



Meeting Agenda

Plan and Zoning Commission

Tuesday, March 5, 2024

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Ted Rapp, Chair

Randy Weisheit, Vice Chair

Trina Flack
Glenn Hunter

Lisa West

Annette Renaud
Todd Ripper

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER:

A. ROLL CALL:

B. AMENDMENTS TO AGENDA:

Consider MOTION to approve and accept the March 5, 2024 agenda with/without amendments.

C. COMMUNICATIONS:

D. CITIZEN'S REQUEST:

E. CONSENT AGENDA ITEMS:

1. Minutes

Consider MOTION to approve and accept the February 20, 2024 minutes of the Plan and Zoning Commission meeting.

2. Village at the Grove Plat 1 Final Plat and Village at the Grove Plat 1 Site Plan

Consider MOTION to recommend City Council approval of Village at the Grove Plat 1 Final Plat; and recommend City Council authorization of cost-participation for sidewalk oversizing along NW Weigel Drive in the amount estimated to be \$3,696.00.

Consider MOTION to approve Village at the Grove Plat 1 Site Plan subject to recordation of the final plat, and acceptance of the private street name NW Olivia Lane.

3. 825 SW Irvinedale Drive - John Deere Des Moines Works B12X Lab Building Site Plan

Consider MOTION to approve the site plan for 825 SW Irvinedale Drive, John Deere Des Moines Works B12X Lab Building.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #3.

F. REMOVED CONSENT AGENDA ITEMS:

G. PUBLIC HEARINGS:

H. BUSINESS ITEMS:

I. OLD BUSINESS:

J. REPORTS:

1. March 4, 2024 City Council Report - Staff

2. Director's Report

Tentative agenda items for Tuesday, March 19, 2024

Public Hearing(s): Set Public Hearings for Tuesday, March 19, 2024 at 6:30 p.m.

- Request by Berwick Holdings, LLC to rezone property from R-1 to PUD.**
- Request by Commerce Center, LLC to amend the I-80 Commerce Center PUD.**

3. Commissioner's Reports

K. MISCELLANEOUS ITEMS:

March 18, 2024 - 5:30 p.m. City Council Representative: Staff

L. ADJOURNMENT:

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

March 5, 2024

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: <p>Consider MOTION to approve and accept the February 20, 2024 minutes of the Plan and Zoning Commission meeting.</p> <p> </p>

ADDITIONAL INFORMATION:

ATTACHMENTS:

[Click to download](#)



Meeting Minutes

Plan & Zoning Commission Meeting

Tuesday, February 20, 2024

Ankeny City Council Chambers, Second Floor
1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER

Chair Ted Rapp called the February 20, 2024 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL

Members present: Ted Rapp, Glenn Hunter, Trina Flack, Annette Renaud, Todd Ripper and Lisa West. Absent: Randy Weisheit. Staff present: Eric Jensen, Eric Carstens, Bryan Morrissey, Ryan Kirschman and Brenda Fuglsang.

AMENDMENTS TO THE AGENDA

Motion by T.Flack to approve and accept the February 20, 2024 agenda without amendments. Second by T.Ripper. All voted aye. Motion carried 6 – 0.

COMMUNICATIONS

There were no communications.

CITIZEN'S REQUEST

Julie Ryan, 4616 NW 8th Street, Ankeny said that there is a waterway and greenspace behind her home and recently noticed surveyors working in that area. She stated that a neighbor was told that there is a splash pad being built. E.Jensen responded that the information she received was correct. Julie Ryan asked where the entrance for the splash pad was going to be? E.Jensen shared that staff will contact the Parks Department for their plan of that area and provide it to her.

CONSENT AGENDA ITEMS

Item #1. Minutes

Motion to approve and accept the January 17, 2024 minutes of the Plan and Zoning Commission meeting.

Item #2. 350 NE 36th Street – DMOS MRI Addition Site Plan

Motion to approve the site plan for 350 NE 36th Street, DMOS MRI Addition subject to obtaining the amended Stormwater Management Easement, SWPPP and COSESCO.

Item #3. Hope Crest Plat 1 Final Plat

Motion to recommend City Council approval of the Hope Crest Plat 1 Final Plat.

Referencing Item #3, G.Hunter stated for the record, that he called and asked staff whether there are any jurisdictional issues with the pond being filled in with this final plat. He further stated that he has a concern about filling in the pond, as it will impact the buildable area of Lots 23, 24, 15 and 48, and a section of right-of-way just south of the intersection of NW Arlan Drive and NW 46th Street. A further concern is how the fill will be monitored to reassure that there are no settlement issues for those homes or the city right-of-way.

E.Jensen presented aerial maps from 1970, 2002 and 2005. He stated that the digging of the pond began in 2005. He said there is no real established drainage way shown in the aerials. He presented an aerial map from 2015, which shows the pond. He does not believe it is jurisdictional, but the developer will still need to go through the process to make sure. He further stated that there will need to be a soil report to make sure it is compacted correctly.

Referencing Item #2, T.Rapp said that the DMOS site plan shows a significant amount of underground stormwater storage and wondered if there are other site plans in Ankeny with similar storage? E.Carstens responded, yes.

Motion by T.Flack to approve the recommendations for Consent Agenda Item #1 - #3. Second by G.Hunter. All voted aye. Motion carried 6 – 0.

PUBLIC HEARINGS

There were no public hearings.

BUSINESS ITEMS

There were no business items.

REPORTS

City Council Meeting

E.Jensen reported on the February 19, 2024 City Council meeting.

Director's Report

E.Jensen presented the tentative agenda items for the Tuesday, March 5, 2024 Plan and Zoning Commission meeting and the January 2024 Building Permit Report.

Commissioner's Reports

There were no Commissioner reports.

MISCELLANEOUS ITEMS

March 4, 2024 – 5:30 p.m. City Council Meeting Representative: Staff

G.Hunter placed into nomination T.Rapp to serve as Chair.
Second by A.Renaud. All voted aye.

A.Renaud placed into nomination R.Weisheit to serve at Vice Chair.
Second by T.Flack. All voted aye.

ADJOURNMENT

There being no further business, T.Rapp motioned to adjourn. Meeting adjourned at 6:44 p.m.



Submitted by Brenda Fuglsang, Secretary
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

March 5, 2024

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Village at the Grove Plat 1 Final Plat and Village at the Grove Plat 1 Site Plan

EXECUTIVE SUMMARY:

Staff report attached.

FISCAL IMPACT: **Yes**

Cost participation request for sidewalk upsizing along NW Weigel Drive in the amount estimated to be \$3,696.00.

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:







Action: Consider MOTION to recommend City Council approval of Village at the Grove Plat 1 Final Plat; and recommend City Council authorization of cost-participation for sidewalk upsizing along NW Weigel Drive in the amount estimated to be \$3,696.00.

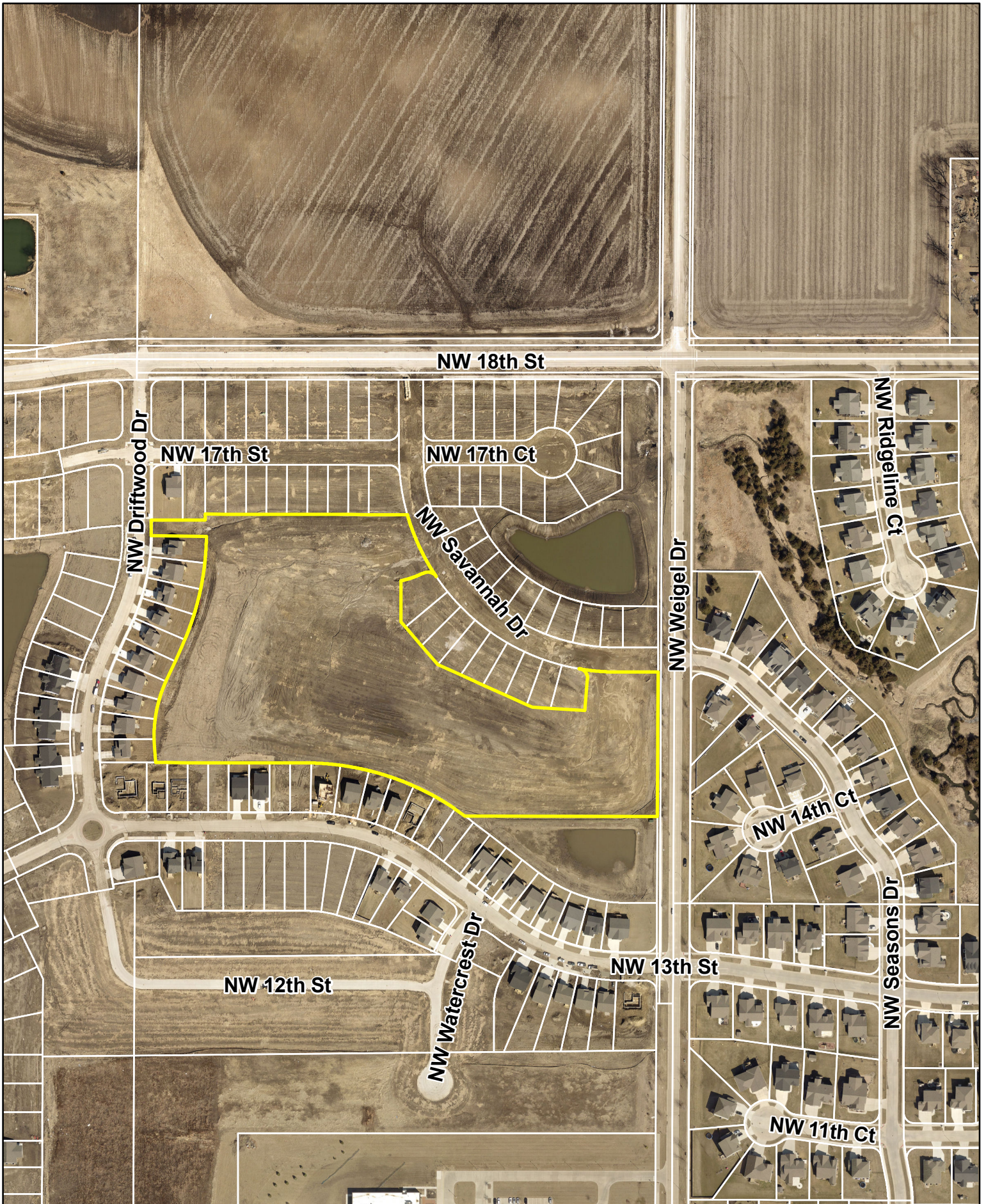
Action: Consider MOTION to approve Village at the Grove Plat 1 Site Plan subject to recordation of the

final plat, and acceptance of the private street name NW Olivia Lane.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download
 Aerial Map
 Staff Report
 Applicant Letter
 Final Plat
 Site Plan
 Elevations



N



1 inch = 300 feet

Date: 2/27/2024

**Village at the Grove
Final Plat & Site Plan**



*Plan and Zoning Commission
Staff Report*

Meeting Date: March 5, 2024

Agenda Item: Village at the Grove Final Plat and Site Plan
Report Date: February 28, 2024
Prepared by: Jake Heil, *ESC*
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of Village at the Grove Plat 1 Final Plat; and recommend City Council authorization of cost-participation for sidewalk oversizing along NW Weigel Drive in the amount estimated to be \$3,696.00.

That the Plan and Zoning Commission approve Village at the Grove Site Plan subject to recordation of the final plat, and acceptance of the private street name NW Olivia Lane.

Project Summary:

The Village at the Grove Plat 1 is a proposed 12.36-acre (+/-) plat located west of NW Weigel Drive and south of NW 18th Street. This plat is Outlot Y in the Reserve at the Grove Plat 1. The subject plat creates 70 bi-attached townhome lots, a lot for a future clubhouse and amenities, private street lots, and associated utilities and easements. The proposed plat is in general conformance with the Grove Landing PUD that was approved by the City Council February 15, 2021.

Project Report:

The general layout of the project site shows 70 bi-attached townhome lots along a looping private drive. Access to the plat is provided via NW Olivia Lane which provides two entrances, both onto NW Savannah Drive; one to the northern part of the proposed plat, near NW 17th Street and a second access to the east near NW Weigel Drive. The development will be required to have five-foot sidewalks.

Eight-inch water and eight-inch sanitary service will be extended along NW Olivia Lane for the proposed development and will connect to the existing services off of NW Savannah Drive. Stormwater for this plat is handled by a series of open drainage ditches and storm sewer mains, that flow to the northeast part of the plat. Stormwater then flows west via a 24-inch storm sewer main that drains into Outlot X in The Reserve at the Grove Plat 1. Storm water will then convey from these detention ponds to the north and east to Rock Creek, which eventually drains south and west towards the Saylorville Reservoir.

A landscaping plan has been included as part of the site plan. Screening has been provided along all of the site's boundaries and along NW Weigel Drive. This screening is in conformance with the landscaping guidelines laid out in the Grove Landing PUD. Headlight screening adjacent to the open parking stalls has also been included where necessary. All other open space and landscaping requirements have been met. A total of 158 parking stalls are required for a development of this kind. The site proposes 158 parking stalls in total. 140 parking stalls are provided at each unit in the form of garages and driveways, and an additional 18 open parking stalls are provided throughout the site, meeting the minimum parking requirements.

**CITY OF ANKENY
SUBDIVISION DATA**

NAME OF PLAT: Village at the Grove Plat 1
NAME OF OWNER/DEVELOPER: Greenland Homes, Inc

GENERAL INFORMATION:

PLAT LOCATION: West of NW Weigel Drive; south of NW 18th Street.
SIZE OF PLAT: 12.36 acres
ZONING: Grove Landing PUD

LOTS:

NUMBER: 70 bi-attached townhome lots
SIZE/DENSITY: 5.66 units per acre
USE: Residential
BUILDING LINES: **Parcel A:**
Front: 15'
Rear: 15'
Side: 5' min. one side, 10' total

PARK SITE DEDICATION:

The parkland dedication requirement for Village at the Grove Plat 1 is 1.24 acres, but parkland is not proposed with this plat. The developer dedicated 8.1 acres of parkland with the Grove Landing Plat 2 final plat, which meets all of the park site dedication for the Grove Landing PUD.

ADJACENT LANDS:

NORTH: Grove Landing PUD (Reserve at the Grove Plat 1)
SOUTH: Grove Landing PUD (Plat 1)
EAST: Grove Landing PUD (Plat 1)
WEST: R-2: One-Family and Two-Family Residence District with restrictions

STREET DEVELOPMENT:

All proposed streets in the development will be private.

WASTE WATER:

PROJECTED FLOWS: 70 lots X 300 gallons per lot = 21,000 GPD

TREATMENT PLANT CAPACITY: 11.2 MGD; current daily avg. 4.4 MGD

NEAREST DOWNSTREAM INTERCEPTOR/TRUNK LINE: Rock Creek Interceptor

STORM WATER:

BASIN FLOWS: This plat lies in the Saylorville Reservoir Drainage Area.

WATER SYSTEM:

USAGE: 12.36 acres of developable land X 1,000 gallons/day = 12,360 GPD

SUPPLY CAPACITY: 15 MGD; Current daily avg. 6.5 MGD

FINAL PLAT DRAWING: Staff recommends approval.

CONSTRUCTION PLANS: To be approved by staff.



SNYDER
& ASSOCIATES

IOWA | MISSOURI | NEBRASKA | SOUTH DAKOTA | WISCONSIN

February 23, 2024

Planning and Zoning Commission & City Council
City of Ankeny
1210 NW Prairie Ridge Drive
Ankeny, Iowa 50021

RE: THE VILLAGE AT THE GROVE PLAT 1
SITE PLAN RESUBMITTAL
S&A PROJECT NO. 122.0603.01

Dear Honorable Mayor, City Council Members, & Planning and Zoning Commission:

On behalf of Greenland Homes, please find accompanying the revised Construction Drawings and Final Plat and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications. We respectfully request the City's review and approval of the documents. The development is proposed for 70 townhome lots with clubhouse, pool area, associated utility and site infrastructure. Upon approval, construction is proposed to begin in the Spring of 2024.

Please find accompanying the following items:

- 4 copies of the Final Plat,
- 4 copies of the Site Plan,
- 1 copy of the signed drainage report,
- 1 copies of the response letter

Please feel free to contact me at your convenience should you have any questions or comments.
Thanks.

Sincerely,
SNYDER AND ASSOCIATES, INC.

Eric D. Cannon, P.E.

Cc: Corey Kautz, Greenland Homes, Inc
File

RECEIVED

FEB 23 2024

CITY OF ANKENY

Y:\Projects\2022\122.0603.01\Administration\Ltr_Resubmitsp.Docx

2727 SW SNYDER BOULEVARD | P.O. BOX 1159 | ANKENY, IA 50023-0974
P: 515-964-2020 | F: 515-964-7938 | SNYDER-ASSOCIATES.COM

THE VILLAGE AT THE GROVE PLAT 1

FINAL PLAT

AREA ABOVE RESERVED FOR RECORDER'S STAMP.

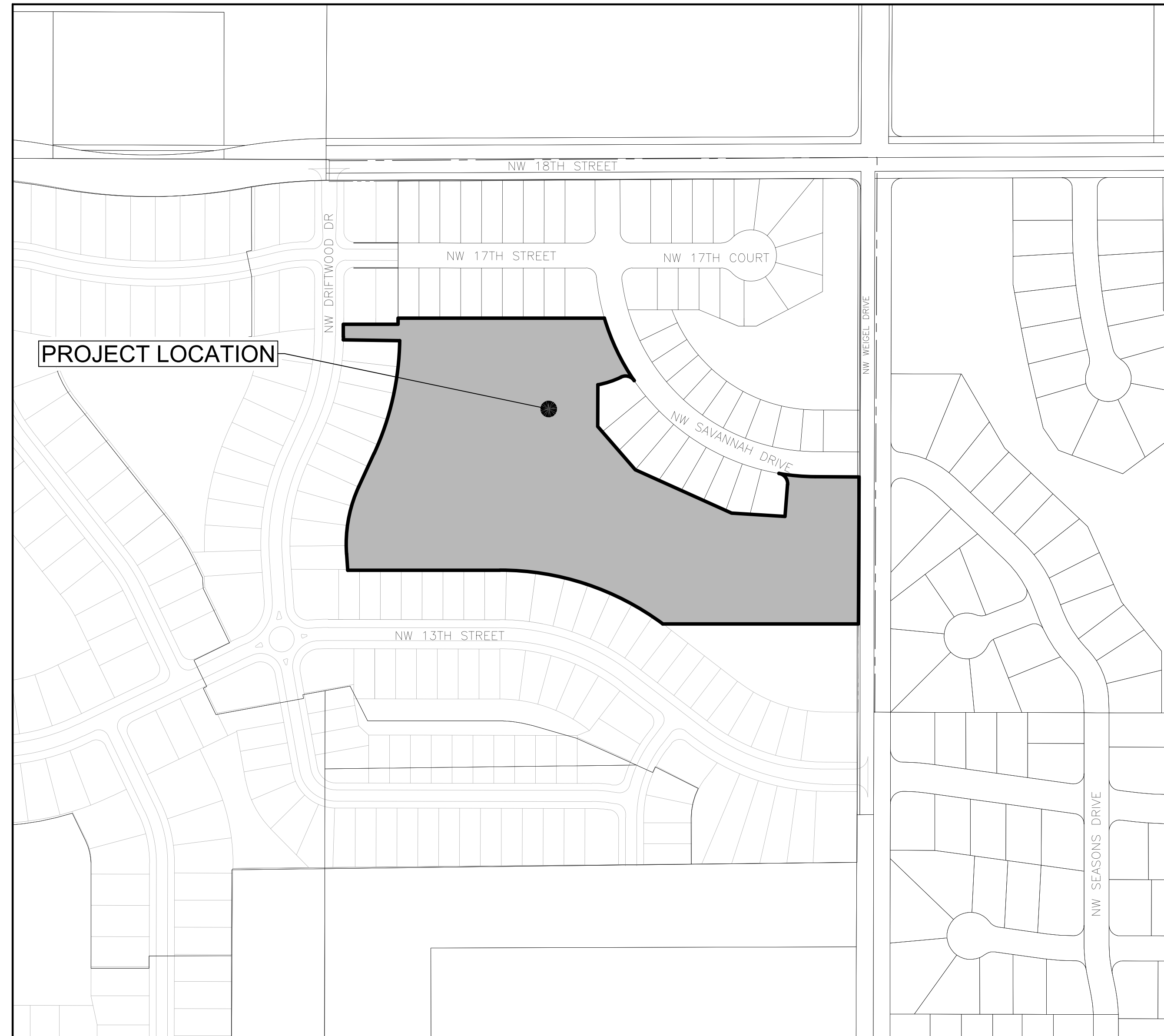
INDEX LEGEND

SURVEYOR'S NAME / RETURN TO:
ERIN GRIFFIN
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BOULEVARD
ANKENY, IOWA 50023
515-964-2020
EGRIFFIN@SNYDER-ASSOCIATES.COM

SERVICE PROVIDED BY:
SNYDER & ASSOCIATES, INC.

SURVEY LOCATED:
OUTLOT "Z"
THE RESERVE AT THE GROVE PLAT 1
SEC. 16-80-24

REQUESTED BY:
GREENLAND HOMES INC.



PROJECT LOCATION

PLAT DESCRIPTION

OUTLOT "Z", THE RESERVE AT THE GROVE PLAT 1, AN OFFICIAL PLAT, IN THE CITY OF ANKENY, POLK COUNTY, IOWA.

OWNER/APPLICANT

GREENLAND HOMES INC
1201 SW STATE ST., SUITE 105
ANKENY, IA 50023
CONTACT: COREY KAUTZ
PHONE: 515-865-2546

ZONING

GROVE LANDING P.U.D.

AREA SUMMARY

GROSS AREA = 12.36 ACRES (538,285 S.F.)

BULK REGULATIONS TOWNHOUSE:

FRONT YARD SETBACK = 15' MIN.
SIDE YARD SETBACK = 5' MIN. ONE SIDE, 10' TOTAL
REAR YARD SETBACK = 15' MIN.
LOT WIDTH = 20' MIN.
LOT AREA = 1,000 SF MIN.

FEMA FIRM DESIGNATION

PANEL # 19153C018F EFFECTIVE DATE OF 5/6/22

DATE OF SURVEY

JANUARY 12, 2023

NOTES

1. 8' SIDEWALKS ARE REQUIRED ON THE WEST SIDE OF NW WEIGEL DRIVE.
2. DEVELOPER WILL BE RESPONSIBLE FOR STREETLIGHT INSTALLATION ALONG NW WEIGEL DRIVE.
3. NO DRIVEWAY ACCESS IS PERMITTED DIRECTLY OFF OF NW WEIGEL DRIVE.
4. NO FENCES OR SHEDS ARE ALLOWED ALONG NW WEIGEL DRIVE IN THE 25' LANDSCAPE BUFFER EASEMENT.
5. LANDSCAPE BUFFER REQUIREMENTS ALONG NW WEIGEL DRIVE SHALL BE 3 TREES AND 5 SHRUBS EVERY 50-60 FEET.
6. OUTLOT Y AND LOT 71 SHALL BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.

LEGEND

FEATURES

Section Corner
1/2" Rebar, Yellow Plastic Cap #16747
1/2" Rebar, Yellow Plastic Cap #19710
ROW Rail
Control Point
Bench Mark
Platted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Minimum Protection Elevation
Centerline _____
Section Line _____
1/4 Section Line _____
1/4 1/4 Section Line _____
Easement Line _____

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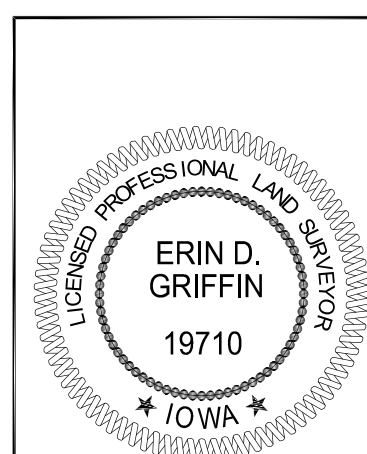
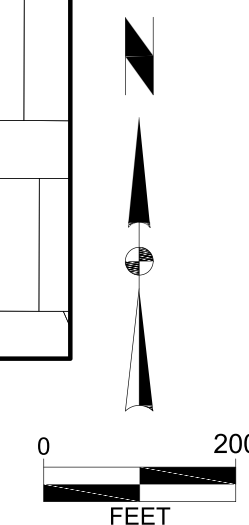
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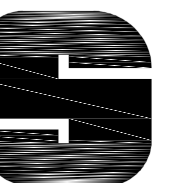
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I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Erin D. Griffin, PLS	Date
License Number	19710
My License Renewal Date is December 31, 2025	

Pages or sheets covered by this seal:
Sheets 1 & 2, of 2



SNYDER
 & ASSOCIATES

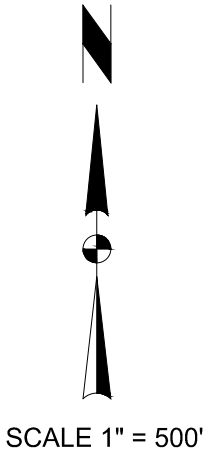
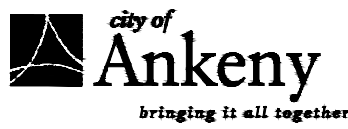
Project No: 122.0603.01

Sheet 1 of 2

SITE PLAN
FOR
THE VILLAGE AT THE GROVE PLAT 1
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
CITY OF ANKENY, POLK COUNTY, IOWA



VICINITY MAP



OWNER / DEVELOPER
GREENLAND HOMES INC
1680 SW ANKENY ROAD, STE 2A
ANKENY, IA 50023
CONTACT: COREY KAUTZ
PHONE: 515-865-2546

ENGINEER
SNYDER AND ASSOCIATES, INC.
2727 SNYDER BLVD
ANKENY, IA 50023
CONTACT: ERIC CANNON
PHONE: 515-964-2020

INDEX OF SHEETS

C100	TITLE SHEET
C101	PROJECT INFORMATION
C102	OVERALL SITE LAYOUT
C200	DIMENSION PLAN
C201	DIMENSION PLAN
C300	STORM SEWER PLAN
C301	STORM SEWER PLAN
C400	GRADING AND EROSION CONTROL PLAN
C401	GRADING AND EROSION CONTROL PLAN
C402	DETAILED GRADING
C500	PLANTING PLAN

REVISION	DATE	BY
REVIS	2-23-24	JWM
REVIS	2-22-24	JWM
Engineer: EDC	Checked By: EDC	Scale: 1" =
Technician: JWM	Date: 02-02-2024	T-R-S: TTN-RRW-SS
Project No: 122.0603.01		
Sheet C100		

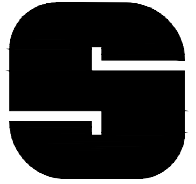
THE VILLAGE AT THE GROVE PLAT 1

TITLE SHEET

ANKENY, IA

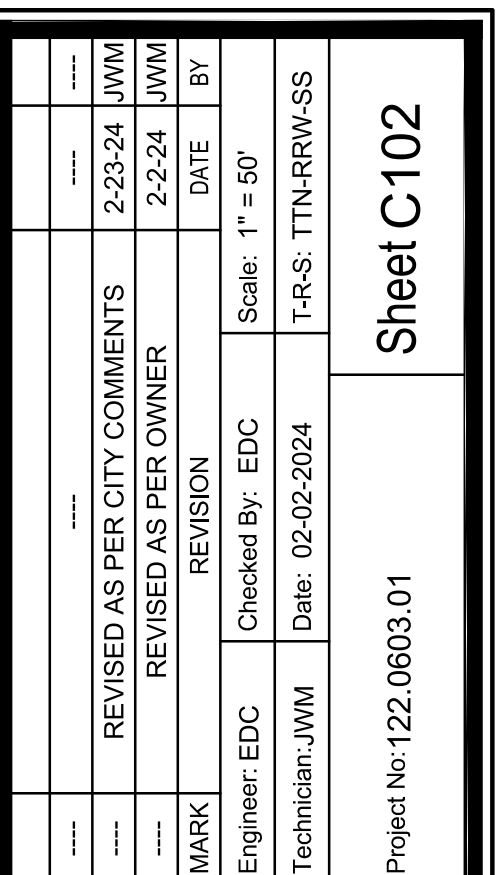
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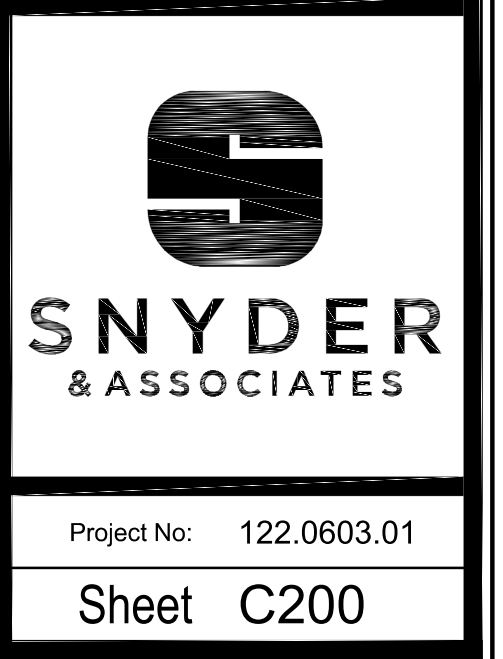
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ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com


SNYDER & ASSOCIATES

Project No: 122.0603.01

Sheet C100



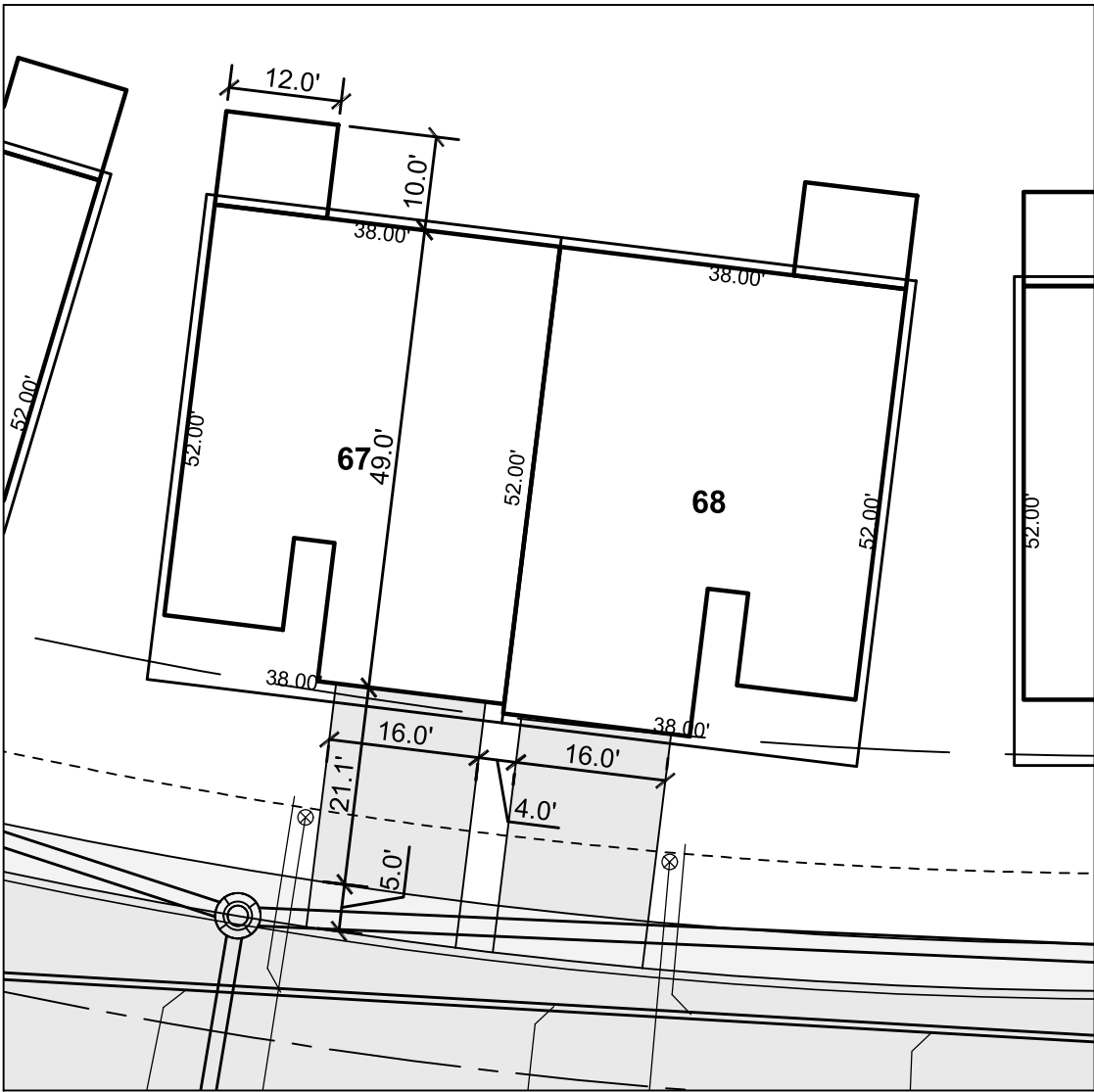


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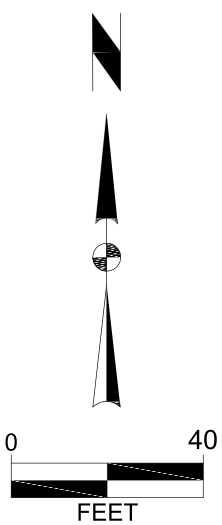


DIMENSION PLAN CONSTRUCTION NOTES

1. PROTECT THE FOLLOWING SITE FEATURES:
A. PROTECT EXISTING STOP / STREET SIGNS.
B. EXISTING PAVEMENT.
2. PAVEMENTS, PROVIDE THE FOLLOWING:
A. 6" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
B. 4" MINIMUM DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
C. 3" PCC ROLL CURB.
D. 5" PCC DRIVEWAY.
E. 8" TRAIL. 5" PCC WITH 6" PREPARED SUBGRADE.
F. PEDESTRIAN SIDEWALK RAMP 6" DEPTH PCC.
3. PAVEMENT MARKINGS PROVIDE THE FOLLOWING:
A. PAINTED PARKING STALL LINE, 4" WIDE, PAINTED WHITE.
B. ACCESSIBLE AISLE, 45" STRIPING AT 3' ON CENER SPACING.
C. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
D. PROVIDE VAN ACCESSIBLE PARKING SIGN PER ADAAG.
4. 8" PCC, 4'x12' CLUSTER MAIL BOX PAD. SEE DETAIL ON SHEET C200.
5. CONTRACTOR TO COORDINATE ELECTRICAL AND TELEPHONE SERVICES WITH UTILITY SERVICES PROVIDER, THE CITY OF ANKENY, AND THE OWNER PRIOR TO CONSTRUCTION.
6. CLUBHOUSE AND POOL. SEE ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS AND AMENITIES.



1 TYPICAL UNIT DETAIL
C201 1" = 20'



THE VILLAGE AT THE GROVE PLAT 1

DIMENSION PLAN

ANKENY, IA

SNYDER & ASSOCIATES, INC.



Project No: 122.0603.01

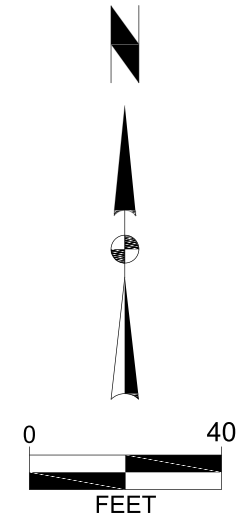
Sheet C201

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ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Sheet C201

REVISION	DATE	BY
REVISED AS PER CITY COMMENTS	2-23-24	JWM
REVISED AS PER OWNER	2-22-24	JWM
MARK	DATE	BY
Engineer: EDC	Checked By: EDC	Scale: 1" = 40'
Technician: JWM	Date: 02-02-2024	T-R-S: TTN-RRW-SS

Project No: 122.0603.01



1. EXISTING FEATURES. PROTECT THE FOLLOWING:
 - A. EXISTING UTILITIES. ANY DAMAGES TO EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR DEMOLITION SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE WITH THE WORK BEING PERFORMED TO THE UTILITY OWNER'S SPECIFICATIONS.
2. PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN AS PER 2024 SUDAS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
3. CRITICAL CROSSING. CONTRACTOR TO VERIFY ALL CROSSINGS AND PROVIDE 18" MINIMUM SEPARATION.
4. ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
5. PROVIDE GASKETED RCP STORM SEWER WITHIN 10' OF WATER MAIN CROSSING.

DATE	REVISION	REVISION	DATE
2-23-24	REVISED AS PER CITY COMMENTS	2-23-24	JWM
2-24-24	REVISED AS PER OWNER	2-24-24	JWM
DATE	REVISION	DATE	BY
Engineer: EDC	Checked By: EDC	Scale: 1" = 40'	
Technician: JWM	Date: 02-02-2024	T-R-S: TTN-RRW-SS	

Sheet C300

Project No: 122.0603.01

THE VILLAGE AT THE GROVE PLAT 1

STORM SEWER PLAN

SNYDER & ASSOCIATES, INC. |

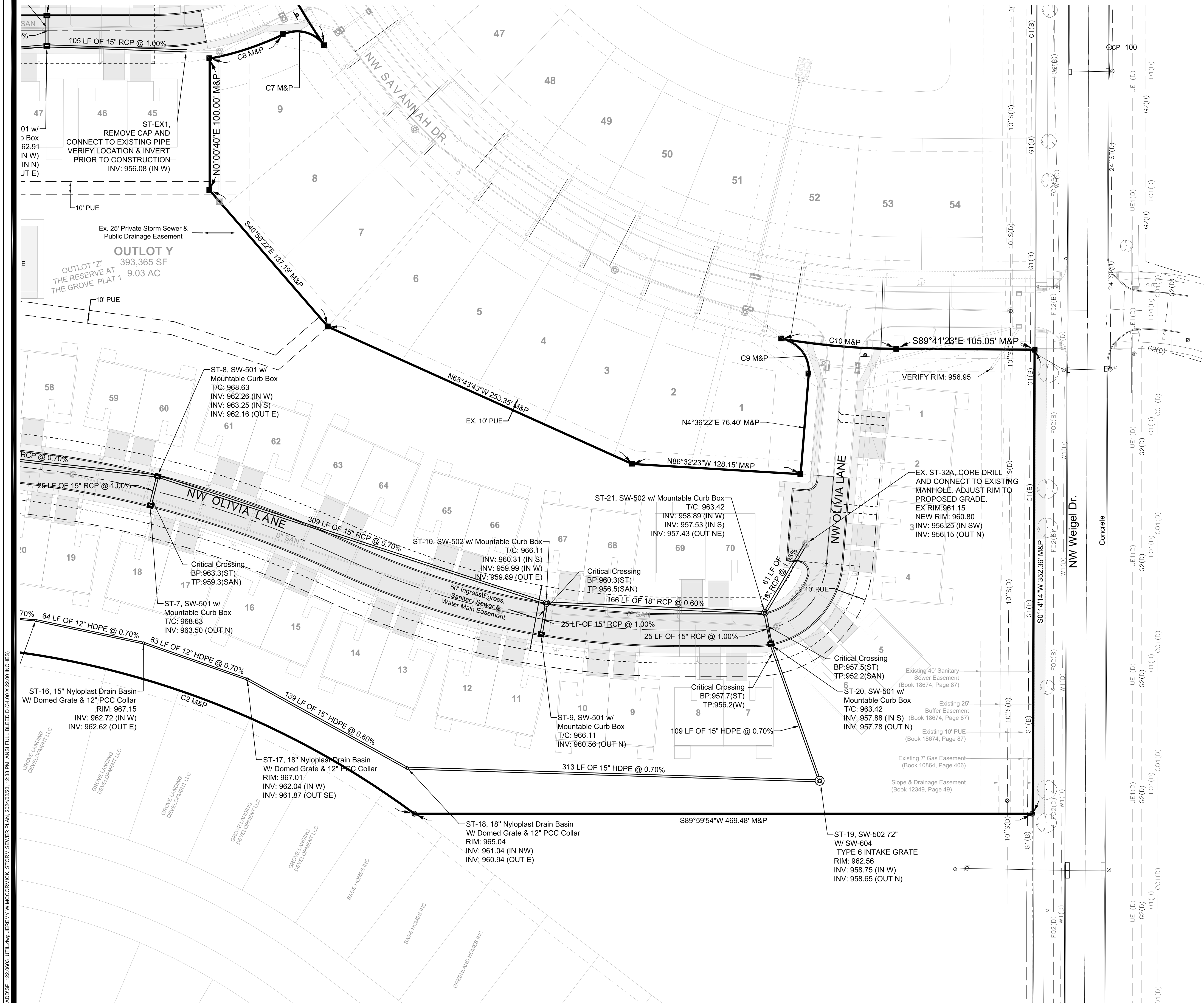
ANKENY, IA

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ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



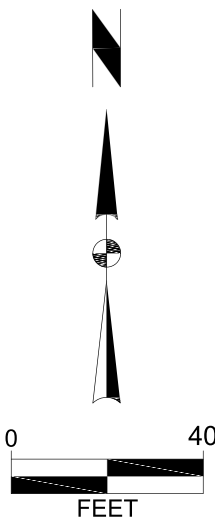
Project No:	122.0603.01
Sheet	C300

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STORM SEWER PLAN CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
A. EXISTING UTILITIES. ANY DAMAGES TO EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR DEMOLITION SHALL BE REMEDIED AT THE CONTRACTOR'S EXPENSE WITH THE WORK BEING PERFORMED TO THE UTILITY OWNER'S SPECIFICATIONS.
- PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN AS PER 2024 SUDAS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- CRITICAL CROSSING. CONTRACTOR TO VERIFY ALL CROSSINGS AND PROVIDE 18" MINIMUM SEPARATION.
- ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
- PROVIDE GASKETED RCP STORM SEWER WITHIN 10' OF WATER MAIN CROSSING.



THE VILLAGE AT THE GROVE PLAT 1

STORM SEWER PLAN

ANKENY, IA

SNYDER & ASSOCIATES, INC. |



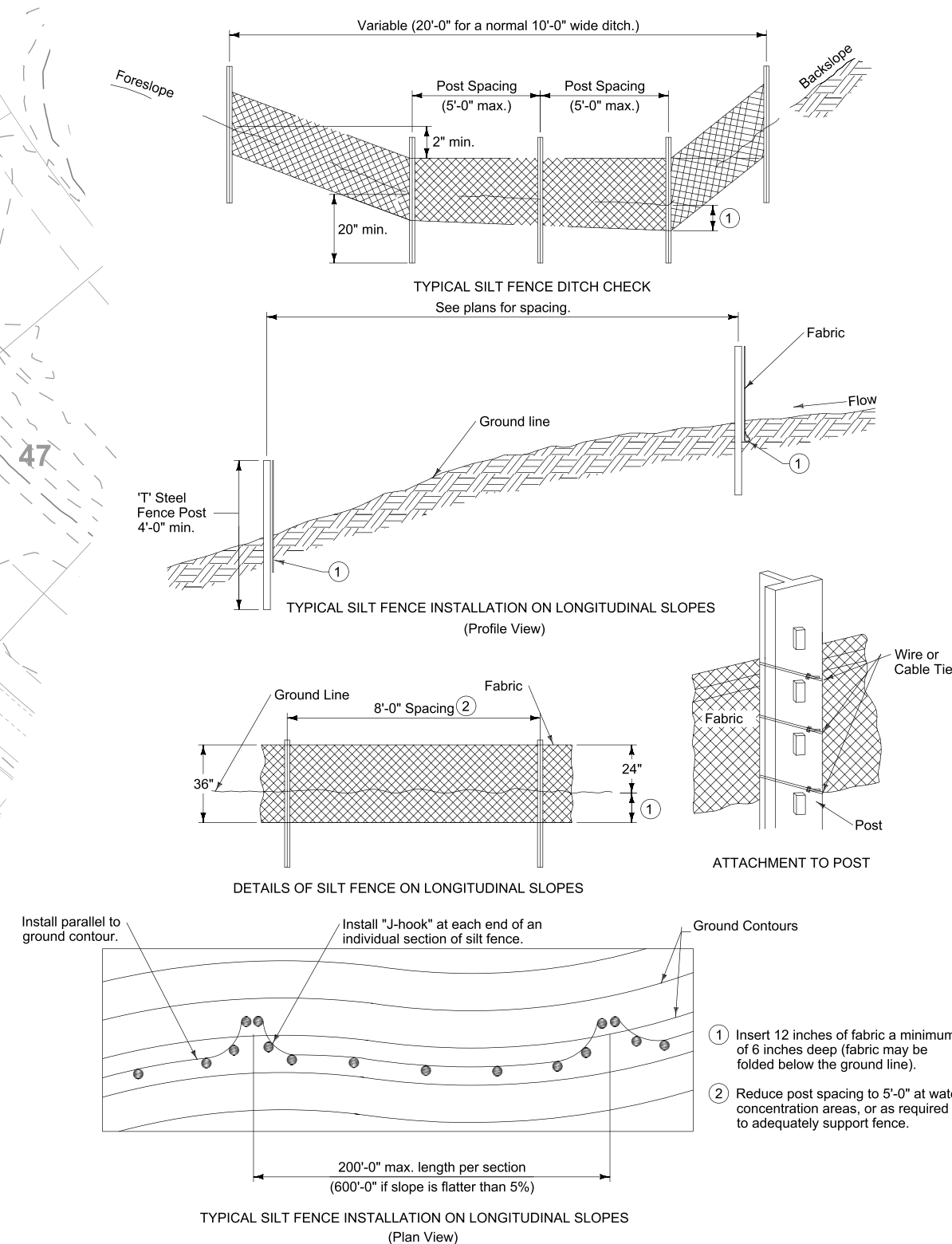
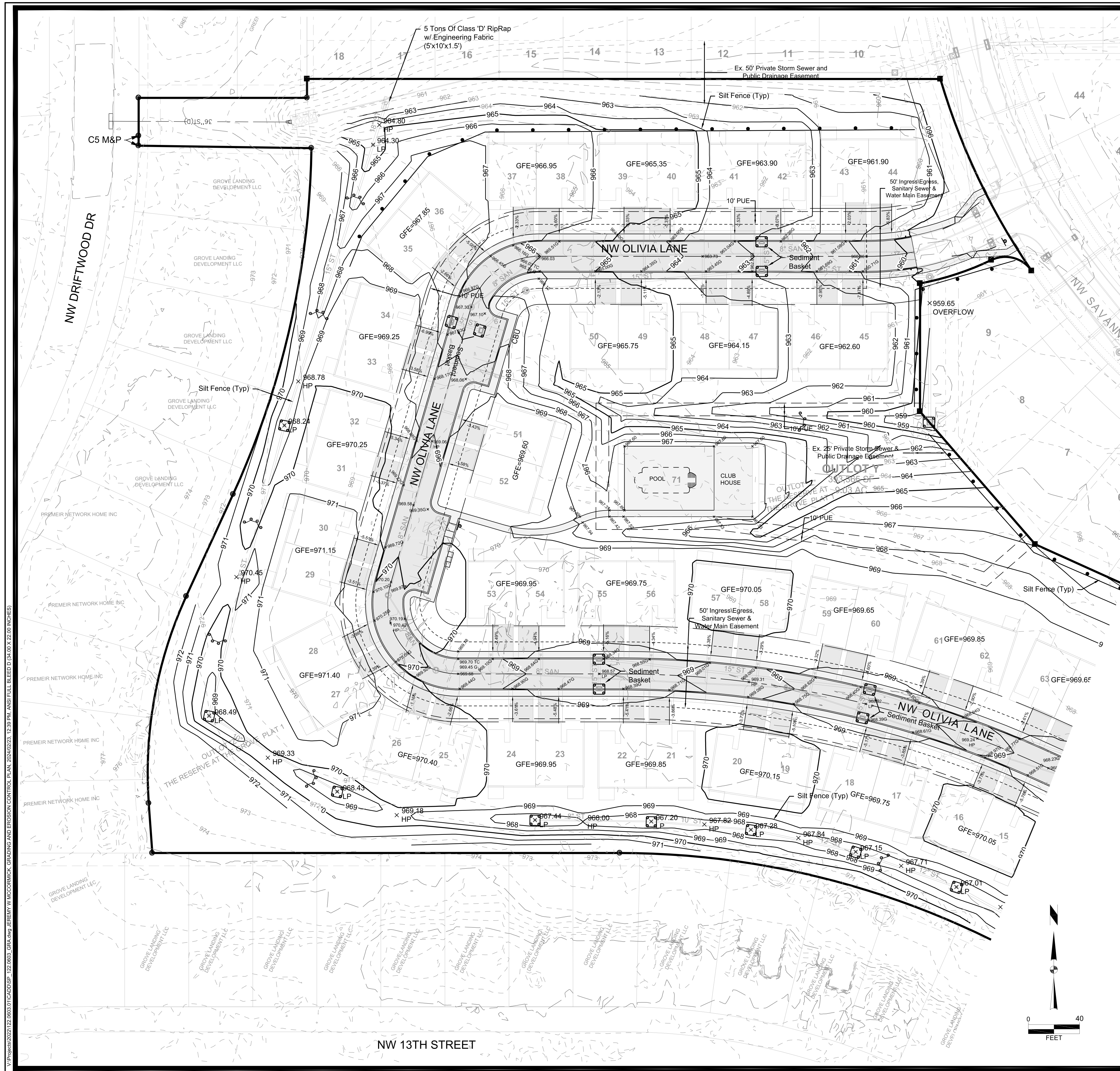
Project No: 122.0603.01

Sheet C301

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Sheet C301

REVISION	DATE	BY
REVISED AS PER CITY COMMENTS	2-23-24	JWM
REVISED AS PER OWNER	2-22-24	JWM
MARK	REVISION	DATE
Engineer: EDC	Checked By: EDC	Scale: 1" = 40'
Technician: JWM	Date: 02-02-2024	T-R-S: TTN-RRW-SS



SILT FENCE

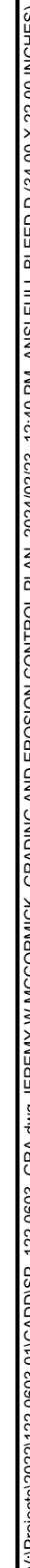
GRADING NOTES

- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. PROTECT EXISTING UTILITIES FROM CONSTRUCTION DAMAGE. ANY DAMAGE THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS WITHOUT ADDITIONAL COMPENSATION.
- C. PRIOR TO GRADING, THE OWNER/ CONTRACTOR SHALL OBTAIN A GRADING PERMIT.
- D. GRADES SHOWN ARE FINISHED GRADE AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- E. CONTRACTOR SHALL PROVIDE SILT FENCE AROUND ALL STORM INTAKES AND WHERE SHOWN ON THE PLAN. SILT FENCE AROUND STORM INTAKES SHALL BE MAINTAINED UNTIL PAVING AND SEEDING/ SODDING ARE COMPLETE.
- F. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF ALL SITE UTILITIES AND IMPROVEMENTS WITH THE ARCHITECTURAL MECHANICAL/ ELECTRICAL/ PLUMBING SYSTEMS INCLUDING ROUTING, CRITICAL DIMENSIONS, CONNECTIONS, AND INVERT ELEVATIONS.
- G. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- H. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES.
- I. CONTRACTOR TO PROVIDE BELOW GRADE INLET PROTECTION IN ALL STORM SEWER STRUCTURES.
- J. G.F.E = GARAGE FLOOR ELEVATION.
- K. BUILDER SHALL PROVIDE POSITIVE DRAINAGE BETWEEN ALL UNITS.

QUANTITIES

SILT FENCE - 1275 LF
SEEDING - 12.36 AC

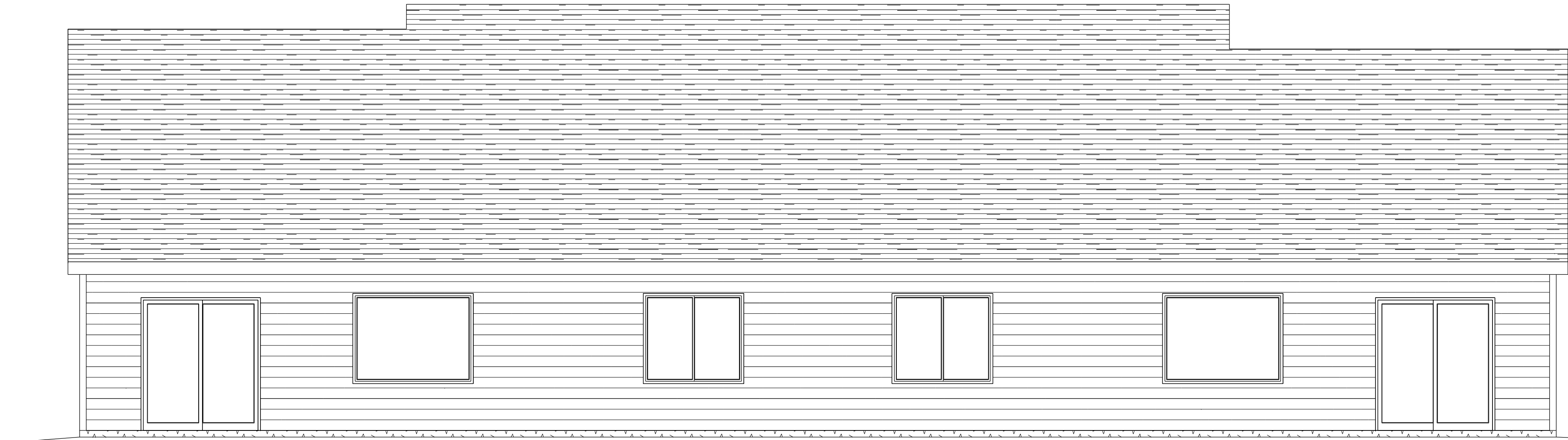
DATE	DATE	DATE	DATE	DATE	DATE
REVISED AS PER CITY COMMENTS	REVISED AS PER OWNER	REVISION	Checked By: EDC	Date: 02-02-2024	T-R-S: TTN-RRW-SS
2-23-24 JWM	2-24-24 JWM		Engineer: JWM	Technician: JWM	
			Scale: 1" = 40'		



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Sheet C500



REAR ELEVATION



LEFT ELEVATION



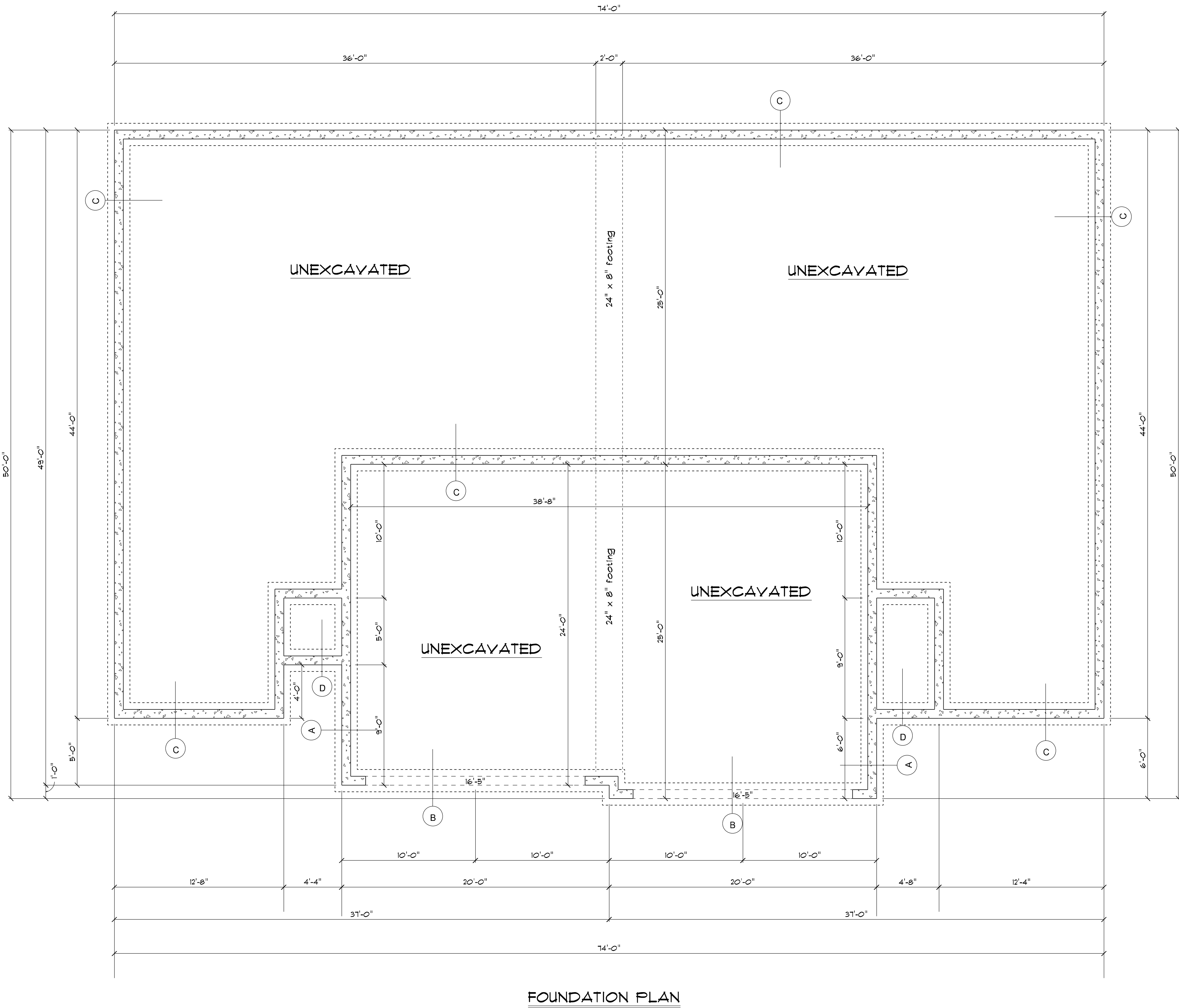
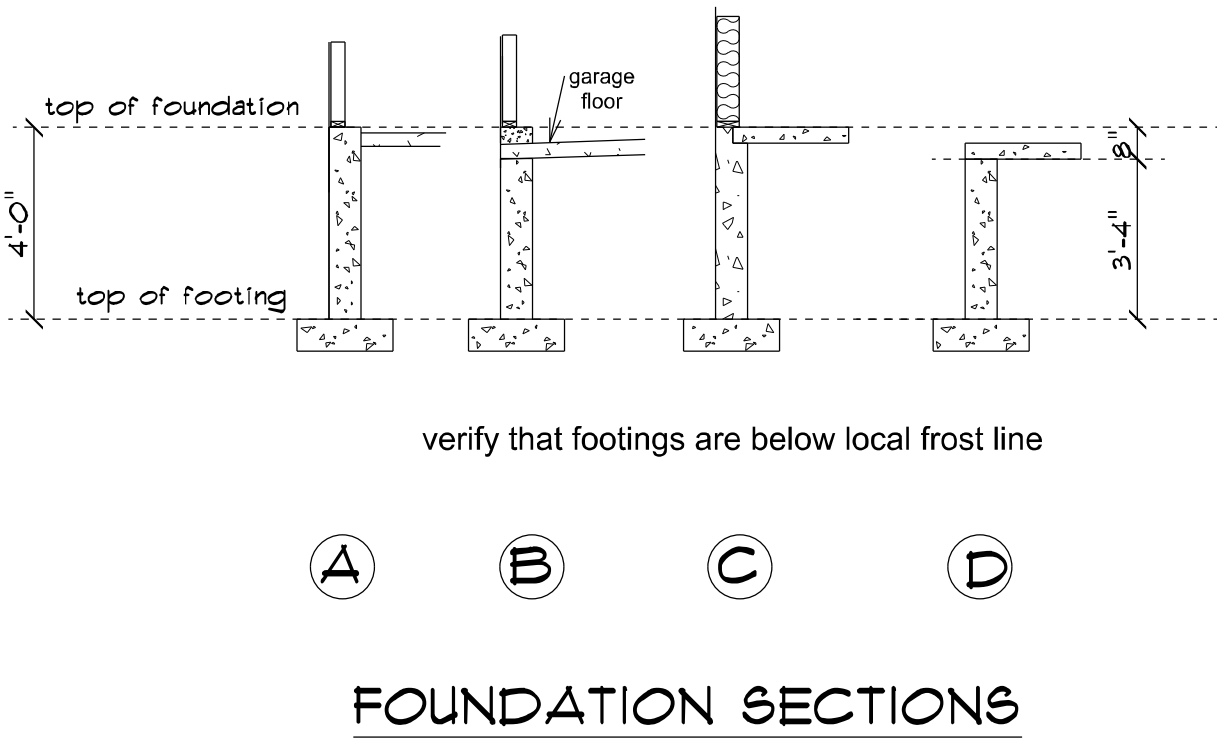
RIGHT ELEVATION



FRONT ELEVATION

General Notes

- Verify local frost depth requirements
- All footings designed for 2000 PSF soil bearing capacity
- 8" poured concrete foundation walls w/ 16"x8" concrete footings w/ (2) #4 rerods continuous
- 2-2x12 headers over all exterior openings unless noted otherwise
- truss manufacturer to size members and set spacing of all floor and roof trusses (max spacing 24" o.c.)
- bedroom windows and basement egress windows to meet or exceed egress requirements
- verify all rough opening sizes
- place smoke detectors as required by local building codes
- follow manufacturer's instructions for installation of all components
- insulate and sheath behind all bathtubs and fireplaces on exterior walls







**Dogwood Duplex
on Slab 2023**

Leachman Lumber
Design & Drafting Services
515-202-0871

LEACHMAN LUMBER DESIGN & DRAFTING SERVICES, LLC ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR DIMENSIONAL ERRORS AND OMISSIONS. WE ARE NOT A LICENSED ARCHITECT OR ENGINEER. FOR STRUCTURAL CONCERNS PLEASE CONSULT A STRUCTURAL ENGINEER. NO EXPRESSED OR IMPLIED WARRANTIES ARE MADE CONCERNING COMPLIANCE WITH APPLICABLE BUILDING CODES. PLEASE CHECK WITH LOCAL BUILDING OFFICIALS TO DETERMINE COMPLIANCE.

SCALE	1/4" = 1'
DRAWN BY	TVP
APPROVED	

DATE	PLAN #
7-10-2023	123084
REVISED	SHEET
	4 of 4



PLAN AND ZONING COMMISSION

March 5, 2024

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

825 SW Irvinedale Drive - John Deere Des Moines Works B12X Lab Building Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):






PUBLIC OUTREACH EFFORTS:

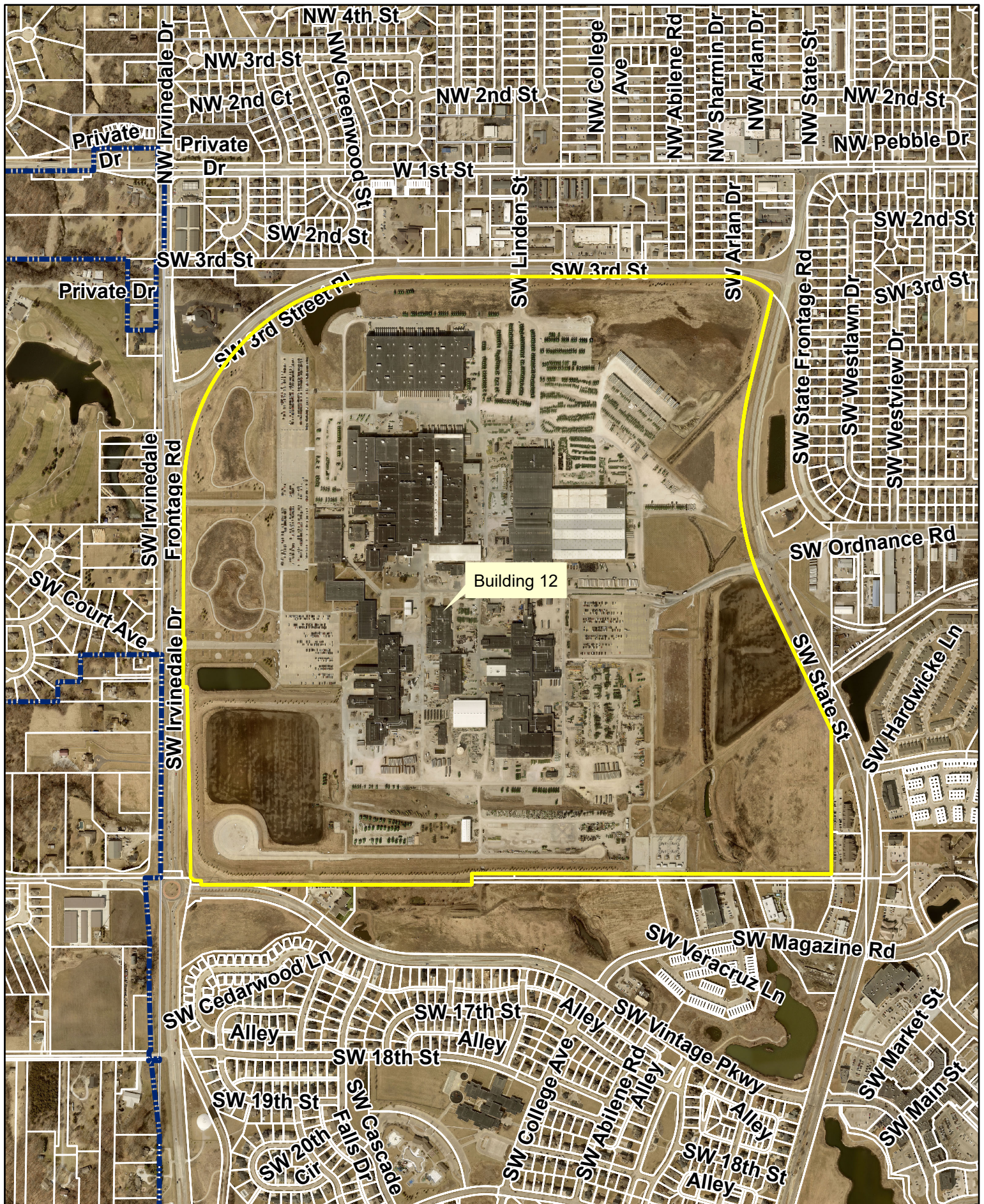
ACTION REQUESTED:

Action: Consider MOTION to approve the site plan for 825 SW Irvinedale Drive, John Deere Des Moines Works B12X Lab Building.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Site Plan
	Elevations



1 inch = 914 feet

Date: 2/14/2024

John Deere Building 12X Lab Addition Site Plan Aerial Map





*Plan and Zoning Commission
Staff Report*

Meeting Date: March 5, 2024

Agenda Item: John Deere Des Moines Works B12X Lab Building –
825 SW Irvinedale Drive

Report Date: February 29, 2024

ESC

Prepared by: Ryan Kirschman
Planner I

Staff Recommendation:

That the Plan and Zoning Commission approve a site plan for an addition to Building 12 at John Deere Des Moines Works, located at 825 SW Irvinedale Drive.

Project Summary:

John Deere is proposing to construct an 19,653 square-foot addition to Building 12 on the central portion of the 444.5-acre John Deere Des Moines Works campus. The site is east of SW Irvinedale, south of SW 3rd Street, and west of SW State Street.

This site is zoned M-2, Heavy Industrial District, and its use as an industrial site is consistent with the future land use plan. Although there is a variety of zoning classifications surrounding the subject site, the prevailing land use is low to medium density residential. To the north of the site are a mix of small apartment buildings, single-family homes, and some commercial. The Prairie Trail planned unit development lies south and southeast of the site. West of the site is generally low density, single-family residential dwellings.

The proposed building addition is on the east side of Building 12, the location is currently open space. Building 12 is currently about 21' in height, the proposed addition will be approximately 41' in height. The proposed addition is compatible with the existing building and surrounding buildings located on the campus. Due to the location of Building 12, the proposed addition will be screened by surrounding buildings. The site currently has sufficient parking stalls and the proposed addition is not anticipated to add any employees.

Site Plan Worksheet

825 SW Irvinedale Drive – B12X Lab Building

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The site is located at John Deere Des Moines Works, east of Building 12. Where the proposed addition is located, is currently open space. The proposed expansion is consistent with the surrounding buildings at John Deere.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The project is on an existing industrial lot, which is accessed off of SW Irvinedale Drive.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site currently has sufficient parking stalls and the proposed addition is not anticipated to add any employees.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The site will be accessed via the existing entrances off of SW Irvinedale Drive, SW State Street, and SW 3rd Street. The project is not anticipated to significantly impact the traffic pattern in the area.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

There will not be any parking added for the addition.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

The project is screened from the public right of way by the surrounding buildings.

7. **All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

8. **Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Any site lighting will be directed away from adjoining property and downward.

9. **The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm water on the site will be addressed with the existing storm water system.

10. **Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The site will connect to existing connections servicing the site.

11. **Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The overall site layout provides for adequate open space.

12. **Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

There will be no additional landscaping for this project.

B. Building Design

1. **Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

The building will maintain the existing look that conforms to the existing architecture of adjacent buildings on the site, and Building 12 where the proposed addition will be.

2. **Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The building materials are consistent with buildings on the site. The proposed addition will compliment the existing building and the other buildings on the site.

3. **All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

The proposed building expansion will compliment the existing building and the other buildings on site.

4. **Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

The proposed addition is consistent with the surrounding buildings on the site.

C. Signs

1. **All signs shall have good scale and proportion in relationship to its site and function, as well as the signage and use of neighboring properties.**

There are no proposed or anticipated signs associated with the addition.

2. **Building signs shall be designed as an integral architectural element of the building.**

There are no proposed or anticipated signs associated with the addition.

3. **Ground signs shall be designed to provide elements compatible with the building design and architectural elements.**

There are no proposed or anticipated signs associated with the addition.

4. **Each sign shall be designed in a manner not to compete for attention with signs on adjoining premises.**

There are no proposed or anticipated signs associated with the addition.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

1. **Conformance to Design Standards and other applicable code requirements.**

The plans submitted conform to the written regulations of the City.

2. **Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The site layout is compatible with setbacks and scale of other buildings in the area.

3. **Layout and utilization of building, parking, drive-ways, and open spaces.**

The site layout is consistent with the surrounding layout.

- 4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**

The proposed addition conforms with the surrounding architecture on the site.

- 5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**

It appears that the impacts on these utility systems can be accommodated adequately.

February 23, 2024

City of Ankeny
Plan and Zoning
1210 NW Prairie Ridge Drive
Ankeny, IA 50023

Re: John Deere B12X Lab Building – Site Plan Submittal

Plan and Zoning Commission,

On behalf of Deere & Company, we request your approval of the site plan for the proposed B12X Lab Building, located in the central portion of John Deere's campus at 825 SW Irvinedale Drive in Ankeny, Iowa.

The total proposed project will involve approximately 1.1 acres, which will encompass a new building of approximately 19,653 square feet with associated grading, paving, and utility improvements. The site will utilize existing private detention facilities on campus.

Construction for this project is anticipated to begin in Spring of 2024.

We thank you for your consideration for this project.

Sincerely,

SHIVE-HATTERY, INC.



Chris Bauer, PE
Civil Engineer

Copy: File



B12X LAB BUILDING - SITE PLAN

JOHN DEERE DES MOINES WORKS
825 SW IRVINEDALE DRIVE, ANKENY, IOWA 50023

Sheet List Table	
Sheet Number	Sheet Title
00	COVER SHEET
01	EXISTING CONDITIONS AND DEMOLITION PLAN
02	SITE PLAN
03	GRADING PLAN
04	EROSION AND SEDIMENT CONTROL PLAN
05	UTILITY PLAN
06	NOTES AND SPECIFICATIONS
07	CONSTRUCTION DETAILS

OWNER/APPLICANT

DEERE & COMPANY
ATTN: NICK CASSANO
825 SW IRVINEDALE DRIVE
ANKENY, IOWA 50023
PHONE: (515) 289-3682

SITE PLAN PREPARED BY

SHIVE-HATTERY, INC.
4125 WESTOWN PARKWAY, SUITE 100
WEST DES MOINES, IA 50396
PHONE: 515-223-8104

ZONING

M-2 (HEAVY INDUSTRIAL DISTRICT)

PARKING SUMMARY

NO ADDITIONAL EMPLOYEE PARKING IS BEING PROPOSED AS PART OF THIS PROJECT.

SIGNAGE

NO ADDITIONAL YARD SIGNAGE WILL BE ADDED AS PART OF THIS PROJECT.

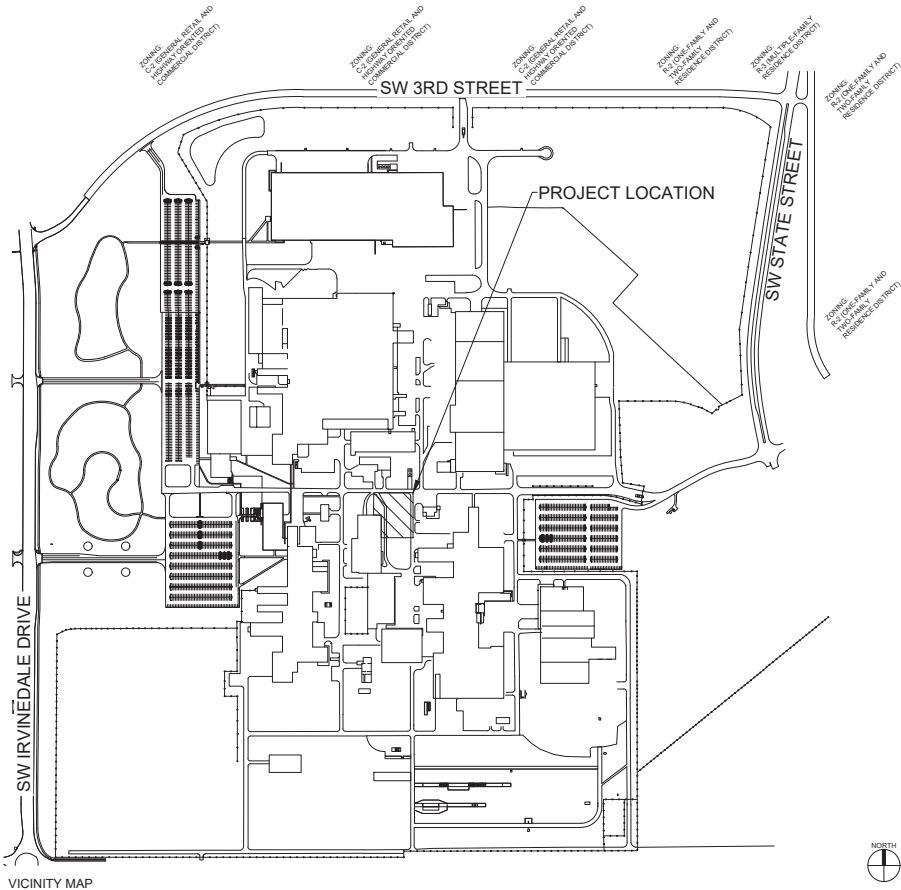
LEGAL DESCRIPTION

COM W 1/4 COR OF SEC THIN E 160F N 272.87' NLY 275F TO POB THIN NELY 2182.21F E 248.88F SE 348.1F SW 11.28F NW 353.17F W 2487.38F SW 2182.88F TO POB SEC 22-85-24 AND EX E OF LN BEG 1160.44F N & 272.35F W OF SE COR OF SEC 70N NW 1144.42F NLY 302.25F NE 50.46F NELY 547.16F NE 491.21F NELY 195.19F TO NLY LN LT 1 JOHN DEERE ACRES

TOTAL CAMPUS AREA: 444.50 AC

ERU CALCULATION

IMPERVIOUS AREA = 34,857 SF
ERU = 34,854 SF / 4,000 = 9 (MAXIMUM = 70)



CIVIL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	
SIGNATURE	DATE
PRINTED OR TYPED NAME: CHRISTOPHER R. BAUER	
LICENSE NUMBER: 12237	
MY LICENSE EXPIRATION DATE IS: DECEMBER 31, 2026	
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:	
ALL SHEETS	

DEERE & COMPANY
MOBILE, IL
1000 E. 10TH STREET, SUITE 100
MOBILE, IL 61053-1000
PHONE: (815) 398-1000
FAX: (815) 398-1001
WWW.DEERE.COM

SHIVE-HATTERY
4125 WESTOWN PARKWAY, SUITE 100
WEST DES MOINES, IA 50396
PHONE: 515-223-8104
FAX: 515-223-8105
WWW.SHIVEHATTERY.COM

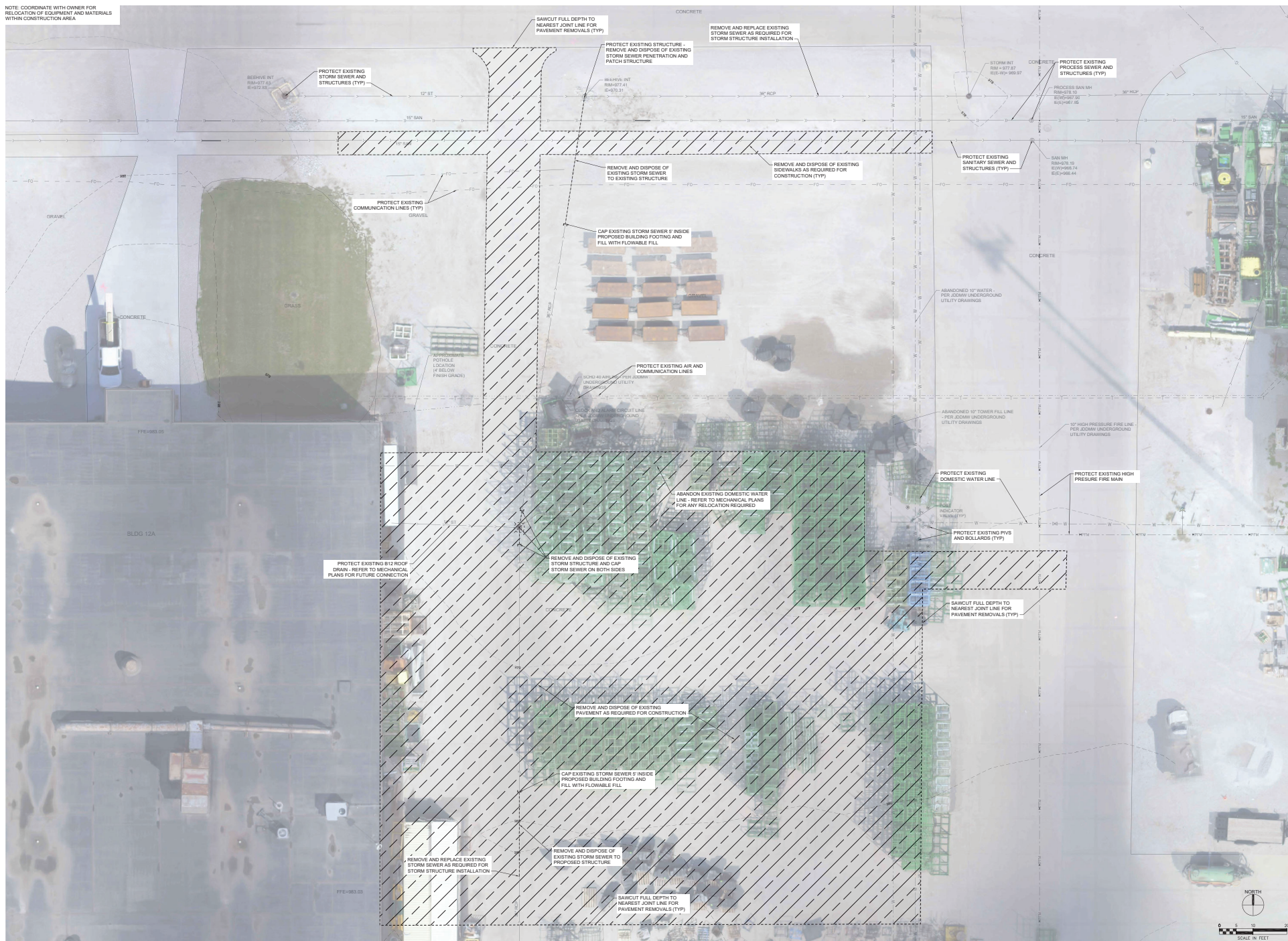
COVER SHEET
B12X LAB BUILDING
825 SW IRVINEDALE DRIVE, ANKENY, IA 50023

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NOTE: COORDINATE WITH OWNER FOR
RELOCATION OF EQUIPMENT AND MATERIALS
WITHIN CONSTRUCTION AREA



EXISTING CONDITIONS AND DEMOLITION PLAN

B12X LAB BUILDING
JOHN DEERE DES MOINES WORKS
825 SW Levee Road Drive | Ankeny, IA 50022

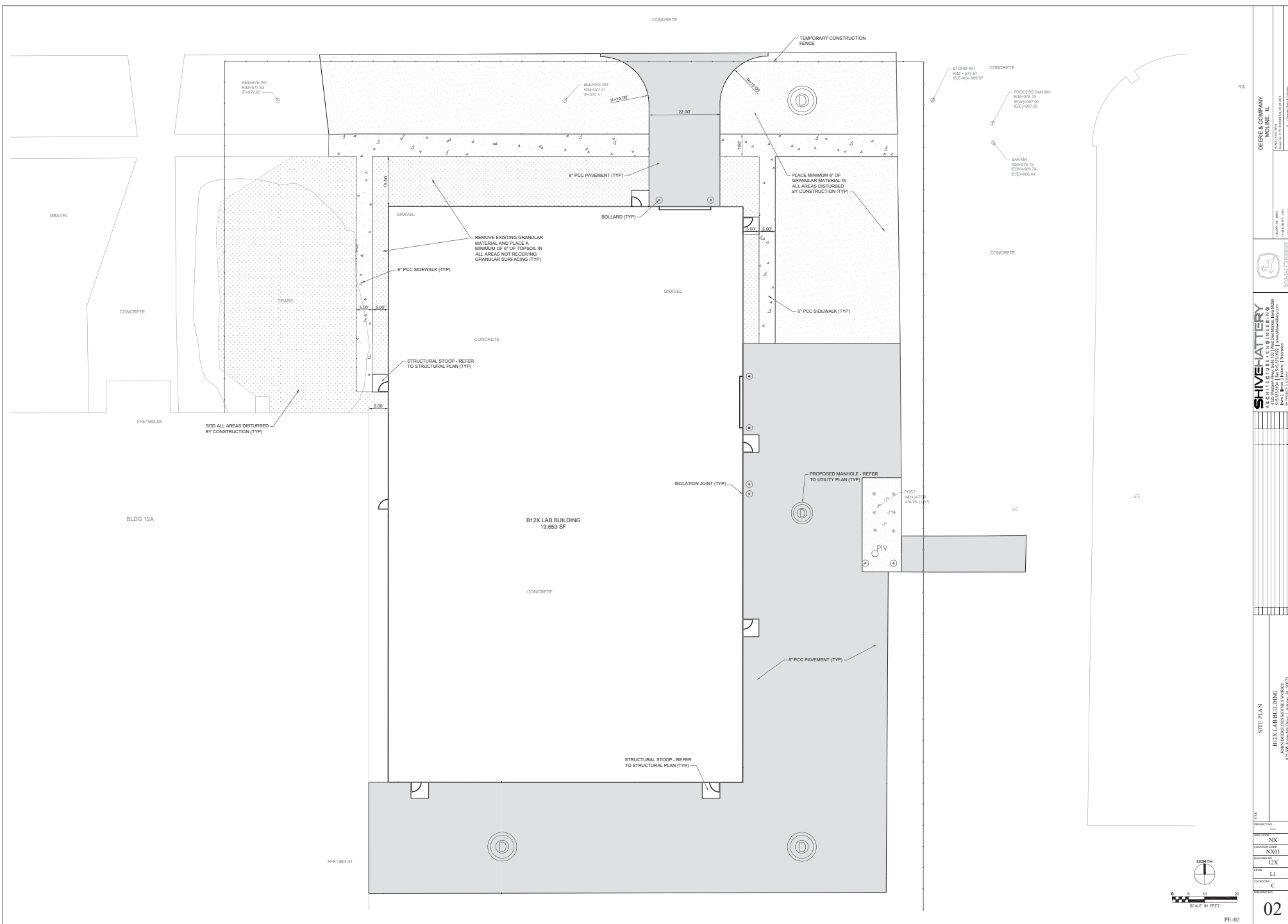
EERE & COMPANY

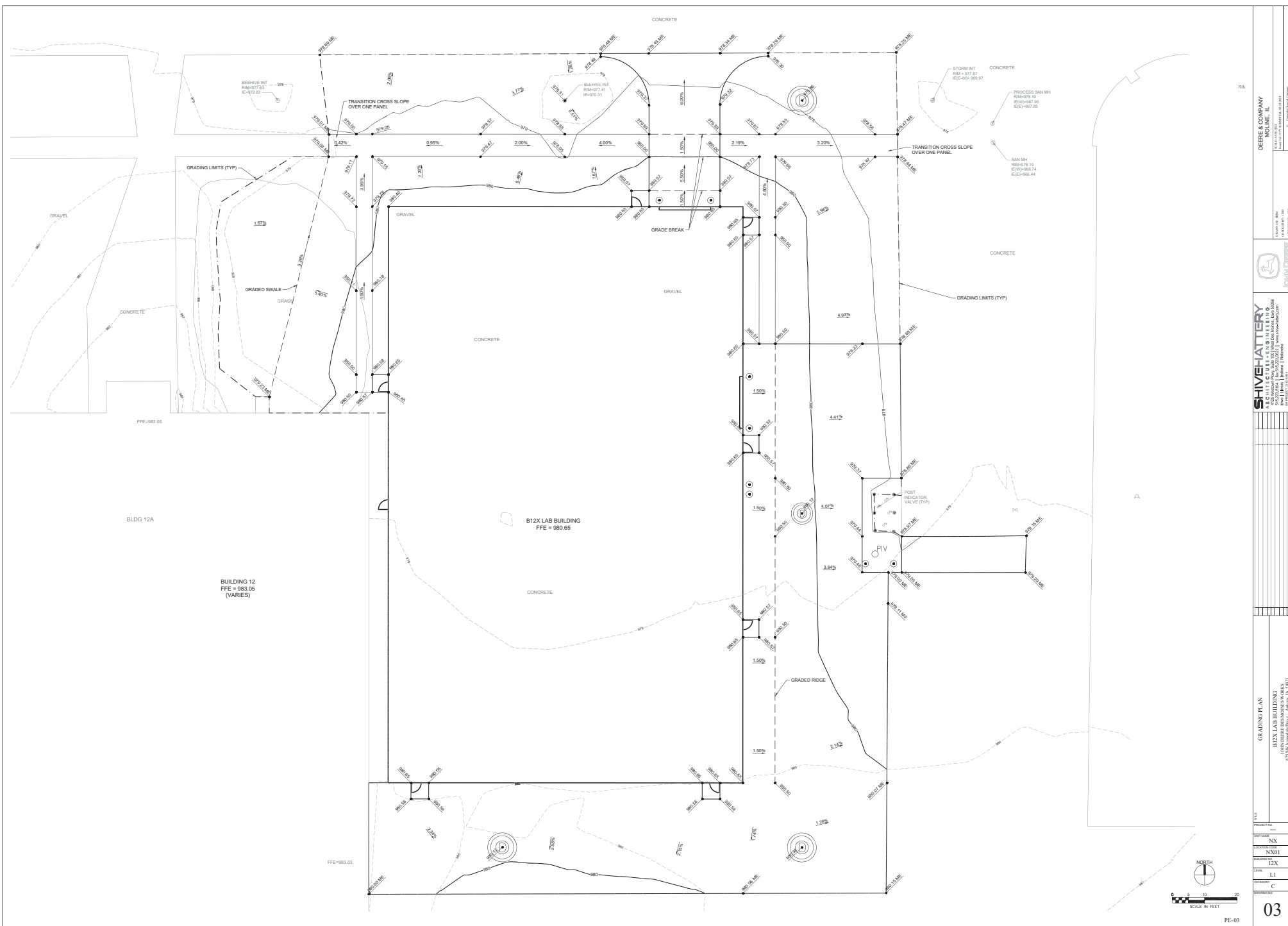
SHIVELATTERY
ARCHITECTURE + ENGINEERING
4125 Woodrow Plwy, Suite 150 | West Des Moines, Iowa 50266
515-223-1104 | fax 515-223-0623 | www.shivelattery.com

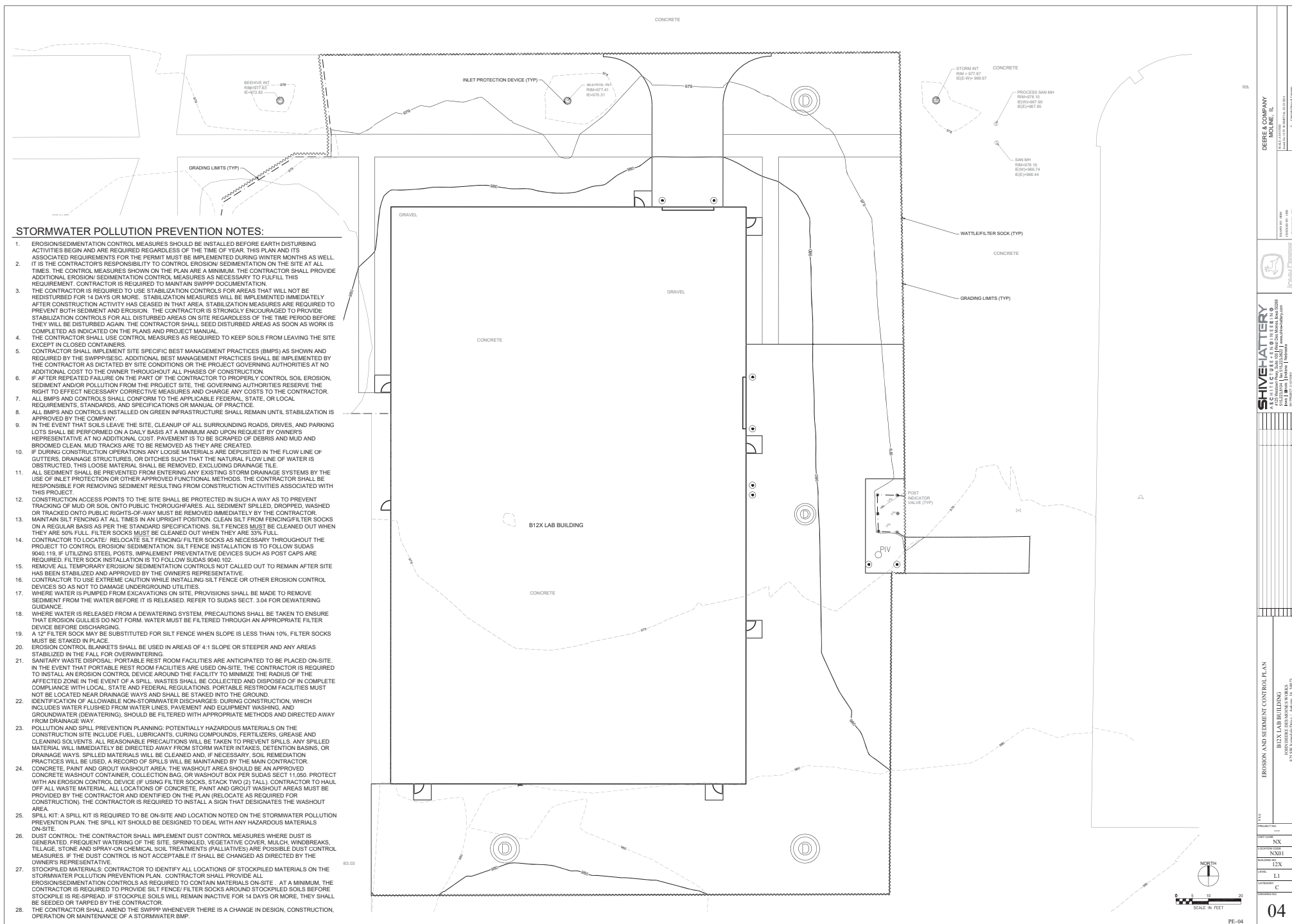
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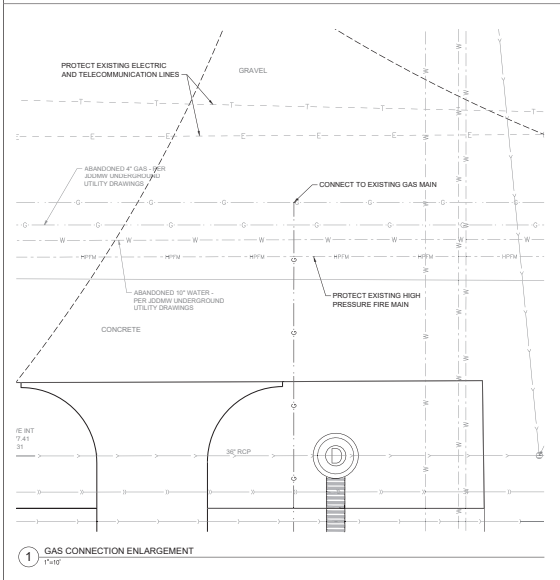
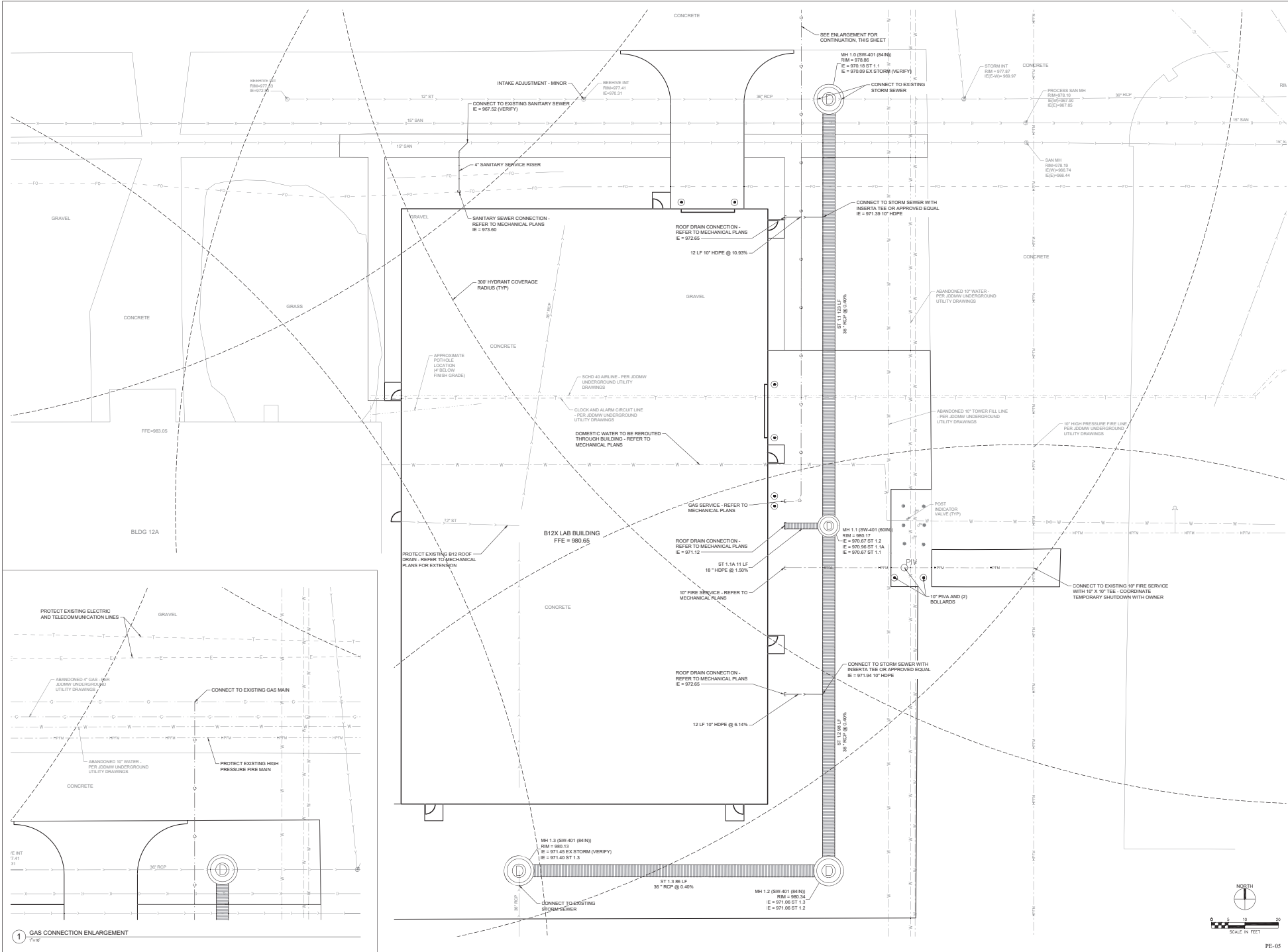
KEENE & COMPANY
MOLINE, IL

LEERE & COMPANY
MOLINE, IL









DEERE & COMPANY
MOBILE, IL

SHIVE-HATTERY
A SCOTT & BROWN COMPANY
ENGINEERS
1000 N. W. 10th St., Suite 100
Fort Lauderdale, FL 33304
Phone: (954) 571-1111
Fax: (954) 571-1112
www.shive-hattery.com

PE-05

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UTILITY PLAN

B12X LAB BUILDING

825 SW 10th Avenue, Fort Lauderdale, FL 33304

1

GAS CONNECTION ENLARGEMENT

1/4" = 1'-0"

0

5

10

20

SCALE IN FEET

NORTH

0

5

10

20

SCALE IN FEET

PE-05

05

THE 2024 EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS, AND FACTORY MUTUAL INSURANCE COMPANY (FM GLOBAL) REQUIREMENTS SHALL APPLY TO ALL SITE WORK PERFORMED ON THIS PROJECT EXCEPT AS MODIFIED HEREIN.

CORE AGGREGATE DURABILITY SHALL BE CLASS III

FIBER REINFORCEMENT - 3.5 LBS/CY FIBER REINFORCEMENT. REFER TO STRUCTURAL CONCRETE SPECIFICATIONS FOR FIBER PRODUCT INFORMATION.

COMPRESSIVE STRENGTH 2800 PSI @ 7 DAYS AND 4000 PSI @ 28 DAYS

TESTING - ONE SET OF TEST CYLINDERS REQUIRED FOR EACH 100 C.Y. OR PORTION THEREOF, OF CONCRETE POURED PER WORK LOCATION. CONCRETE TESTING TO BE DONE AND PAID FOR BY OWNER. CONTRACTOR TO COORDINATE AND SCHEDULE ALL REQUIRED TESTING AND GEOTECHNICAL WORK.

SURFACE CURING:
APPLY WHITE PIGMENT LIQUID CURING COMPOUND IN A FINE SPRAY TO FORM CONTINUOUS UNIFORM FILM AFTER FINISHING AND SURFACE MOISTURE HAS DISAPPEARED, OR WITHIN 30 MINUTES AFTER FORMS ARE REMOVED.

TRACTION FINISH RAMP AREAS AS NOTED ON THE PLANS. FINISH SHALL BE RAKED TRANSVERSELY FROM SLAB EDGE AT A 30° ANGLE. FINISH SHALL BE SIMILAR TO IDOT BRIDGE RAKE FINISH SPECIFICATIONS. CONFIRM EXACT FINISH WITH OWNER.

PROVIDE OWNERS REPRESENTATIVE WITH CONCRETE MIX DESIGN FOR APPROVAL

B. SEALANTS:
JOINT SEALERS: COMPLY WITH IOWA DOT ARTICLE 4136.02

C. REINFORCING STEEL:
PAVING REINFORCEMENT SHALL BE ASTM A615 GRADE 60, AND HAVE A PROTECTIVE COATING OF EPOXY APPLIED BY ELECTROSTATIC SPRAY METHOD IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM A775.

D. DEMOLITION:
REMOVE OBSTRUCTIONS TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVE AND DISPOSE OF OBSTRUCTIONS TO A MINIMUM DEPTH OF 24 INCHES BELOW EXPOSED SUBGRADE OR PROPOSED SUBGRADE ELEVATION, WHICHEVER IS LOWER. FILL DEPRESSIONS CAUSED BY DEMOLITION OPERATIONS WITH SATISFACTORY SOIL MATERIAL. PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.

REMOVE EXISTING FOOTINGS AND UTILITIES COMPLETELY AND DISPOSE OF OFFSITE, EXCEPT AS SPECIFICALLY NOTED ON PLANS.

E. EARTHWORK:
CONSTRUCT TO ELEVATIONS SHOWN AND COORDINATE ALL DEVIATIONS WITH OWNER'S REPRESENTATIVE. CONTRACTOR SHALL COORDINATE REQUIRED GRADE ADJUSTMENTS WITH ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED TO BALANCE THE SITE.

PROVIDE WATER AS NEEDED OR MECHANICALLY DRY WET MATERIALS AS REQUIRED TO OBTAIN OPTIMUM MOISTURE CONTENT DIRECTED BY GEOTECHNICAL ENGINEER FOR ALL COMPACTION

FILL MATERIAL SHALL BE FREE FROM STICKS, ROOTS, DEBRIS, AND ORGANIC MATTER. NO SOIL MATERIAL SHALL BE HAULED OFFSITE.

PROOF ROLL EXPOSED SUBGRADES WITH HEAVY CONSTRUCTION EQUIPMENT PRIOR TO PLACEMENT OF ANY NEW FILL. GEOTECHNICAL ENGINEER TO OBSERVE PROOF ROLLING OPERATIONS AND TO RECOMMEND ANY CORRECTIVE ACTION.

ALL AREAS NOT UNDER PAVEMENT OR GRANULAR SURFACING SHALL BE COMPACTED TO A MINIMUM OF 95% DENSITY, ASTM D696. (STANDARD PROCTOR)

PROVIDE COMPACTION TESTS FOR AREAS UNDER PAVING AND MAKE ONE TEST PER 5,000 SQUARE FEET OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. TESTING TO BE DONE AND PAID FOR BY OWNER. CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL REQUIRED TESTING AND GEOTECHNICAL WORK.

F. TRAFFIC AND PEDESTRIAN CONTROL:
PROVIDE BARRICADES, FENCING, AND OTHER DEVICES TO KEEP UNAUTHORIZED PERSONNEL FROM PROJECT SITE. PROTECT THE CONCRETE PAVEMENT DURING INITIAL CURE, AND PROTECT OR DELINEATE THE WORK AREA AS DIRECTED BY THE OWNER.

KEEP INTERFERENCE WITH TRAFFIC TO A MINIMUM. DO NOT BLOCK EXISTING SITE ROADWAYS OR DOCKS.

G. PAVEMENT JOINTING:
PROVIDED 1" ISOLATION JOINT WITH SEALANT ALONG ALL STRUCTURES AND AT LOCATIONS AS SHOWN ON THE DRAWINGS.

PROVIDE IDOT 'TYPE CD' JOINTS AT A MAXIMUM SPACING OF 15 FEET IN LONGITUDINALLY AND TRANSVERSE DIRECTIONS.

PROVIDE IDOT 'TYPE DW' JOINTS AT END OF DAY PAVING.

PROVIDE 'TYPE RD' JOINTS TO TIE INTO EXISTING PAVING

PROVIDE 'TYPE BT' ABUTTING PAVEMENT JOINTS AT CURB AND GUTTER SECTIONS AND THICKENED EDGE TRANSITIONS AS SHOWN ON CONSTRUCTION DETAIL SHEET.

PROVIDE OWNERS REPRESENTATIVE WITH A POURING SEQUENCE AND JOINTING PLAN FOR APPROVAL PRIOR TO BEGINNING PAVING OPERATIONS. JOINT LOCATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND SHALL BE ADJUSTED IN THE FIELD TO MATCH EXISTING JOINT PATTERNS AND CONSTRUCTION SEQUENCING.

JOHN DEERE DOES MINNESOTA WORKS WAS BUILT IN THE 1940s AS A WORLD WAR II FACILITY AND HISTORICALLY HAS EXPERIENCED SPILLS AND PRACTICES THAT HAVE CONTAMINATED PARTS OF THE SITE OVER THE YEARS, ESPECIALLY BEFORE ENVIRONMENTAL REGULATIONS WERE DEVELOPED TO THE POINT THEY ARE TODAY. JOHN DEERE DOES MINNESOTA WORKS HAS IDENTIFIED A NUMBER OF KNOWN CONTAMINATED AREAS OR HAS AREAS UNDER INVESTIGATION THAT REQUIRE US TO USE 40 HOUR HAZWOPER TRAINED CONTRACTORS TO DIG IN THESE AREAS UNDER JOHN DEERE ENVIRONMENTAL STAFF SUPERVISION. OTHER AREAS THAT ARE NOT IDENTIFIED AS POSSIBLY CONTAMINATED MAY USE CONTRACTORS THAT DO NOT HAVE 40 HOUR HAZWOPER TRAINING, BUT THE MUST FOLLOW THE GUIDANCE BELOW.

FOR ALL CONTRACTORS OR DEERE EMPLOYEES:

ONCE A SOIL DIG PERMIT HAS BEEN REVIEWED AND APPROVED BY JOHN DEERE ENVIRONMENTAL STAFF, CONTRACTORS MUST MEET AND FOLLOW THE FOLLOWING REQUIREMENTS:

- DIGGING MUST STOP AND JOHN DEERE ENVIRONMENTAL STAFF CONSULTED IF SOILS ARE OBSERVED TO BE VISUALLY IMPACTED, IF THERE IS AN ODOOR DETECTED INDICATING FUEL OR SOLVENTS ARE PRESENT, IF DEBRIS OF ANY KIND IS ENCOUNTERED, OR IF ANY OTHER CHARACTERISTIC IS OUT OF THE NORMAL FOR CLEAN SOILS.
- IF SOIL CONTAMINATION IS ENCOUNTERED IN AREAS THAT ARE NOT IDENTIFIED ON THE KNOWN SITE LIST, A 40 HOUR HAZWOPER TRAINED CONTRACTOR WILL BE REQUIRED TO CONTINUE ANY DIGGING.
- UNDER JOHN DEERE ENVIRONMENTAL STAFF GUIDANCE.
- WHEN IN DOUBT ABOUT SOIL CONDITIONS, CONSULT IMMEDIATELY WITH JOHN DEERE ENVIRONMENTAL STAFF BEFORE CONTINUING WITH DIGGING.

1. PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS WERE OBTAINED THROUGH TOPOGRAPHIC SURVEY PERFORMED BY SHIVE-HATTERY IN 2021 (AND SUPPLEMENTAL SURVEY IN 2023) AND FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION, VERIFICATION OF AND VERIFICATION OF STATUS OF ALL UTILITIES, STRUCTURES, AND SERVICE CONNECTIONS MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT. DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.

2. REMOVE ALL DESIGNATED SLABS, DRIVEWAYS, ETC. IN THEIR ENTIRETY. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL, COMPACTED TO 95% STANDARD PROCTOR DENSITY. BACKFILLING TO BE SUPERVISED BY GEOTECHNICAL ENGINEER EMPLOYED BY OWNER.
3. ALL DEMOLITION SHOULD BE PERFORMED WITH THE LEAST AMOUNT OF DISTURBANCE TO THE SITE AND THE OWNERS OPERATIONS. DEMOLITION WORK SHALL BE PHASED AS REQUIRED TO MAINTAIN OWNER ACCESS THROUGHOUT THE CAMPUS.
4. ALL DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE DISPOSED OF OFF SITE IN FULL COMPLIANCE WITH CURRENT JOHN DEERE, LOCAL, STATE, AND FEDERAL REGULATIONS. UNLESS SPECIFICALLY APPROVED BY THE OWNER, NO SOIL MAY BE REMOVED FROM SITE. SOIL STOCKPILE AND WASTE AREAS SHALL BE COORDINATE WITH OWNER.

1. ALL SITE WORK SHALL BE PHASED TO MAINTAIN EXISTING OPERATIONS THROUGHOUT CONSTRUCTION. COORDINATE CONSTRUCTION SCHEDULE AND PHASING WITH OWNER.

2. NOTIFY UTILITY COMPANIES AND THE OWNER OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
3. CONSTRUCTION STAGING AND LAYDOWN AREAS SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE IMPACTS TO EXISTING OPERATIONS. STAGING AREAS ARE ANTICIPATED TO BE WITHIN THE PROPOSED PROJECT LIMITS/TEMPORARY FENCING SHOWN ON THE PLANS WITH ADDITIONAL AVAILABLE AREAS OF THE PROJECT SITE AS APPROVED BY THE OWNER.
4. CONTRACTOR PARKING WILL BE AVAILABLE IN EXISTING CAMPUS EAST AND WEST EMPLOYEE PARKING LOTS WITH LIMITED CONTRACTOR VEHICLE ACCESS INTO THE SECURE PORTION OF CAMPUS. COORDINATE CONTRACTOR VEHICLE ACCESS REQUIREMENTS AND DELIVERIES WITH OWNER.

1. HIGH PRESSURE FIRE MAIN PIPING AND ACCESSORIES TO MEET MINIMUM FM GLOBAL PRESSURE RATING OF 200 PSI OR GREATER. PROVIDE PRODUCT DATA SUBMITTAL RELATED TO ALL FIRE MAIN IMPROVEMENTS PRIOR TO COMMENCING ASSOCIATED WORK FOR APPROVAL BY FM GLOBAL.

2. ALL MATERIALS, INSTALLATION, AND TESTING OF THE HIGH PRESSURE FIRE MAIN TO FOLLOW FM GLOBAL REQUIREMENTS

1. ALL MATERIALS, INSTALLATION, AND CONSTRUCTION SHALL CONFORM TO FACTORY MUTUAL INSURANCE COMPANY (FM GLOBAL) SPECIFICATIONS AND REQUIREMENTS. IN THE EVENT OF CONFLICT WITH FM GLOBAL REQUIREMENTS OR RECOMMENDATIONS, OR WHERE FM GLOBAL REQUIREMENTS OR RECOMMENDATIONS ARE MORE STRINGENT, FM GLOBAL SPECIFICATIONS SHOULD APPLY UNLESS DEVIATIONS ARE SPECIFICALLY APPROVED BY OWNER'S REPRESENTATIVE.

1. IOWA CODE 480. UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989. NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
2. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
3. NO WORK TO BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
4. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
5. SITE CLEANUP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES. MAINTAIN ALL CONSTRUCTION ENTRANCES IN A CONDITION WHICH WILL PREVENT TRACKING AND FLOW OF SEDIMENT AND DEBRIS ONTO PUBLIC ROADWAYS AND RIGHT-OF-WAY.
6. ALL OPEN EXCAVATIONS AND DEMOLITION SHALL BE PROTECTED.
7. MINIMIZE DUST SPREADING FROM ALL WORK AND STAGING AREAS.
8. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT IS CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
9. WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF THE OWNER OR OWNER'S REPRESENTATIVE BEYOND THE LINES SHOWN ON THE PLAN OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
10. CONTRACTOR SUPERVISION IS REQUIRED OUTSIDE THE PROJECT'S CONSTRUCTION PROJECT LIMITS. CONTRACTOR AND JOHN DEERE SAFETY RULES APPLY WITHIN THE CONFINES OF THE CONSTRUCTION LIMITS. JOHN DEERE SAFETY POLICIES APPLY OUTSIDE OF THE PROJECT LIMITS.
11. SUBMIT TO JOHN DEERE MSDS'S FOR ALL CHEMICALS THAT WILL BE BROUGHT ONTO JOHN DEERE PROPERTY - PRIOR TO BRINGING ON SITE. COPIES OF ALL MSDS SHEETS SHALL ALSO BE KEPT AT JOB SITE.
12. VISIT THE SITE PRIOR TO SUBMISSION OF A BID TO ASCERTAIN THE AMOUNT OF ACCESSIBILITY TO THE AREA AND OTHER RESTRICTIONS THAT MAY OCCUR IN THE AREA. EXISTING MACHINES AND EQUIPMENT GENERALLY ARE NOT SHOWN ON THE PLANS.
13. VERIFY ALL EXISTING DIMENSIONS AND/OR ELEVATIONS FOR CONFORMANCE TO THE DRAWINGS. NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCY IN DIMENSIONS AND/OR ELEVATIONS FROM THOSE SHOWN ON THE DRAWINGS.
14. DO NOT INTERFERE WITH THE NORMAL PLANT OPERATIONS. CONFINE CONSTRUCTION OPERATIONS TO THE DESIGNATED AREAS AND KEEP THE CONSTRUCTION AREA CLEAN.
15. IN COORDINATION WITH THE OWNER'S REPRESENTATIVE, LOCATE ALL UTILITIES BEFORE COMMENCING WORK TO VERIFY EXISTING HORIZONTAL AND VERTICAL LOCATIONS.
16. NO SILICONE-CONTAINING CAULKS OR ADHESIVES WILL BE ALLOWED ON THE PREMISES.
17. STAGING LOCATION FOR CONSTRUCTION TRAFFIC, EQUIPMENT, AND MATERIALS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER'S REPRESENTATIVE.
18. ALL CONSTRUCTION AREAS MUST BE SEPARATED FROM OWNERS VEHICLE AND PEDESTRIAN TRAFFIC WITH CONTINUOUS CHAINLINK CONSTRUCTION FENCE. FENCE MUST BE MAINTAINED IN GOOD CONDITION THROUGHOUT CONSTRUCTION WITH REPAIRS COMPLETED ON A DAILY BASIS.
19. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
20. ALL DIMENSIONS TO BACK-OF-CURB OR EDGE OF PAVING UNLESS NOTED OTHERWISE.
21. NO PONDING OF WATER WILL BE ACCEPTED ON ANY NEW PAVEMENT AREAS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENTS THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING.
22. CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISHED GRADE.
23. CONTRACTOR TO PROVIDE PROTECTION TO ALL UNPROTECTED EDGES.
24. CONCRETE WASHOUT SHALL BE PROVIDED. NO AT GRADE WASHOUT WILL BE ALLOWED ONSITE.
25. OWNER TO MOVE EQUIPMENT IN THE PROJECT LIMITS PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE FOR ANY ADDITIONAL EQUIPMENT AND MATERIAL STORAGE/RELOCATION AS REQUIRED BY CONSTRUCTION.

1. THE PROJECT WILL HAVE A TOTAL DISTURBED AREA OVER 1 ACRE. THE OWNER WILL PREPARE AN EPA TEMPLATE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO SATISFY THE APPLICATION REQUIREMENTS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES (IOWA DNR). THE OWNER WILL OBTAIN AN IOWA DNR NPDES GENERAL PERMIT NO. 2, FOR STORMWATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FOR CONSTRUCTION ACTIVITIES. PRIOR TO THE START OF CONSTRUCTION THE OWNER WILL DEVELOP ALL EROSION CONTROL MEASURES TO PREVENT EROSION. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR IMPLEMENTATION OF THE SWPPP AND MEET ALL JOHN DEERE, LOCAL, STATE, AND FEDERAL EROSION CONTROL REQUIREMENTS.

2. THE PROJECT WILL REQUIRE A CITY OF ANKENY CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL ORDINANCE (COSESCO) PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCAL COSESCO PERMIT APPLICATION AND ALL PERMIT REQUIREMENTS.
3. COMPLY WITH ALL REQUIREMENTS OF THE GENERAL PERMIT NO. 2 AND WITH APPLICABLE JOHN DEERE, IOWA DNR, US EPA, AND LOCAL REGULATIONS. NOTIFY THE OWNER OF ANY CONCERNS OR POTENTIAL ISSUES WITH STORMWATER DISCHARGES OR POLLUTION PREVENTION STRUCTURES.
4. CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLATION, PERIODIC CHECKING AND MAINTENANCE, AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES. INSTALL ADDITIONAL CONTROLS ARE REQUESTED BY THE OWNER'S REPRESENTATIVE.
5. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SITE INSPECTIONS ALONG WITH UPDATING THE SWPPP, EROSION CONTROL PLAN, AND SITE CONTROLS AS REQUIRED THROUGHOUT CONSTRUCTION.
6. THE PROVIDED EROSION AND SEDIMENTATION CONTROL PLAN SHOWS MINIMAL CONTROLS FOR PERMIT ACQUISITION PURPOSES. CONTRACTOR SHALL ASSUME ADDITIONAL CONTROLS WILL BE REQUIRED TO MEET PROJECT REQUIREMENTS.

