

Meeting Agenda

Plan and Zoning Commission

Tuesday, November 21, 2023 6:30 PM Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Ted Rapp, Chair

Glenn Hunter, Vice Chair

Trina Flack Randall Weisheit

Lisa West

Annette Renaud Todd Ripper

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER:

- A. <u>ROLL CALL:</u>
- B. AMENDMENTS TO AGENDA:

Consider MOTION to approve and accept the November 21, 2023 agenda with/without amendments.

- C. <u>COMMUNICATIONS:</u>
- D. <u>CITIZEN'S REQUEST:</u>

E. <u>CONSENT AGENDA ITEMS:</u>

1. Minutes

Consider MOTION to approve and accept the November 7, 2023 minutes of the Plan and Zoning Commission meeting.

2. Deer Creek South Plat 3 Final Plat

Consider MOTION to recommend City Council approval of the Deer Creek Plat 3 Final Plat.

3. Ankeny Fire Station No. 4 Final Plat

Consider MOTION to recommend City Council approval of the Ankeny Fire Station No. 4 Final Plat.

4. 2320 NW Weigel Drive - Ankeny Fire Station No. 4 Site Plan

Consider MOTION to approve the site plan for 2320 NW Weigel Drive, Ankeny Fire Station No. 4, subject to approval of the associated final plat.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #4.

F. <u>REMOVED CONSENT AGENDA ITEMS:</u>

- G. <u>PUBLIC HEARINGS:</u>
- H. BUSINESS ITEMS:
- I. OLD BUSINESS:
- J. <u>REPORTS:</u>
 - 1. November 20, 2023 City Council Report Staff
 - 2. Director's Report
 - Tentative agenda items for December 5, 2023
 - 3. Commissioner's Reports

K. MISCELLANEOUS ITEMS:

December 4, 2023 - 5:30 p.m. City Council Representative: Staff

L. ADJOURNMENT:

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION November 21, 2023 6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL: Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: No

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to approve and accept the November 7, 2023 minutes of the Plan and Zoning Commission meeting.

ADDITIONAL INFORMATION:

ATTACHMENTS:

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Meeting Minutes

Plan & Zoning Commission Meeting

Tuesday, November 7, 2023

Ankeny City Council Chambers, Second Floor 1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER

Chair Ted Rapp called the November 7, 2023 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL

Members present: Ted Rapp, Trina Flack, Glenn Hunter, Annette Renaud, and Todd Ripper. Absent: Lisa West and Randy Weisheit. Staff present: E.Jensen, E.Carstens, J.Heil, B.Morrissey, R.Kirschman and B.Fuglsang.

AMENDMENTS TO THE AGENDA

Motion by T.Flack to approve and accept the November 7, 2023 agenda without amendments. Second by G.Hunter. All voted aye. Motion carried 5 - 0.

COMMUNICATIONS

There were no communications.

CITIZEN'S REQUEST

There were no requests.

CONSENT AGENDA ITEMS

Item #1. Minutes

Motion to approve and accept the October 3, 2023 minutes of the Plan and Zoning Commission meeting. **Items #2. 710 SW 3rd Street – Trailside Tap Building Addition Site Plan** Motion to approve the site plan for 710 SW 3rd Street, Trailside Tap Building Addition. **Items #3. 2806 SE Peachtree Drive - Des Moines Mobile Wash Addition Site Plan** Motion to approve the site plan for 2806 SE Peachtree Drive, Des Moines Mobile Wash Addition.

Referencing Item #2, G.Hunter asked the applicant if there was a better elevation for the addition. Brent Culp, Snyder & Associates responded, not at this time. A.Renaud asked what the two-story portion of the building would be used for. E.Carstens explained the staff's understanding of the project, and shared that there would be a second story patio. T.Rapp said he would like to see a better elevation of the addition. Brent Culp responded that he would get one and provide it to staff.

Motion by T.Flack to approve the recommendations for Consent Agenda Item #1 - #3. Second by T.Ripper. All voted aye. Motion carried 5 - 0.

PUBLIC HEARINGS

There were no public hearings.

BUSINESS ITEMS

There were no business items.

REPORTS

City Council Meeting E.Jensen reported on the November 6, 2023 City Council meeting and the CIP work session.

Director's Report

E.Jensen presented the tentative agenda items for the November 21, 2023 Plan and Zoning Commission meeting and the October 2023 Building Permit Report.

Commissioner's Reports

T.Flack asked about the difference in speed limits for two school traffic signals, one on NW Irvinedale, 25 mph and the other on NW Weigel, 15 mph. E.Jensen responded that he believes it has to do with street classifications, but will check with the city's Public Works Department.

T.Ripper thanked Eric Jensen for attending the City Council meetings on behalf of the Commission as the information he brings to the Commission is very informative.

T.Rapp asked about a retreat for the Commission. E.Jensen shared that staff is looking at holding one this winter since projects have slowed down.

MISCELLANEOUS ITEMS

November 20, 2023 - 5:30 p.m. City Council Meeting Representative: Staff

ADJOURNMENT

There being no further business, T.Rapp motioned to adjourn. Meeting adjourned at 6:39 p.m.

Brenda Jugsang

Submitted by Brenda Fuglsang, Secretary Plan & Zoning Commission



PLAN AND ZONING COMMISSION November 21, 2023 6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL: Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Deer Creek South Plat 3 Final Plat

EXECUTIVE SUMMARY:

Staff Report attached

FISCAL IMPACT: No

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to recommend City Council approval of the Deer Creek Plat 3 Final Plat.

ADDITIONAL INFORMATION:

ATTACHMENTS:

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D	Aerial Map
D	<u>Staff Report</u>
D	Applicant Letter
۵	Final Plat



1 inch = 450 feet Date: 11/13/2023

Deer Creek South Plat 3 - Final Plat





Plan and Zoning Commission Staff Report

Meeting Date: November 21st, 2023

Agenda Item: Deer Creek South Plat 3 - Final PlatReport Date: November 16, 2023Prepared By: Bryan Morrissey
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of the Deer Creek South Plat 3 Final Plat.

Project Summary:

Deer Creek South Plat 3 is an approximate 13.73 acre (+/-) final plat located north of East 1st Street, east of NE Four Mile Drive, and south of NE 8th Street within the Deer Creek Planned Unit Development. The proposed final plat creates two outlots and one street lot that will be dedicated to the City of Ankeny for right-of-way purposes. Outlot 'Y' will be utilized for stormwater management while Outlot 'Z' is slated for future development. A future final plat will be needed prior to development occurring on Outlot 'Z'. The primary purpose of the subject final plat is to extend NE 6th Street from NE Meadow Landing Drive to NE Four Mile Drive.

Project Report:

Streets:	The proposed plat includes the extension of NE 6 th Street from NE Meadow Landing Drive to NE Four Mile Drive.
Water:	The proposed plat includes the extension of an eight-inch water main adjacent to NE 6^{th} Street.
Sewer:	The installation of sewer mains is not proposed with this phase of the development.
Drainage:	Two stormwater management areas are proposed near the northwest and southeast corners of the development. The subject final plat lies within the Middle Fourmile Creek Subwatershed.
Parkland:	Parkland dedication is not required at this time.

CITY OF ANKENY SUBDIVISION DATA

NAME OF PLAT:	Deer Creek South Plat 3
NAME OF OWNER:	Deer Creek Estates, LLC
NAME OF DEVELOPER:	Deer Creek Estates, LLC

GENERAL INFORMATION:

PLAT LOCATION:	South of NE 8 th Street, east of NE Four Mile Drive
SIZE OF PLAT:	13.73 acres
ZONING:	Deer Creek PUD

LOTS:

NUMBER:	Two Outlots
SIZE/DENSITY:	Outlot 'Y': 1.64 acres, Outlot 'Z': 10.98 acres
USE:	N/A
BUILDING LINES:	Front 25', Rear 30'

PARK SITE DEDICATION:

Park site dedication is not required at this time for this development.

ADJACENT LANDS:

NORTH:	PUD, Deer Creek Planned Unit Development
SOUTH:	PUD, Deer Creek Planned Unit Development
EAST:	PUD, Deer Creek Planned Unit Development
WEST:	PUD, Deer Creek Planned Unit Development

WASTE WATER:

PROJECTED FLOWS: 13.73 acres of developable land X 1,800 gal. per day/acre of developable land= 24,714 GPD Est. TREATMENT PLANT CAPACITY (Four Mile): Design: 47 MGD; current daily avg. 18 MGD

STORM WATER:

BASIN FLOWS: This plat lies in the Middle Four Mile Creek Basin.

WATER SYSTEM:

PROJECTED USAGE: 13.73 acres of developable land X 1,800 gal. per day/acre of developable land= 24,714 GPD Est. SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD.

FINAL PLAT DRAWING: Staff recommends approval.

CONSTRUCTION PLANS: To be approved by staff.



November 10, 2023

Honorable Mayor, City Council, & Plan and Zoning Commission Members c/o Bryan Morrissey City of Ankeny 1210 NW Prairie Ridge Drive Ankeny, Iowa 50023

RE: Deer Creek South Plat 3 Final Plat and Construction Plan Submittal

Dear Plan and Zoning Commission Members, City Council Members, and Honorable Mayor;

On behalf of Deer Creek Ankeny, Inc., we are pleased to submit herewith a final plat and construction plans for Deer Creek South Plat 3 located within the Deer Creek PUD east of NE Four Mile Drive, north of E 1st Street. The plat contains approximately 13.7 acres.

Deer Creek South Plat 3 includes 2 outlots and 1 street lot, which is consistent with the Deer Creek PUD. Outlot Z is reserved for future development. Outlot Y contains the detention basin that was constructed with The Crossings at Deer Creek Plat 1. NE 6th Street will be extended from NE Meadow Landing Drive to NE Four Mile Drive.

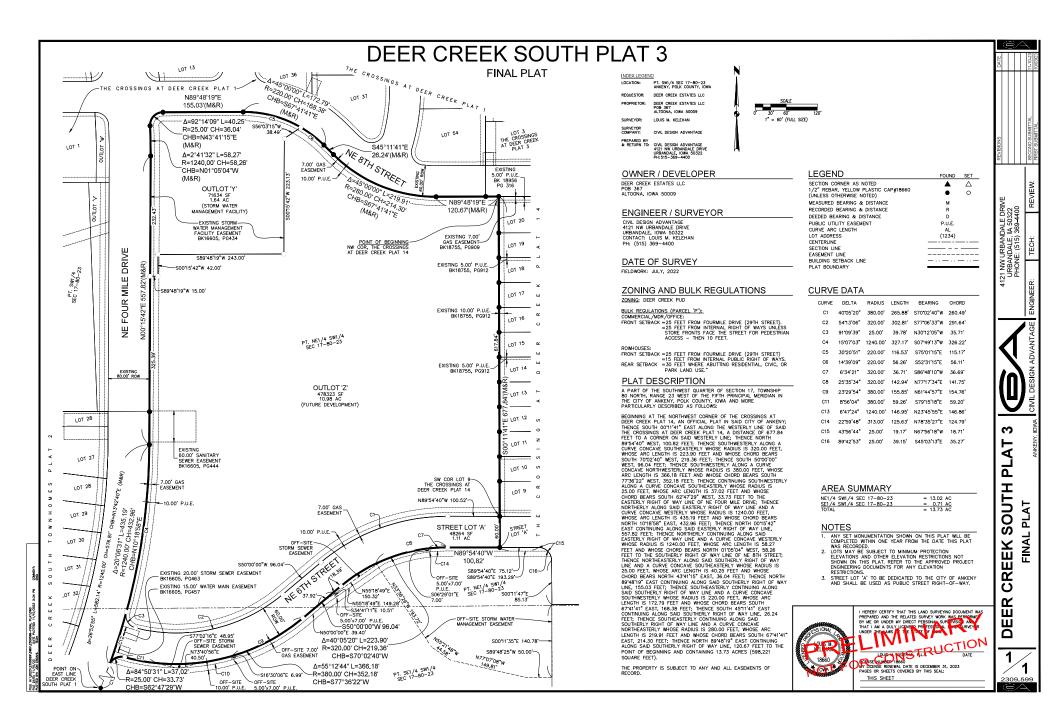
We are requesting that preliminary approval of the final plat be granted by City Council at the next available regular City Council meeting.

Sincerely, CIVIL DESIGN ADVANTAGE, LLC

Emily Harding

Emily Harding, Project Manager

cc: Jeff Grubb, Deer Creek Ankeny, Inc.





PLAN AND ZONING COMMISSION November 21, 2023 6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL: Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Ankeny Fire Station No. 4 Final Plat

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: No

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

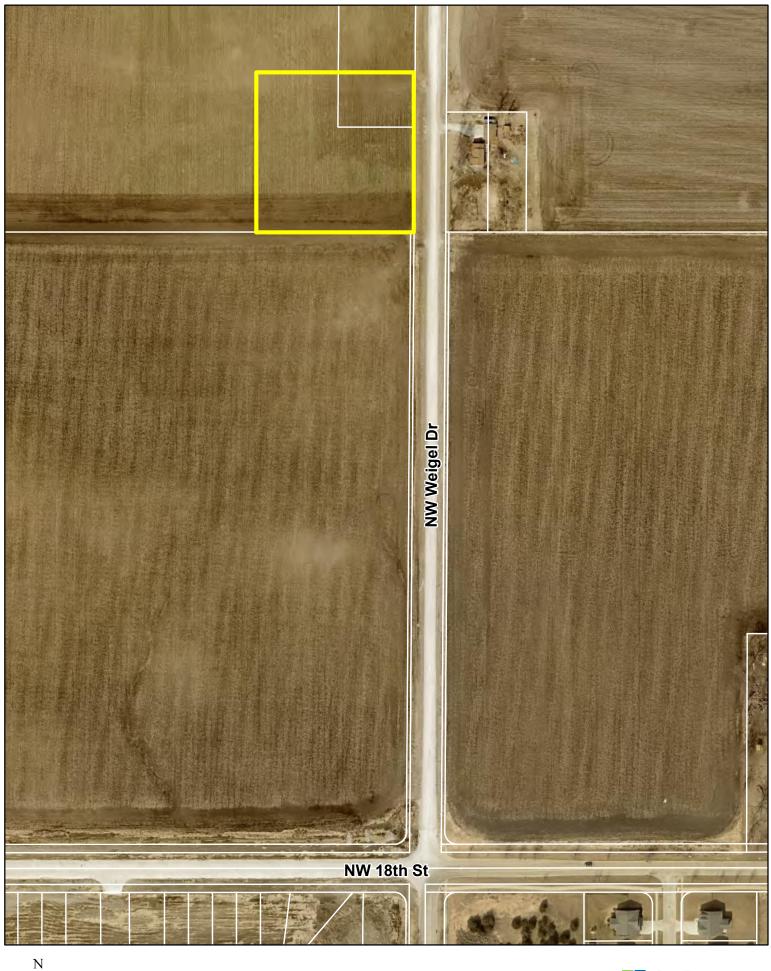
ACTION REQUESTED:

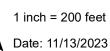
Action: Consider MOTION to recommend City Council approval of the Ankeny Fire Station No. 4 Final Plat.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click	to download
D A	verial Map
D <u>S</u> t	taff Report
ΔA	pplicant Letter
D Fi	inal Plat





2320 NW Weigel Drive Ankeny Fire Station No. 4





City Council Staff Report

Meeting Date: November 21, 2023

Agenda Item:Ankeny Fire Station No. 4 Final PlatReport Date:November 15, 2023Prepared By:Laura HutzellAssociate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of the Ankeny Fire Station No. 4 Final Plat.

Project Summary:

Ankeny Fire Station No. 4 Final Plat is a proposed 2.50-acre (+/-) plat that creates one platted lot. The property is located north of NW 18th Street and west of NW Weigel Drive and is the future location of the newest Ankeny Fire Station. The zoning for this property is R-1, One-Family Residence District.

Project Report:

- Streets: The proposed development will be accessed off of NW Weigel Drive via two paved drives, one on the north side of the site, and one to the south. The proposed plat also requires 8-foot sidewalks on the west side of NW Weigel Drive.
 Water: The development will be serviced by connecting to the existing 16-inch water main that runs along the east side of NW Weigel Drive.
 Sewer: Sanitary service will be provided by connecting to the sanitary main that runs along the south end of the development.
 Drainage: The plat area provides a stormwater detention area in the southwest, which collects via a storm sewer drain heading west and then northeast before ultimately conveying stormwater into Rock Creek.
- Parkland: Parkland dedication is not required.

CITY OF ANKENY SUBDIVISION DÁTA

NAME OF PLAT:Ankeny Fire Station No. 4 Final PlatNAME OF OWNER/ DEVELOPER:City of Ankeny

GENERAL INFORMATION:

PLAT LOCATION:	North of NW 18 th Street; west of NW Weigel Drive
SIZE OF PLAT:	2.50 acres
ZONING:	R-1, One-Family Residence District

LOTS:

NUMBER: SIZE/DENSITY: USE: BUILDING LINES: 1 Lot 2.50 AC; Future Fire Station No. 4 **Residential (Lot 1)** Front: 35' Side: 8'/18' Rear: 35' Lot Width: 85' Min Lot Area: 10,200 SF Min

PARK SITE DEDICATION: None required.

ADJACENT LANDS:

NORTH:	Undeveloped R-1, One-Family Residence District
SOUTH:	R-3, Multiple Family Residence District
EAST:	R-1, One-Family Residence District
WEST:	Undeveloped R-1, One-Family Residence District

STREET DEVELOPMENT:

No new street development associated with this plat.

WASTE WATER:

PROJECTED FLOWS: 2.5 acres X 3,000 gpd/single family = 7,500 GDP

WRA CAPACITY: 11.2 MGD; current daily avg. 4.4 MGD

NEAREST DOWNSTREAM INTERCEPTOR/TRUNK LINE: Rock Creek Interceptor

STORM WATER:

BASIN FLOWS: This plat lies in the Rock Creek Drainage Area

WATER SYSTEM:

USAGE: 2.5 acres X 3,000 gpd/person = 7,500 GPD

SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD

FINAL PLAT DRAWING:

Staff recommends approval.

CONSTRUCTION PLANS:

No public infrastructure is required for the development of this plat; therefore, no construction plans were needed.



November 10, 2023

Planning and Zoning Commission & City Council City of Ankeny 1210 NW Prairie Ridge Drive Ankeny, Iowa 50021

RE: ANKENY FIRE STATION NO. 4 FINAL PLAT RESUBMITTAL S&A PROJECT NO. 123.0358.01

Dear Honorable Mayor, City Council Members, & Planning and Zoning Commission:

On behalf of the City of Ankeny, please find accompanying the revised Final Plat and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications. We respectfully request the City's review and approval of the documents. The development is proposed for single lot consisting of 2.50 Acres which will be the future home of Ankeny Fire Station No. 4. Upon approval, construction is proposed to begin in the Spring of 2025.

Please find accompanying the following items:

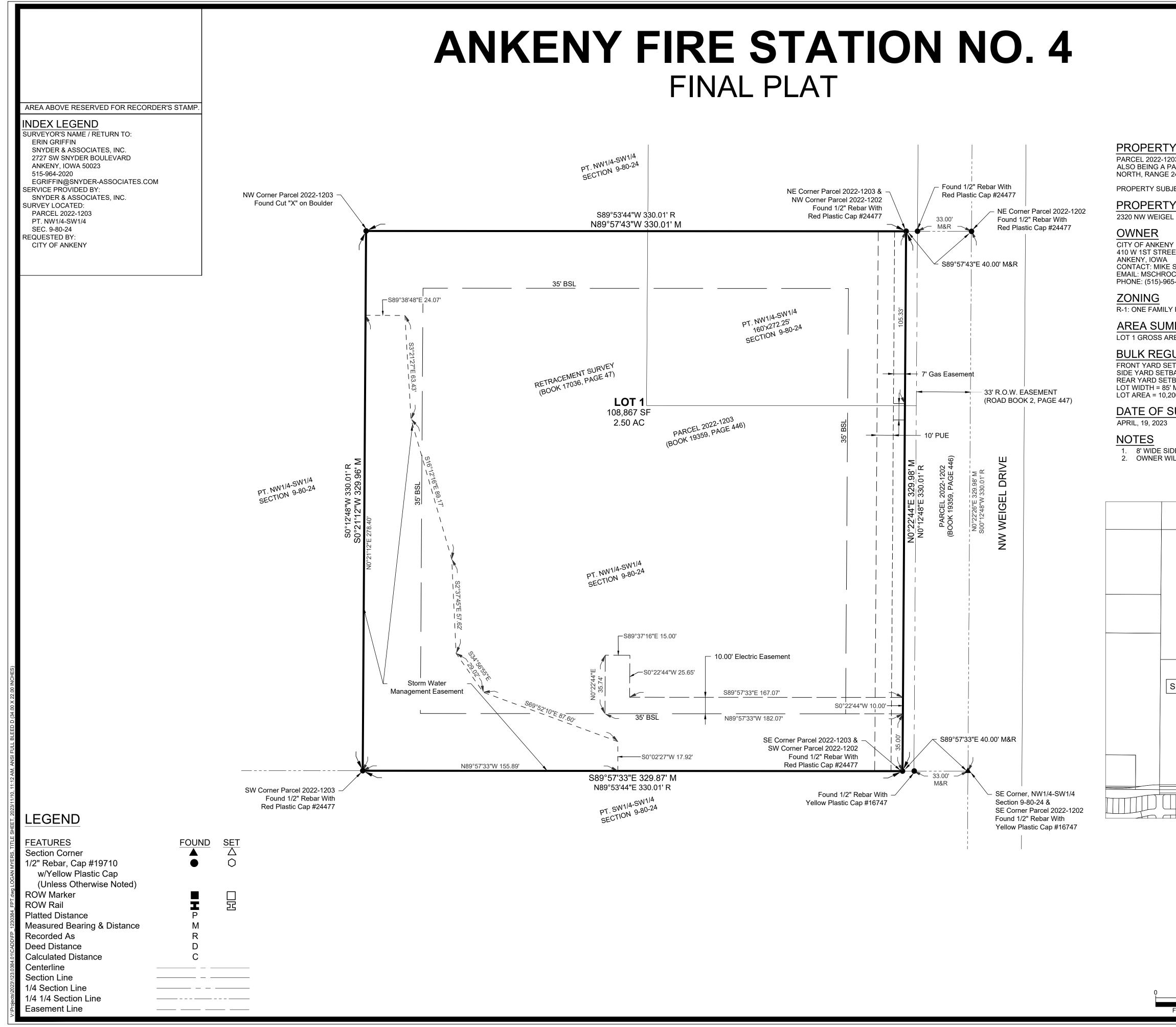
- 4 copies of the Final Plat,
- 4 copies of the Site Plan,
- 4 copies of the colored building elevations,
- 2 copies of the response letter

Please feel free to contact me at your convenience should you have any questions or comments. Thanks.

Sincerely, SNYDER AND ASSOCIATES, INC.

Eric D. Cannon, P.E.

Cc: Mike Schrock, City of Ankeny Robert Ornsby, SVPA File



UNVEY	*S S*S S*S		SNYDER & ASSOCIATES, INC.
T CHROCK K@ANKENYIOWA.GOV 6420 RESIDENCE DISTRICT <u>MARY</u> FA: 2.50 ACRES (108,867 SF) JLATIONS BACK = 35' MIN. ACK = 35' MIN. ACK = 35' MIN. NN.		ANKENY, IOWA	2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-964-2020 www.snyder-associates.com
DESCRIPTION 3 AS FILED IN BOOK 19359, PAGE 446 OF THE POLK COUNTY RECORDER'S OFFICE RT OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 80 4 WEST OF THE 5TH P.M., CITY OF ANKENY, POLK COUNTY, IOWA. ECT TO ANY AND ALL EASEMENTS OF RECORD. ADDRESS DRIVE	AS PER CITY COMMENTS	Chec	n: AJD Date: 10-12-2023 0: 123.0384.01
	11-10-23 I.IM	DATE DATE Scale: 1" = 30'	T-R-S: 80N-24W-9 Sheet 1 of 1



PLAN AND ZONING COMMISSION November 21, 2023 6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL: Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

2320 NW Weigel Drive - Ankeny Fire Station No. 4 Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: No

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

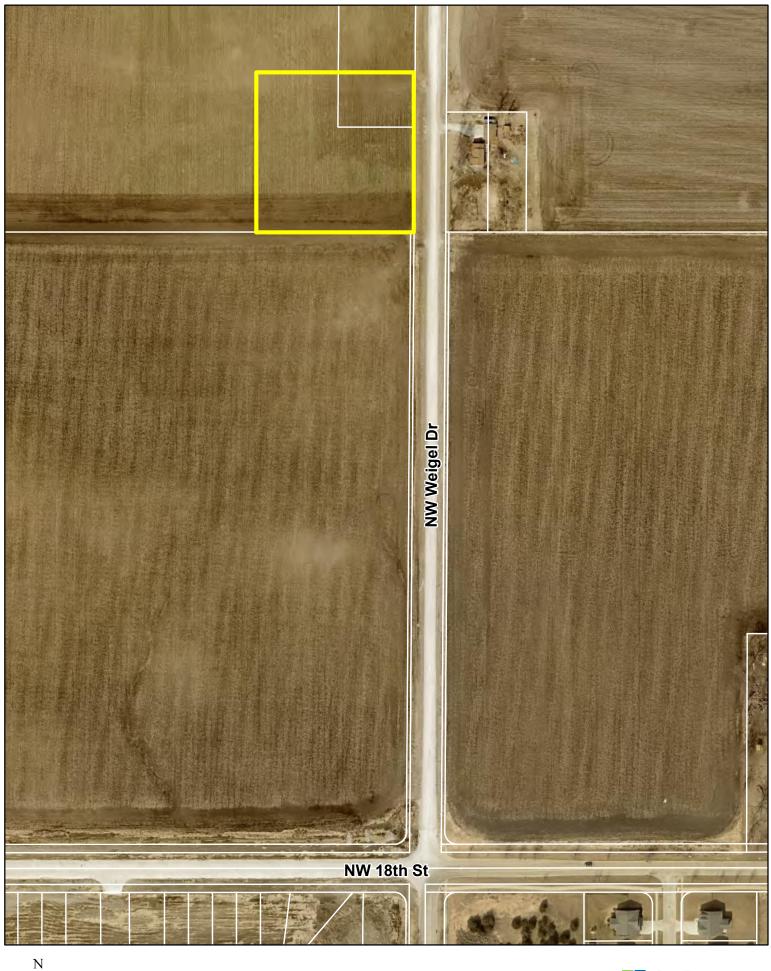
ACTION REQUESTED:

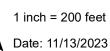
Action: Consider MOTION to approve the site plan for 2320 NW Weigel Drive, Ankeny Fire Station No. 4, subject to approval of the associated final plat.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
• Aerial Map	
SP Staff Report - Signed	
<u>Applicant Letter</u>	
C <u>Site Plan</u>	
D <u>Building Elevations</u>	
D <u>Trash Elevations</u>	





2320 NW Weigel Drive Ankeny Fire Station No. 4





Plan and Zoning Commission Staff Report

Meeting Date: November 21, 2023

Agenda Item:2320 NW Weigel Drive – Fire Station No. 4 Site PlanReport Date:November 16, 2023Prepared by:Laura HutzellAssociate Planner

Staff Recommendation:

That the Plan and Zoning Commission approve the site plan for 2320 NW Weigel Drive, Ankeny Fire Station No. 4, subject to City Council approval of the associated Final Plat.

Project Summary:

The City of Ankeny is proposing a fourth fire station at 2320 NW Weigel Drive, located north of NW 18th Street and west of NW Weigel Drive. The subject property is zoned R-1, One-Family Residence District. The building is proposed to be roughly 12,855 square feet in size. The site includes pedestrian and vehicular circulation via paved drives and sidewalks, 20 parking spaces, a proposed stormwater management area, trash enclosure and plantings. The site plan also includes the potential for two, 15,000-gallon underground storage fuel tanks for onsite fueling at this location. It is anticipated the City will approve the final plat for Ankeny Fire Station No. 4, on December 4, 2023, creating Lot 1, which is roughly 2.50 acres for this site plan.

The exterior of the primary structure on the site is proposed to be constructed primarily of brick and metal panels. A base of permanent materials is proposed around the entire perimeter of the building, while the minimum primary material requirements have been satisfied for each wall on the elevations. In addition to the primary building, the site plan shows a trash enclosure located on the southwest side of the building, which is comprised of brick and composite wood paneling.

The site plan shows two access points (north and south) leading to the proposed development, both of which stem from NW Weigel Drive. Parking stalls are situated west and east of the proposed building, with 20 stalls provided. Pedestrian access is provided via a proposed 8ft side walk on the west side of NW Weigel Drive.

The landscaping requirements of the Code have been satisfied. In addition to fulfilling the requirements for open space and pavement shading landscaping, additional screening is provided along the perimeter of the south, west and north sides of the site. For utilities on the site, the development will be serviced by connecting to the existing 16-inch water main that runs along the east side of NW Weigel Drive, an 8-inch service line will then be extended throughout the development. Sanitary service will be provided by connecting to the sanitary main that runs along the south end of the development. Stormwater on the site will be detained via a detention pond on the southwest side of the development.

Site Plan Worksheet 2320 NW Weigel Drive – Ankeny Fire Station No. 4 Site Plan

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.

The proposed building is situated near the center of Lot 1 of Ankeny Fire Station No. 4, Final Plat with the primary building façade facing east towards NW Weigel Drive. The alignment of the south drive was dictated by the design of the fire station building in an effort to align the fire apparatus directly with the street for ease of movement to and from the site. The proposed building and site plan are consistent with the three, existing fire stations in town. Parking areas are located on the east and west sides of the site.

2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.

The surrounding NE Weigel corridor is largely undeveloped, with residential further north and south of the site. The site plan generally complies with the landscaping and parking requirements of the code.

3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.

The site provides for adequate parking and circulation in the area. The applicant is providing an 8foot sidewalk on the west side of NE Weigel Drive, and sidewalk connecting the front and side doors. 20 parking spaces are being provided with the proposed development, which meets the required code. A majority of the parking is effectively screened by the building itself. Landscape around the perimeter of the site has also been provided for screening.

4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.

The access points onto NW Weigel Drive have been reviewed and not been found to increase congestion or decrease safety. Circulation is contained on site.

5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.

The parking spaces located west of the building are effectively screened from NW Weigel Drive by the building itself. The applicant has also provided the required quantity of trees to comply with the pavement shading and open space requirements. 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.

The trash enclosure is located on the southwest corner of the building/site. The trash enclosure will be constructed with concrete block and faced in brick to match the building. The gates will be made of composite wood paneling.

7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.

All services to the building will be underground.

8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.

Lighting on the site will be directed away from adjoining properties and downward.

9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.

Storm drainage and erosion control has been reviewed and approved the City's Engineering and Municipal Utilities Departments. Stormwater will be directed to a basin located on the southwest portion of the site.

10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.

The development will be serviced by connecting to the existing 16-inch main along the east side of NW Weigel. Sanitary service will be provided by connecting to the sanitary main that runs along the south end of the development.

11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.

The proposed plans meet the open space requirements of the Code with the majority of the open space being provided on the west and south side of the proposed building.

12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.

The proposed landscaping conforms and generally meets the requirements of the code.

B. Building Design

1. Buildings shall have good scale and maintain or enhance the established scale of neighboring buildings and sites.

The proposed building is one-story and will be roughly 12,855 square feet in size. The scale of the proposed building is consistent with the established scale of others in the area, and is consistent with the three existing fire stations in Ankeny.

2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.

The proposed building will be constructed with a combination of brick and composite metal panels with a base of split face CMU with cast stone header. Colored elevations have been included. Staff finds that the proposed building materials are consistent with the proposed use and with the other fire stations in Ankeny.

3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.

The trash enclosure is located on the southwest side of the building. The trash enclosure will be constructed with concrete block and faced in brick to match the building, with wood paneling gates. The transformer and the generator, also located on the southwest side of the building, have been screened by the building itself and by landscape plantings.

4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.

There is only one building being proposed on the site.

C. Signs

Final design and allowances of signage will be determined with future sign permits.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

1. Conformance to Design Standards and other applicable code requirements

The plans submitted generally conform to the written regulations of the City.

2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.

The site layout is compatible with setbacks and other sites in the neighboring area.

3. Layout and utilization of building, parking, drive-ways, and open spaces.

The layout and circulation system for traffic on the site is appropriate and comparable to similar commercial development along NW State Street and NW 36th Street.

4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.

The proposed 12,855 square-foot building is comparable in scale and style to the three existing Ankeny fire stations. The building will be constructed primarily of brick.

5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.

It appears that the impact on these utility systems can be accommodated adequately.



November 10, 2023

Planning and Zoning Commission & City Council City of Ankeny 1210 NW Prairie Ridge Drive Ankeny, Iowa 50021

RE: ANKENY FIRE STATION NO. 4 FINAL PLAT & SITE PLAN RESUBMITTAL S&A PROJECT NO. 123.0358.01

Dear Honorable Mayor, City Council Members, & Planning and Zoning Commission:

On behalf of the City of Ankeny, please find accompanying the revised Final Plat and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications. We respectfully request the City's review and approval of the documents. The development is proposed for single lot for the fourth fire station. Upon approval, construction is proposed to begin in the Spring of 2025.

Please find accompanying the following items:

- 4 copies of the Final Plat,
- 4 copies of the Site Plan,
- 4 copies of the colored building elevations,
- 2 copies of the response letter

Please feel free to contact me at your convenience should you have any questions or comments. Thanks.

Sincerely, SNYDER AND ASSOCIATES, INC.

Eric D. Cannon, P.E.

Cc: Mike Schrock, City of Ankeny Robert Ornsby, SVPA File

> 2727 SW SNYDER BOULEVARD | P.O. BOX 1159 | ANKENY, IA 50023-0974 P: 515-964-2020 | F: 515-964-7938 | SNYDER-ASSOCIATES.COM

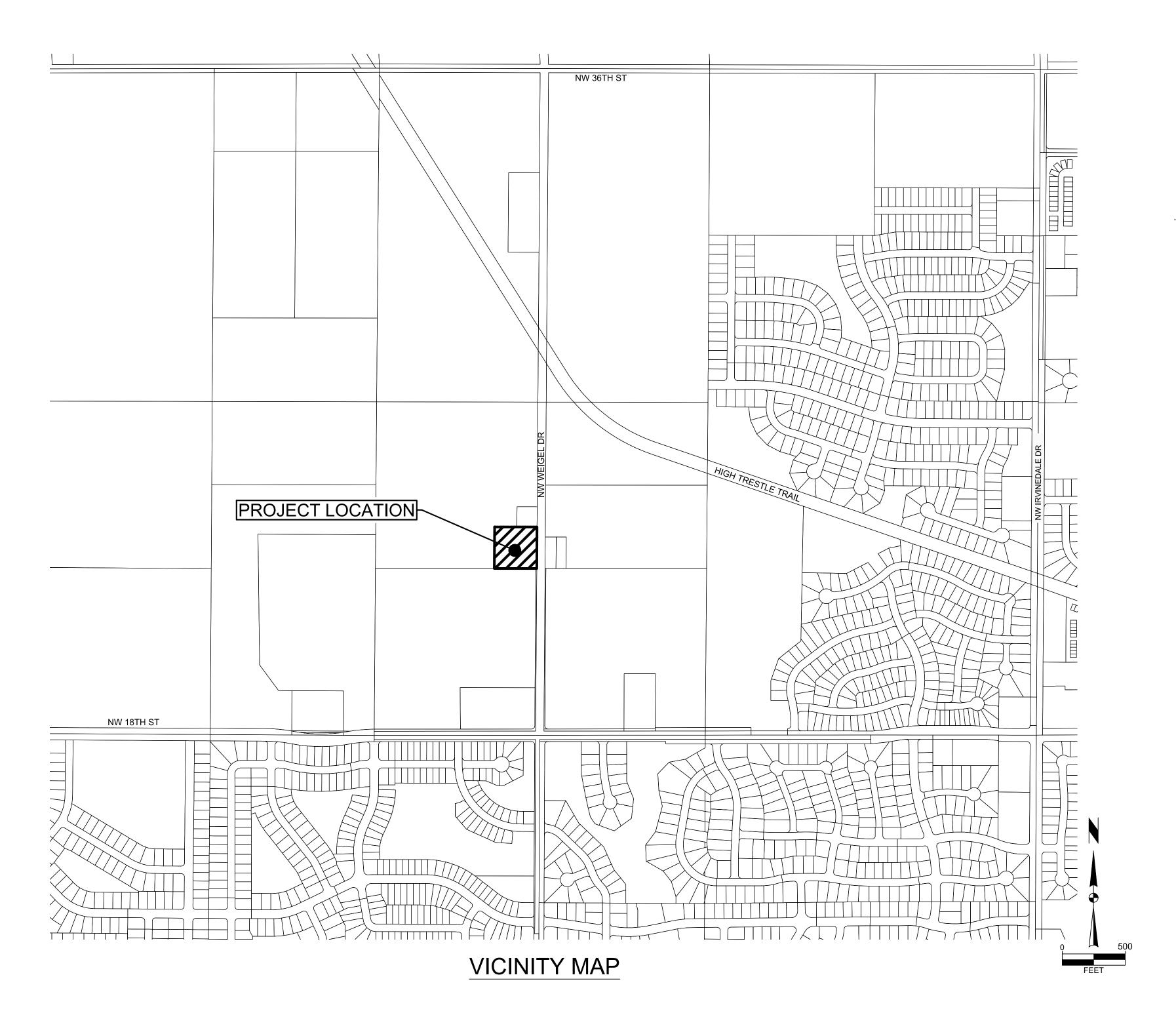
SITE PLANS FOR ANKENY FIRE STATION NO 4 CITY OF ANKENY, POLK COUNTY, IOWA

OWNER/DEVELOPER

CITY OF ANKENY 410 W 1ST STREET ANKENY, IOWA CONTACT: MIKE SCHROCK EMAIL: MSCHROCK@ANKENYIOWA.GOV PHONE: (515) 965-6420

ENGINEER

SNYDER & ASSOCIATES, INC. 2727 SW SNYDER BOULEVARD ANKENY, IOWA 50023 CONTACT: ERIC CANNON, PE PHONE: (515)964-2020



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CLAY R. CLAY R. CLA	I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa. Clay R. Schneckloth, PLA Date License Number 512 Pages or sheets covered by this seal: C500
PROFESSIONAL ERIC D. CANNON P18954	I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa. Eric D. Cannon, P.E. Date License Number P18954 My License Renewal Date is December 31, 2023 Pages or sheets covered by this seal: C100-C400



LEGEND

 $\frac{SET}{\Delta}$ FEATURES FOUND Section Corner 0 1/2" Rebar, Cap # 11579 (Unless Otherwise Noted) ROW Marker ROW Rail Control Point Bench Mark Platted Distance Measured Bearing & Distance Recorded As Deed Distance Calculated Distance Minimum Protection Elevation MPE Centerline _____ Section Line _____ 1/4 Section Line 1/4 1/4 Section Line _____ Easement Line _____ FEATURES EXISTING PROPOSED X 1225.25 Spot Elevation X 1225.25 Contour Elevation Fence (Barbed, Field, Hog) _____X ____ _____//_____ _____//_____ Fence (Chain Link) _____ _____0_____ Fence (Wood) Fence (Silt) uuu Tree Line A Tree Stump $(\cdot, \cdot) \odot \odot \odot$ \odot Deciduous Tree \\ Shrub + + + (+)<u>{`</u>} Coniferous Tree \\ Shrub - C(*) -----Communication _____ C _____ Overhead Communication ____OC(*) ____ _____OC_____ Fiber Optic — FO(*) — — _____ F0_____ Underground Electric — F(*) — — ——— F ——— —— OE(*) —— —— **Overhead Electric** _____ OF_____ _____G(*)_____ Gas Main with Size _____ G _____ High Pressure Gas Main with Size — HPG(*) — — ———— HPG ———— — W(*)— — _____ W _____ Water Main with Size _____S(*) _____ _____s ____ Sanitary Sewer with Size — DUCT(*) — — _____ DUCT _____ Duct Bank Test Hole Location for SUE w/ID (*) Denotes the survey quality service level for utilities Ø Ø Sanitary Manhole — ST(*) — Storm Sewer with Size _____ST____ Storm Manhole Single Storm Sewer Intake Double Storm Sewer Intake Fire Hydrant Fire Hydrant on Building ž Water Main Valve Water Service Valve Well Utility Pole \Rightarrow Guy Anchor Utility Pole with Light 0-9 $\cap - \circ -$ Utility Pole with Transformer Street Light П-œ́ Π-α-Yard Light Electric Box Electric Transformer Traffic Sign Communication Pedestal **Communication Manhole** Communication Handhole Fiber Optic Manhole Fiber Optic Handhole (FO) Gas Valve Gas Manhole Gas Apparatus Fence Post or Guard Post Underground Storage Tank (UST) Above Ground Storage Tank (AST) Satellite Dish Mailbox Sprinkler Head Irrigation Control Valve MICV

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD. QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY

RECORDS OR ORAL RECOLLECTIONS. QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

NOTES

- A. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTR RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MC
- SPECIFICATIONS.

- E. NOTIFY ENGINEER AND THE CITY OF ANKENY AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.

- K. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER. L. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTENANCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
- CONSTRUCTION.
- BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.
- P. CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE SITE PRIOR TO BIDDING TO FAMILIARIZE THEMSELVES WITH THE PROJECT SITE AND IMPROVEMENTS.
- Q. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND SECURING ALL PERMITS NECESSARY FOR CONSTRUCTION.
- R. CONTRACTOR TO PROVIDE TEMPORARY CHAIN LINK FENCE TO SECURE THE PROJECT WORK SITE IN COORDINATION WITH OWNER.
- S. CONTRACTOR RESPONSIBLE FOR PROTECTING ALL STREETLIGHTS, SIGNS, AND SIGNPOSTS.

CONTROL POINTS

IOWA SOUTH STATE PLANE COORDINATE SYSTEM NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

- CP100 N=637918.85 E=1598508.10 Z=985.01 FOUND 1/2" REBAR WITH RED PLASTIC CAP #24477. (AS SHOWN ON SURVEY)
- CP101 N=637915.81 E=1598173.54 Z=981.23 SET 1/2" REBAR WITH RED PLASTIC CONTROL CAP LOCATED +-3' SE OF NW PROPERTY CORNER. (AS SHOWN ON SURVEY)
- CP102 N=637589.06 E=1598169.05 Z=976.96 FOUND 1/2" REBAR WITH RED PLASTIC CAP #24477. (AS SHOWN ON SURVEY)
- CP103 N=637588.86 E=1598506.09 Z=981.15 FOUND 1/2" REBAR WITH YELLOW PLASTIC CAP #16747. (AS SHOWN ON SURVEY

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A) IARTN DERIVED - US SURVEY FEET

BM500	N=637838- E=1598569- Z=985.60 BURY BOLT ON HYDRANT LOCATED EAST SIDE NW WEIGEL DRIVE, NORTH OF DRIVEWAY ON EAST SIDE OF ROAD. (AS SHOWN ON SURVEY)
	SHOWN ON SURVEY)

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552302463

OE1-OVERHEAD ELECTRIC UE1-UNDERGROUND ELECTRIC MIDAMERICAN ENERGY MATT DAVITT 515-242-4289

W1-WATERMAIN

CO1-COMMUNICATION

FO4-FIBER OPTIC

S-SANITARY SEWER

TRAFFIC

ANKENY, CITY OF

SHAWN BUCKNER 515-963-3524 SBUCKNER@ANKENYIOWA.GOV

CENTURYLINK SADIE HULL 918-547-0147 SADIE.HULL@LUMEN.COM

AUREON NETWORK SERVICES JEFF KLOCKO 515-830-0445 JEFF.KLOCKO@AUREON.COM

ANKENY, CITY OF ROGER MCFARLAND 515-965-6483 RMCFARLAND@ANKENYIOWA.GOV

ANKENY, CITY OF TOM DOZLER 515-963-3527 TDOZLER@ANKENYIOWA.GOV

RUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION. CONTRACTOR IS	
DN, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY	
IODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.	

B. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE 2023 SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND CITY OF ANKENY SUPPLEMENTAL

C. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.

D. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.

F. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.

G. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE

H. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.

- I. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- J. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR.
- N. CONTRACTOR TO COORDINATE NATURAL GAS. ELECTRICAL. TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER AND THE OWNER PRIOR TO

O. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO

PROPERTY DESCRIPTION

PRT NW 1/4 SW 1/4 BNG PARCEL 2022-1203 BK 19359 PG 446 SEC 9-80-24

PROPERTY ADDRESS

2320 NW WEIGEL DRIVE ANKENY, IOWA 50023 ZONING **R-1: ONE FAMILY RESIDENCE DISTRICT**

PARKING REQUIREMENTS OPERATIONS DESIGNED TO ATTRACT LITTLE OR NO CUSTOMER OR CLIENT TRAFFIC OTHER THAN EMPLOYEES OF THE ENTITY OPERATING THE PRINCIPAL USE: 8,275 SF x 1 SPACE/400 SF = 20.6875 (21 SPACES) ADMINISTRATIVE REDUCTION (10%) =2 SPACES

TOTAL REQUIRED: 19 SPACES TOTAL PROVIDED: 20 SPACES (INCLUDING 2 ACCESSIBLE SPACES)

BUILDING DESCRIPTION BUILDING AREA: 12,854 SF PARKING BAYS: - 4,579 SF = 8,275 SF

BUILDING HEIGHT= 32 FT

ERU CALCULATION TOTAL IMPERVIOUS AREA / 4000 46,759/4000 = 12 ERU'S

MATTHEW.DAVITT@MIDAMERICAN.COM



POLLUTION PREVENTION NOTES

1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.

2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER. FURTHER, IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.

B. STORM WATER DISCHARGE PERMIT

- C. POLLUTION PREVENTION PLAN
 - CONSTRUCTION.
 - PLAN MAY BE REQUIRED.
- NOT APPLICABLE:

- LOCATED.

A. POLLUTION PREVENTION AND EROSION PROTECTION

1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 AS SPECIFIED IN THE CONTRACT DOCUMENTS.

2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP. SITE INSPECTION LOG. AND OTHER ITEMS. SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.

3. A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING

2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT, ADDITIONAL BMP'S FROM THOSE SHOWN ON THE

3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.

4. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR

a. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.

b. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.

c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.

d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.

e. INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.

f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.

g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.

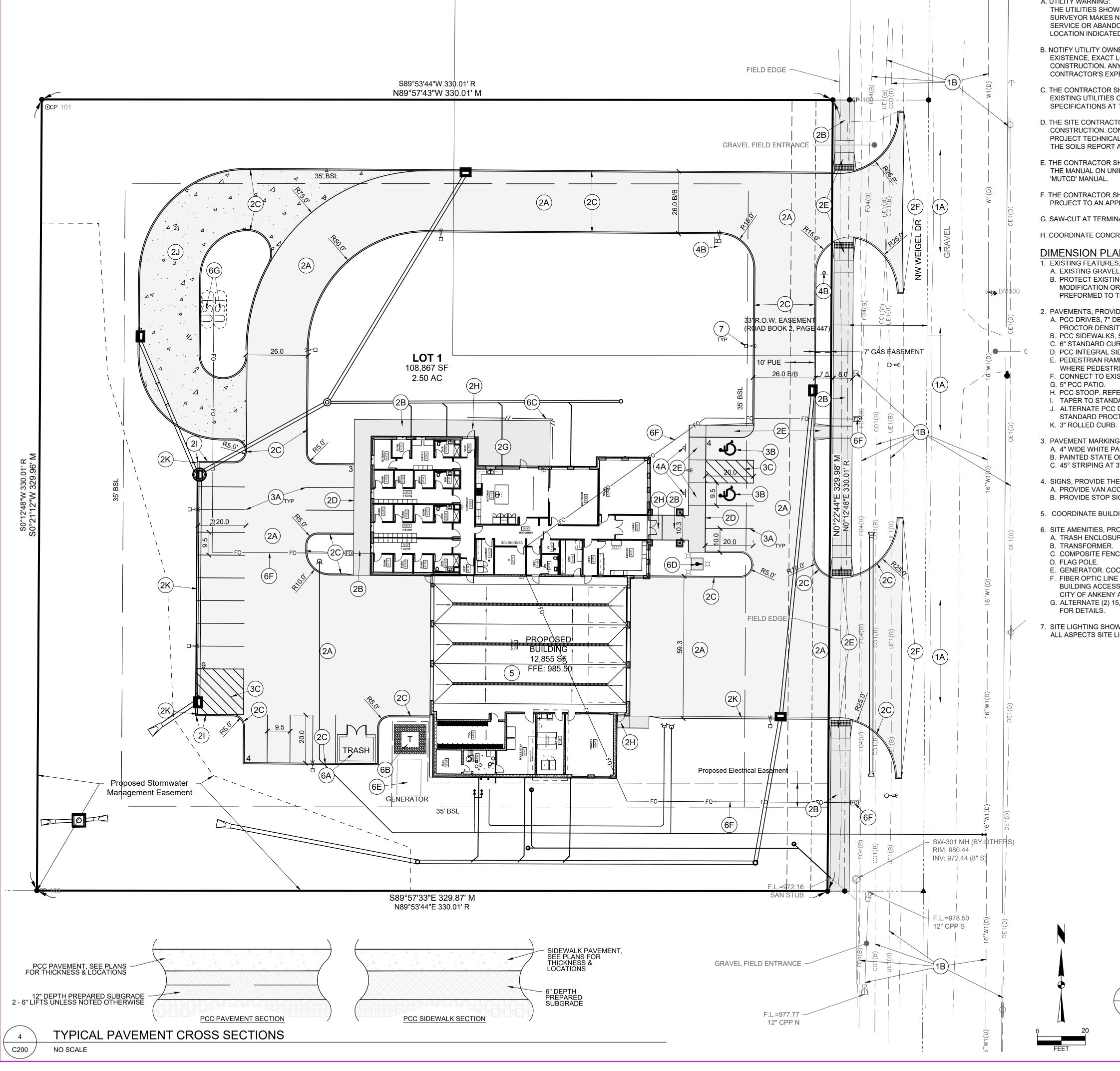
h. RESPREAD A MINIMUM OF 8 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE

i. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, SOD, OR PAVEMENT IMMEDIATELY AS SOON AS POSSIBLE UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES IMMEDIATELY AFTER CONSTRUCTION ACTIVITY IS FINALLY COMPLETED OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WHICH WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.

k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

Ankeny Fire Station No 4 2320 NW WEIGEL DRIVE ANKENY, IA 50023 ISSUANCE **DESIGN DEVELOPMENT** 10/13/2023 REVISIONS





- LOCATION INDICATED.
- SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
- THE SOILS REPORT AS PREPARED BY OTHERS.
- 'MUTCD' MANUAL.
- PROJECT TO AN APPROVED OFF-SITE WASTE LOCATION.

- 1. EXISTING FEATURES, PROTECT THE FOLLOWING: A. EXISTING GRAVEL TO REMAIN.
- 2. PAVEMENTS, PROVIDE THE FOLLOWING:
- PROCTOR DENSITY. B. PCC SIDEWALKS, 5" DEPTH PAVEMENT.
- C. 6" STANDARD CURB. SEE DETAIL THIS SHEET.

- G. 5" PCC PATIO.
- I. TAPER TO STANDARD CURB IN 3 FEET.
- STANDARD PROCTOR DENSITY.
- 3. PAVEMENT MARKINGS, PROVIDE THE FOLLOWING: A. 4" WIDE WHITE PAINTED PARKING STALL LINES.
- 4. SIGNS, PROVIDE THE FOLLOWING:
- 6. SITE AMENITIES, PROVIDE THE FOLLOWING:
- B. TRANSFORMER.

- FOR DETAILS.

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B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

C. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FEATURES WHICH ARE TO REMAIN. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNER'S

D. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE PROJECT TECHNICAL SPECIFICATIONS, THE 2024 URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND

E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 'MUTCD'. ALL PROPOSED SIGNS SHALL CONFORM TO THE

F. THE CONTRACTOR SHALL LOAD AND TRANSPORT ALL MATERIALS NOT DESIRABLE TO BE INCORPORATED INTO THE

G. SAW-CUT AT TERMINATION TO FULL DEPTH. ALL PAVEMENTS TO BE REMOVED.

H. COORDINATE CONCRETE IMPROVEMENTS WITH STRUCTURAL PLANS FOR FOOTINGS AT DOORWAYS AND APRON AREAS.

DIMENSION PLAN CONSTRUCTION NOTES

B. PROTECT EXISTING UTILITIES, ANY DAMAGE TO THE EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR DEMOLITION SHALL BE REMEDIED AT THE CONTRACTORS EXPENSE WITH WORK BEING PREFORMED TO THE UTILITY OWNER'S SPECIFICATION.

A. PCC DRIVES, 7" DEPTH PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD

D. PCC INTEGRAL SIDEWALK AND CURB. SEE DETAIL THIS SHEET. E. PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33%. PROVIDE DETECTABLE WARNING SYSTEM AT RAMPS WHERE PEDESTRIAN TRAFFIC MEETS VEHICULAR TRAFFIC. F. CONNECT TO EXISTING PAVEMENT USING DRIVE 'TYPE A' CONNECTION.

H. PCC STOOP. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS..

J. ALTERNATE PCC DRIVES, 7" DEPTH PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95%

B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.

C. 45° STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.

A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS. B. PROVIDE STOP SIGN (R1-1) PER ADAAG REQUIREMENTS.

5. COORDINATE BUILDING WITH ARCHITECTURAL PLANS.

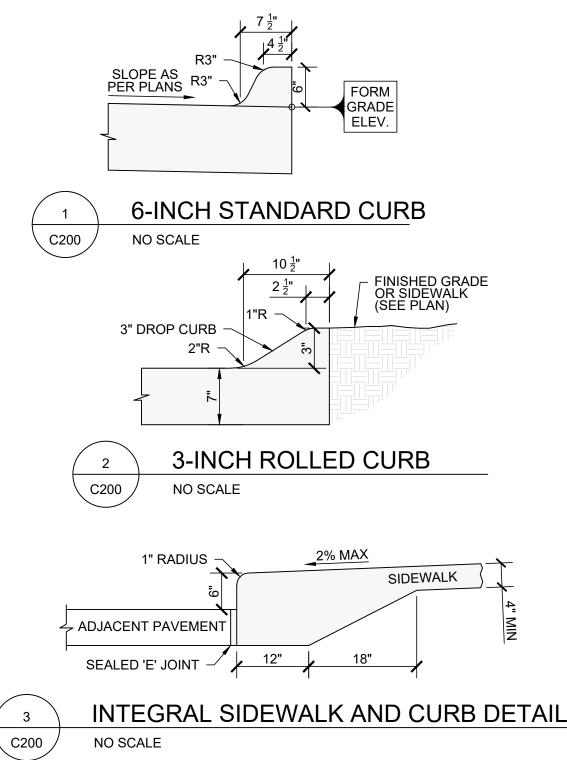
A. TRASH ENCLOSURES. SEE ARCHITECTURAL PLANS FOR DETAILS.

C. COMPOSITE FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.

E. GENERATOR. COORDINATE WITH MECHANICAL PLANS FOR DETAILS.

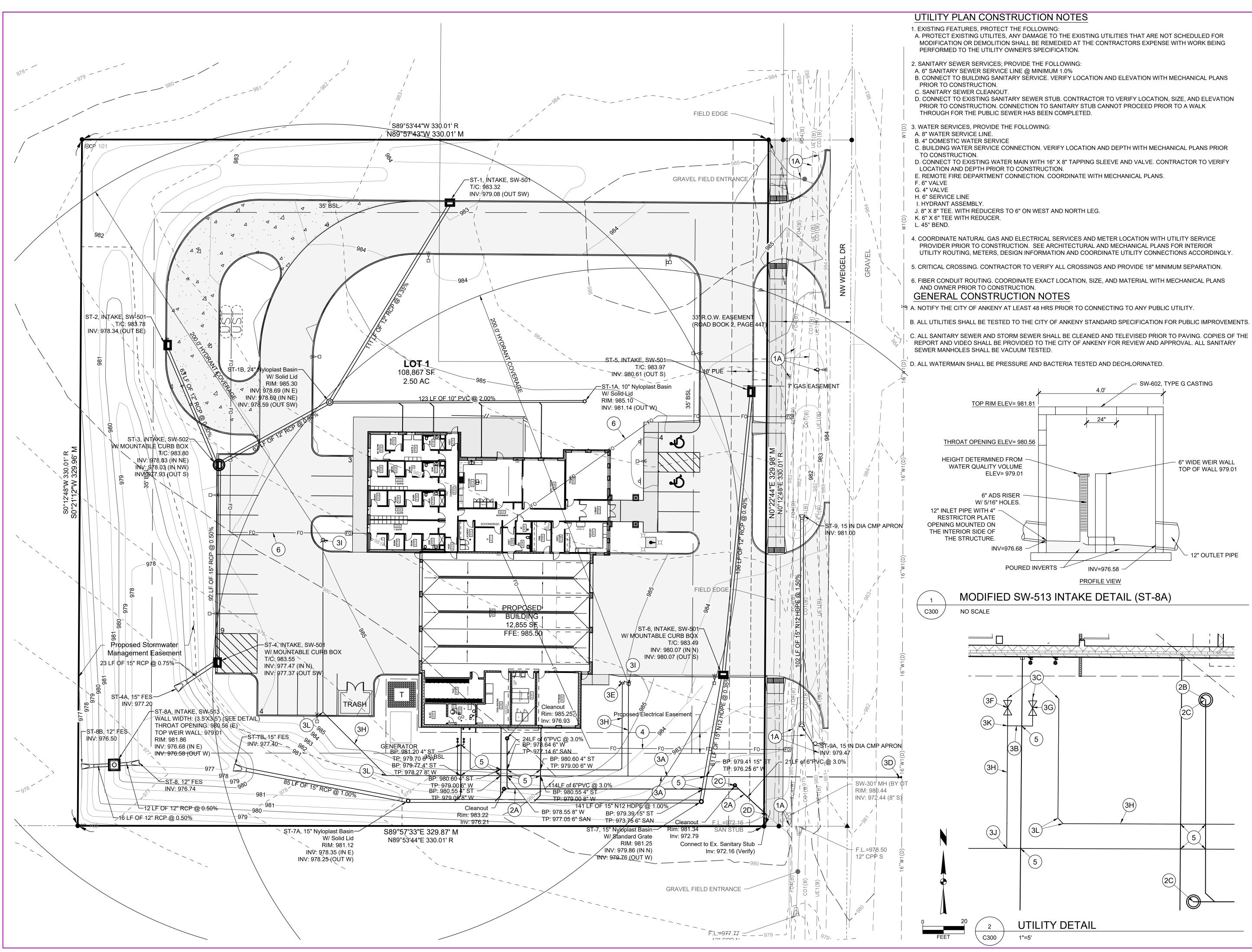
F. FIBER OPTIC LINE WITH NECESSARY HANDHOLES. INSTALL CONDUIT WITH TRACER AND PULL ROPE FROM BUILDING ACCESS TO FIBER OPTIC HANDHOLES (HANDHOLES BY OTHERS) COORDINATE EXACT ROUTING WITH CITY OF ANKENY AND MECHANICAL PLANS PRIOR TO CONSTRUCTION. G. ALTERNATE (2) 15,000 GALLON UNDERGROUND STORAGE FUEL TANKS. COORDINATE WITH MECHANICAL PLANS

7. SITE LIGHTING SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR TO COORDINATE WITH THE OWNER ALL ASPECTS SITE LIGHTING PRIOR TO CONSTRUCTION.

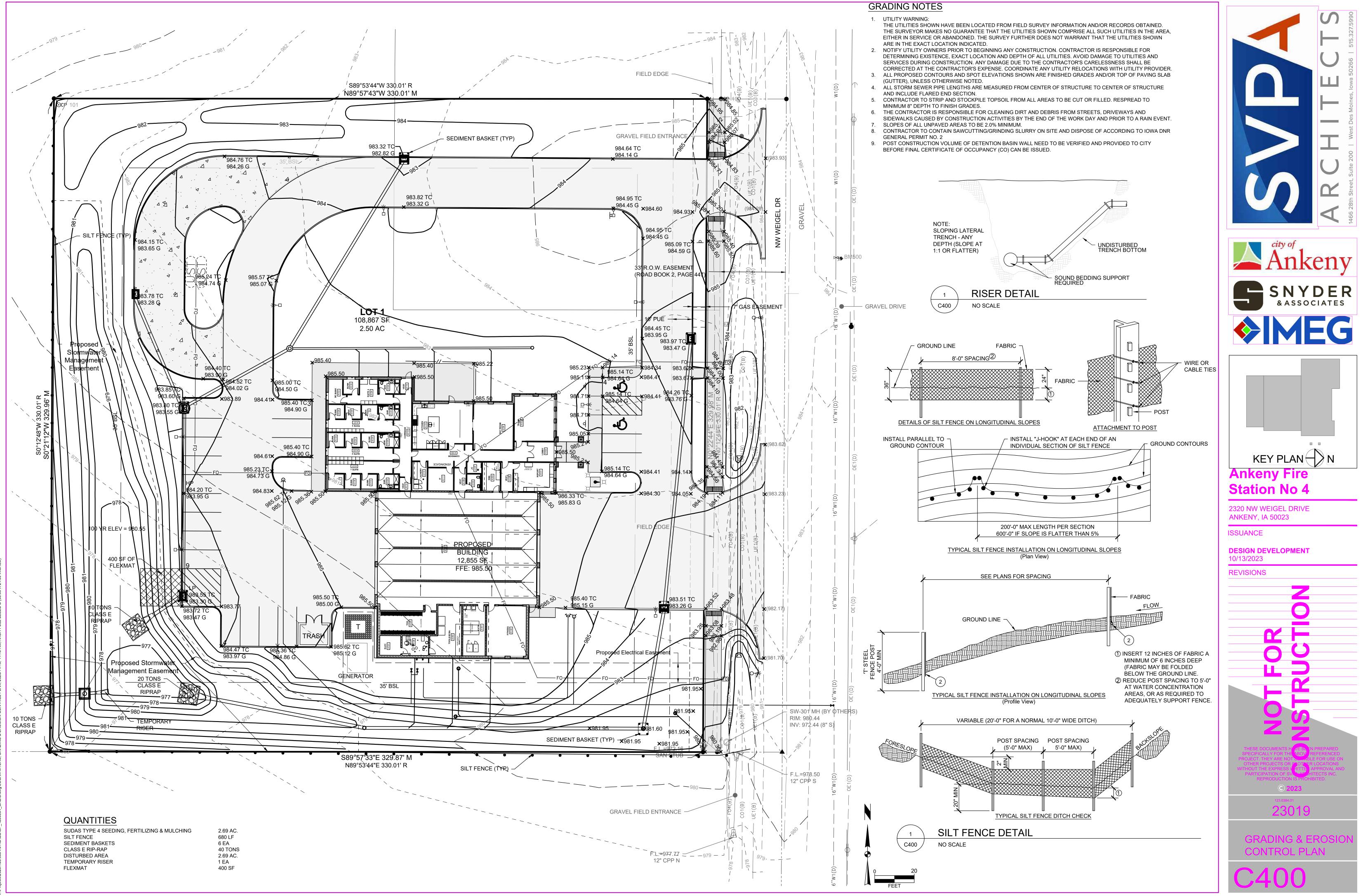




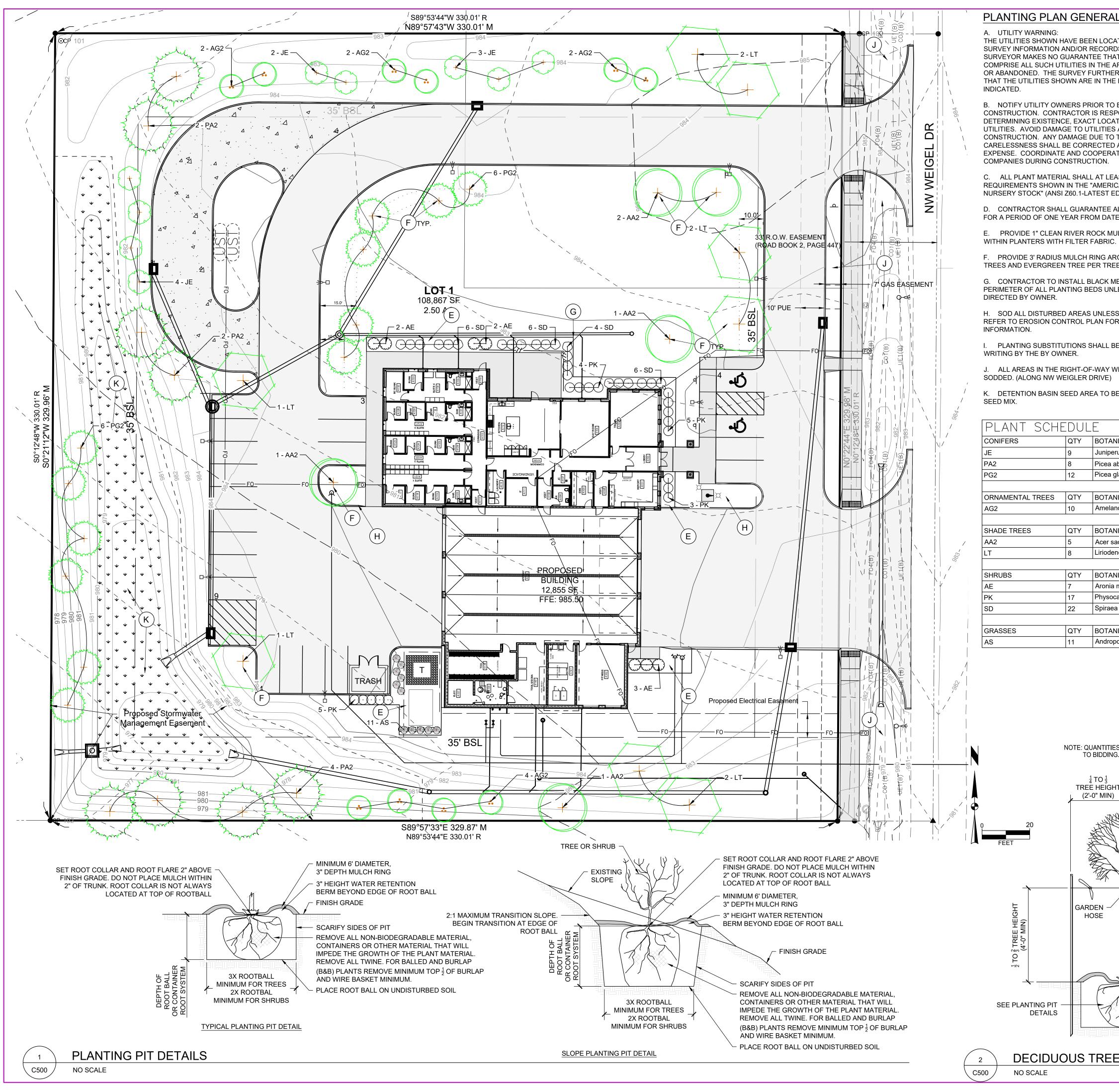








erts/2023/123 0384 01/CADD\SP 1230384 GRDG dwd I OGAN MYERS GRADING & EROSION CONTROL PLAN 2023/11/10 11:15 AM ARCH EIILL BLEED D (36 00 X 24 00 INCHES



PLANTING PLAN GENERAL NOTES

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION

B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).

D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

E. PROVIDE 1" CLEAN RIVER ROCK MULCH TO 3-INCH DEPTH

F. PROVIDE 3' RADIUS MULCH RING AROUND ALL SHADE TREES AND EVERGREEN TREE PER TREE PLANTING DETAIL.

G. CONTRACTOR TO INSTALL BLACK METAL EDGING AT PERIMETER OF ALL PLANTING BEDS UNLESS OTHERWISE DIRECTED BY OWNER.

H. SOD ALL DISTURBED AREAS UNLESS NOTED OTHERWISE. REFER TO EROSION CONTROL PLAN FOR ADDITIONAL

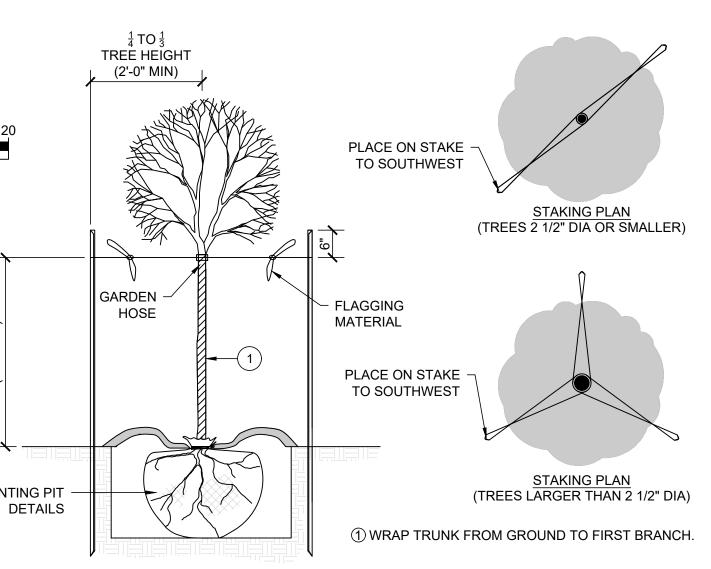
I. PLANTING SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY THE BY OWNER.

J. ALL AREAS IN THE RIGHT-OF-WAY WILL BE REQUIRED TO BE SODDED. (ALONG NW WEIGLER DRIVE)

K. DETENTION BASIN SEED AREA TO BE NO MOW FESCUE

CONIFERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
JE	9	Juniperus virginiana	Eastern Redcedar	6` Ht.	B&B
PA2	8	Picea abies	Norway Spruce	6` Ht.	B&B
PG2	12	Picea glauca	White Spruce	6` Ht.	B&B
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
AG2	10	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	5` Ht.	B&B
SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
AA2	5	Acer saccharum 'Arrowhead'	Arrowhead Sugar Maple	1.5" Cal.	B&B
LT	8	Liriodendron tulipifera	Tulip Poplar	1.5" Cal.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AE	7	Aronia melanocarpa	Black Chokeberry	3 gal.	Pot
PK	17	Physocarpus opulifolius 'UMNHarpell' TM	Fireside Ninebark	2` Ht.	Pot
SD	22	Spiraea x 'NCSX2' TM	Double Play Doozie Spirea	1.5` Ht.	Pot
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AS	11	Andropogon scoparius	Little Bluestem	1 gal.	Pot





NOTE: QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY PLANT MATERIAL PRIOR TO BIDDING. IN THE CASE OF A DISCREPANCY, THE PLAN QUANTITY SHALL GOVERN.

DECIDUOUS TREES STAKING DETAIL

PLANTING PLAN REQUIREMENTS

(LANDSCAPE CALCULATIONS BASED UPON CITY OF ANKENY ZONING CODE REQUIREMENTS AND CITY SITE PLAN OPEN SPACE/ LANDSCAPING REQUIREMENTS)

20% OPEN SPACE REQUIRED 108,867 SF (TOTAL LOT) x 20% = 21,773 SF REQUIRED (65,201 SF OR 59.8% PROVIDED)

OPEN SPACE LANDSCAPE REQUIREMENTS: 21,773 SF / 3,000 SF = 7.25 PLANT UNITS REQ'D 7.25 PU x 2 TREES = 14.50 TREES REQ'D. (19 PROVIDED) 7.25 PU x 6 SHRUBS = 43.50 SHRUBS REQ'D. (46 PROVIDED)

PAVEMENT SHADING REQUIREMENTS: 30,811 SF PAVEMENT X 20% = 6,162.20 SF

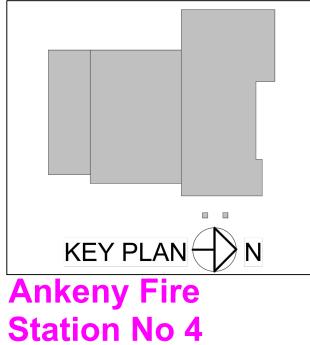
6,162.20 / 706 SF = 8.72 OVERSTORY TREES REQ'D (9.5 PROVIDED) (9) PAVEMENT OVERSTORY TREES PROVIDED WITHIN 15' OF PAVED AREA ON ONE SIDE (COUNTED AT 50%), TOTAL COUNTED (4.5)

(5) PAVEMENT OVERSTORY TREES PROVIDED WITHIN 15' OF PAVED AREA ON TWO OR MORE SIDES (COUNTED AT 100%), TOTAL COUNTED (5). 6,707 SF PAVEMENT SHADING PROVIDED

SCREENING REQUIREMENTS: SCREENING SHALL BE PROVIDED FOR PROPERTIES ADJACENT TO THE SITE WITH A MIXTURE OF UNDERSTORY, EVERGREEN AND OVERSTORY TREES.

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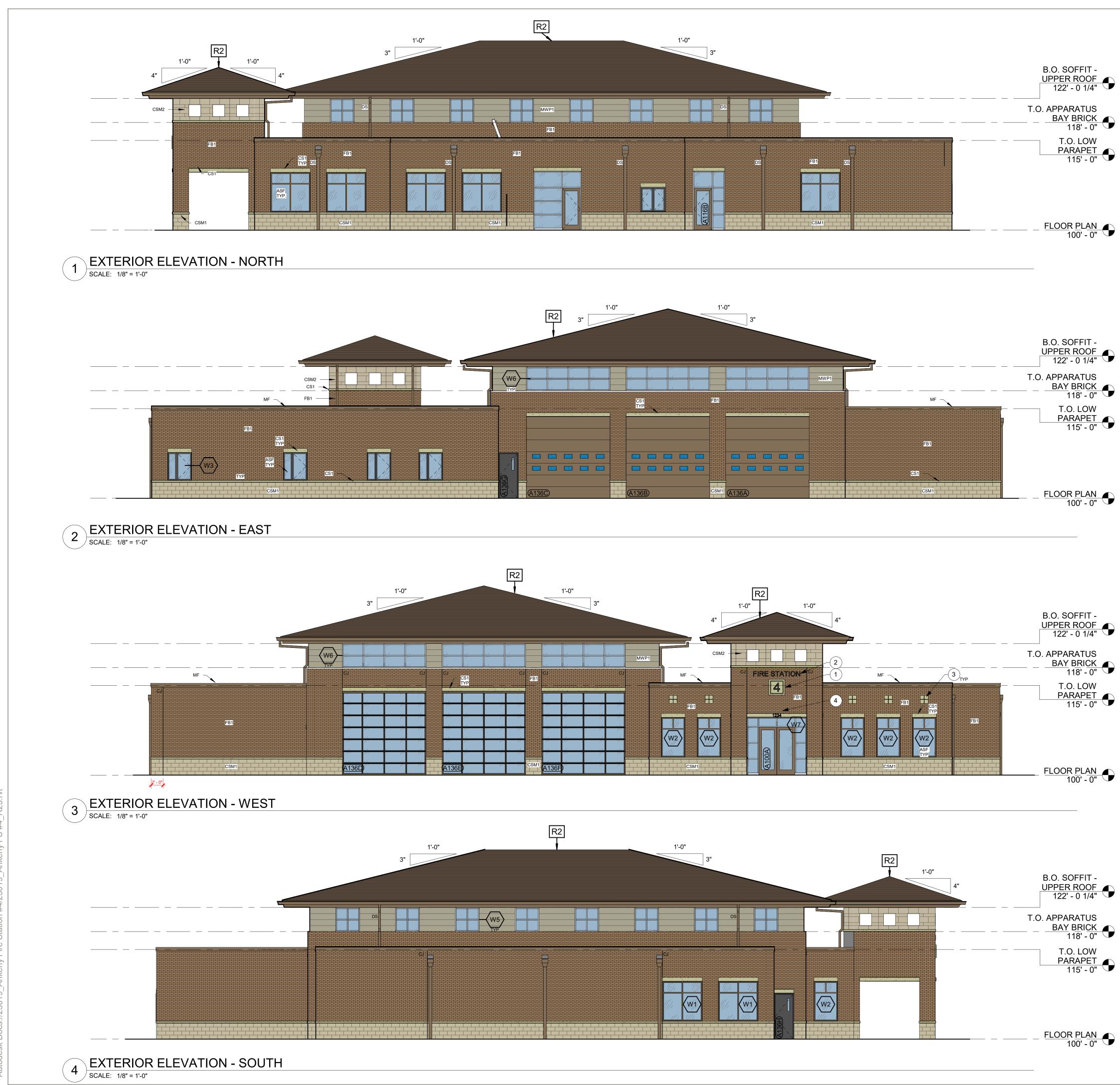


2320 NW WEIGEL DRIVE ANKENY, IA 50023

ISSUANCE

DESIGN DEVELOPMENT 10/13/2023

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MATERIAL LEGEND

FB1	FACE BRICK 1, NAPA VALLEY VELOUR COLOR, MODULAR SIZED, RUNNING BOND
CSM1	CALCIUM SILICATE MASONRY - ROCK FACE, RUNNING BOND
CSM2	CALCIUM SILICATE MASONRY - SMOOTH FACE, STACK BOND
MWP1	METAL WALL PANEL
CS1	CAST STONE
ASF	ALUMINUM STOREFRONT; OBE 2X6", CHAMPAGNE METALLIC WITH IG-1 (1", CLEAR, LOW-E, ARGON FILLED)

MF 7" TWO-PIECE SNAP ON ALUMINUM FASCIA TRIM

MATERIAL PERCENTAGES

NORTH		
TOTAL SF = 2,554 SF		
	SF	%
MASONRY	1,852	73
GLAZING	498	19
METAL WALL PANEL	204	8
DOORS	NA	0
SOUTH		
TOTAL SF = 2,649 SF		
	SF	%
MASONRY	2,176	82
GLAZING	244	9
METAL WALL PANEL	204	8
DOORS	25	1

SF	%	
1,733	65	
243	9	
67	3	
604	23	
WEST		
SF	%	
1,608	60	
400	15	
67	3	
590	22	
	1,733 243 67 604 SF 1,608 400 67	

	ELEVATION KEY NOTES
Note Number	Note Text
1	2'-8"X2'-8" CAST STONE PANEL W/ ENGRAVED NUMBER "4"
2	10" ALUMINUM SIGNAGE
3	1'-4"X1'-4" CAST STONE PANEL
4	6" HIGH X 3/4" STROKE WIDTH ALUMINUM SIGNAGE ADHERED TO CAST STONE. GC TO VERIFY BUILDING ADDRESS PRIOR TO FABRICATION







Ankeny Fire Station #4

NW WEIGEL DRIVE ANKENY, IA 50023

ISSUANCE

CONSTRUCTION DOCUMENT **PROGRESS SET** 11/30/2023

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23019

EXTERIOR ELEVATIONS



