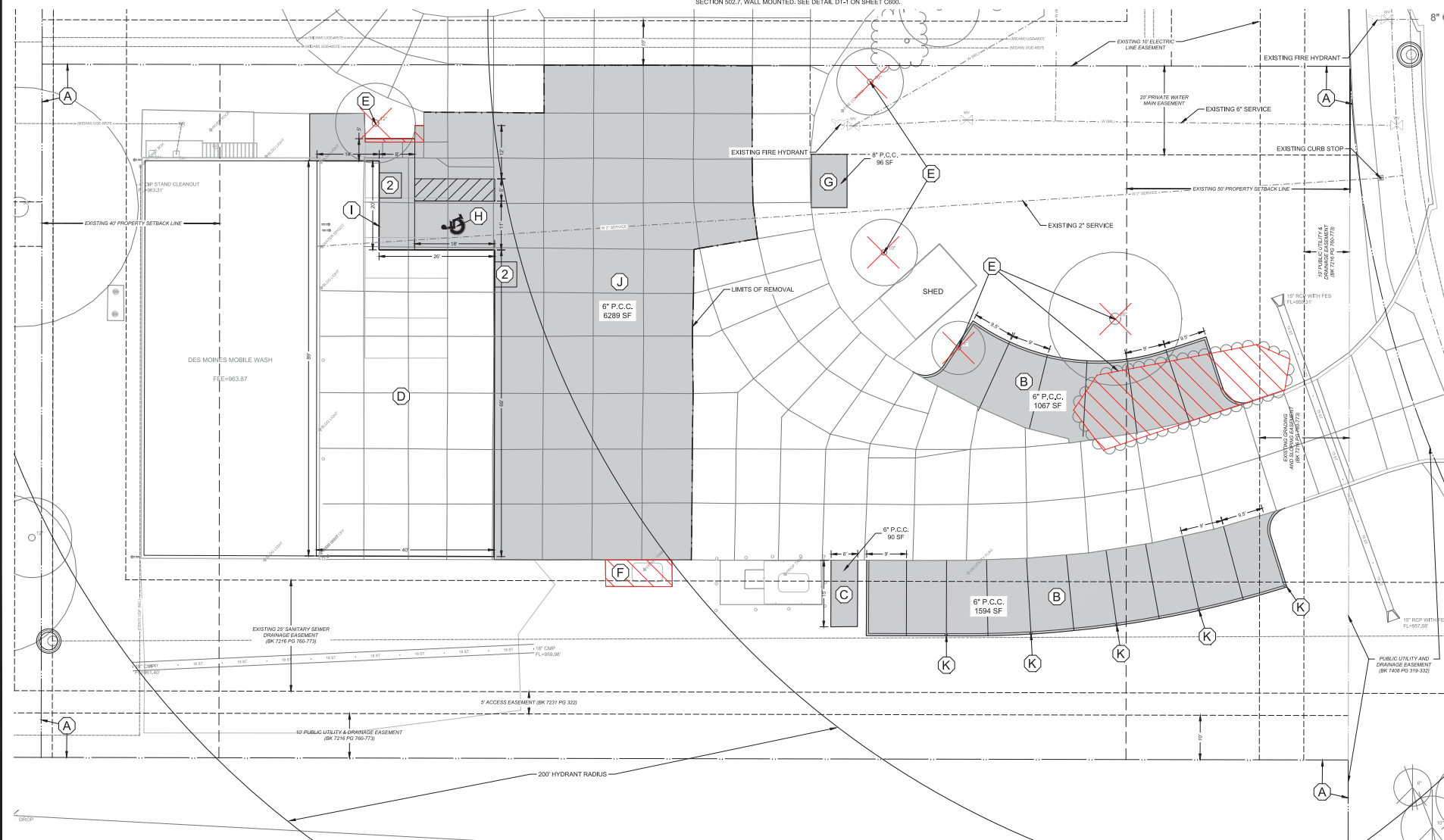
1. BUILDING DIMENSIONS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY-REFER TO ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS.

PAVING NOTES

1. ALL PAVING SHALL COMPLY W/ SUDAS FOR MATERIALS AND INSTALLATION.
2. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION ON STOOPS AND SIDEWALKS ADJACENT TO BUILDING.

DIMENSION PLAN NOTES

- | | |
|---|--|
| A. PROPERTY LINE. | J. REMOVE AND REPLACE EXISTING PCC PAVEMENT. |
| B. NEW PCC PAVEMENT PARKING AREA. | K. 6" CURB CUT AT SPECIFIED LOCATION. |
| C. NEW DIESEL TANK PAD. | |
| D. NEW BUILDING ADDITION. HEIGHT = 16'-0" | |
| E. REMOVE EXISTING VEGETATION. | |
| F. REMOVE AND RELOCATE DIESEL TANK TO NEW PAD, REMOVE EXISTING PAD. | |
| G. NEW CONCRETE PAD AND TRASH ENCLOSURE. MATCH BUILDING FACADE. REFER TO ARCHITECTURAL PLANS. | |
| H. PROVIDE PARKING STALL AND LANE STRIPPING AS SHOWN PER SUDAS 8020 AND IADOT SECTION 2527. | |
| I. ACCESSIBLE STALL SIGNS IN ACCORDANCE WITH ANSI A117.1-09 | |



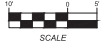
SUBMITTAL #3

WILLES ASSOCIATES

DES MOINES MOBILE WASH, INC: 2806 SE PEACHTREE DRIVE
ARLINGTON, TX 76010

REMOVALS & DIMENSION PLAN

NAS NO.	23054
DATE	10/24/23
DRAWN BY	JCT
CHECKED BY	JPN
SHEET SIZE	24" X 36"
SHEET TITLE	C200
SHEET NO.	2 / 5



GENERAL GRADING PLAN NOTES

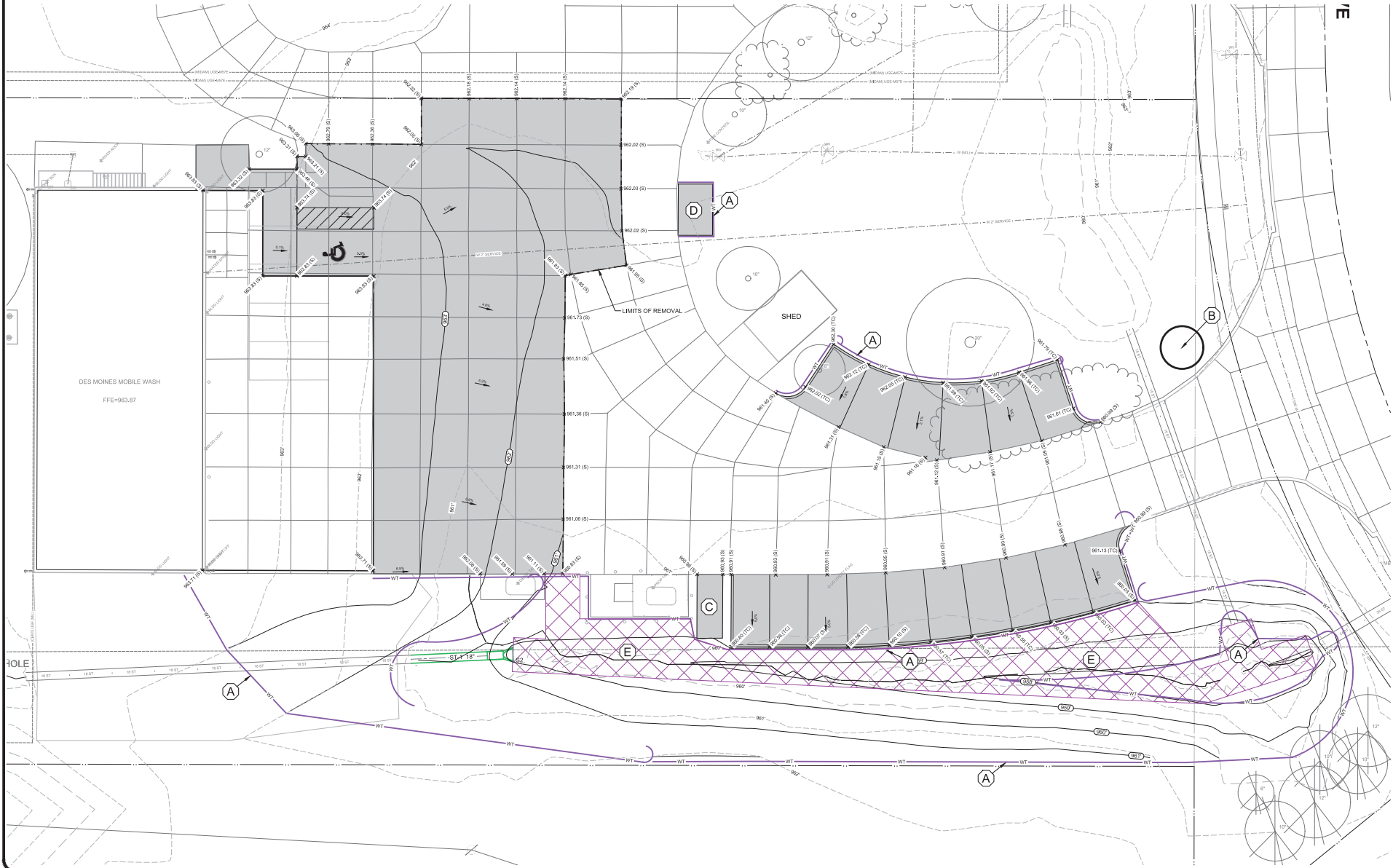
1. ALL EXTERIOR PAVING AREAS SHALL HAVE 12" DEPTH SUBGRADE PREPARATION, SCARIFY AND COMPACT PER GEOTECHNICAL REPORT EXTENDING 2' BEYOND PAVING LIMITS.

GRADING PLAN NOTES

- A. PROVIDE 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED —WT—.
- B. CONCRETE WASHOUT AREA.
- C. DIESEL TANK PAD, ELEVATION = 960.95.
- D. CONCRETE PAD & TRASH ENCLOSURE.
- E. INSTALL SHORT-TERM ROLLED EROSION CONTROL PRODUCT AFTER PERMANENT SEEDING.

GRADING PLAN LEGEND

- TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION
XXXXXX SHORT-TERM ROLLED EROSION CONTROL PRODUCT



SUBMITTAL #3

103 SW MACHINE ROAD
ANN ARBOR, MI 48106
(515) 965-4123 phone • (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

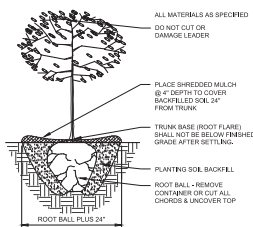
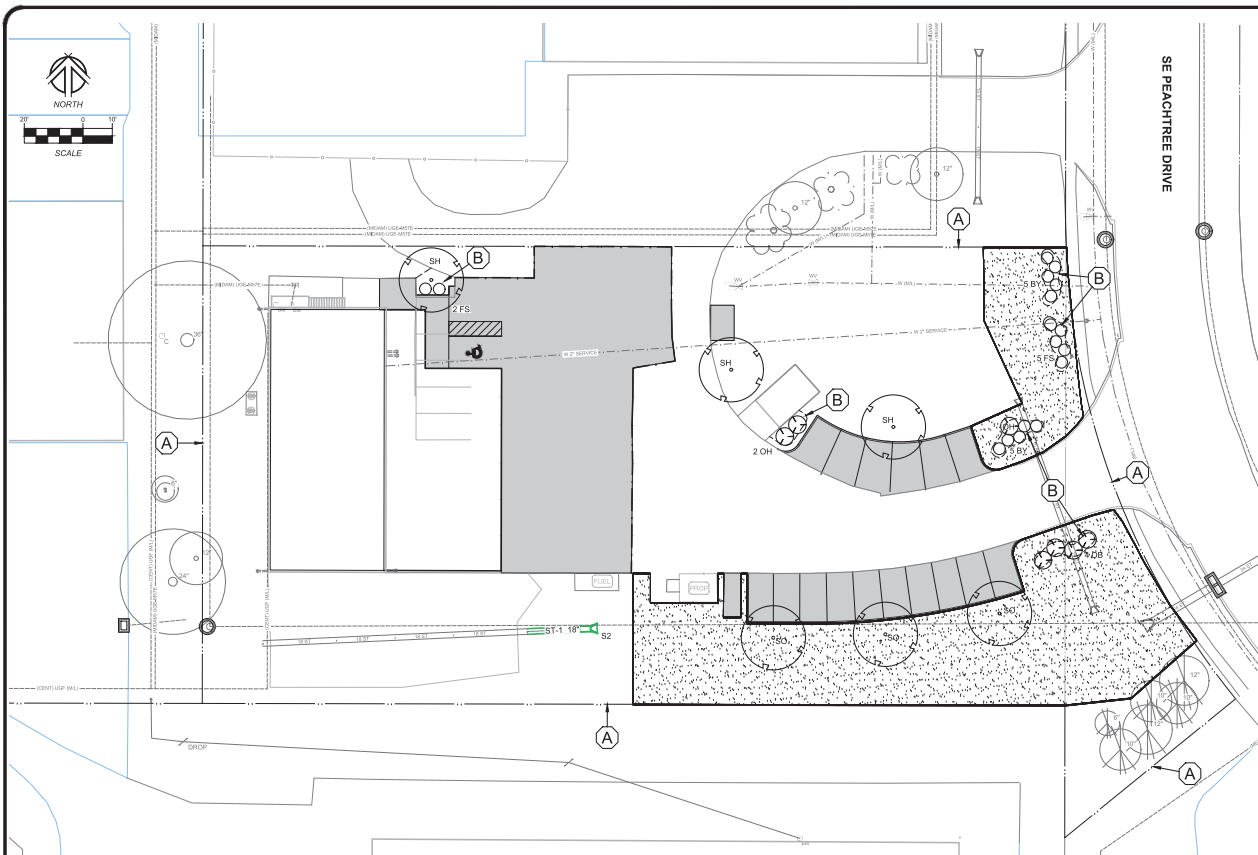


REVISIONS

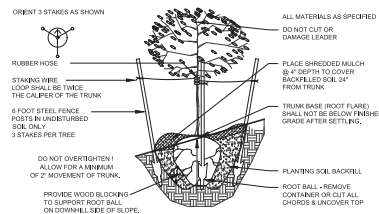
DATE: 10/24/23
BY: JCT
CHECKED BY: JPN
SCALE: 24" X 36"
SHEET: C-300
SHEET TOTAL: 3/5

DES MOINES MOBILE WASH, INC. 2806 SE PEACHTREE DRIVE
ANN ARBOR, MI 48106
GRADING PLAN

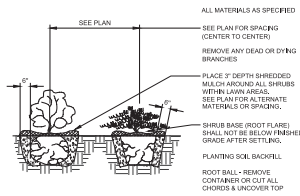
PROJECT NO.: 23054
DATE: 10/24/23
DRAWN BY: JCT
CHECKED BY: JPN
SCALE: 24" X 36"
SHEET: C-300
SHEET TOTAL: 3/5



1 DECIDUOUS TREE PLANTING
C500 NO SCALE



2 TREE SLOPE PLANTING & STAKING DETAIL
C500 NO SCALE



3 SHRUB PLANTING
C500 NO SCALE

GENERAL LANDSCAPING NOTES

- ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9030 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL. (GARDENING PARTS 2.06 AND 2.08) TREE WRAPPING AND SUBJECT TO THE FOLLOWING NOTES.
- NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
- PLANTINGS SHALL MEET THE MINIMUM SPECIES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
- ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
- PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTIONS.
- DECIDUOUS TREES IN EXCESS OF 2" CALIPER AND CONIFEROUS TREES IN EXCESS OF 6 FEET IN HEIGHT SHALL BE STAKED OR GUIED. STAKING PROCEDURE SHALL ENSURE TRUNKS ARE PROTECTED FROM DAMAGE. STRAPS OR WIRES SHALL NOT BE OVERLY TIGHTENED TO ALLOW FOR SOME LATERAL TRUNK MOVEMENT.

SEEDING AND SOODING

- ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIFIC PLANTING AREAS SHALL BE SEED OR SOODED AS DIRECTED BY THE PLAN.
- LAWN SEEDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9010 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL. (LAWNS). SEED SHALL BE TYPE 1 PERMANENT LAWN SEED MIX (SUDAS SECTION 2.02 A) AND MULCH SHALL BE BONDED FIBER MATING (BPM) (SUDAS SECTION 2.02 B) APPLIED AT THE SPECIFIED RATES. LAWN SEEDING SHALL BE APPLIED PRIOR TO HYDRAULICALLY APPLIED MULCH.

MULCH

- ALL PLANTING BEDS DESIGNATED FOR MULCH INCLUDING AREAS AROUND TREES & SHRUBS SHALL BE 3" DEPTH SHREDED HARDWOOD 4" DIAMETER (TREES) AND 2" DIAMETER (SHRUBS). A PRE-EMERGENT SUCH AS PRESENT OR APPROVED EQUAL. HERBICIDE SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER MULCHING.

LANDSCAPE PLAN NOTES

- PROPERTY LINE
- SHREDED HARDWOOD MULCH.

LANDSCAPE CALCULATIONS

SCREENING REQUIREMENT

TYPE B SEMI-TRANSPARENT SCREEN, OPAQUE FROM GROUND AT LEAST 3 FEET WITH INTERMITTENT VISUAL OBSTRUCTION ABOVE OPAQUE PORTION TO A HEIGHT OF AT LEAST 20 FEET.

LOCATION: 107 FEET ALONG WEST EDGE OF PARKING LOT, 76 FEET ALONG SOUTH EDGE OF PARKING LOT, AND 160 FEET ALONG EAST EDGE OF PARKING LOT.

PAVEMENT SHADING TREES

GROSS PAVED AREA X 2 = REQUIRED SHADED AREA.

REQUIRED SHADED AREA = 700 = TOTAL OF SHADING TREES REQUIRED.

GROSS PAVED AREA = 16,102 SF

16,102 SF X 2 = 32,204 SF

32,204 SF / 700 = 46 (46 SHADING TREES REQUIRED)

PAVEMENT SHADING CALCULATION DOES NOT INCLUDE THE REQUIRED SCREENING.

OPEN SPACE REQUIREMENT

TWO OVERSTORY TREES AND 6 SHRUBS FOR EVERY 3,000 SF OF REQUIRED OPEN SPACE.

TOTAL LOT AREA X 2 = REQUIRED OPEN SPACE

TOTAL LOT AREA = 50,312 SF

50,312 SF X 2 = 100,624 SF

100,624 SF / 3,000 = 33.5 (34 PLANT UNITS REQUIRED)

REQUIRED QUANTITY PROVIDED QUANTITY

4 x 2 = 8 TREES 6 EXISTING, 6 PROPOSED, TOTAL = 12 TREES PROVIDED

4 x 6 = 24 SHRUBS 6 EXISTING, 24 PROPOSED, TOTAL = 30 SHRUBS PROVIDED

PLANTING SCHEDULE

TREES & SHRUBS

KEY	COMMON / SCIENTIFIC NAME	MIN. SIZE	QTY.	ROOT / COMMENT
SH	Shady Honey Locust <i>Gleditsia triacanthos</i> 'Inermis' 'Stargazer'	2" Caliper	3	B&B in Container
SO	Swamp Oak <i>Quercus bicolor</i>	2" Caliper	3	B&B in Container
BY	Hopson Beauty Black Chickberry <i>Acetia melanocarpa</i> 'Merton'	24-30" Height	10	Container
DB	Deep Running Blue <i>Eucalyptus glauca</i> 'Compactus'	18-24" Height	4	Container
OH	Osage Orange <i>Aspidodaphne glabra</i>	16-24" Height	3	Container
FS	Fragrant Sumac 'Top Low' <i>Rhus aromatica</i> 'Top Low'	15-18" Height	7	Container

LEGEND



TYPE 1 LAWN SEEDING (10,000 SF)

SUBMITTAL #3

303 SW MAGNOLIA ROAD
ANN ARBOR MI 48106
(313) 962-1231 phone - (313) 965-3322 fax
Cof Engineering - Land Surveying
Landscape Architecture

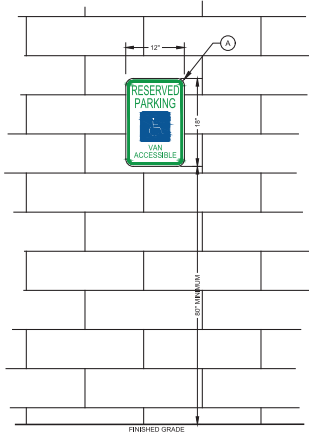
NILES ASSOCIATES

REVISIONS

DATE: 10/24/23
BY: JCT
CHECKED BY: JPN
REVIEWED BY: JPN
SCALE: 24" X 36"
SHEET: C500
TOTAL SHEETS: 4/5

DES MOINES MOBILE WASH, INC. 2806 SE PEACHTREE DRIVE

LANDSCAPE PLAN



A STANDARD PARKING SPACE COMPLIANT WITH ADA ACCESSIBILITY GUIDELINES (ADAAG). REFER TO PLAN FOR LOCATION.

1
DT-1

ACCESSIBLE PARKING SIGN

NO SCALE

SUBMITTAL #3

1003 SW MAGNOLIA ROAD
ANN ARBOR, MI 48106
(313) 965-4123 phone - (313) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

NILLES ASSOCIATES
LLP

REVISIONS
2 1
3 1
4 1
5 1
6 1
7 1

NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 3. THE DIMENSIONS OF THE SIGN SHALL BE AS SHOWN ON THE SIGN. 4. THE SIGN SHALL BE MADE OF ALUMINUM OR OTHER DURABLE MATERIAL. 5. THE SIGN SHALL BE MOUNTED ON A POST OR WALL. 6. THE SIGN SHALL BE MAINTAINED IN GOOD CONDITION. 7. THE SIGN SHALL BE REMOVED OR RELOCATED AS DIRECTED BY THE AUTHORITY.

DES MOINES MOBILE WASH, INC.: 2806 SE PEACHTREE DRIVE
ANN ARBOR, MI 48106
DETAIL SHEET

DATE	23054
DATE	10/24/23
DRAWN BY	JCT
CHECKED BY	JPN
SHEET NO.	24" X 36"
SHEET NO.	C600
SHEET NO.	5/5

#	Date	Description
1	08/15/23	Preliminary

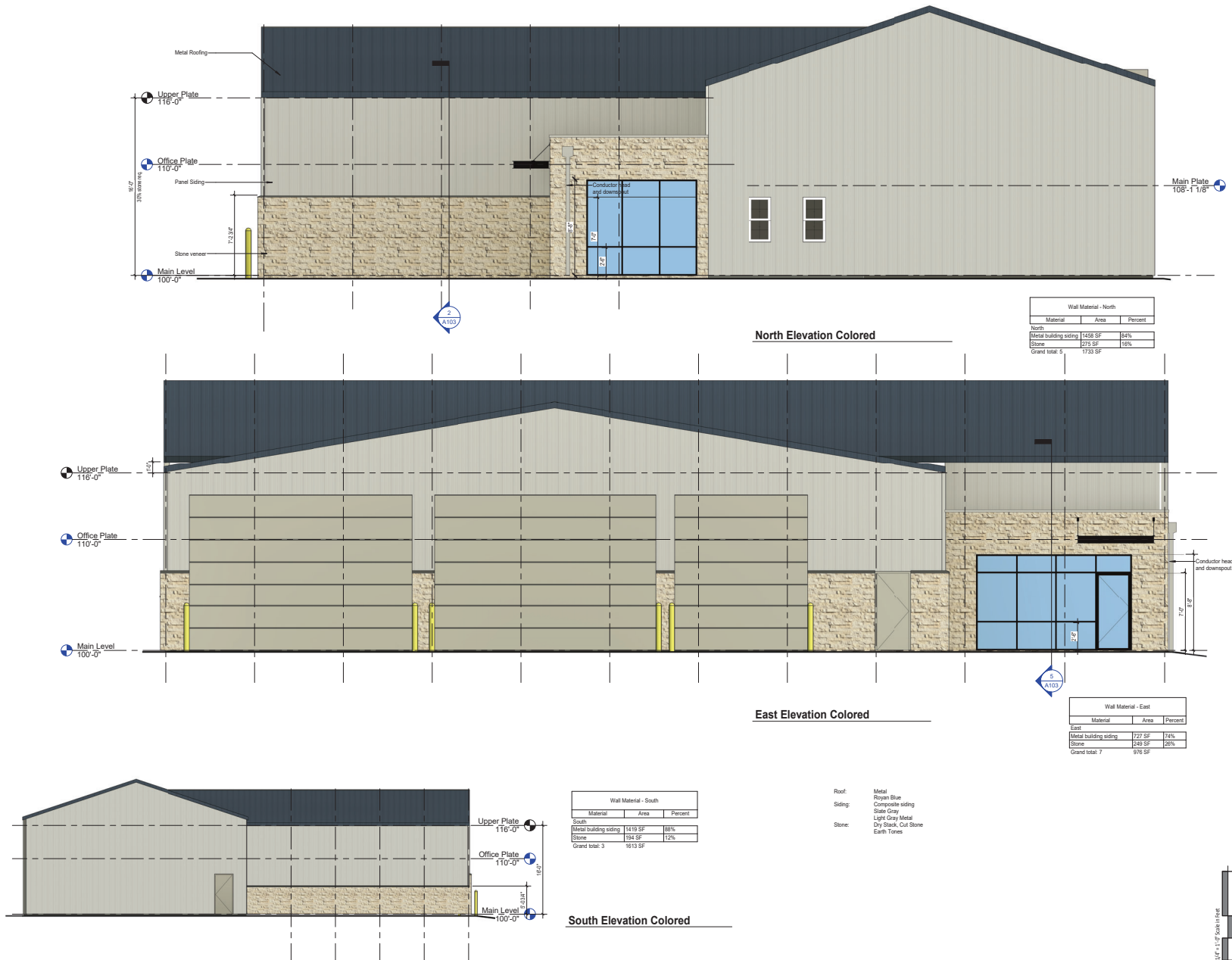
11/2/2023 3:37:55 PM
REVISED: N/A
23/030

TITLE
Colored Exterior Elevations

SHEET

A104

1/4" = 1'-0" Scale in Feet





PLAN AND ZONING COMMISSION

November 7, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

ACTION REQUESTED:

LEGAL:

SUBJECT:

1. November 6, 2023 City Council Report - Staff

2. Director's Report

Tentative agenda items for November 21, 2023

October 2023 Building Permit Report

3. Commissioner's Reports

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:


PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download
 October 2023 Building Permit Report

City of Ankeny
Building Permit Report
Month of October 2023

	Issued		Issued		Issued Calendar Year				Issued Fiscal Year	
	October-23		October-22		1/1/2023-10/31/2023		1/1/2022-10/31/2022		7/1/2023-10/31/2023	
	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation
RESIDENTIAL										
New Dwellings										
New Single Family Detached	22	\$7,864,696	38	\$12,784,812	360	\$121,699,519	427	\$134,430,881	118	\$44,055,151
New Single Family Attached/Duplex	0	\$0	34	\$5,252,626	184	\$47,274,723	239	\$54,898,005	36	\$9,986,545
New Multi - Family	0	\$0	34	\$27,941,454	1	\$7,270,821	53	\$67,047,325	0	\$0
Total New Residential Permits	22	\$7,864,696	106	\$45,978,892	545	\$176,245,063	719	\$256,376,211	154	\$54,041,696
Additions/Alterations/Other (1)	63	\$673,453	60	\$598,282	695	\$9,035,904	799	\$10,112,805	281	\$4,399,276
Total New Dwelling Units	22		232		595		1034		154	
NON-RESIDENTIAL										
New Commercial	2	\$1,069,710	3	\$27,977,164	23	\$52,808,992	31	\$169,815,839	10	\$16,349,284
COM Additions/Alterations/Other	8	\$1,102,084	6	\$1,294,511	74	\$42,761,745	86	\$17,102,366	24	\$26,196,141
New Church	0	\$0	0	\$0	0	\$0	1	\$13,679,075	0	\$0
CHR Additions/Alterations/Other	0	\$0	0	\$0	1	\$17,000	3	\$359,880	0	\$0
New School	1	\$744,500	0	\$0	3	\$7,000,500	1	\$27,196,293	2	\$6,930,500
SCH Additions/Alterations/Other	0	\$0	0	\$0	5	\$325,913	3	\$40,550	3	\$165,000
Total Non Residential Permits	11	\$2,916,294	9	\$29,271,675	106	\$102,914,150	125	\$228,194,003	39	\$49,640,925
MISC PERMITS (2)	77	\$126,905	84	\$77,736	810	\$972,276	886	\$1,167,228	367	\$502,442
TOTALS	173	\$11,581,348	259	\$75,926,585	2156	\$289,167,393	2529	\$495,850,247	841	\$108,584,339

(1) includes permits issued for sheds, pools, garages, decks, porches, auxiliary structures

(2) includes permits issued for: driveway approach, signs, fences, other misc. non-residential

RSF includes attached & detached dwelling units; RDF includes duplexes; RMF includes apartments & stacked condo units

* includes footing & foundation permits

The City Of Ankeny
Building Permit Report (Monthly)
Issued from October 2023

Type of Use	Type of Work	Issue Date	Valuation	Permit Number	Street Address	Applicant Name	Contractor Name
Single Family Detached	New Building	10/3/2023	\$398,625	23-5864-NEW	1624 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/3/2023	\$351,712	23-5865-NEW	1620 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/3/2023	\$354,272	23-5866-NEW	1616 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/3/2023	\$351,504	23-5867-NEW	1612 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	10/4/2023	\$432,530	23-5773-NEW	4716 NW 13th St	Quandt Built Homes LLC	Quandt Built Homes LLC
Single Family Detached	New Building	10/10/2023	\$326,836	23-5874-NEW	4125 NE 6th St	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Detached	New Building	10/10/2023	\$380,884	23-5888-NEW	2716 NW 27th St	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	10/13/2023	\$277,696	23-5960-NEW	4419 NW 12th St	Greenland Homes Inc	Greenland Homes Inc
Single Family Detached	New Building	10/13/2023	\$262,774	23-6003-NEW	703 NE Meadow Landing Dr	Greenland Homes Inc	Greenland Homes Inc
Single Family Detached	New Building	10/13/2023	\$332,375	23-6050-NEW	4415 NW 12th St	Greenland Homes Inc	Greenland Homes Inc
Single Family Detached	New Building	10/17/2023	\$379,473	23-6067-NEW	4715 NW 13th St	Genesis Homes Inc	Genesis Homes of Iowa LLC
Single Family Detached	New Building	10/18/2023	\$422,203	23-6115-NEW	6305 NE Grant Ln	Harvest Ridge Builders	Harvester Ridge Builders LLC
Single Family Detached	New Building	10/24/2023	\$390,872	23-6132-NEW	2409 NW 29th St	MJ Properties	MJ Properties
Single Family Detached	New Building	10/26/2023	\$354,144	23-5989-NEW	301 NE Meadow Ln	Orton Development Company LLC	Orton Development Company LLC
Single Family Detached	New Building	10/26/2023	\$353,884	23-6006-NEW	302 NE Meadow Ln	Orton Development Company LLC	Orton Development Company LLC
Single Family Detached	New Building	10/26/2023	\$353,884	23-6007-NEW	305 NE Meadow Ln	Orton Development Company LLC	Orton Development Company LLC
Single Family Detached	New Building	10/26/2023	\$354,144	23-6008-NEW	306 NE Meadow Ln	Orton Development Company LLC	Orton Development Company LLC
Single Family Detached	New Building	10/26/2023	\$353,884	23-6010-NEW	310 NE Meadow Ln	Orton Development Company LLC	Orton Development Company LLC
Single Family Detached	New Building	10/30/2023	\$262,774	23-6296-NEW	3703 NE 6th St	Greenland Homes Inc	Greenland Homes Inc
Single Family Detached	New Building	10/31/2023	\$362,771	23-6336-NEW	2708 NW Beechwood St	MJ Properties	MJ Properties
Single Family Detached	New Building	10/31/2023	\$449,796	23-4684-NEW	3612 NW 28th St	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	New Building	10/31/2023	\$357,660	23-4685-NEW	3616 NW 28th St	Jerry's Homes Inc	Jerrys Homes Inc
School	New Building	10/4/2023	\$744,500	22-6548-NEW	1020 SW Cherry St	Edge Commercial	Edge Commercial
Government	New Building	10/17/2023	\$280,000	23-4542-NEW	725 SW Prairie Trail Pkwy	Romtec Inc	Burkett Construction, LLC
Office	New Building	10/18/2023	\$789,710	22-7105-NEW	2115 SW State St	Wand Christopher	Primus Companies
Single Family Detached	Building Alteration	10/2/2023	\$13,100	23-5762-ALT	513 SW Elm St	Jason Breuer	Jason Breuer
Single Family Detached	Fire Repair	10/3/2023	\$44,570	23-5907-FREP	2923 SW Snyder Blvd	ServiceMaster by Rice-Const	ServiceMaster by Rice-Const
Single Family Detached	Building Addition	10/4/2023	\$6,804	23-4028-ADD	1613 NE Vista Ct	Dewit Construction & Remodeling	Dewit Construction & Remodeling
Single Family Detached	Building Alteration	10/5/2023	\$19,372	23-5947-ALT	2529 NW Greenwood St	Jerry's Homes Inc	Jerry's Homes Inc
Single Family Detached	Porch	10/5/2023	\$4,900	23-5949-PRCH	2501 SW 36th St	Heirloom Builders Inc	Heirloom Builders Inc
Single Family Detached	Building Alteration	10/5/2023	\$22,648	23-5955-ALT	2315 SW Vintage Pkwy	MJ Properties LLC	MJ Properties LLC
Single Family Detached	Solar	10/5/2023	\$32,399	23-5967-SOL	3312 NW 27th St	Purelight Power	Purelight Power
Single Family Detached	Building Alteration	10/9/2023	\$12,659	23-5996-ALT	209 NE 51st St	FOUNDATION RECOVERY SYSTEMS	FOUNDATION RECOVERY SYSTEMS
Single Family Detached	Gazebo	10/9/2023	\$2,400	23-6002-GAZ	210 NE Mandy Ln	Kayla Stratton	Kayla Stratton
Single Family Detached	Building Alteration	10/12/2023	\$23,625	23-6058-ALT	1622 NE Vicksburg Dr	Central Iowa Contractor Services	Central Iowa Contractor Services
Single Family Detached	Building Alteration	10/12/2023	\$1,323	23-6070-ALT	317 NW Waterview Ct	The HQ Handyman	The HQ Handyman
Single Family Detached	Solar	10/17/2023	\$7,632	23-5341-SOL	3301 SW 29th St	Kevin Hyler	Kevin Hyler
Single Family Detached	Building Alteration	10/17/2023	\$25,862	23-6137-ALT	919 NE Meadow Landing Dr	RM Construction	RM Construction
Single Family Detached	Building Alteration	10/17/2023	\$11,308	23-6146-ALT	2407 NW Beechwood St	Darryl D Strode	Darryl D Strode
Single Family Detached	Porch	10/18/2023	\$7,580	23-6130-PRCH	909 NE Chambers Pkwy	Deck & Drive Solutions	Deck and Drive Solutions

Single Family Detached	Solar	10/18/2023	\$23,329	23-6166-SOL	3124 NW 29th St	Purelight Power	Purelight Power
Single Family Detached	Porch	10/19/2023	\$2,400	23-6164-PRCH	801 NE Redwood Ln	The HomeLife Brothers	The HomeLife Brothers
Single Family Detached	Solar	10/19/2023	\$20,736	23-6192-SOL	3423 NW Rockridge Rd	Purelight Power	Purelight Power
Single Family Detached	Building Alteration	10/20/2023	\$19,593	23-6014-ALT	3214 NW 27th Cir	3 Sons Construction	3 Sons Construction
Single Family Detached	Building Alteration	10/20/2023	\$4,200	23-6209-ALT	418 SW Westview Dr	BAM Basements	BAM Basements
Single Family Attached	Building Addition	10/23/2023	\$20,084	23-5897-ADD	230 SE Willow Run Ln	Midwest Construction	Midwest Construction
Single Family Detached	Building Alteration	10/24/2023	\$40,540	23-6018-ALT	3023 NW Reinhart Dr	Vishal Patel	Vishal Patel
Single Family Detached	Building Alteration	10/24/2023	\$25,326	23-6214-ALT	2420 SW Plaza Pkwy	Ultimate Construction Services	Ultimate Construction Services
Single Family Detached	Building Addition	10/27/2023	\$16,381	23-6338-ADD	2902 SW Reunion Dr	Next Level Builders Inc	Next Level Builders Inc
Single Family Detached	Building Addition	10/30/2023	\$89,542	23-6350-ADD	2933 SW Ridgeview Ln	Caliber Homes	Ryan Corporation, Inc.
Single Family Detached	Building Alteration	10/30/2023	\$3,024	23-6423-ALT	1405 SW 2nd St	Dylan Muckey	Dylan Muckey
Single Family Detached	Building Alteration	10/31/2023	\$24,885	23-6091-ALT	5424 NW 13th St	Micheal Nasers	Micheal Nasers
Single Family Detached	Building Addition	10/31/2023	\$12,000	23-6440-ADD	802 SW Prairie Trail Pkwy	P & P Electric Inc	P & P Electric Inc
SFD (Mobile Home)	Garage	10/16/2023	\$42,680	23-5966-ADD	7368 NE Berwick Dr TRLR 92	David Nylen	David Nylen
Single Family Detached	Shed	10/3/2023	\$4,000	23-5901-SHD	707 NE Whitetail Dr	Christopher Schroeder	Christopher Schroeder
Single Family Detached	Shed	10/9/2023	\$14,400	23-5859-SHD	3019 SW 21st Ct	Leever Homes Inc	Leever Homes Inc
Single Family Detached	Shed	10/11/2023	\$4,800	23-6044-SHD	1614 NW College Ave	Tuff Shed	Tuff Shed
Single Family Detached	Shed	10/11/2023	\$1,920	23-6046-SHD	3005 NE Huntington Ln	Tuff Shed	Tuff Shed
Single Family Detached	Shed	10/11/2023	\$3,840	23-6054-SHD	2707 NW Greenwood St	Nicholas McEachron	Nicholas McEachron
Single Family Detached	Shed	10/25/2023	\$1,600	23-6156-SHD	1206 NE Williamsburg Dr	Tuff Shed	Tuff Shed
Single Family Detached	Shed	10/25/2023	\$1,920	23-6320-SHD	905 NW 22nd St	Tuff Shed	Tuff Shed
Single Family Detached	Shed	10/30/2023	\$1,200	23-6291-SHD	701 W 1st St	Tuff Shed	Tuff Shed
Single Family Detached	Swimming Pool	10/9/2023	\$0	23-6020-POOL	3102 SW Applewood St	Adrianne Fischer	Adrianne Fischer
Single Family Detached	Swimming Pool	10/10/2023	\$0	23-5899-POOL	506 NE Georgetown Blvd	Juarez Excavating LLC	Juarez Excavating LLC
Single Family Detached	Swimming Pool	10/10/2023	\$0	23-6029-POOL	5230 NE Seneca Dr	Blue Iowa Pools	Blue Iowa Pools
Multi-Family	Swimming Pool	10/12/2023	\$0	23-1975-POOL	1365 NE 31st St	Juarez Excavating LLC	Juarez Excavating LLC
Single Family Detached	Spa/Hot Tub	10/24/2023	\$0	23-6175-SPA	5302 NW 10th St	James Cleghorn	Water World
Single Family Detached	Spa/Hot Tub	10/24/2023	\$0	23-6288-SPA	502 NE 42nd Ct	Michael Arndt	Michael Arndt
Single Family Detached	Deck	10/2/2023	\$2,940	23-5876-DECK	2315 SW Abilene Rd	Better Builders	Better Builders
Single Family Detached	Deck	10/5/2023	\$1,920	23-5663-DECK	410 NE Pinehurst Cir	Vishal Patel	Ankeny Deck Specialist
Single Family Detached	Deck	10/5/2023	\$1,920	23-5671-DECK	414 NE Pinehurst Cir	Vishal Patel	Ankeny Deck Specialist
Single Family Detached	Deck	10/5/2023	\$3,840	23-5908-DECK	2509 SW Ridgeway Ct	Campisi Aaron	Campisi Aaron
Single Family Detached	Deck	10/5/2023	\$3,072	23-5963-DECK	1910 NE Bel-Aire Dr	Renomads LLC	Renomads LLC
Single Family Detached	Deck	10/6/2023	\$1,320	23-5811-DECK	5118 NW 13th St	Salazar Builders	Salazar Builders
Single Family Detached	Deck	10/6/2023	\$3,360	23-5944-DECK	3102 SW Applewood St	Custom Decks LLC	Chad Rouse
Single Family Detached	Deck	10/6/2023	\$3,024	23-5976-DECK	2509 NW 40th St	Neutzling Marcio	Neutzling Marcio
Single Family Detached	Deck	10/11/2023	\$3,600	23-5531-DECK	3103 SW 24th Ct	Vishal Patel	Ankeny Deck Specialist
Single Family Detached	Deck	10/11/2023	\$6,048	23-6051-DECK	209 SE 2nd St	Chuck Whitney	Chuck Whitney
Single Family Detached	Deck	10/12/2023	\$2,208	23-6071-DECK	375 NE Pinehurst Cir	Deck & Drive Solutions	Deck & Drive Solutions
Single Family Detached	Deck	10/13/2023	\$1,200	23-6083-DECK	309 SW Logan St	Home Solutions of Iowa	Home Solutions of Iowa
Single Family Detached	Deck	10/18/2023	\$1,200	23-6153-DECK	4125 NE 6th St	Genesis Homes Inc	Genesis Homes Of Iowa LLC
Single Family Detached	Deck	10/19/2023	\$192	23-6205-DECK	4304 NW 13th St	Salazar Builders	Salazar Builders
Single Family Detached	Deck	10/20/2023	\$4,392	23-6097-DECK	412 NE Mission Ct	Better Builders	Better Builders

Single Family Detached	Deck	10/23/2023	\$6,180	23-6207-DECK	2906 SW Glenbrooke Blvd	Richard Shepherd	Richard Shepherd
Single Family Detached	Deck	10/24/2023	\$4,320	23-6227-DECK	502 NE 42nd Ct	Michael Arndt	Rod Freeman
Single Family Detached	Deck	10/24/2023	\$2,448	23-6297-DECK	505 NW School St	Mark Lyon	Rod Freeman
Single Family Detached	Deck	10/25/2023	\$3,456	23-5527-DECK	609 SE Lowell Dr	Vishal Patel	Ankeny Deck Specialist
Mobile Home	Deck	10/26/2023	\$2,232	23-6352-DECK	7368 NE Berwick Dr TRLR 66	Emily Head	Jaime Cortez
Mixed Use	Building Alteration	10/4/2023	\$200,000	23-4398-ALT	2505 SW White Birch Dr Ste G	Greiner Constrction	Greiner Constrction
Retail	Building Alteration	10/9/2023	\$75,000	23-5419-ALT	3606 NE Otterview Cir Unit 102	The Blend	The Blend
Restaurant	Building Alteration	10/10/2023	\$17,760	23-4719-ALT	1515 SW Main St Ste 105	DRA Properties	DRA Properties, LC
Retail	Building Alteration	10/10/2023	\$30,000	23-5845-ALT	1315 SW Oralabor Rd Ste 103	Michael J Crouse	Michael J Crouse
Office	Building Alteration	10/12/2023	\$165,000	23-5616-ALT	1465 SW Park Square Dr UT 207	DRA Properties	DRA Properties, LC
Other (Daycare)	Building Alteration	10/12/2023	\$7,000	23-5950-ALT	1620 SW White Birch Cir	Brendin Hinman	Brendin Hinman
Office	Building Alteration	10/17/2023	\$457,324	23-5677-ALT	1250 SW State St Ste A	Foreman Construction	Foreman Construction
Office	Building Alteration	10/20/2023	\$150,000	23-5974-ALT	1608 NW State St Unit 102	Mike Reed	Mike Reed
Single Family Detached	Fence/Wall	10/2/2023	\$0	23-5887-FNCE	810 NE Keystone Dr	Huber Fencing	Huber Fencing
Single Family Detached	Fence/Wall	10/3/2023	\$0	23-5900-FNCE	624 NE 56th St	Mario E Ramirez	Central Iowa Fencing
Single Family Detached	Fence/Wall	10/4/2023	\$0	23-5831-FNCE	704 NE Deerfield Dr	Raganini Emanuele	Bryce Kenworthy
Single Family Detached	Fence/Wall	10/4/2023	\$0	23-5894-FNCE	1303 NW Reinhart Dr	Ermin Begovic	Ermin Begovic
Single Family Detached	Fence/Wall	10/4/2023	\$0	23-5937-FNCE	1110 NW 3rd St	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	10/6/2023	\$0	23-5910-FNCE	1109 SW 50th St	Kent Card	Kent Card
Single Family Detached	Fence/Wall	10/9/2023	\$0	23-5988-FNCE	3236 SE 20th St	Hocker Ashley	Hocker Ashley
Single Family Detached	Fence/Wall	10/9/2023	\$0	23-6001-FNCE	4418 NW 13th St	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	10/9/2023	\$0	23-6017-FNCE	401 NE Country Meadow Dr	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	10/10/2023	\$0	23-5964-FNCE	3808 SE Grant St	Halcyon Fencing	Halcyon Fencing
Single Family Detached	Fence/Wall	10/10/2023	\$0	23-6028-FNCE	3516 NW 14th St	Adam C Graham	GQ Fence Specialists, LLC
Single Family Detached	Fence/Wall	10/10/2023	\$0	23-6042-FNCE	1229 NW Reinhart Dr	Mike Jovic Drazen	Mike Jovic Drazen
Single Family Detached	Fence/Wall	10/10/2023	\$0	23-6045-FNCE	5230 NE Seneca Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/10/2023	\$0	23-6047-FNCE	3203 NW 27th Cir	Huber Fencing	Huber Fencing
Single Family Detached	Fence/Wall	10/11/2023	\$0	23-6065-FNCE	2906 SW Pleasant St	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	10/11/2023	\$0	23-6068-FNCE	4112 NW 13th St	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	10/12/2023	\$0	23-6073-FNCE	623 NE Oak Ridge Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/12/2023	\$0	23-6077-FNCE	2819 NW 31st St	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	10/12/2023	\$0	23-6078-FNCE	3307 NW 27th St	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	10/16/2023	\$0	23-5846-FNCE	911 SW 47th Cir	Homan Sam	Homan Sam
Single Family Detached	Fence/Wall	10/16/2023	\$0	23-5919-FNCE	826 SE Sherman Dr	Rylux Fence Company	Rylux Fence Company
Single Family Detached	Fence/Wall	10/18/2023	\$0	23-6165-FNCE	1704 SW Walnut St	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/19/2023	\$0	23-6090-FNCE	308 NW Abilene Rd	Bos Fencing	Bos Fencing
Single Family Attached	Fence/Wall	10/19/2023	\$0	23-6180-FNCE	1413 NW 32nd St	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	10/23/2023	\$0	23-6206-FNCE	2906 SW Glenbrooke Blvd	Richard Shepherd	Richard Shepherd
Single Family Detached	Fence/Wall	10/25/2023	\$0	23-6294-FNCE	1302 NW 27th St	Thrive Fencing	Thrive Fencing
Single Family Detached	Fence/Wall	10/26/2023	\$0	23-5739-FNCE	1317 W 1st St	Great Barrier Fence Co	Great Barrier Fence Co
Single Family Detached	Fence/Wall	10/26/2023	\$0	23-5965-FNCE	6114 NE Grant Ct	Superior Fence and Rail	Superior Fence and Rail
Single Family Attached	Fence/Wall	10/26/2023	\$0	23-6339-FNCE	1306 NW 32nd St	Absolute Fence LLC	Absolute Fence LLC
Single Family Detached	Fence/Wall	10/26/2023	\$0	23-6366-FNCE	4724 NE Oak Dr	Des Moines Steel Fence Co	Des Moines Steel Fence Co
Single Family Detached	Fence/Wall	10/26/2023	\$0	23-6368-FNCE	412 NE Georgetown Blvd	Central Iowa Fencing	Central Iowa Fencing
Single Family Detached	Fence/Wall	10/26/2023	\$0	23-6369-FNCE	502 NE 43rd Ct	American Fence Company	American Fence Co
Single Family Detached	Fence/Wall	10/31/2023	\$0	23-6432-FNCE	1913 NW 31st St	Absolute Fence LLC	Absolute Fence LLC

Restaurant	Sign	10/2/2023	\$13,994	23-5848-SIGNP	1465 SW Park Square Dr UT 100	NAGLE/EAGLE SIGN CO	NAGLE/EAGLE SIGN CO
Restaurant	Sign	10/3/2023	\$95	23-5715-SIGNP	1806 SE Delaware Ave	Lakeco Enterprises, Inc.	Lakeco Enterprises, Inc.
Restaurant	Sign	10/3/2023	\$2,996	23-5781-SIGNP	1806 SE Delaware Ave	Lakeco Enterprises, Inc.	Lakeco Enterprises, Inc.
Restaurant	Sign	10/3/2023	\$95	23-5784-SIGNP	1806 SE Delaware Ave	Lakeco Enterprises, Inc.	Lakeco Enterprises, Inc.
Restaurant	Sign	10/3/2023	\$95	23-5785-SIGNP	1806 SE Delaware Ave	Lakeco Enterprises, Inc.	Lakeco Enterprises, Inc.
Restaurant	Sign	10/3/2023	\$95	23-5786-SIGNP	1806 SE Delaware Ave	Lakeco Enterprises, Inc.	Lakeco Enterprises, Inc.
Restaurant	Sign	10/3/2023	\$225	23-5788-SIGNP	1806 SE Delaware Ave	Lakeco Enterprises, Inc.	Lakeco Enterprises, Inc.
Restaurant	Sign	10/3/2023	\$225	23-5789-SIGNP	1806 SE Delaware Ave	Lakeco Enterprises, Inc.	Lakeco Enterprises, Inc.
Manufacturing	Sign	10/4/2023	\$3,000	23-5500-SIGNP	2130 SE Hulsizer Rd	Fastsigns of Clive	Fastsigns of Clive
Other	Sign	10/13/2023	\$3,455	23-5171-SIGNP	2405 N Ankeny Blvd STE 101	Parker Signs and Graphics, Inc	Parker Signs and Graphics, Inc
Retail	Sign	10/13/2023	\$3,000	23-5536-SIGNP	117 SE Lorenz Dr UNIT 106	Custom Sound and Image LLC	Kelderman Manufacturing
Retail	Sign	10/16/2023	\$500	23-5665-SIGNP	917 SW Ordinance Rd	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Retail	Sign	10/16/2023	\$340	23-5669-SIGNP	917 SW Ordinance Rd	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Office	Sign	10/20/2023	\$128	23-5962-SIGNP	1875 N Ankeny Blvd Ste 101	Lisa Hanrahan	Iowa Sign Company
Office	Sign	10/20/2023	\$718	23-5992-SIGNP	2701 SE Convenience Blvd Ste 4	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Retail	Sign	10/20/2023	\$921	23-6079-SIGNP	722 S Ankeny Blvd	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Restaurant	Sign	10/23/2023	\$8,189	23-5860-SIGNP	1450 SW Vintage Pkwy Ste 120	NAGLE/EAGLE SIGN CO	NAGLE/EAGLE SIGN CO
Office	Sign	10/23/2023	\$3,675	23-6134-SIGNP	1345 SW Park Square Dr STE 208	Lashier Graphics & Signs	Lashier Graphics & Signs
Restaurant	Sign	10/23/2023	\$23,832	23-6216-SIGNP	1450 SW Vintage Pkwy Ste 120	NAGLE/EAGLE SIGN CO	NAGLE/EAGLE SIGN CO
Restaurant	Sign	10/23/2023	\$7,004	23-6217-SIGNP	1450 SW Vintage Pkwy Ste 120	NAGLE/EAGLE SIGN CO	NAGLE/EAGLE SIGN CO
Retail	Sign	10/25/2023	\$25,000	23-4383-SIGNP	5075 SE Delaware Ave	Signs 'N More	Signs 'N More
Restaurant	Sign	10/25/2023	\$6,873	23-6117-SIGNP	1975 N Ankeny Blvd Ste 117	NAGLE/EAGLE SIGN CO	NAGLE/EAGLE SIGN CO
Storage	Sign	10/26/2023	\$3,500	23-5922-SIGNP	1503 S Ankeny Blvd	Randy Dickson	Signs-N-More
Storage	Sign	10/26/2023	\$350	23-5930-SIGNP	1503 S Ankeny Blvd	Randy Dickson	Signs-N-More
Storage	Sign	10/26/2023	\$350	23-5931-SIGNP	1503 S Ankeny Blvd	Randy Dickson	Signs-N-More
Storage	Sign	10/26/2023	\$3,500	23-5932-SIGNP	1503 S Ankeny Blvd	Randy Dickson	Signs-N-More
Storage	Sign	10/26/2023	\$300	23-5933-SIGNP	1503 S Ankeny Blvd	Randy Dickson	Signs-N-More
Storage	Sign	10/26/2023	\$450	23-5934-SIGNP	1503 S Ankeny Blvd	Randy Dickson	Signs-N-More
Storage	Sign	10/26/2023	\$3,500	23-5935-SIGNP	1503 S Ankeny Blvd	Randy Dickson	Signs-N-More
Storage	Sign	10/26/2023	\$2,500	23-6318-SIGNP	1505 S Ankeny Blvd	Randy Dickson	Signs-N-More
Restaurant	Sign	10/30/2023	\$8,000	23-5914-SIGNP	617 SW 3rd St UNIT 104	Archetype Signmakers	Archetype Signmakers
Other	Temporary Sign	10/4/2023	\$0	23-5903-SIGNT	1300 NW 36th St STE 103	Kirk D Jordison	Kirk D Jordison
Retail	Temporary Sign	10/13/2023	\$0	23-5948-SIGNT	833 E 1st St Ste 101	Lacie Navin	Lacie Navin
Mixed Use	Temporary Sign	10/20/2023	\$0	23-6202-SIGNT	1802 SE Delaware Ave Ste 107	Sharon Yin	Sharon Yin
Other	Temporary Sign	10/24/2023	\$0	23-6121-SIGNT	1517 S Ankeny Blvd	Tim Bormann	Tim Bormann
Restaurant	Temporary Sign	10/25/2023	\$0	23-6118-SIGNT	1975 N Ankeny Blvd Ste 117	NAGLE/EAGLE SIGN CO	NAGLE/EAGLE SIGN CO
Restaurant	Temporary Sign	10/31/2023	\$0	23-6410-SIGNT	1465 SW Park Square Dr Ut 100	NAGLE/EAGLE SIGN CO	NAGLE/EAGLE SIGN CO
Single Family Detached	Drive Approach	10/2/2023	\$0	23-5872-RSTRM	826 SE Cortina Dr	HS Concrete Inc	HS Concrete Inc
Single Family Detached	Drive Approach	10/2/2023	\$0	23-5875-RSTRM	3001 NW 5th St	Concrete PRF LLC	Concrete PRF LLC
Single Family Detached	Drive Approach	10/13/2023	\$0	23-6080-RSTRM	2707 NW Cedarwood St	Caliber Homes	Caliber Homes
Single Family Attached	Drive Approach	10/16/2023	\$0	23-6119-RSTRM	501 SW State St	Saul Ramirez	Saul Ramirez
Single Family Detached	Drive Approach	10/23/2023	\$0	23-6126-RSTRM	834 SE Michael Dr	I-80 Concrete	I-80 Concrete
Single Family Detached	Drive Approach	10/26/2023	\$0	23-6363-RSTRM	2104 SW Westwinds Dr	J&K Contracting	J&K Contracting
Single Family Detached	Sidewalk	10/5/2023	\$0	23-5975-RSWRP	425 SE Orchid St	Alexis Becerril	Alexis Becerril