



## Meeting Agenda

### Plan and Zoning Commission

**Tuesday, November 21, 2023**

**6:30 PM**

**Ankeny City Council Chambers**

**1250 SW District Drive, Second Floor, Ankeny, Iowa**

Ted Rapp, Chair

Glenn Hunter, Vice Chair

Trina Flack  
Randall Weisheit

Lisa West

Annette Renaud  
Todd Ripper

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*Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.*

#### **CALL TO ORDER:**

#### **A. ROLL CALL:**

#### **B. AMENDMENTS TO AGENDA:**

Consider MOTION to approve and accept the November 21, 2023 agenda with/without amendments.

#### **C. COMMUNICATIONS:**

#### **D. CITIZEN'S REQUEST:**

#### **E. CONSENT AGENDA ITEMS:**

##### **1. Minutes**

Consider MOTION to approve and accept the November 7, 2023 minutes of the Plan and Zoning Commission meeting.

**2. Deer Creek South Plat 3 Final Plat**

Consider MOTION to recommend City Council approval of the Deer Creek Plat 3 Final Plat.

**3. Ankeny Fire Station No. 4 Final Plat**

Consider MOTION to recommend City Council approval of the Ankeny Fire Station No. 4 Final Plat.

**4. 2320 NW Weigel Drive - Ankeny Fire Station No. 4 Site Plan**

Consider MOTION to approve the site plan for 2320 NW Weigel Drive, Ankeny Fire Station No. 4, subject to approval of the associated final plat.

**Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #4.**

**F. REMOVED CONSENT AGENDA ITEMS:**

**G. PUBLIC HEARINGS:**

**H. BUSINESS ITEMS:**

**I. OLD BUSINESS:**

**J. REPORTS:**

1. November 20, 2023 City Council Report - Staff

2. Director's Report

Tentative agenda items for December 5, 2023

3. Commissioner's Reports

**K. MISCELLANEOUS ITEMS:**

December 4, 2023 - 5:30 p.m. City Council Representative: Staff

**L. ADJOURNMENT:**

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

November 21, 2023

6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

**Action:** Consider MOTION to approve and accept the November 7, 2023 minutes of the Plan and Zoning Commission meeting.

ADDITIONAL INFORMATION:

ATTACHMENTS:

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## **Meeting Minutes**

### **Plan & Zoning Commission Meeting**

Tuesday, November 7, 2023

Ankeny City Council Chambers, Second Floor  
1250 SW District Drive, Ankeny, Iowa

#### **CALL TO ORDER**

Chair Ted Rapp called the November 7, 2023 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

#### **ROLL CALL**

Members present: Ted Rapp, Trina Flack, Glenn Hunter, Annette Renaud, and Todd Ripper. Absent: Lisa West and Randy Weisheit. Staff present: E.Jensen, E.Carstens, J.Heil, B.Morrissey, R.Kirschman and B.Fuglsang.

#### **AMENDMENTS TO THE AGENDA**

Motion by T.Flack to approve and accept the November 7, 2023 agenda without amendments. Second by G.Hunter. All voted aye. Motion carried 5 – 0.

#### **COMMUNICATIONS**

There were no communications.

#### **CITIZEN'S REQUEST**

There were no requests.

#### **CONSENT AGENDA ITEMS**

##### **Item #1. Minutes**

Motion to approve and accept the October 3, 2023 minutes of the Plan and Zoning Commission meeting.

##### **Items #2. 710 SW 3<sup>rd</sup> Street – Trailside Tap Building Addition Site Plan**

Motion to approve the site plan for 710 SW 3<sup>rd</sup> Street, Trailside Tap Building Addition.

##### **Items #3. 2806 SE Peachtree Drive - Des Moines Mobile Wash Addition Site Plan**

Motion to approve the site plan for 2806 SE Peachtree Drive, Des Moines Mobile Wash Addition.

Referencing Item #2, G.Hunter asked the applicant if there was a better elevation for the addition. Brent Culp, Snyder & Associates responded, not at this time. A.Renaud asked what the two-story portion of the building would be used for. E.Carstens explained the staff's understanding of the project, and shared that there would be a second story patio. T.Rapp said he would like to see a better elevation of the addition. Brent Culp responded that he would get one and provide it to staff.

Motion by T.Flack to approve the recommendations for Consent Agenda Item #1 - #3. Second by T.Ripper. All voted aye. Motion carried 5 – 0.

#### **PUBLIC HEARINGS**

There were no public hearings.

#### **BUSINESS ITEMS**

There were no business items.

#### **REPORTS**

##### **City Council Meeting**

E.Jensen reported on the November 6, 2023 City Council meeting and the CIP work session.

##### **Director's Report**

E.Jensen presented the tentative agenda items for the November 21, 2023 Plan and Zoning Commission meeting and the October 2023 Building Permit Report.

**Commissioner's Reports**

T.Flack asked about the difference in speed limits for two school traffic signals, one on NW Irvinedale, 25 mph and the other on NW Weigel, 15 mph. E.Jensen responded that he believes it has to do with street classifications, but will check with the city's Public Works Department.

T.Ripper thanked Eric Jensen for attending the City Council meetings on behalf of the Commission as the information he brings to the Commission is very informative.

T.Rapp asked about a retreat for the Commission. E.Jensen shared that staff is looking at holding one this winter since projects have slowed down.

**MISCELLANEOUS ITEMS**

November 20, 2023 – 5:30 p.m. City Council Meeting Representative: Staff

**ADJOURNMENT**

There being no further business, T.Rapp motioned to adjourn. Meeting adjourned at 6:39 p.m.



Submitted by Brenda Fuglsang, Secretary  
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

November 21, 2023

6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Deer Creek South Plat 3 Final Plat

EXECUTIVE SUMMARY:

Staff Report attached

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:





ACTION REQUESTED:

**Action:** Consider MOTION to recommend City Council approval of the Deer Creek Plat 3 Final Plat.

ADDITIONAL INFORMATION:

ATTACHMENTS:

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 <a href="#">Aerial Map</a>
 <a href="#">Staff Report</a>
 <a href="#">Applicant Letter</a>
 <a href="#">Final Plat</a>









*Plan and Zoning Commission  
Staff Report*

*Meeting Date: November 21<sup>st</sup>, 2023*

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**Agenda Item:** Deer Creek South Plat 3 - Final Plat

**Report Date:** November 16, 2023

**Prepared By:** Bryan Morrissey *ETC*  
Associate Planner

**Staff Recommendation:**

That the Plan and Zoning Commission recommend City Council approval of the Deer Creek South Plat 3 Final Plat.

**Project Summary:**

Deer Creek South Plat 3 is an approximate 13.73 acre (+/-) final plat located north of East 1<sup>st</sup> Street, east of NE Four Mile Drive, and south of NE 8<sup>th</sup> Street within the Deer Creek Planned Unit Development. The proposed final plat creates two outlots and one street lot that will be dedicated to the City of Ankeny for right-of-way purposes. Outlot 'Y' will be utilized for stormwater management while Outlot 'Z' is slated for future development. A future final plat will be needed prior to development occurring on Outlot 'Z'. The primary purpose of the subject final plat is to extend NE 6<sup>th</sup> Street from NE Meadow Landing Drive to NE Four Mile Drive.

**Project Report:**

**Streets:** The proposed plat includes the extension of NE 6<sup>th</sup> Street from NE Meadow Landing Drive to NE Four Mile Drive.

**Water:** The proposed plat includes the extension of an eight-inch water main adjacent to NE 6<sup>th</sup> Street.

**Sewer:** The installation of sewer mains is not proposed with this phase of the development.

**Drainage:** Two stormwater management areas are proposed near the northwest and southeast corners of the development. The subject final plat lies within the Middle Fourmile Creek Subwatershed.

**Parkland:** Parkland dedication is not required at this time.

**CITY OF ANKENY  
SUBDIVISION DATA**

**NAME OF PLAT:** Deer Creek South Plat 3  
**NAME OF OWNER:** Deer Creek Estates, LLC  
**NAME OF DEVELOPER:** Deer Creek Estates, LLC

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**GENERAL INFORMATION:**

PLAT LOCATION: South of NE 8<sup>th</sup> Street, east of NE Four Mile Drive  
SIZE OF PLAT: 13.73 acres  
ZONING: Deer Creek PUD

**LOTS:**

NUMBER: Two Outlots  
SIZE/DENSITY: Outlot 'Y': 1.64 acres, Outlot 'Z': 10.98 acres  
USE: N/A  
BUILDING LINES: Front 25', Rear 30'

**PARK SITE DEDICATION:**

Park site dedication is not required at this time for this development.

**ADJACENT LANDS:**

NORTH: PUD, Deer Creek Planned Unit Development  
SOUTH: PUD, Deer Creek Planned Unit Development  
EAST: PUD, Deer Creek Planned Unit Development  
WEST: PUD, Deer Creek Planned Unit Development

**WASTE WATER:**

PROJECTED FLOWS: 13.73 acres of developable land X 1,800 gal. per day/acre of developable land=  
24,714 GPD Est.  
TREATMENT PLANT CAPACITY (Four Mile): Design: 47 MGD; current daily avg. 18 MGD

**STORM WATER:**

BASIN FLOWS: This plat lies in the Middle Four Mile Creek Basin.

**WATER SYSTEM:**

PROJECTED USAGE: 13.73 acres of developable land X 1,800 gal. per day/acre of developable land=  
24,714 GPD Est.  
SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD.

**FINAL PLAT DRAWING:** Staff recommends approval.

**CONSTRUCTION PLANS:** To be approved by staff.

November 10, 2023

Honorable Mayor, City Council, & Plan and Zoning Commission Members  
c/o Bryan Morrissey  
City of Ankeny  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50023

RE: Deer Creek South Plat 3  
Final Plat and Construction Plan Submittal

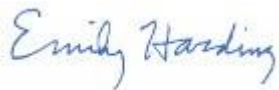
Dear Plan and Zoning Commission Members, City Council Members, and Honorable Mayor;

On behalf of Deer Creek Ankeny, Inc., we are pleased to submit herewith a final plat and construction plans for Deer Creek South Plat 3 located within the Deer Creek PUD east of NE Four Mile Drive, north of E 1<sup>st</sup> Street. The plat contains approximately 13.7 acres.

Deer Creek South Plat 3 includes 2 outlots and 1 street lot, which is consistent with the Deer Creek PUD. Outlot Z is reserved for future development. Outlot Y contains the detention basin that was constructed with The Crossings at Deer Creek Plat 1. NE 6<sup>th</sup> Street will be extended from NE Meadow Landing Drive to NE Four Mile Drive.

We are requesting that preliminary approval of the final plat be granted by City Council at the next available regular City Council meeting.

Sincerely,  
CIVIL DESIGN ADVANTAGE, LLC



Emily Harding, Project Manager

cc: Jeff Grubb, Deer Creek Ankeny, Inc.



# DEER CREEK SOUTH PLAT 3

FINAL PLAT

## INDEX/LEGEND

LOCATION: PT. SW1/4 SEC 17-80-23 ANKENY, POLK COUNTY, IOWA  
REQUESTOR: DEER CREEK ESTATES LLC  
PROPRIETOR: DEER CREEK ESTATES LLC POB 367 ALTOONA, IOWA 50009  
SURVEYOR: LOUIS M. KELEHAN  
COMPANY: CIVIL DESIGN ADVANTAGE  
PREPARED BY: CIVIL DESIGN ADVANTAGE  
& RETURN TO: 4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PH: (515) 369-4400

## OWNER / DEVELOPER

DEER CREEK ESTATES LLC  
POB 367  
ALTOONA, IOWA 50009

## ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE  
4121 NW URBANDALE DRIVE  
URBANDALE, IOWA 50322  
CONTACT: LOUIS M. KELEHAN  
PH: (515) 369-4400

## DATE OF SURVEY

FIELDWORK: JULY, 2022

## ZONING AND BULK REGULATIONS

ZONING: DEER CREEK PUD

BULK REGULATIONS (PARCEL "P"):

COMMERCIAL/INDUSTRIAL/OFFICE

FRONT SETBACK = 25 FEET FROM FOURMILE DRIVE (29TH STREET).  
= 25 FEET FROM INTERNAL RIGHT OF WAYS UNLESS STORE FRONTS FACE THE STREET FOR PEDESTRIAN ACCESS - THEN 10 FEET.

ROWHOUSES:

FRONT SETBACK = 25 FEET FROM FOURMILE DRIVE (29TH STREET)  
= 15 FEET FROM INTERNAL PUBLIC RIGHT OF WAYS  
REAR SETBACK = 30 FEET WHERE ABUTTING RESIDENTIAL, CIVIC, OR PARK LAND USE.

## PLAT DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE CROSSINGS AT DEER CREEK PLAT 14, AN OFFICIAL PLAT IN SAID CITY OF ANKENY; THENCE SOUTH 00°11'41" EAST ALONG THE WESTERLY LINE OF SAID THE CROSSINGS AT DEER CREEK PLAT 14, A DISTANCE OF 677.84 FEET TO A CORNER ON SAID WESTERLY LINE, THENCE NORTH 89°54'40" WEST, 100.82 FEET; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 320.00 FEET, WHOSE ARC LENGTH IS 223.90 FEET AND WHOSE CHORD BEARS SOUTH 70°02'40" WEST, 219.36 FEET; THENCE SOUTH 50°00'00" WEST, 96.04 FEET; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 380.00 FEET, WHOSE ARC LENGTH IS 366.18 FEET AND WHOSE CHORD BEARS SOUTH 77°36'22" WEST, 352.18 FEET; THENCE CONTINUING SOUTHWESTERLY ALONG A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 25.00 FEET, WHOSE ARC LENGTH IS 37.02 FEET AND WHOSE CHORD BEARS SOUTH 62°47'29" WEST, 33.73 FEET TO THE EASTERLY RIGHT OF WAY LINE OF NE FOUR MILE DRIVE; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 1240.00 FEET, WHOSE ARC LENGTH IS 435.19 FEET AND WHOSE CHORD BEARS NORTH 101°58'58" EAST, 432.96 FEET; THENCE NORTH 00°15'42" EAST CONTINUING ALONG SAID EASTERLY RIGHT OF WAY LINE, 557.82 FEET; THENCE NORTHERLY CONTINUING ALONG SAID EASTERLY RIGHT OF WAY LINE AND A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 1240.00 FEET, WHOSE ARC LENGTH IS 58.27 FEET AND WHOSE CHORD BEARS NORTH 01°05'04" WEST, 58.26 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF NE 8TH STREET; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 25.00 FEET, WHOSE ARC LENGTH IS 40.25 FEET AND WHOSE CHORD BEARS NORTH 43°41'15" EAST, 36.04 FEET; THENCE NORTH 89°48'19" EAST CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 150.03 FEET; THENCE SOUTHEASTERLY CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 220.00 FEET, WHOSE ARC LENGTH IS 172.79 FEET AND WHOSE CHORD BEARS SOUTH 67°41'41" EAST, 168.38 FEET; THENCE SOUTH 45°11'41" EAST CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 26.24 FEET; THENCE SOUTHEASTERLY CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE AND A CURVE CONCAVE NORTHEASTERLY WHOSE RADIUS IS 280.00 FEET, WHOSE ARC LENGTH IS 219.91 FEET AND WHOSE CHORD BEARS SOUTH 67°41'41" EAST, 214.30 FEET; THENCE NORTH 89°48'19" EAST CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 120.67 FEET TO THE POINT OF BEGINNING AND CONTAINING 13.73 ACRES (598,221 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

## LEGEND

SECTION CORNER AS NOTED  
1/2" REBAR, YELLOW PLASTIC CAP#18660  
(UNLESS OTHERWISE NOTED)  
MEASURED BEARING & DISTANCE  
RECORDED BEARING & DISTANCE  
DEEDED BEARING & DISTANCE  
PUBLIC UTILITY EASEMENT  
CURVE ARC LENGTH  
LOT ADDRESS  
CENTERLINE  
SECTION LINE  
EASEMENT LINE  
BUILDING SETBACK LINE  
PLAT BOUNDARY

FOUND	SET
●	△
M	R
P.U.E.	AL
(1234)	

## CURVE DATA

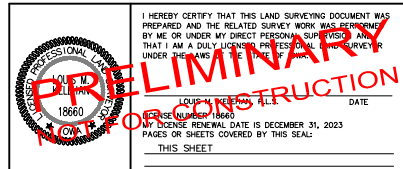
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	40°05'20"	380.00'	265.88'	S70°02'40"W	260.49'
C2	54°13'06"	320.00'	302.81'	S77°06'33"W	291.64'
C3	91°09'39"	25.00'	39.78'	N30°12'05"W	35.71'
C4	150°7'03"	1240.00'	327.17'	S07°49'13"W	326.22'
C5	302°0'51"	220.00'	116.53'	S75°01'15"E	115.17'
C6	14°39'09"	220.00'	56.26'	S52°31'15"E	56.11'
C7	6°34'21"	320.00'	36.71'	S86°48'10"W	36.69'
C8	25°35'34"	320.00'	142.94'	N77°17'34"E	141.75'
C9	23°29'54"	380.00'	155.85'	N61°44'57"E	154.76'
C11	8°56'04"	380.00'	59.26'	S79°15'18"E	59.20'
C13	6°47'24"	1240.00'	146.95'	N23°45'55"E	146.86'
C14	22°59'48"	313.00'	125.63'	N78°35'27"E	124.79'
C15	43°56'44"	25.00'	19.17'	N67°56'18"W	18.71'
C16	89°42'53"	25.00'	39.15'	S45°03'13"E	35.27'

## AREA SUMMARY

NE1/4 SW1/4 SEC 17-80-23	= 13.02 AC
SE1/4 SW1/4 SEC 17-80-23	= 0.71 AC
TOTAL	= 13.73 AC

## NOTES

- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
- STREET LOT 'A' TO BE DEDICATED TO THE CITY OF ANKENY AND SHALL BE USED AS PUBLIC STREET RIGHT-OF-WAY.





PLAN AND ZONING COMMISSION

November 21, 2023

6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

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ACTION REQUESTED:

Motion

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LEGAL:

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SUBJECT:

Ankeny Fire Station No. 4 Final Plat

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EXECUTIVE SUMMARY:

See attached staff report.

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FISCAL IMPACT: **No**

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STAFF RECOMMENDATIONS:

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PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

---

PUBLIC OUTREACH EFFORTS:

---

ACTION REQUESTED:

**Action:** Consider MOTION to recommend City Council approval of the Ankeny Fire Station No. 4 Final Plat.





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ADDITIONAL INFORMATION:

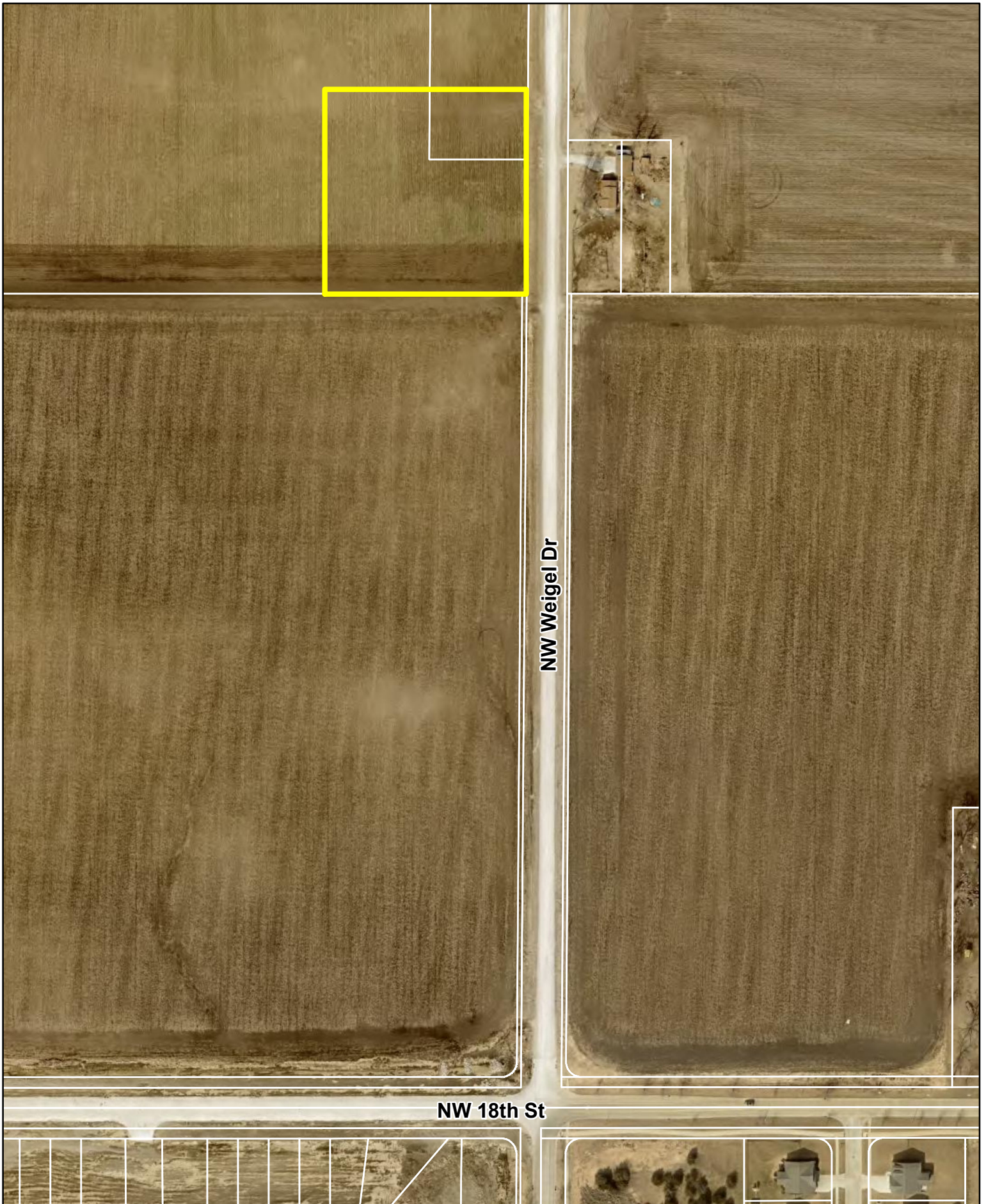
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ATTACHMENTS:

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Click to download	
	<a href="#">Aerial Map</a>
	<a href="#">Staff Report</a>
	<a href="#">Applicant Letter</a>
	<a href="#">Final Plat</a>







*City Council  
Staff Report*

*Meeting Date: November 21, 2023*

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**Agenda Item:** Ankeny Fire Station No. 4 Final Plat  
**Report Date:** November 15, 2023  
**Prepared By:** Laura Hutzell *ETC*  
Associate Planner

**Staff Recommendation:**

That the Plan and Zoning Commission recommend City Council approval of the Ankeny Fire Station No. 4 Final Plat.

**Project Summary:**

Ankeny Fire Station No. 4 Final Plat is a proposed 2.50-acre (+/-) plat that creates one platted lot. The property is located north of NW 18<sup>th</sup> Street and west of NW Weigel Drive and is the future location of the newest Ankeny Fire Station. The zoning for this property is R-1, One-Family Residence District.

**Project Report:**

- Streets:** The proposed development will be accessed off of NW Weigel Drive via two paved drives, one on the north side of the site, and one to the south. The proposed plat also requires 8-foot sidewalks on the west side of NW Weigel Drive.
- Water:** The development will be serviced by connecting to the existing 16-inch water main that runs along the east side of NW Weigel Drive.
- Sewer:** Sanitary service will be provided by connecting to the sanitary main that runs along the south end of the development.
- Drainage:** The plat area provides a stormwater detention area in the southwest, which collects via a storm sewer drain heading west and then northeast before ultimately conveying stormwater into Rock Creek.
- Parkland:** Parkland dedication is not required.



**CITY OF ANKENY  
SUBDIVISION DATA**

**NAME OF PLAT:** Ankeny Fire Station No. 4 Final Plat  
**NAME OF OWNER/ DEVELOPER:** City of Ankeny

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**GENERAL INFORMATION:**

PLAT LOCATION: North of NW 18<sup>th</sup> Street; west of NW Weigel Drive  
SIZE OF PLAT: 2.50 acres  
ZONING: R-1, One-Family Residence District

**LOTS:**

NUMBER: 1 Lot  
SIZE/DENSITY: 2.50 AC;  
USE: Future Fire Station No. 4  
BUILDING LINES: Residential (Lot 1)  
Front: 35'  
Side: 8' / 18'  
Rear: 35'  
Lot Width: 85' Min  
Lot Area: 10,200 SF Min

**PARK SITE DEDICATION:** None required.

**ADJACENT LANDS:**

NORTH: Undeveloped R-1, One-Family Residence District  
SOUTH: R-3, Multiple Family Residence District  
EAST: R-1, One-Family Residence District  
WEST: Undeveloped R-1, One-Family Residence District

**STREET DEVELOPMENT:**

No new street development associated with this plat.

**WASTE WATER:**

PROJECTED FLOWS: 2.5 acres X 3,000 gpd/single family = 7,500 GDP

WRA CAPACITY: 11.2 MGD; current daily avg. 4.4 MGD

NEAREST DOWNSTREAM INTERCEPTOR/TRUNK LINE: Rock Creek Interceptor

**STORM WATER:**

BASIN FLOWS: This plat lies in the Rock Creek Drainage Area

**WATER SYSTEM:**

USAGE: 2.5 acres X 3,000 gpd/person = 7,500 GPD

SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD

**FINAL PLAT DRAWING:**

Staff recommends approval.

**CONSTRUCTION PLANS:**

No public infrastructure is required for the development of this plat; therefore, no construction plans were needed.

November 10, 2023

Planning and Zoning Commission & City Council  
City of Ankeny  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50021

RE: ANKENY FIRE STATION NO. 4  
FINAL PLAT RESUBMITTAL  
S&A PROJECT NO. 123.0358.01

Dear Honorable Mayor, City Council Members, & Planning and Zoning Commission:

On behalf of the City of Ankeny, please find accompanying the revised Final Plat and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications. We respectfully request the City's review and approval of the documents. The development is proposed for single lot consisting of 2.50 Acres which will be the future home of Ankeny Fire Station No. 4. Upon approval, construction is proposed to begin in the Spring of 2025.

Please find accompanying the following items:

- 4 copies of the Final Plat,
- 4 copies of the Site Plan,
- 4 copies of the colored building elevations,
- 2 copies of the response letter

Please feel free to contact me at your convenience should you have any questions or comments.  
Thanks.

Sincerely,  
SNYDER AND ASSOCIATES, INC.



Eric D. Cannon, P.E.

Cc: Mike Schrock, City of Ankeny  
Robert Ornsby, SVPA  
File







PLAN AND ZONING COMMISSION

November 21, 2023

6 : 30 PM

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ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

---

ACTION REQUESTED:

Motion

---

LEGAL:

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SUBJECT:

2320 NW Weigel Drive - Ankeny Fire Station No. 4 Site Plan

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EXECUTIVE SUMMARY:

See attached staff report.

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FISCAL IMPACT: **No**

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STAFF RECOMMENDATIONS:

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PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

---

PUBLIC OUTREACH EFFORTS:

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ACTION REQUESTED:

**Action:** Consider MOTION to approve the site plan for 2320 NW Weigel Drive, Ankeny Fire Station No. 4, subject to approval of the associated final plat.

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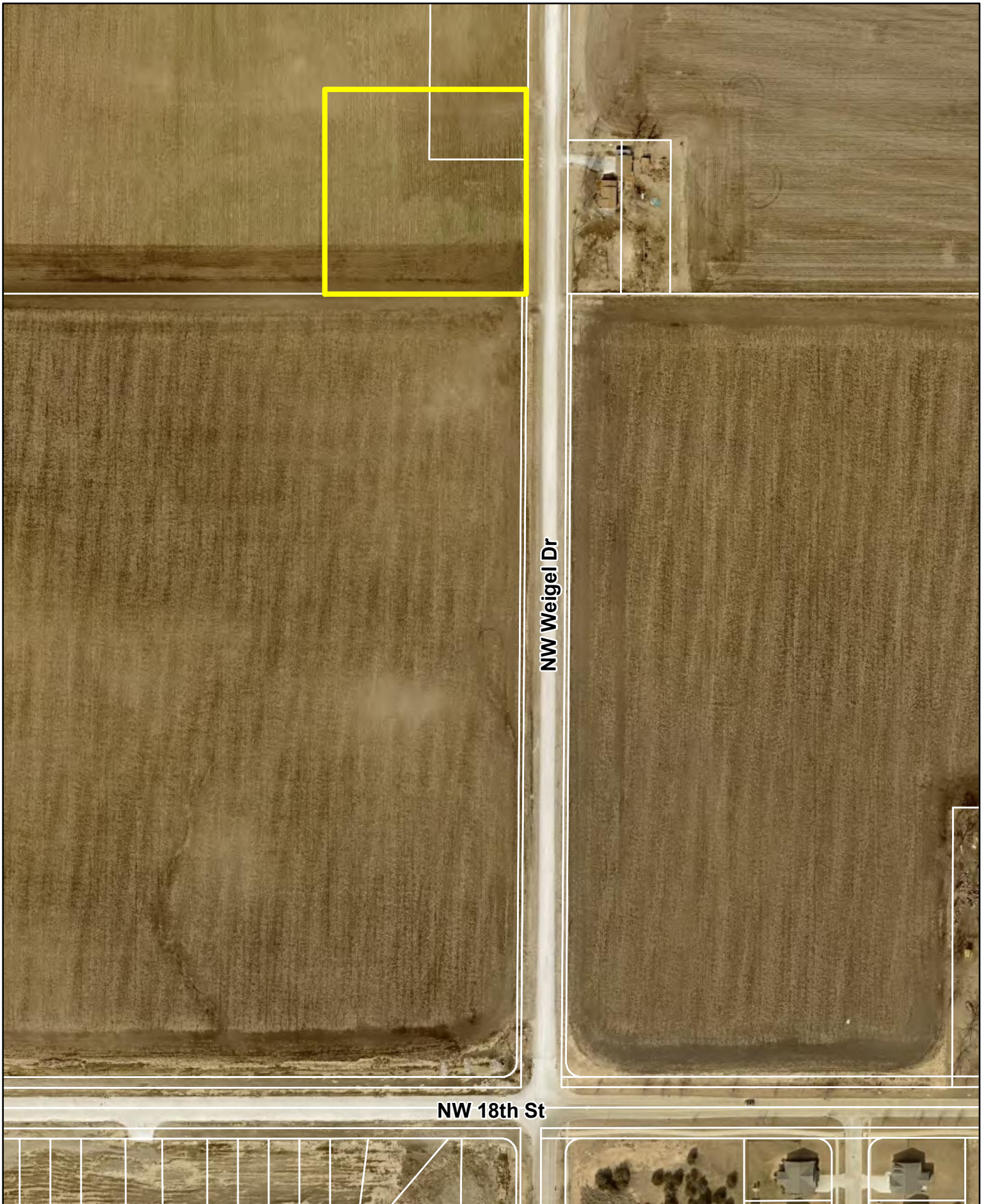
ADDITIONAL INFORMATION:

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ATTACHMENTS:

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Click to download	
	<a href="#">Aerial Map</a>
	<a href="#">SP Staff Report - Signed</a>
	<a href="#">Applicant Letter</a>
	<a href="#">Site Plan</a>
	<a href="#">Building Elevations</a>
	<a href="#">Trash Elevations</a>



1 inch = 200 feet  
Date: 11/13/2023

**2320 NW Weigel Drive**  
**Ankeny Fire Station No. 4**





*Plan and Zoning Commission  
Staff Report*

*Meeting Date: November 21, 2023*

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**Agenda Item:** 2320 NW Weigel Drive – Fire Station No. 4 Site Plan  
**Report Date:** November 16, 2023  
**Prepared by:** Laura Hutzell  
Associate Planner

**Staff Recommendation:**

That the Plan and Zoning Commission approve the site plan for 2320 NW Weigel Drive, Ankeny Fire Station No. 4, subject to City Council approval of the associated Final Plat.

**Project Summary:**

The City of Ankeny is proposing a fourth fire station at 2320 NW Weigel Drive, located north of NW 18<sup>th</sup> Street and west of NW Weigel Drive. The subject property is zoned R-1, One-Family Residence District. The building is proposed to be roughly 12,855 square feet in size. The site includes pedestrian and vehicular circulation via paved drives and sidewalks, 20 parking spaces, a proposed stormwater management area, trash enclosure and plantings. The site plan also includes the potential for two, 15,000-gallon underground storage fuel tanks for onsite fueling at this location. It is anticipated the City will approve the final plat for Ankeny Fire Station No. 4, on December 4, 2023, creating Lot 1, which is roughly 2.50 acres for this site plan.

The exterior of the primary structure on the site is proposed to be constructed primarily of brick and metal panels. A base of permanent materials is proposed around the entire perimeter of the building, while the minimum primary material requirements have been satisfied for each wall on the elevations. In addition to the primary building, the site plan shows a trash enclosure located on the southwest side of the building, which is comprised of brick and composite wood paneling.

The site plan shows two access points (north and south) leading to the proposed development, both of which stem from NW Weigel Drive. Parking stalls are situated west and east of the proposed building, with 20 stalls provided. Pedestrian access is provided via a proposed 8ft side walk on the west side of NW Weigel Drive.

The landscaping requirements of the Code have been satisfied. In addition to fulfilling the requirements for open space and pavement shading landscaping, additional screening is provided along the perimeter of the south, west and north sides of the site. For utilities on the site, the development will be serviced by connecting to the existing 16-inch water main that runs along the east side of NW Weigel Drive, an 8-inch service line will then be extended throughout the development. Sanitary service will be provided by connecting to the sanitary main that runs along the south end of the development. Stormwater on the site will be detained via a detention pond on the southwest side of the development.

**Site Plan Worksheet**  
**2320 NW Weigel Drive – Ankeny Fire Station No. 4 Site Plan**

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

**A. Site Development**

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The proposed building is situated near the center of Lot 1 of Ankeny Fire Station No. 4, Final Plat with the primary building façade facing east towards NW Weigel Drive. The alignment of the south drive was dictated by the design of the fire station building in an effort to align the fire apparatus directly with the street for ease of movement to and from the site. The proposed building and site plan are consistent with the three, existing fire stations in town. Parking areas are located on the east and west sides of the site.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The surrounding NE Weigel corridor is largely undeveloped, with residential further north and south of the site. The site plan generally complies with the landscaping and parking requirements of the code.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides for adequate parking and circulation in the area. The applicant is providing an 8-foot sidewalk on the west side of NE Weigel Drive, and sidewalk connecting the front and side doors. 20 parking spaces are being provided with the proposed development, which meets the required code. A majority of the parking is effectively screened by the building itself. Landscape around the perimeter of the site has also been provided for screening.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The access points onto NW Weigel Drive have been reviewed and not been found to increase congestion or decrease safety. Circulation is contained on site.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

The parking spaces located west of the building are effectively screened from NW Weigel Drive by the building itself. The applicant has also provided the required quantity of trees to comply with the pavement shading and open space requirements.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

The trash enclosure is located on the southwest corner of the building/site. The trash enclosure will be constructed with concrete block and faced in brick to match the building. The gates will be made of composite wood paneling.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

- 8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Lighting on the site will be directed away from adjoining properties and downward.

- 9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm drainage and erosion control has been reviewed and approved the City's Engineering and Municipal Utilities Departments. Stormwater will be directed to a basin located on the southwest portion of the site.

- 10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The development will be serviced by connecting to the existing 16-inch main along the east side of NW Weigel. Sanitary service will be provided by connecting to the sanitary main that runs along the south end of the development.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The proposed plans meet the open space requirements of the Code with the majority of the open space being provided on the west and south side of the proposed building.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed landscaping conforms and generally meets the requirements of the code.

## **B. Building Design**

- 1. Buildings shall have good scale and maintain or enhance the established scale of neighboring buildings and sites.**

The proposed building is one-story and will be roughly 12,855 square feet in size. The scale of the proposed building is consistent with the established scale of others in the area, and is consistent with the three existing fire stations in Ankeny.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The proposed building will be constructed with a combination of brick and composite metal panels with a base of split face CMU with cast stone header. Colored elevations have been included. Staff finds that the proposed building materials are consistent with the proposed use and with the other fire stations in Ankeny.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

The trash enclosure is located on the southwest side of the building. The trash enclosure will be constructed with concrete block and faced in brick to match the building, with wood paneling gates. The transformer and the generator, also located on the southwest side of the building, have been screened by the building itself and by landscape plantings.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

There is only one building being proposed on the site.

## **C. Signs**

Final design and allowances of signage will be determined with future sign permits.

## **D. Factors for Evaluation**

**The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:**

- 1. Conformance to Design Standards and other applicable code requirements**

The plans submitted generally conform to the written regulations of the City.

- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The site layout is compatible with setbacks and other sites in the neighboring area.



**3. Layout and utilization of building, parking, drive-ways, and open spaces.**

The layout and circulation system for traffic on the site is appropriate and comparable to similar commercial development along NW State Street and NW 36<sup>th</sup> Street.

**4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**

The proposed 12,855 square-foot building is comparable in scale and style to the three existing Ankeny fire stations. The building will be constructed primarily of brick.

**5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**

It appears that the impact on these utility systems can be accommodated adequately.

November 10, 2023

Planning and Zoning Commission & City Council  
City of Ankeny  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50021

RE: ANKENY FIRE STATION NO. 4  
FINAL PLAT & SITE PLAN RESUBMITTAL  
S&A PROJECT NO. 123.0358.01

Dear Honorable Mayor, City Council Members, & Planning and Zoning Commission:

On behalf of the City of Ankeny, please find accompanying the revised Final Plat and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications. We respectfully request the City's review and approval of the documents. The development is proposed for single lot for the fourth fire station. Upon approval, construction is proposed to begin in the Spring of 2025.

Please find accompanying the following items:

- 4 copies of the Final Plat,
- 4 copies of the Site Plan,
- 4 copies of the colored building elevations,
- 2 copies of the response letter

Please feel free to contact me at your convenience should you have any questions or comments.  
Thanks.

Sincerely,  
SNYDER AND ASSOCIATES, INC.



Eric D. Cannon, P.E.

Cc: Mike Schrock, City of Ankeny  
Robert Ornsby, SVPA  
File

SITE PLANS  
FOR  
ANKENY FIRE STATION NO 4  
CITY OF ANKENY, POLK COUNTY, IOWA

OWNER/DEVELOPER

CITY OF ANKENY  
410 W 1ST STREET  
ANKENY, IOWA  
CONTACT: MIKE SCHROCK  
EMAIL: MSCHROCK@ANKENYIOWA.GOV  
PHONE: (515) 965-6420

ENGINEER

SNYDER & ASSOCIATES, INC.  
2727 SW SNYDER BOULEVARD  
ANKENY, IOWA 50023  
CONTACT: ERIC CANNON, PE  
PHONE: (515)964-2020



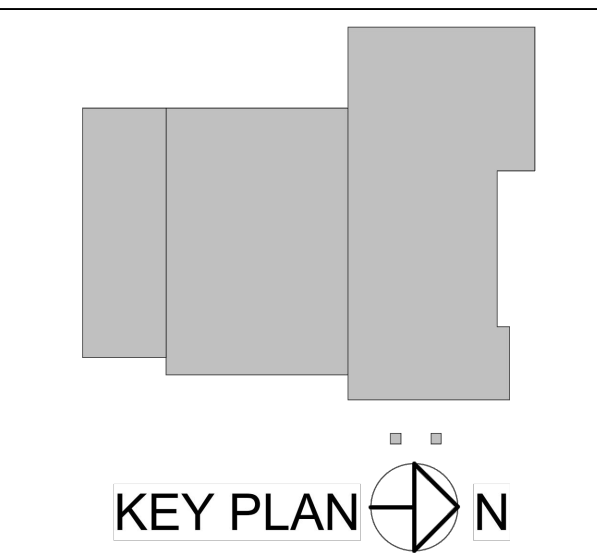
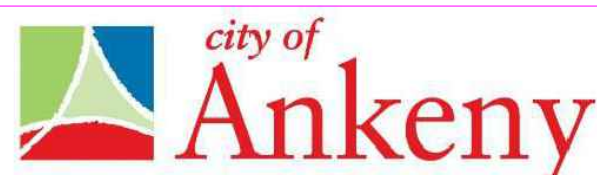
VICINITY MAP

Sheet List Table

C000	TITLE SHEET
C100	PROJECT INFORMATION
C200	DIMENSION PLAN
C300	UTILITY PLAN
C400	GRADING & EROSION CONTROL PLAN
C500	PLANTING PLAN

	I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa.
	Clay R. Schneckloth, PLA _____ Date _____
	License Number 512 _____
	Pages or sheets covered by this seal: C500 _____

	I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
	Eric D. Cannon, P.E. _____ Date _____
	License Number P18954 _____
	My License Renewal Date is December 31, 2023 Pages or sheets covered by this seal: C100-C400 _____



Ankeny Fire  
Station No 4

2320 NW WEIGEL DRIVE  
ANKENY, IA 50023

ISSUANCE

DESIGN DEVELOPMENT  
10/13/2023

REVISIONS

NOT FOR  
CONSTRUCTION

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ISSUED BY

23019

TITLE SHEET

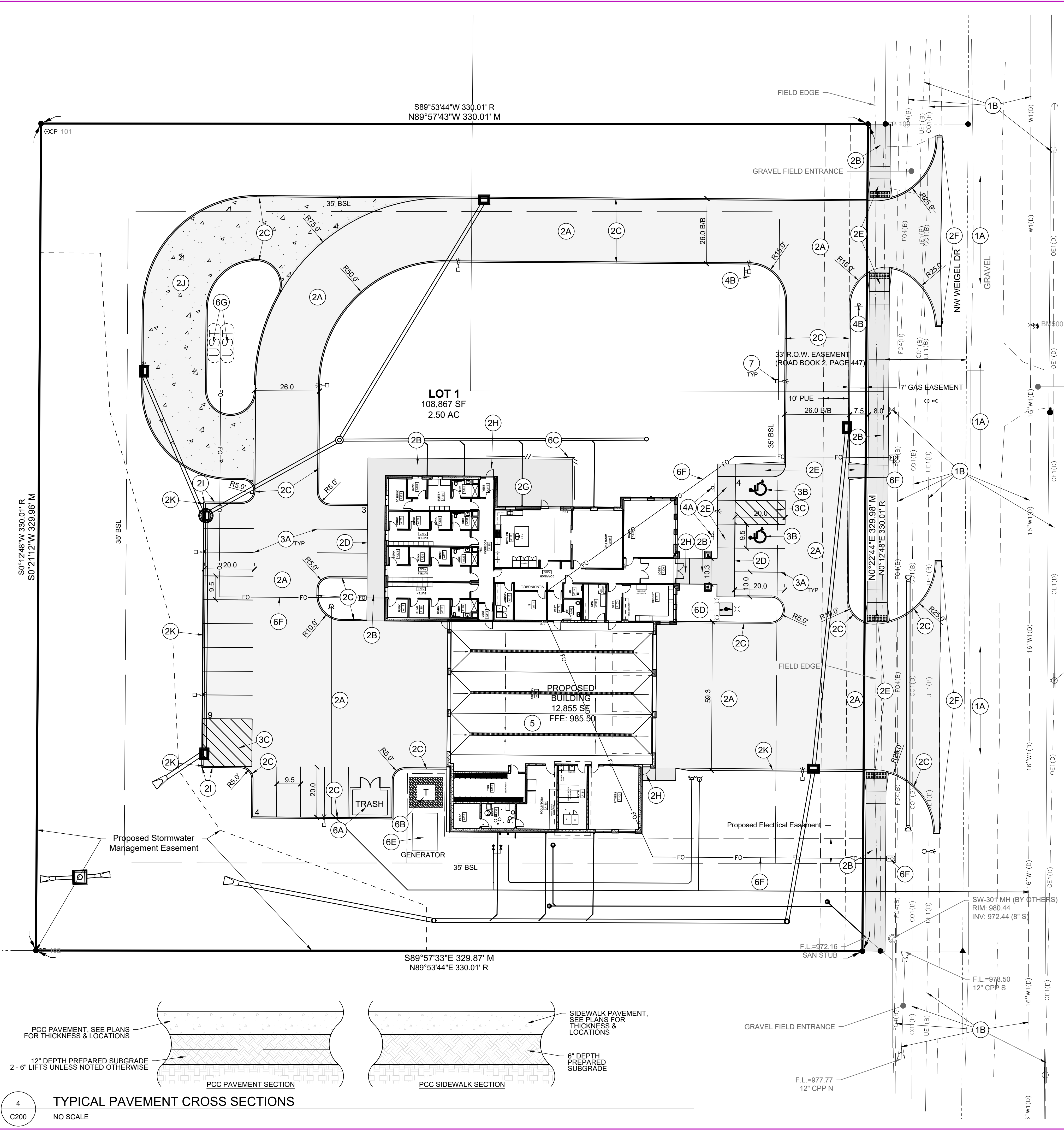
C000



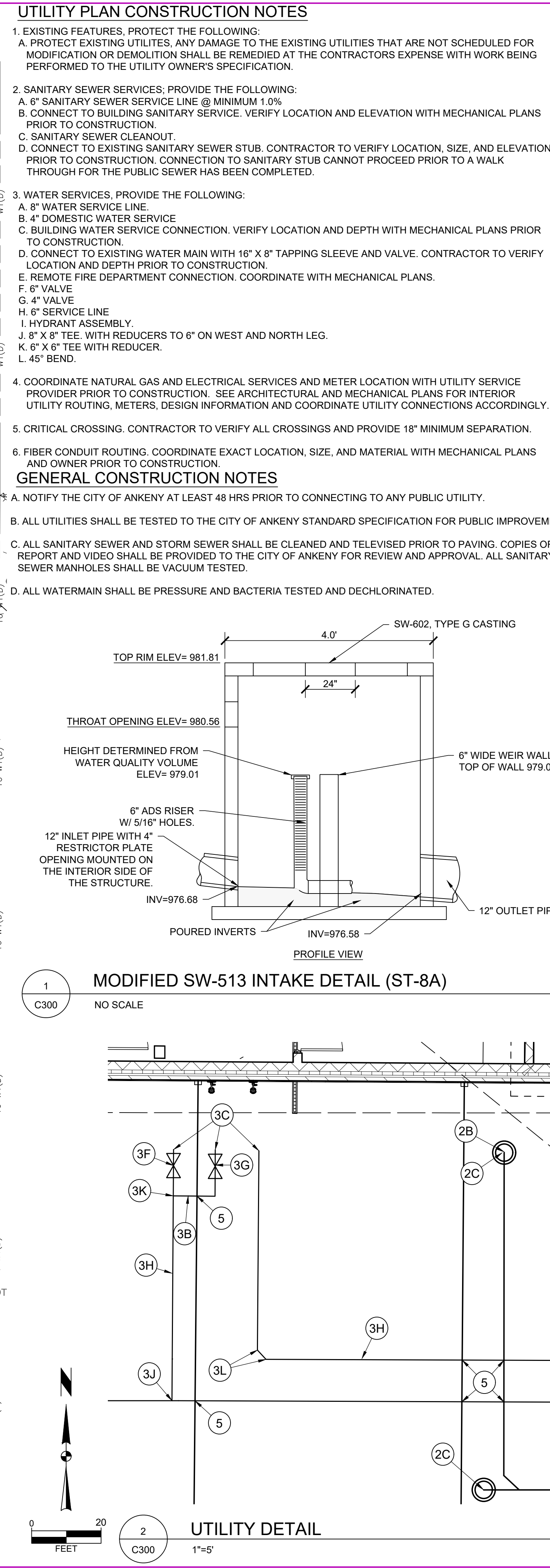




V:\Project\2023\123\084\_01\CAD\DWG\_123084\_DIM.dwg LOGAN MYERS, 2023/11/10, 11:14 AM, ARCH-FULL BLEED D (36.00 X 24.00 INCHES)

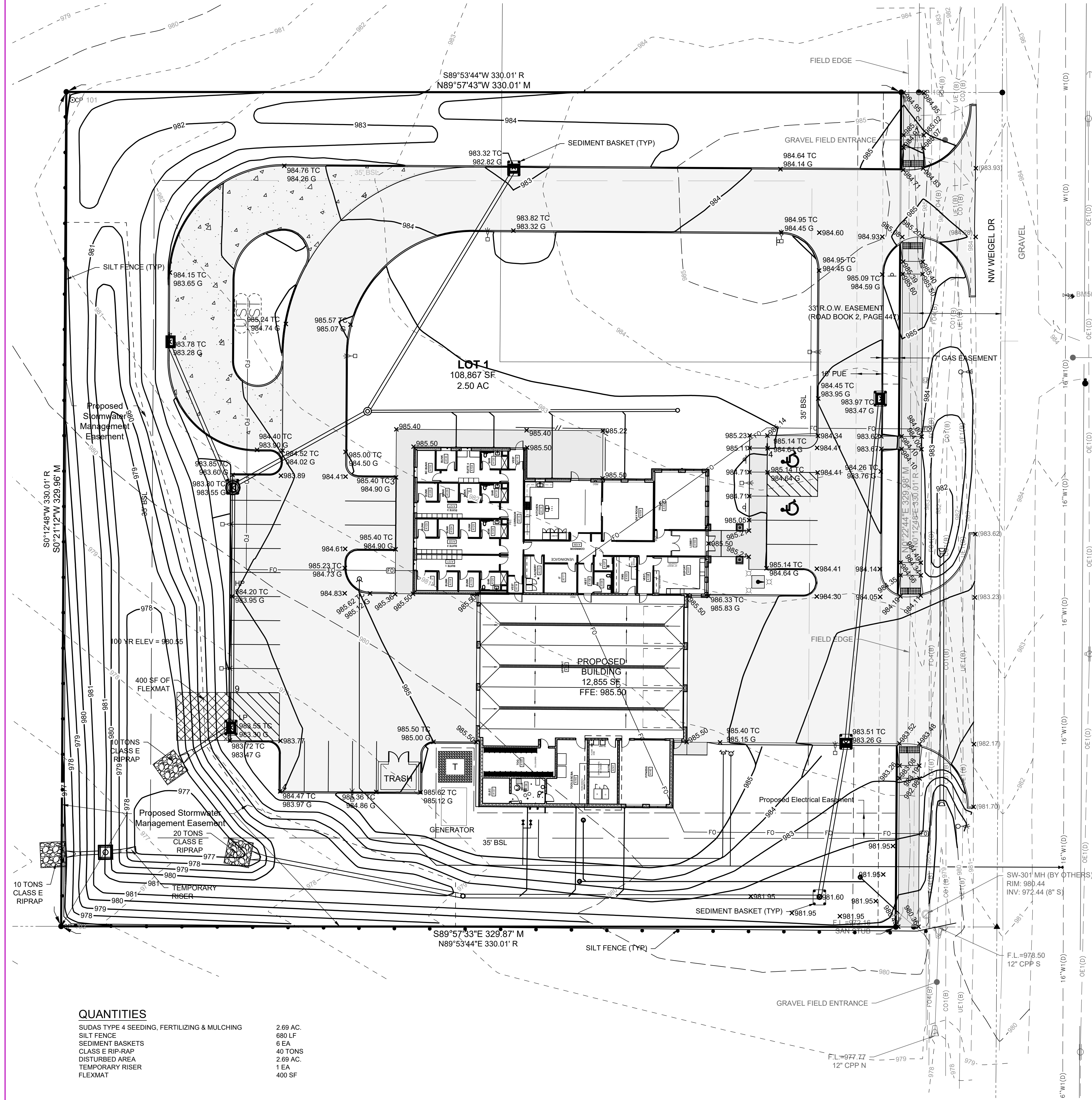








V:\Project\2023\23.0384\_01\CAD\05P\_120384\_05P.dwg LOGAN MYERS, GRADING & EROSION CONTROL PLAN, 2023/11/10, 11:15 AM, ARCH FULL BLEED D (8.00 X 24.00 INCHES)

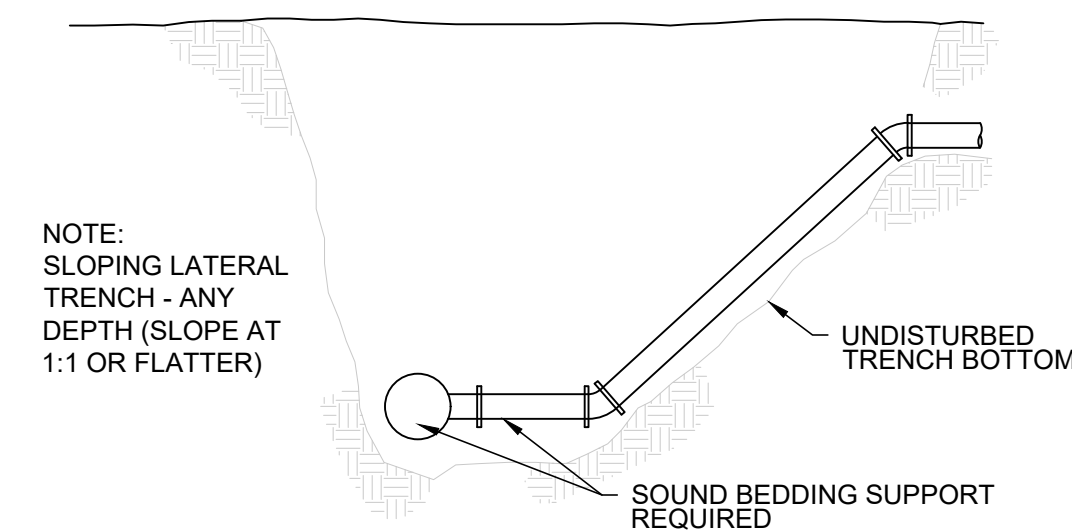


#### QUANTITIES

SUDAS TYPE 4 SEEDING, FERTILIZING & MULCHING	2.69 AC.
SILT FENCE	680 LF
SEDIMENT BASKETS	6 EA
CLASS E RIPRAP	40 TONS
DISTURBED AREA	2.69 AC.
TEMPORARY RISER	1 EA
FLEXMAT	400 SF

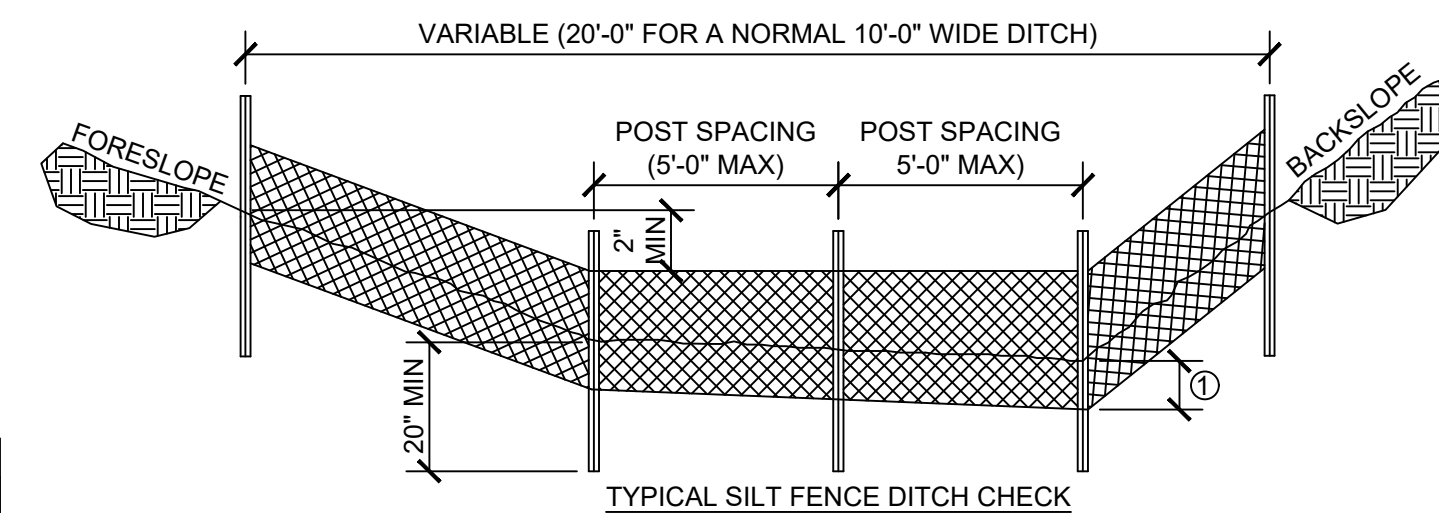
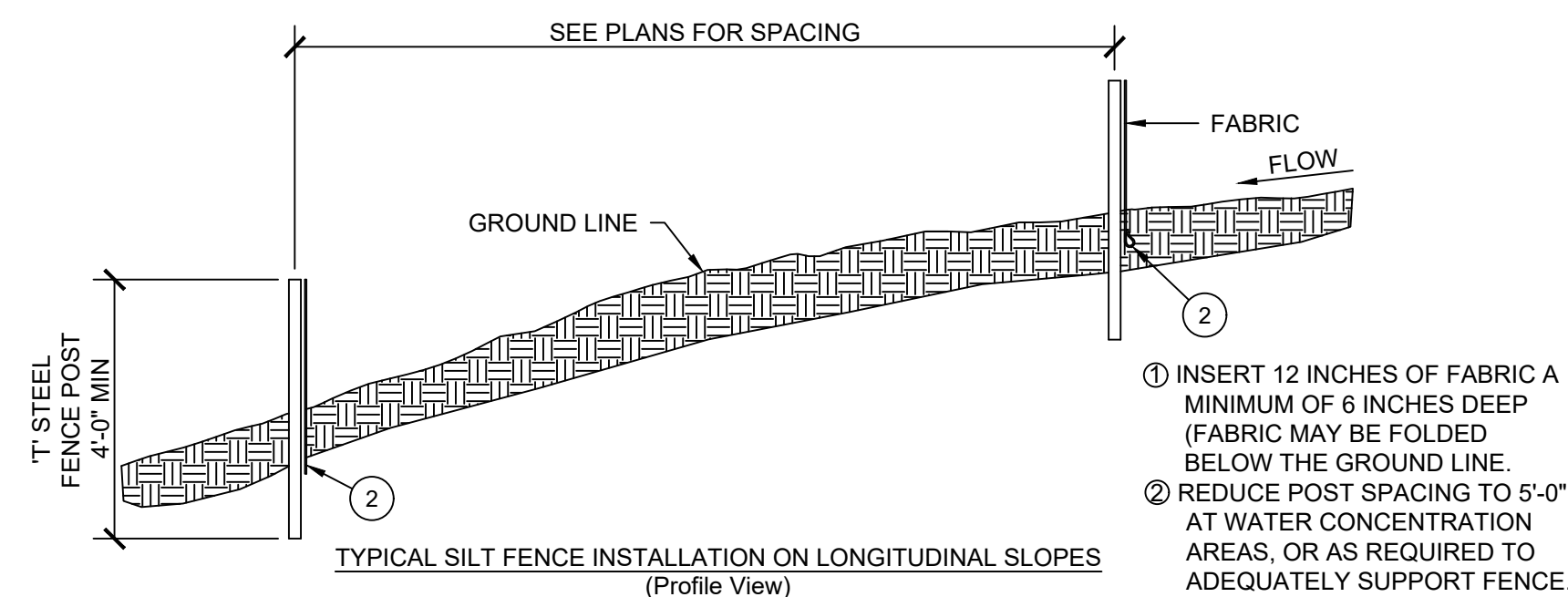
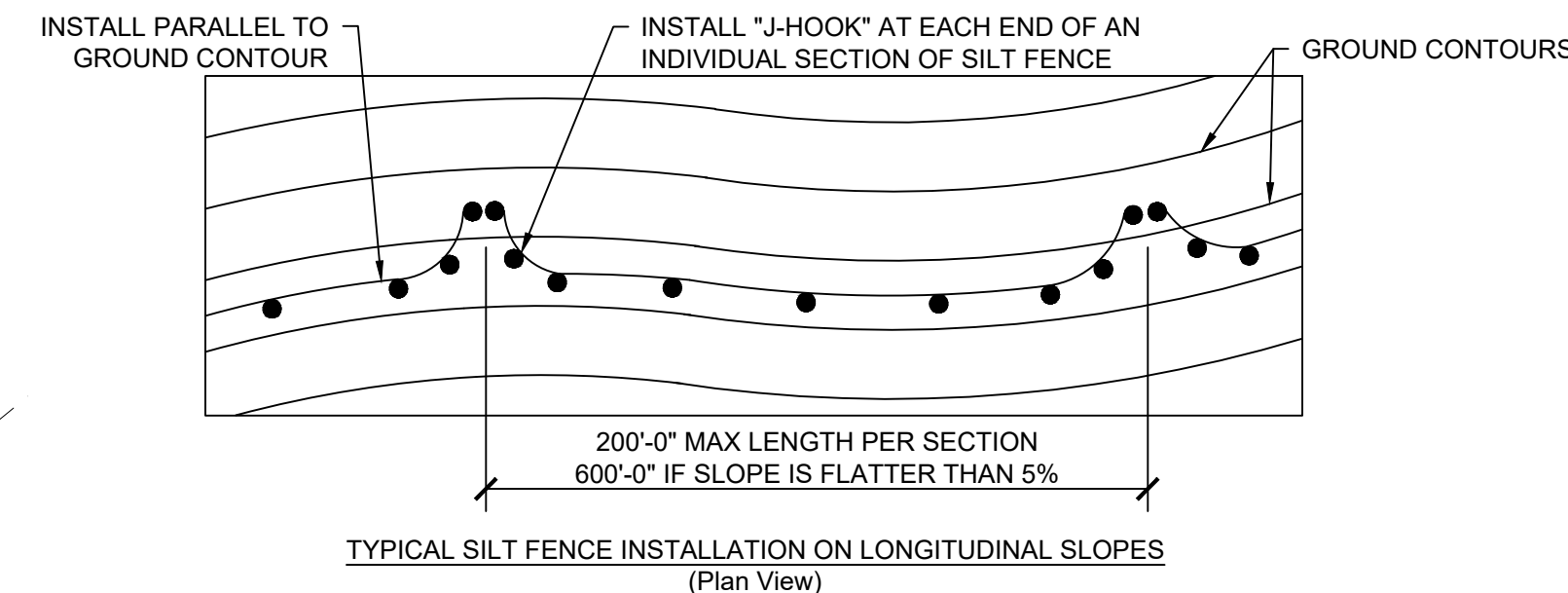
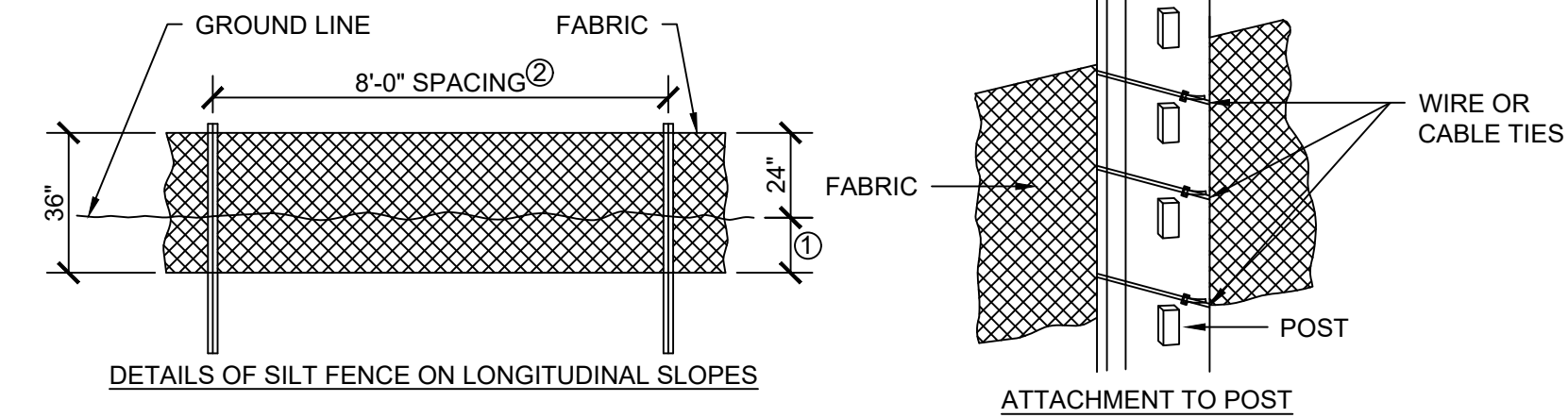
#### GRADING NOTES

- UTILITY WARNING:  
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE ANY UTILITY RELOCATIONS WITH UTILITY PROVIDER.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM STREETS, DRIVEWAYS AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY AND PRIOR TO A RAIN EVENT.
- SLOPES OF ALL UNPAVED AREAS TO BE 2.0% MINIMUM.
- CONTRACTOR TO CONTAIN SAWCUTTING/GRINDING SLURRY ON SITE AND DISPOSE OF ACCORDING TO IOWA DNR GENERAL PERMIT NO. 2.
- POST CONSTRUCTION VOLUME OF DETENTION BASIN WALL NEED TO BE VERIFIED AND PROVIDED TO CITY BEFORE FINAL CERTIFICATE OF OCCUPANCY (CO) CAN BE ISSUED.



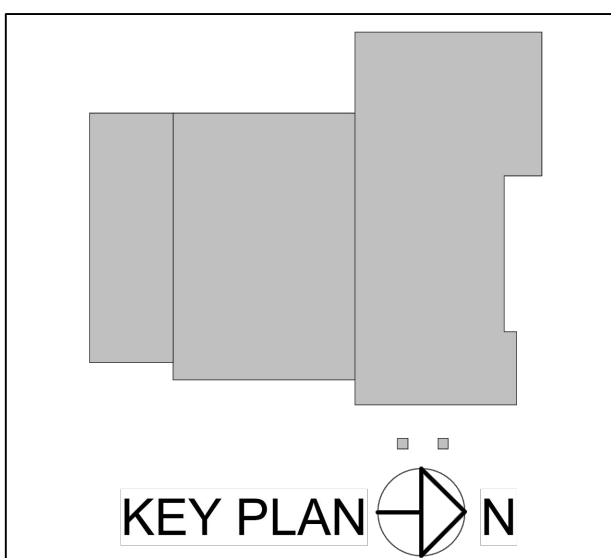
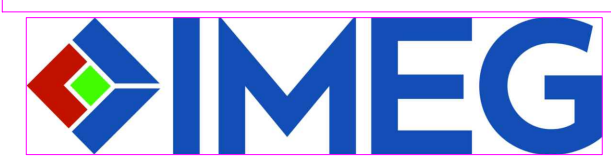
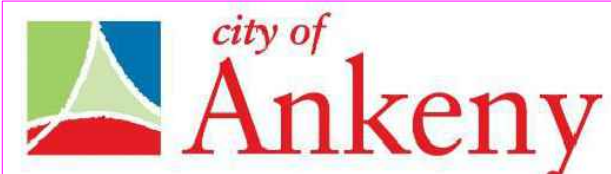
#### RISER DETAIL

1  
C400  
NO SCALE



#### SILT FENCE DETAIL

1  
C400  
NO SCALE



#### Ankeny Fire Station No 4

2320 NW WEIGEL DRIVE  
ANKENY, IA 50023

ISSUANCE

DESIGN DEVELOPMENT  
10/13/2023

REVISIONS

NOT FOR CONSTRUCTION

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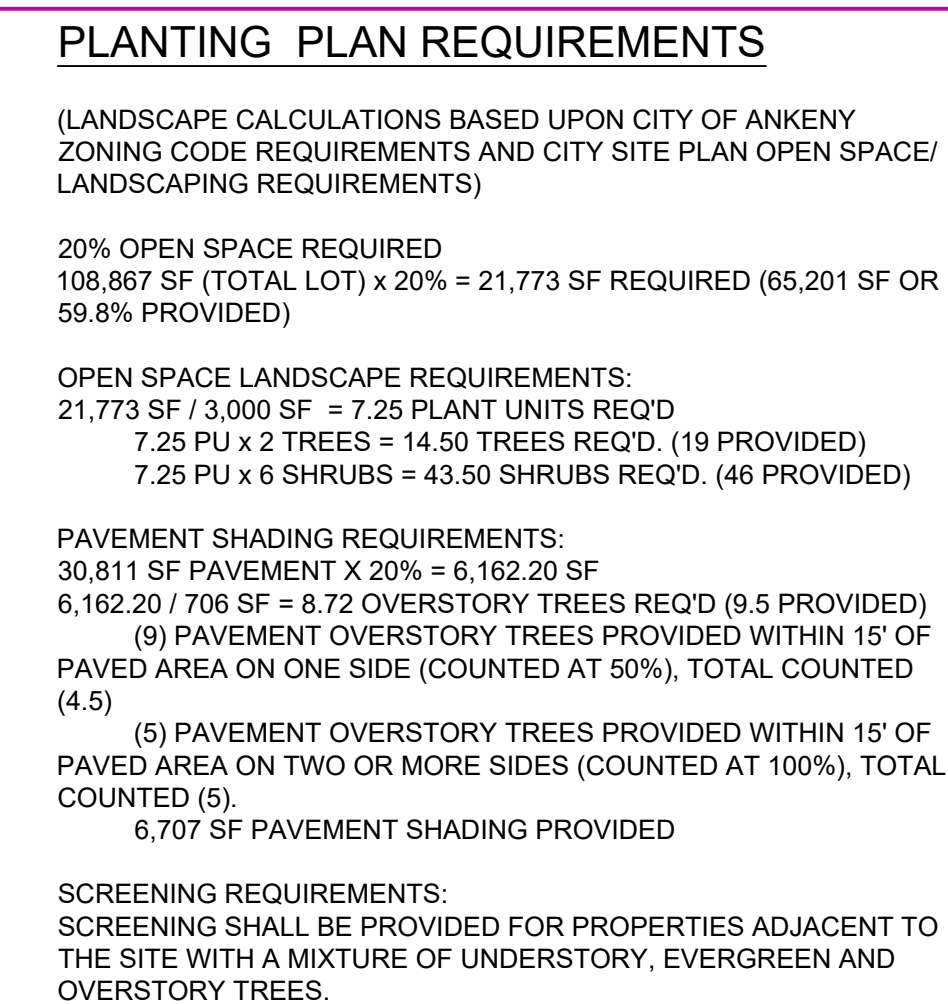
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23019

GRADING & EROSION  
CONTROL PLAN

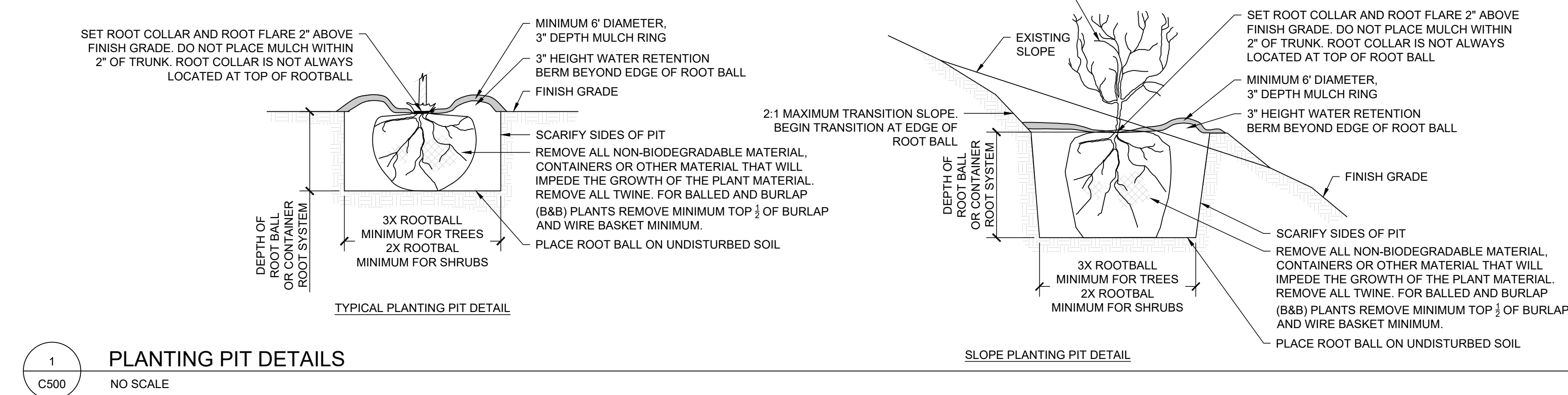
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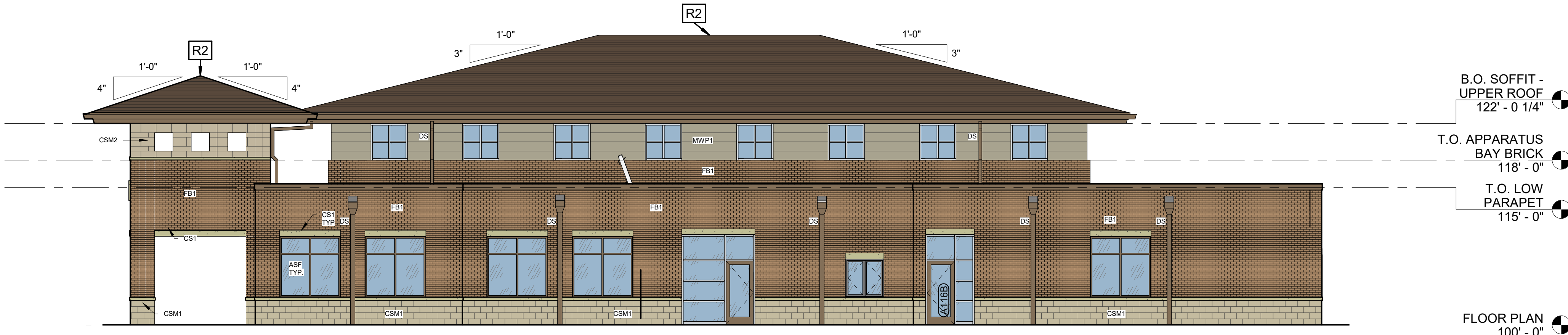


NOTE: QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY QUANTITY PRIOR TO BIDDING. IN THE CASE OF A DISCREPANCY, THE PLAN QUANTITY SHALL GOVERN.

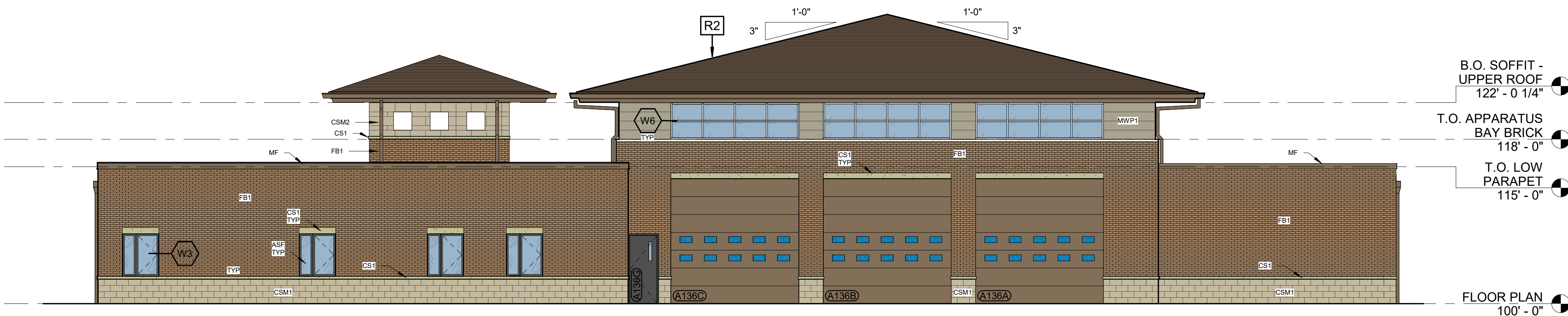
The diagram illustrates two methods for staking a newly planted tree. On the left, a north arrow and a scale bar (0 to 20 feet) are shown. The main diagram shows a tree with its trunk wrapped in a material labeled '1'. The trunk is supported by two stakes driven into the ground. The distance from the ground to the first branch is labeled '1 TO 2 TREE HEIGHT (2'-0" MIN)'. The distance from the ground to the top of the trunk is labeled '1/2 TO 3/4 TREE HEIGHT (4'-0" MIN)'. A 'GARDEN HOSE' is shown wrapped around the trunk. The stakes are labeled 'PLACE ON STAKE TO SOUTHWEST'. The stakes are labeled 'STAKING PLAN (TREES 2 1/2" DIA OR SMALLER)'. The stakes are labeled 'STAKING PLAN (TREES LARGER THAN 2 1/2" DIA)'. The stakes are labeled '1 WRAP TRUNK FROM GROUND TO FIRST BRANCH'.



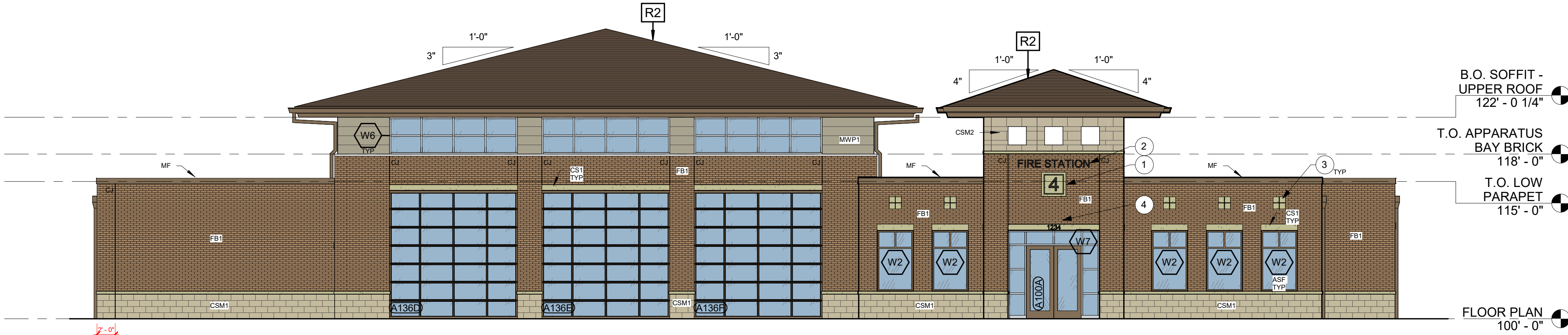




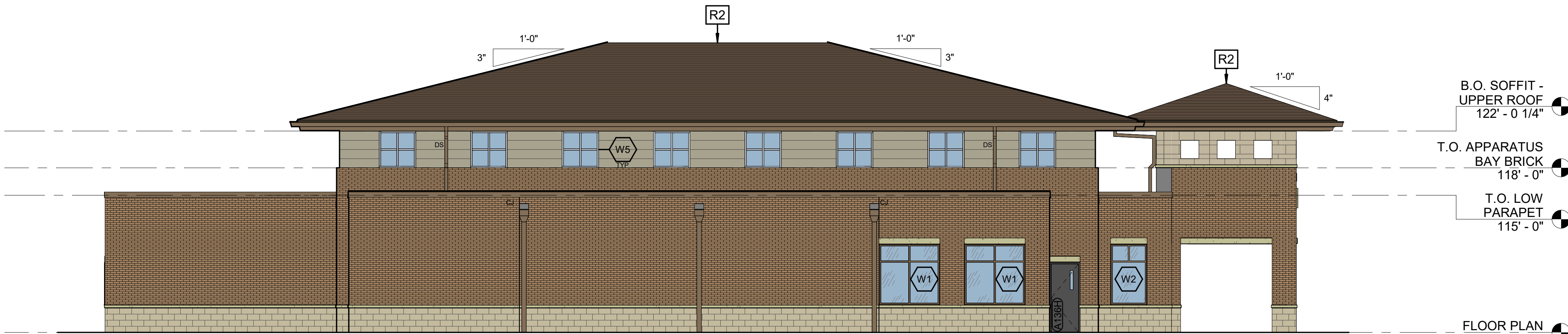
1 EXTERIOR ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - EAST  
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - WEST  
SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"

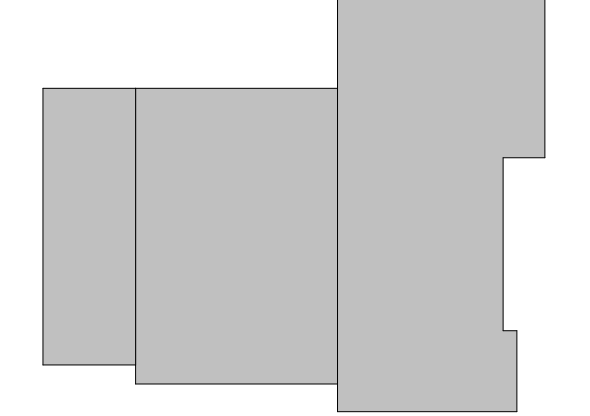
## MATERIAL LEGEND

FB1	FACE BRICK 1, NAPA VALLEY VELOUR COLOR, MODULAR SIZED, RUNNING BOND
CSM1	CALCIUM SILICATE MASONRY - ROCK FACE, RUNNING BOND
CSM2	CALCIUM SILICATE MASONRY - SMOOTH FACE, STACK BOND
MWP1	METAL WALL PANEL
CS1	CAST STONE
ASF	ALUMINUM STOREFRONT; OBE 2X6", CHAMPAGNE METALLIC WITH IG-1 (1", CLEAR, LOW-E, ARGON FILLED)
MF	7" TWO-PIECE SNAP ON ALUMINUM FASCIA TRIM

## MATERIAL PERCENTAGES

NORTH			EAST		
TOTAL SF = 2,554 SF			TOTAL SF = 2,647 SF		
	SF	%		SF	%
MASONRY	1,852	73	MASONRY	1,733	65
GLAZING	498	19	GLAZING	243	9
METAL WALL PANEL	204	8	METAL WALL PANEL	67	3
DOORS	NA	0	DOORS	604	23
SOUTH			WEST		
TOTAL SF = 2,649 SF			TOTAL SF = 2,665 SF		
	SF	%		SF	%
MASONRY	2,176	82	MASONRY	1,608	60
GLAZING	244	9	GLAZING	400	15
METAL WALL PANEL	204	8	METAL WALL PANEL	67	3
DOORS	25	1	DOORS	590	22

ELEVATION KEY NOTES	
Note Number	Note Text
1	2'-8"x2'-8" CAST STONE PANEL W/ ENGRAVED NUMBER "4"
2	10" ALUMINUM SIGNAGE
3	1'-4"x1'-4" CAST STONE PANEL
4	6" HIGH X 3/4" STROKE WIDTH ALUMINUM SIGNAGE ADHERED TO CAST STONE. GC TO VERIFY BUILDING ADDRESS PRIOR TO FABRICATION



## Ankeny Fire Station #4

NW WEIGEL DRIVE  
ANKENY, IA 50023

ISSUANCE  
CONSTRUCTION DOCUMENT  
PROGRESS SET  
11/30/2023

REVISIONS

NOT FOR CONSTRUCTION

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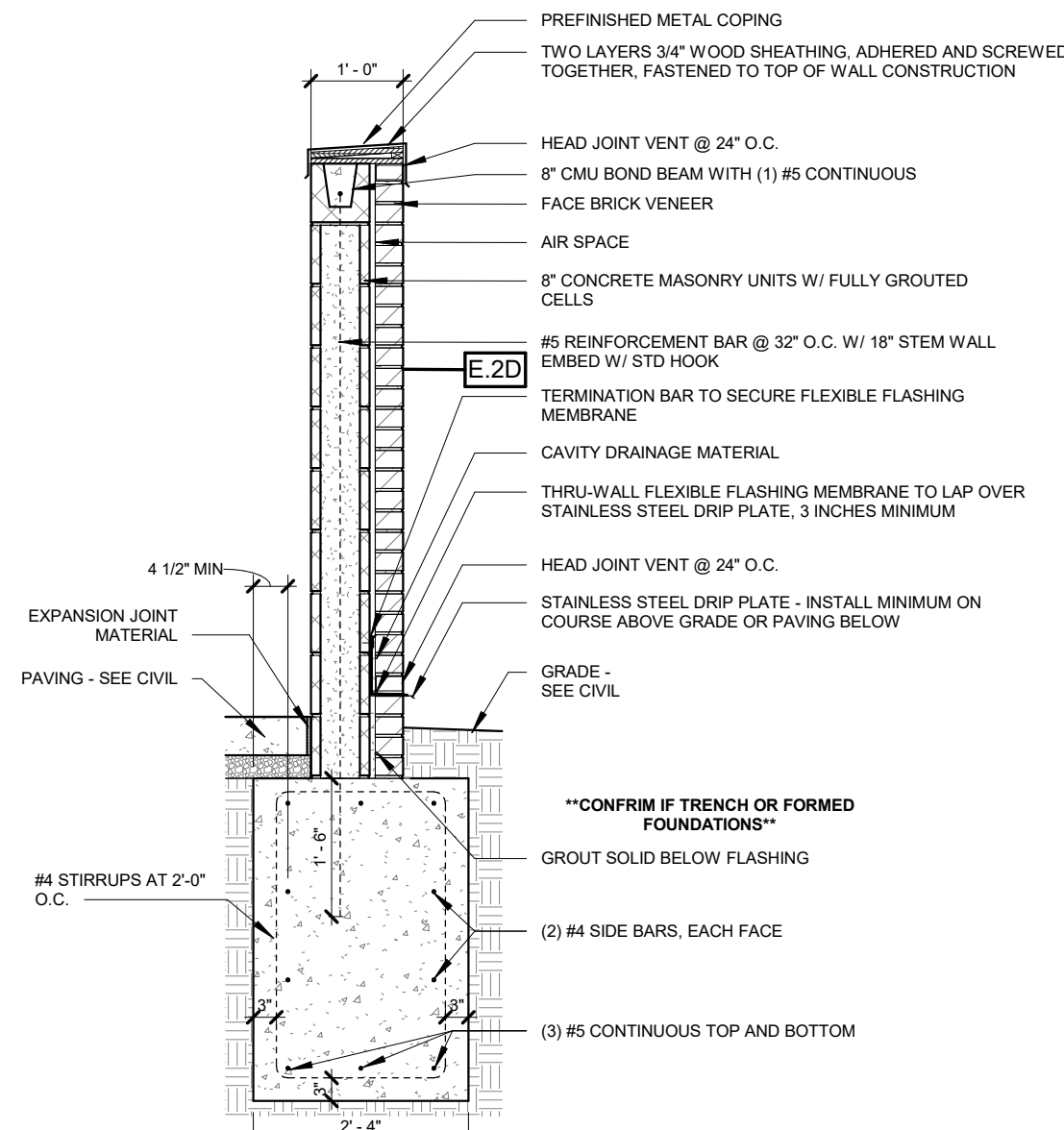
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PROJECT NUMBER  
23019

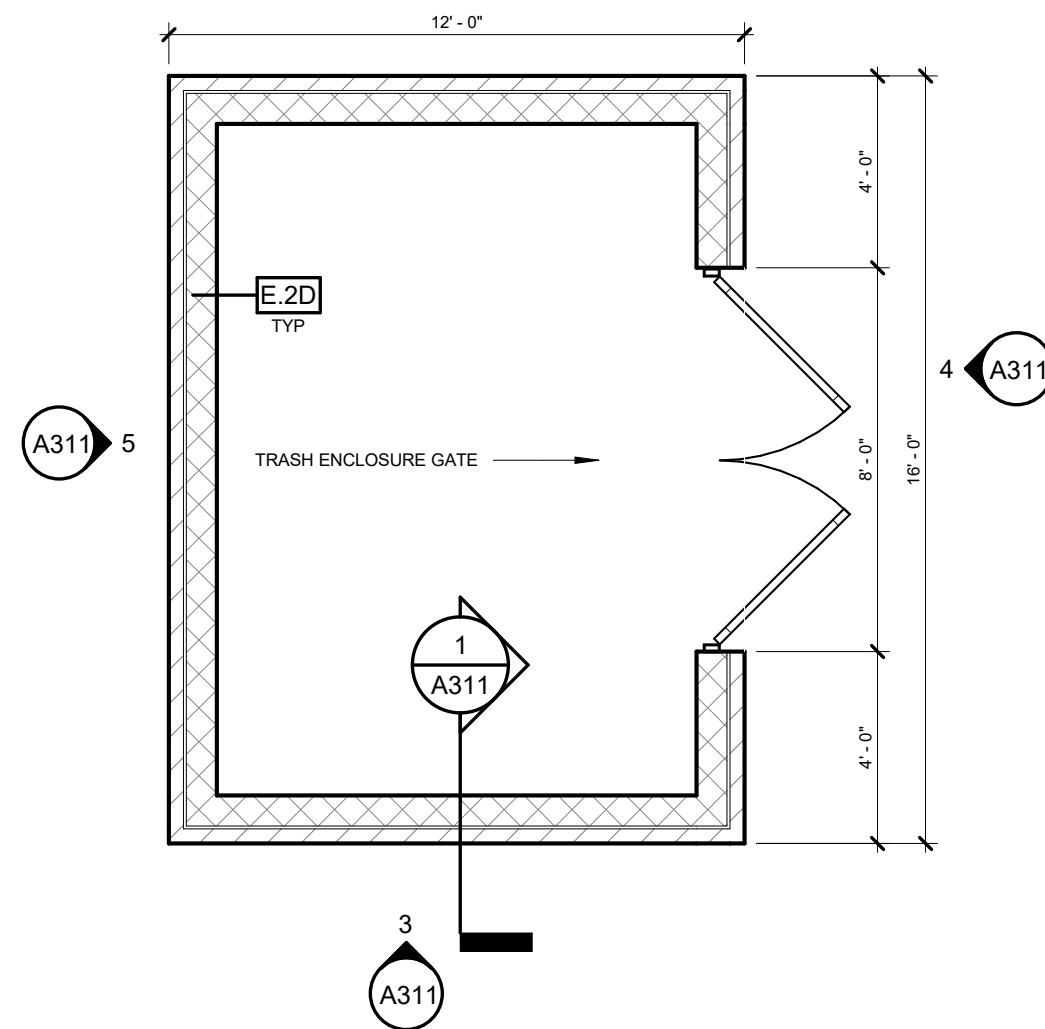
EXTERIOR ELEVATIONS

A200

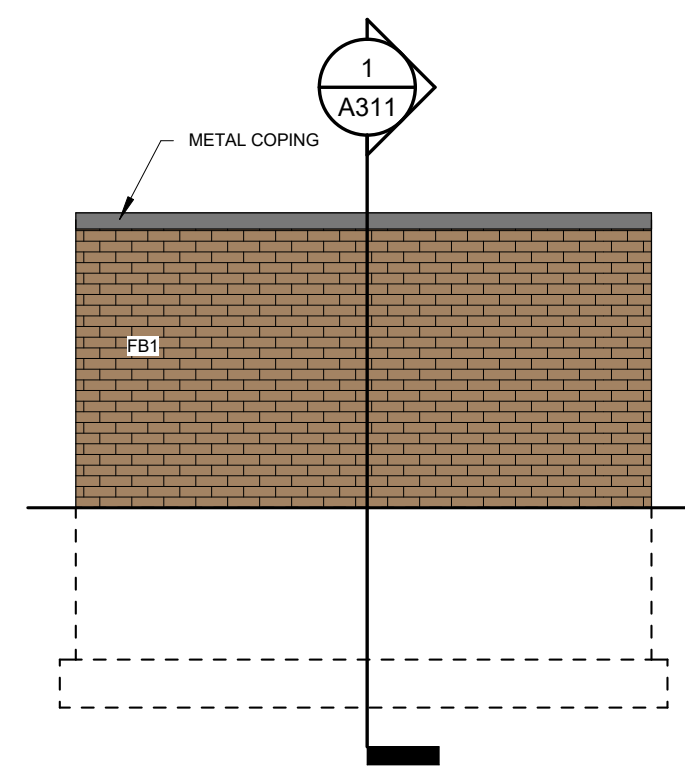




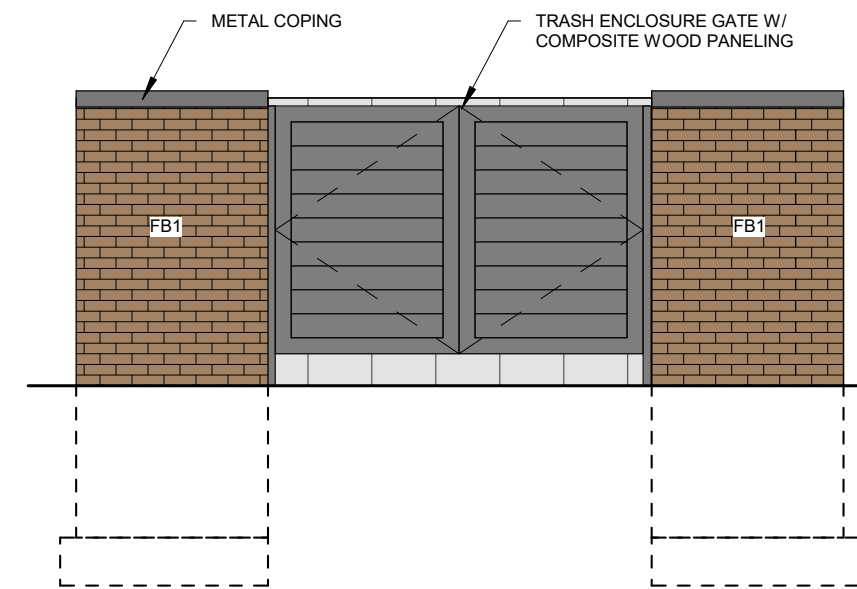
1 TRASH ENCLOSURE SECTION  
SCALE: 1/2" = 1'-0"



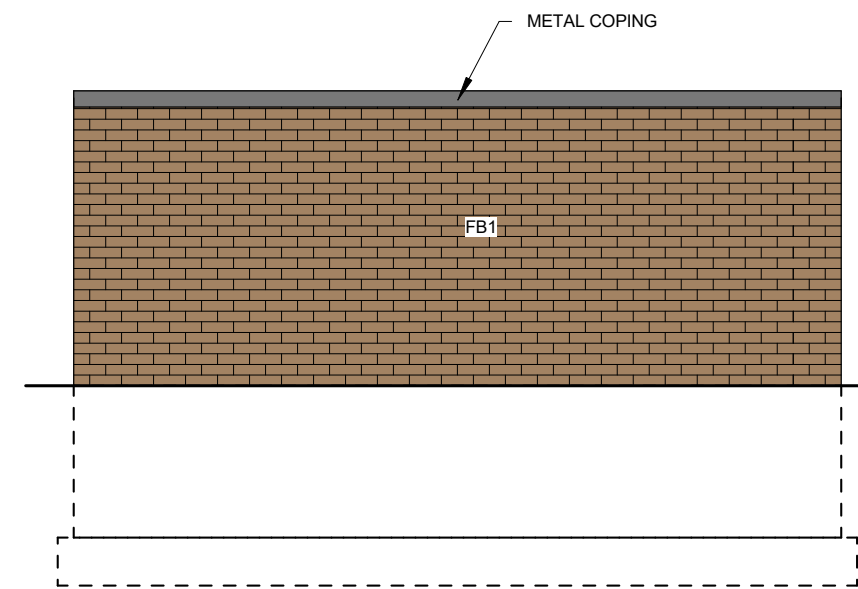
2 TRASH ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



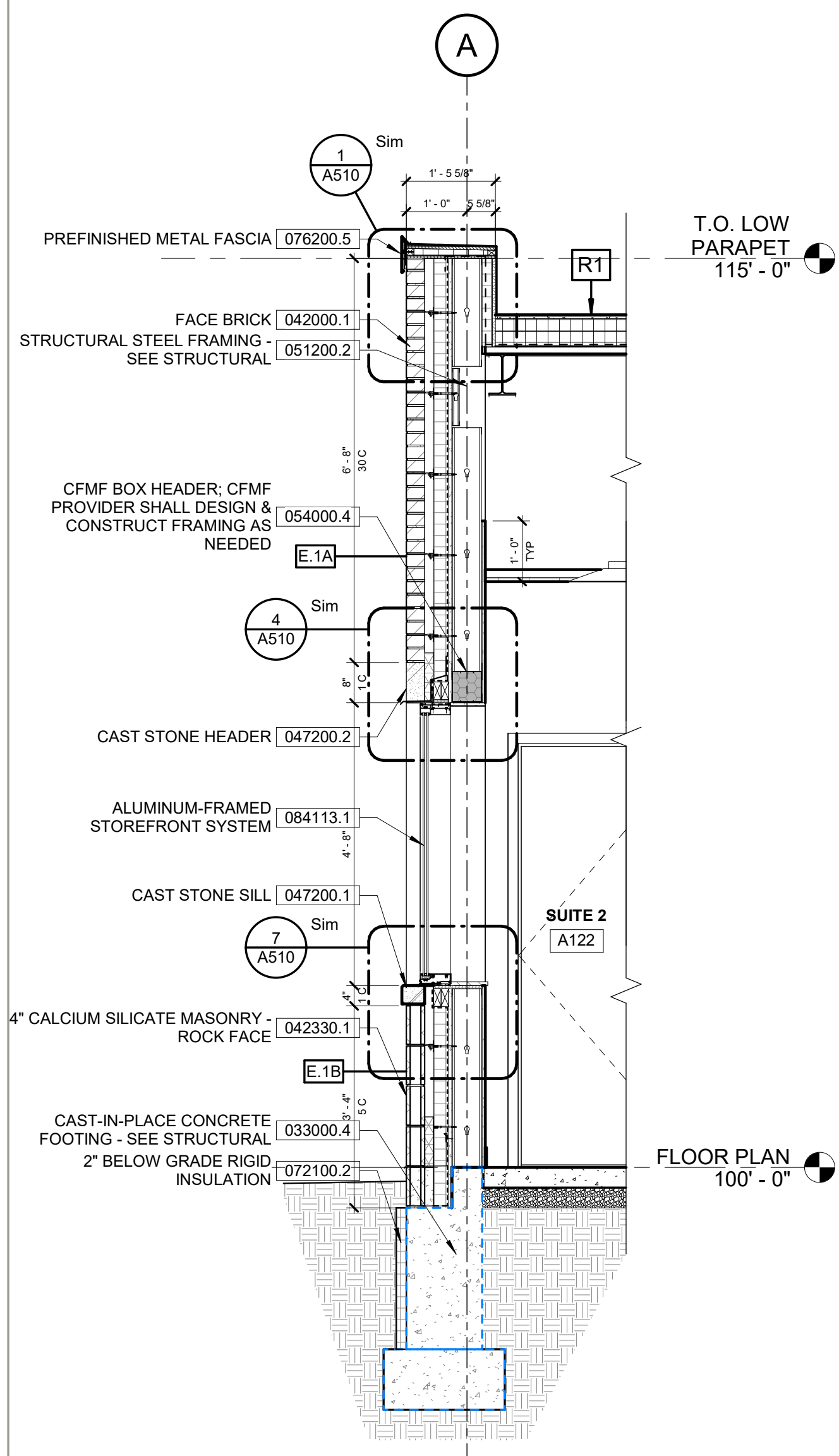
3 EAST/WEST TRASH ELEVATION  
SCALE: 1/4" = 1'-0"



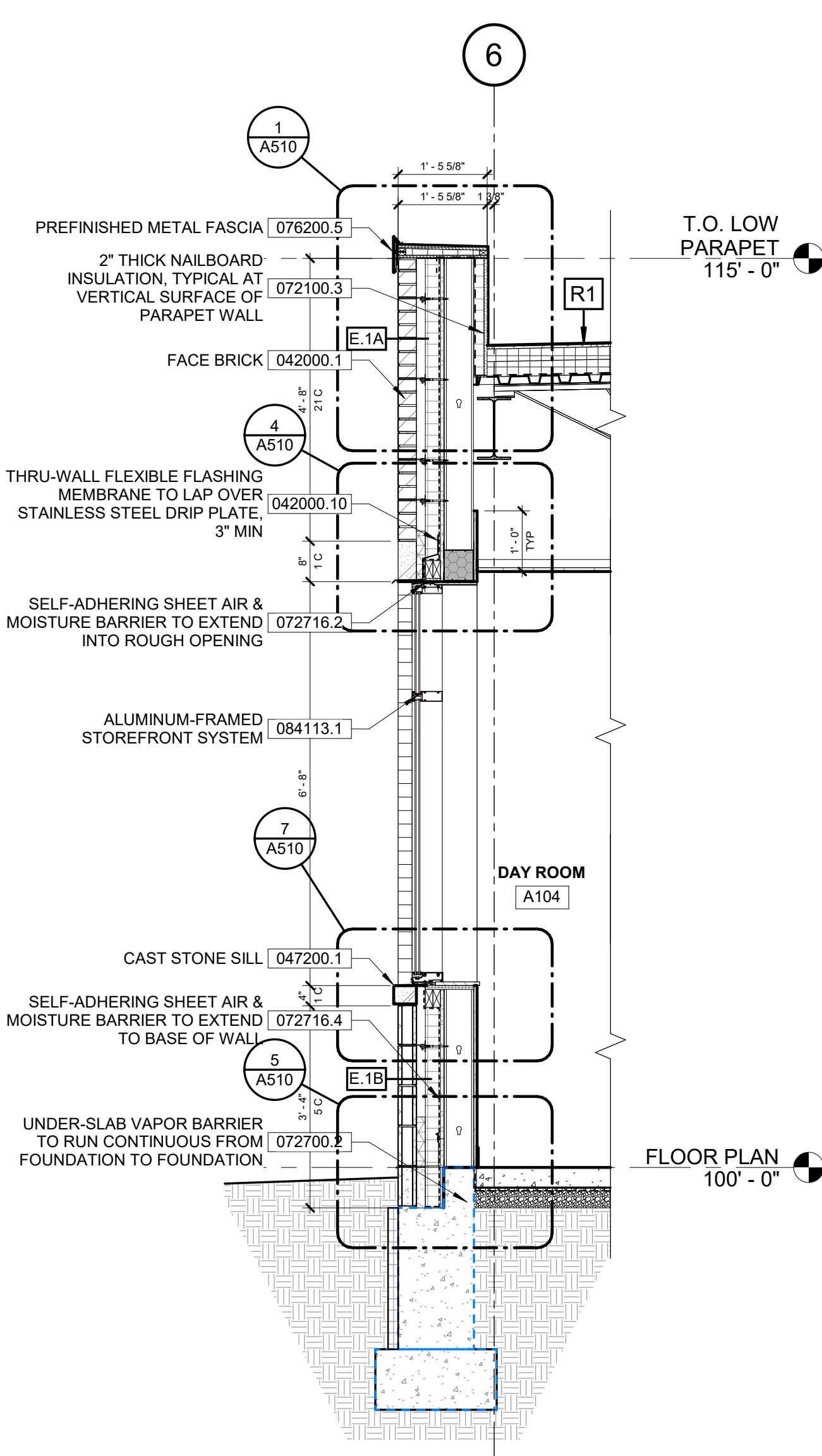
4 NORTH TRASH ELEVATION  
SCALE: 1/4" = 1'-0"



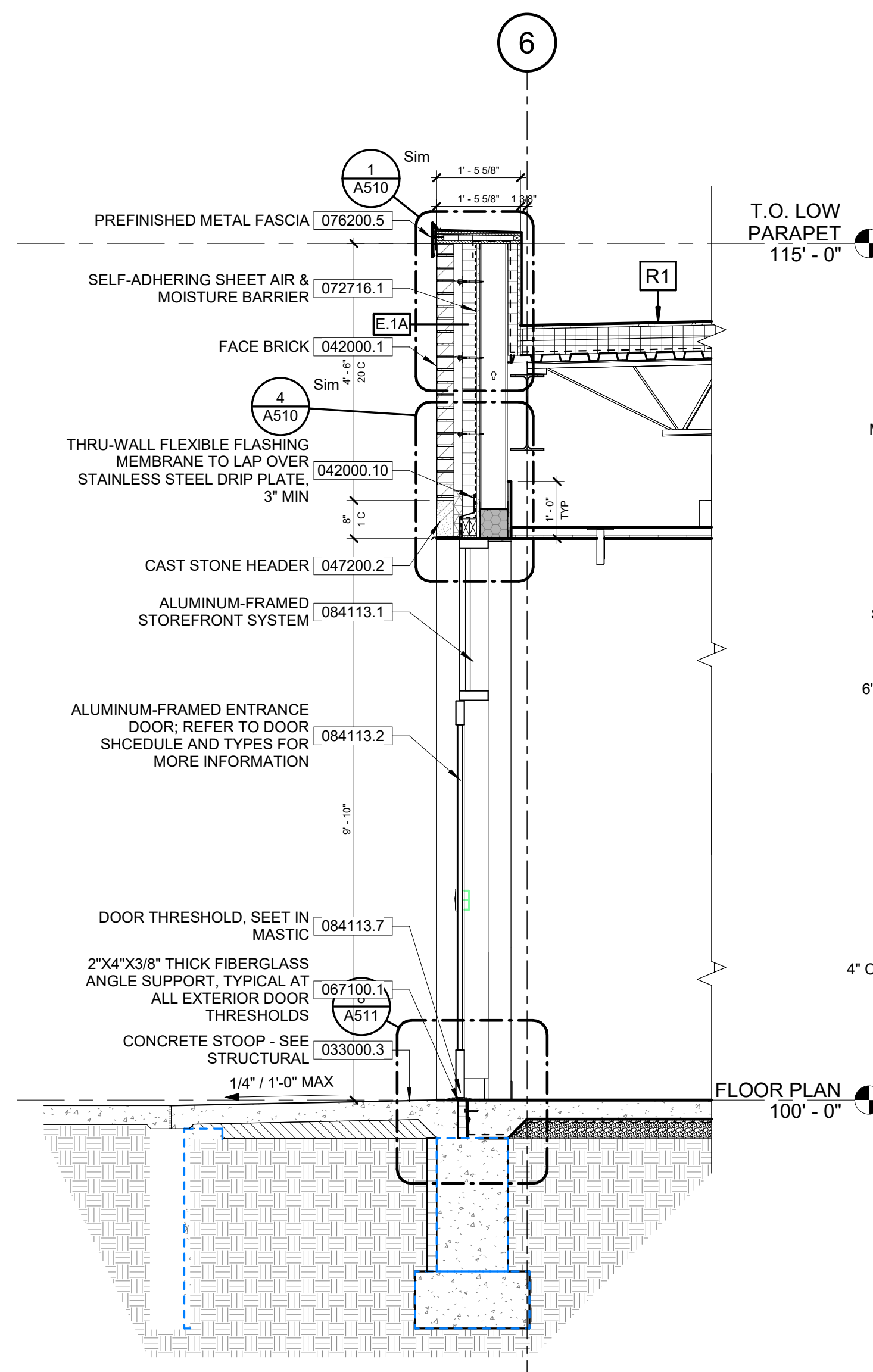
5 SOUTH TRASH ELEVATION  
SCALE: 1/4" = 1'-0"



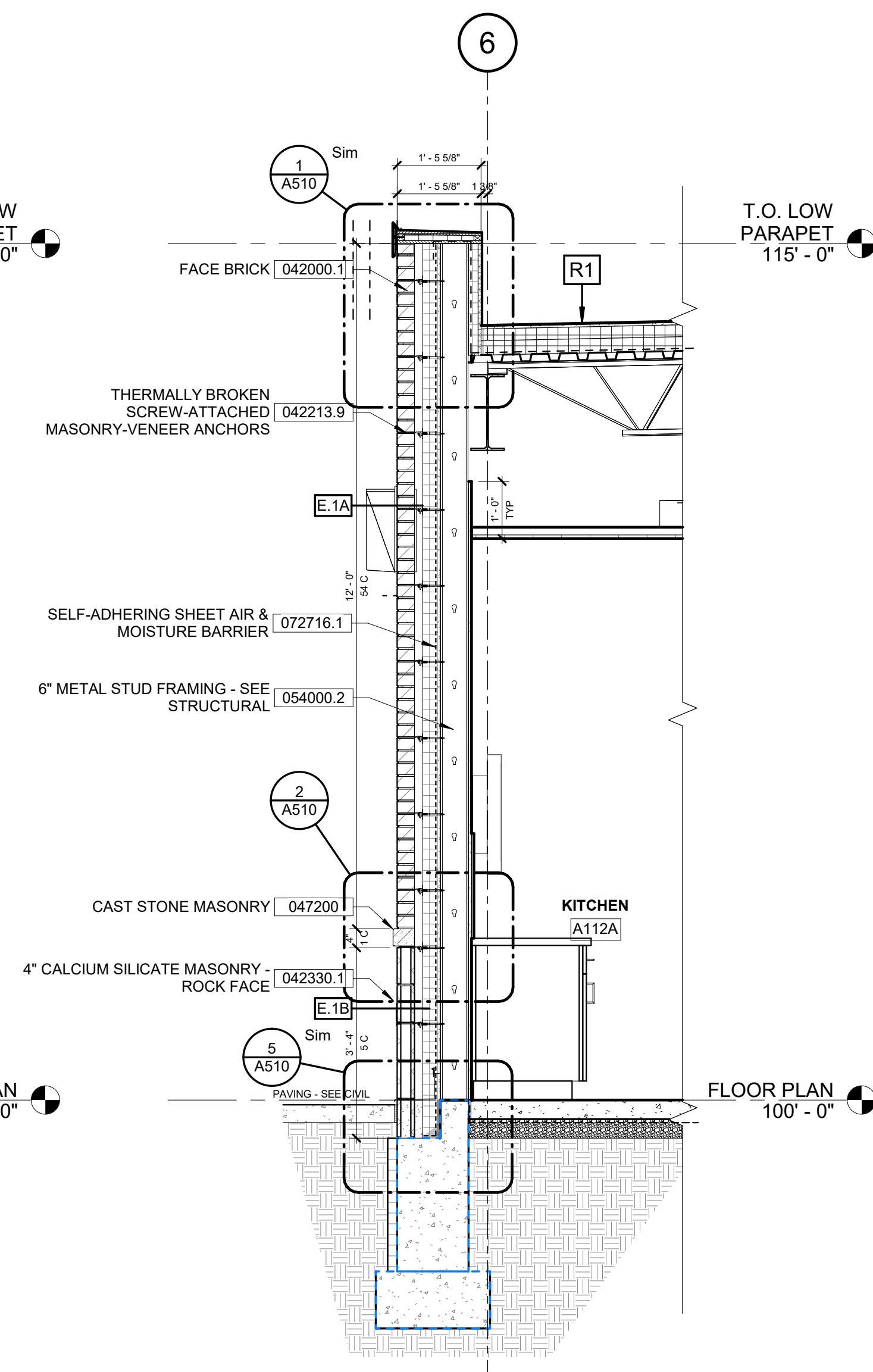
6 WALL SECTION  
SCALE: 1/2" = 1'-0"



7 WALL SECTION  
SCALE: 1/2" = 1'-0"



8 WALL SECTION  
SCALE: 1/2" = 1'-0"



9 WALL SECTION  
SCALE: 1/2" = 1'-0"

## Ankeny Fire Station #4

NW WEIGEL DRIVE  
ANKENY, IA 50023

ISSUANCE  
CONSTRUCTION DOCUMENT  
PROGRESS SET  
11/30/2023

REVISIONS

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PROJECT NUMBER

23019

WALL SECTIONS

A311