



## Meeting Agenda

### Plan and Zoning Commission

Wednesday, September 4, 2024

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Ted Rapp, Chair

Randy Weisheit, Vice Chair

Trina Flack  
Glenn Hunter

Lisa West

Annette Renaud  
Todd Ripper

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*Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.*

#### **CALL TO ORDER:**

#### **A. ROLL CALL:**

#### **B. AMENDMENTS TO AGENDA:**

Consider MOTION to approve and accept the September 4, 2024 agenda with/without amendments.

#### **C. COMMUNICATIONS:**

#### **D. CITIZEN'S REQUEST:**

#### **E. CONSENT AGENDA ITEMS:**

##### **1. Minutes**

Consider MOTION to approve and accept the August 20, 2024 minutes of the Plan and Zoning Commission meeting.

**2. 3710 SE Convenience Boulevard - Rick's Landing Airplane Hangar Site Plan**

Consider MOTION to approve the site plan for the Rick's Landing Airplane Hangar located at 3710 SE Convenience Boulevard.

**3. Trestle Ridge Estates Plat 8 Final Plat**

Consider MOTION to recommend City Council approval of Trestle Ridge Estates Plat 8 Final Plat; and recommend City cost-participation in the amount of \$9,796.50 for 8' sidewalk along NW Reinhart Drive. An estimate for the cost of the turn lanes along NW Weigel Drive will be reviewed and approved by the City. Once there is an agreement on the cost, the developer will provide a check for the required amount at the time of final plat approval, which will be applied to the future City project.

**Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #3.**

**F. REMOVED CONSENT AGENDA ITEMS:**

**G. REPORTS:**

1. September 3, 2024 City Council Report - Staff
2. Director's Report  
Tentative agenda items for Tuesday, September 17, 2024
3. Commissioner's Reports

**H. MISCELLANEOUS ITEMS:**

- Introduction to CivicClerk Agenda Board Portal
- September 16, 2024 - 5:30 p.m. City Council Representative: Staff

**I. ADJOURNMENT:**

**Consider MOTION to adjourn the meeting.**



PLAN AND ZONING COMMISSION  
September 4, 2024  
6 : 30 PM

Print

ORIGINATING DEPARTMENT:  
Planning and Building

COUNCIL GOAL:  
Ensure Economic Vitality

ACTION REQUESTED:  
Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

**Action:** Consider MOTION to approve and accept the August 20, 2024 minutes of the Plan and Zoning Commission meeting.

ADDITIONAL INFORMATION:

ATTACHMENTS:

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**Meeting Minutes**  
**Plan & Zoning Commission Meeting**  
Tuesday, August 20, 2024  
Ankeny City Council Chambers, Second Floor  
1250 SW District Drive, Ankeny, Iowa

**CALL TO ORDER**

Chair Ted Rapp called the August 20, 2024 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

**ROLL CALL**

Members present: Ted Rapp, Randy Weisheit, Trina Flack, Glenn Hunter, Annette Renaud, Lisa West, and Todd Ripper. Staff present: Eric Jensen, Eric Carstens, Jake Heil, Bryan Morrissey, Laura Hutzell, Ryan Kirschman and Brenda Fuglsang.

**AMENDMENTS TO THE AGENDA**

Motion by T.Flack to approve and accept the August 20, 2024 agenda without amendments. Second by G.Hunter. All voted aye. Motion carried 7 – 0.

**COMMUNICATIONS**

There were no communications.

**CITIZEN'S REQUEST**

There were no requests.

**CONSENT AGENDA ITEMS**

**Item #1. Minutes**

Motion to approve and accept the August 6, 2024 minutes of the Plan and Zoning Commission meeting.

**Item #2. Hope Crest Plat 1 Final Plat**

Motion to recommend City Council approval of the Hope Crest Plat 1 Final Plat.

**Item #3. 1407 SW Ordinance Road – Gerber Collision Building Addition Site Plan**

Motion to approve the site plan for 1407 SW Ordinance Road, Gerber Collision Building Addition.

Motion by L.West to approve the recommendations for Consent Agenda Item #1 - #3. Second by R.Weisheit. All voted aye. Motion carried 7 – 0.

**PUBLIC HEARINGS**

There were no public hearings.

**BUSINESS ITEMS**

**Item #4. Request to amend The Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map for property owned by DRA Properties, LC from Office/Business Park to Low Density Residential use classification (LUPA Area A)**

**Item #5. Request to amend The Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map for property owned by DRA Properties, LC and The Ankeny Community School District from Medium Density to Low Density Residential use classification (LUPA Area B)**

**Item #6. Request to amend The Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map for property owned by DRA Properties, LC from Low Density to Medium Density Residential use classification (LUPA Area C)**

**Item #7. DRA Properties, LC request to rezone property from R-1, One-Family Residence District to PUD, Planned Unit Development**

**Staff Report:** L.Hutzell reported that DRA Properties, LC is requesting three amendments to the Ankeny Plan 2040 Comprehensive Plan Figure 12.10, Future Land Use Map. These amendments are accompanied by one rezoning. The properties subject to the proposed map amendments and rezoning consist of two parcels that total

approximately 124.4 acres and are located north of NE 18th Street, east of Interstate 35 and west of NE 29th Street/Four Mile Drive.

L.Hutzell stated that Land Use Plan Map Amendment A is approximately 53.68 acres and is located north of NE 18th Street, east of Interstate 35, and west of NE 29th Street. The Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, currently classifies the subject area as Office/Business Park and the applicant is now proposing to reclassify the future land use to Low Density Residential.

Land Use Plan Amendment Area B is approximately 26.35 acres and is located in the NE quadrant of the subject area, located north of NE 18th Street, east of Interstate 35, and west of NE 29th Street. The Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, currently classifies the subject area as Medium Density Residential and the applicant is now proposing to reclassify the future land use to Low Density Residential.

Land Use Plan Amendment Area C is approximately 15.8 acres and is located in the southeast quadrant of the subject area, located north of NE 18th Street, east of Interstate 35 and west of NE 29th Street. The Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, currently classifies the subject area as Low Density Residential and the applicant is now proposing to reclassify the future land use to Medium Density Residential.

L.Hutzell reported that accompanying the land use plan map amendments, is a request by DRA Properties, LC to rezone 124.4 acres from R-1 One Family Residential District to PUD, Planned Unit Development. She provided the zoning for the surrounding properties and presented the Masterplan for the development. L.Hutzell noted that the development will include single-family residential, biattached, multifamily, parkland and include property owned by the Ankeny Community School District for educational use. She further stated that the bulk regulations for the development are outlined in the PUD book. L.Hutzell provided responses to the questions that were raised by citizens at the August 6, 2024 public hearing, which included keeping the townhome piece as single family instead of a multifamily and the transition from existing single-family homes to townhomes. She noted that moving the townhomes further north is not possible due to the parcel of land that the Ankeny Community School District owns. She addressed that written in the PUD book is a 25' buffer easement along both NE 18th Street and NE 29th Street/NE Four Mile Drive. This buffer easement will require one overstory tree and four shrubs every 50 lineal feet to be installed along a 3' minimum earthen berm, similar to what exists along the south side of NE 18th Street. She noted that the applicant for this project is requiring elevated architectural standards for these townhomes. These townhomes will be no more than two-stories with architectural standards that include prohibiting vinyl siding. Street facing dwellings will also be required to have a minimum of 75% stone, brick, stucco, shake, and board and batten.

Staff recommends that the Plan & Zoning Commission recommend City Council approval of the request by DRA Properties, LC to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by DRA Properties, LC (LUPA Area A) from Office/Business Park to Low Density Residential.

That the Plan & Zoning Commission recommend City Council approval of the request by DRA Properties, LC to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by DRA Properties, LC and The Ankeny Community School District (LUPA Area B) from Medium Density to Low Density Residential.

That the Plan & Zoning Commission recommend City Council approval of the request by DRA Properties, LC to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by DRA Properties, LC (LUPA Area C) from Low Density to Medium Density Residential.

That the Plan and Zoning Commission recommend City Council approval of the request by DRA Properties, LC to rezone 124.4 acres from R-1, One-Family Residence District to PUD, Planned Unit Development.

Adam Schoeppner, Nilles Associates, 1933 SW Magazine Road, Ankeny said there was good collaboration between the applicant and the City after the public hearing. He said taking the feedback from the public, they amended the PUD and the Masterplan to offer buffering between the single family residential and the townhomes. He asked if the Commission had any questions.



Motion (Item #4) by R.Weisheit to recommend City Council approval of the request by DRA Properties, LC to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by DRA Properties, LC (LUPA Area A) from Office/Business Park to Low Density Residential. Second by L.West. Motion carried 6 – 0 – 1 (Abstain: T.Rapp).

Motion (Item #5) by G.Hunter to recommend City Council approval of the request by DRA Properties, LC to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by DRA Properties, LC and The Ankeny Community School District (LUPA Area B) from Medium Density to Low Density Residential. Second by R.Weisheit. Motion carried. 6 – 0 – 1 (Abstain: T.Rapp).

Motion (Item #6) by T.Ripper to recommend City Council approval of the request by DRA Properties, LC to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by DRA Properties, LC (LUPA Area C) from Low Density to Medium Density Residential. Second by R.Weisheit. Motion carried. 6 – 0 – 1 (Abstain: T.Rapp).

Motion (Item #7) by T.Ripper to recommend City Council approval of the request by DRA Properties, LC to rezone 124.4 acres from R-1, One-Family Residence District to PUD, Planned Unit Development. Second by G.Hunter. Motion carried 6 – 0 – 1 (Abstain: T.Rapp).

## REPORTS

### City Council Meeting

E.Jensen reported on the August 19, 2024 City Council meeting.

### Director's Report

E.Jensen presented the tentative agenda items for the Wednesday, September 4, 2024 Plan and Zoning Commission meeting.

### Commissioner's Reports

T.Rapp asked if the City has a bee Ordinance. E.Jensen said there is not a separate Ordinance for bees. They are not prohibited as long as they are not creating a nuisance.

L.West confirmed that the next Plan and Zoning Commission meeting will be on Wednesday, September 4<sup>th</sup>. Staff responded, yes.

T.Flack asked whether citizens should contact the Ankeny Community School District regarding crossing guards or the City Police Department. Staff believes that it is a collaborative effort and recommended starting with the school district.

## MISCELLANEOUS ITEMS

September 3, 2024 – 5:30 p.m. City Council Meeting Representative: Staff

## ADJOURNMENT

There being no further business, Chair Rapp adjourned the meeting. Meeting adjourned at 6:53 p.m.



Submitted by Brenda Fuglsang, Secretary  
Plan & Zoning Commission



PLAN AND ZONING COMMISSION  
September 4, 2024  
6 : 30 PM

Print

ORIGINATING DEPARTMENT:  
Planning and Building

COUNCIL GOAL:  
Ensure Economic Vitality

ACTION REQUESTED:  
Motion

LEGAL:

SUBJECT:  
3710 SE Convenience Boulevard - Rick's Landing Airplane Hangar Site Plan

EXECUTIVE SUMMARY:  
See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:  
**Action:** Consider MOTION to approve the site plan for the Rick's Landing Airplane Hangar located at 3710 SE Convenience Boulevard.

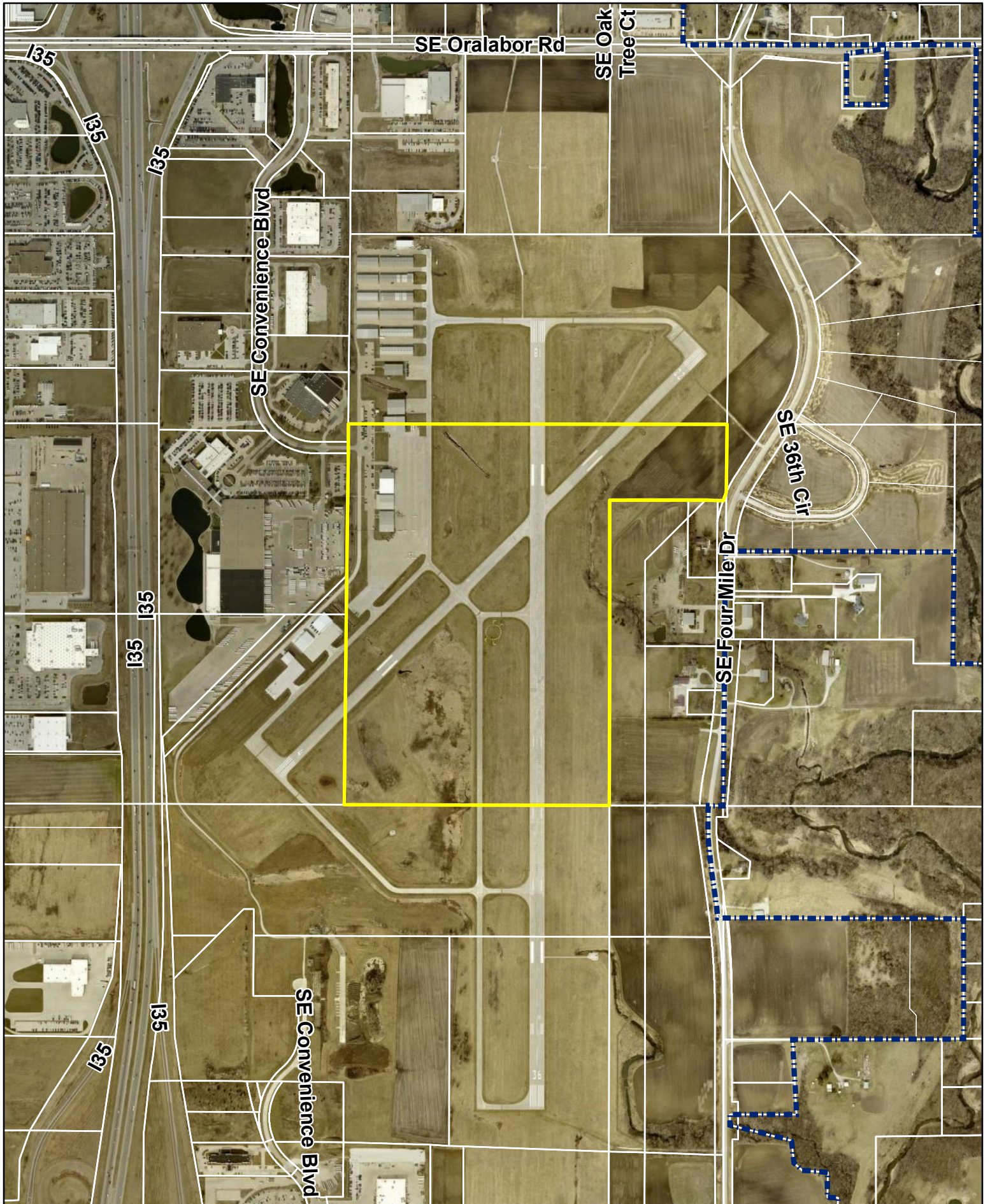
ADDITIONAL INFORMATION:

ATTACHMENTS:

**Click to download**

|                                  |
|----------------------------------|
| <a href="#">Aerial Map</a>       |
| <a href="#">Applicant Letter</a> |
| <a href="#">Site Plan</a>        |
| <a href="#">Elevations</a>       |





N



1 inch = 850 feet

Date: 8/28/2024

**3710 SE Convenience Blvd  
Rick's Landing Airport Hanger**



August 2, 2024

Eric Jensen  
Director of Community Development  
Community Development Department  
City of Ankeny  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50023

RE: RICK'S LANDING, L.L.C. ANKENY AIRPORT HANGER SITE PLAN

Dear Mr. Jensen:

We are very excited about being a part of the Ankeny Regional Airport. We are proposing to lease property from the Airport Board and construct a 82 feet by 217 foot aircraft hanger. We are requesting approval from the City of Ankeny for the proposed site plan for the planned hanger. Separately, we are seeking a lease agreement with the airport board in the first part of September.

Our proposed site is located along the western access road in the southwest portion of the airport where there are several other constructed hangers. We plan to start construction this year and complete the project by spring of 2025. We hope to have several aircraft stored at the hanger in the spring as well.

We appreciate your time and consideration of our project. Please let us know if you have any questions.

Sincerely,

Sincerely,

A handwritten signature in black ink, appearing to read 'Karie Kading Ramsey'. The signature is fluid and cursive, with a large initial 'K' and a long horizontal stroke extending to the right.

Karie Kading Ramsey  
CEO



# RICK'S LANDING, L.L.C.

## SITE PLAN

### CITY OF ANKENY

#### POLK COUNTY, IOWA

#### PROJECT NO. 22032



|                                   |            |
|-----------------------------------|------------|
| DESIGN START DATE:                | 08-02-2023 |
| DATE PLOTTED:                     | 07-19-2024 |
| PRELIMINARY FIELD WORK COMPLETED: | 07-18-2024 |
| FIELD BOOK NO.                    | 2024-01    |

#### City of Ankeny Standard Notes for Site Plans:

- General Notes:**
  - All work shall be done in accordance with the current version of the Iowa Statewide Urban Design and Specifications (SUDAS) for Public Improvements on the date of approval and the City of Ankeny Supplemental Specifications.
  - All permits (IDNR, NPDES, IDOT, Army Corp., etc.) shall be obtained prior to the start of construction.
  - Provide the City of Ankeny with record drawings (as-builts) of all improvements and easements as per City commercial as-built policy.
  - A Knox box is required by the fire department.
  - All site lighting shall not spill onto adjacent properties or rights-of-way.
  - The contractor shall be responsible for locating all newly constructed public and private utilities associated with the project at their expense.
- Water Main Notes:**
  - All fire hydrants shall be American Flow Control-Waterous Pacer WB-67-250, Mueller Super Centurion 250 (3-way A-423), or Clow Medallion F-2545. All hydrants shall have the following: 6" MJ Shoe, 2-1/2" Hose Nozzle, 4-1/2" Steamer Nozzle, NST Threads, Pentagon Operating Nut, Chain on cap, open left, 5-1/2" bury, and factory painted red. The minimum spool pipe length from auxiliary valve to hydrant shoe shall be 2.0'.
  - All hydrants will immediately be covered with a black plastic bag (or equivalent) once the hydrant is installed. The City of Ankeny will notify the contractor when the bags can be removed.
  - A tracer wire receptacle shall be installed at each hydrant, AA Manufacturing Tracer Wire Receptacle Model TW-18-2.
  - All valves shall be resilient wedge gate valves.
  - Water service shall be 1-inch minimum type K copper. A sprinkler service shall be 6-inch dia. PVC(C900) with a back flow preventer system approved by the City of Ankeny.
  - New water main shall be pressure tested and chlorinated by the contractor. The bacteria test and submittal of test to lab shall be done by the contractor and results provided to the City of Ankeny Engineering Division. All tests and sampling to be witnessed by the City Engineering Division. If the test does not pass, the contractor will be required to pay for all the water used to repeat the test.
  - All watermain fittings to be restrained joint, Mega-lug or approved equal.
  - All dead-end water mains to have temporary blowoff hydrants.

| INDEX OF PAGES |                    |
|----------------|--------------------|
| PAGE NO.       | DESCRIPTION        |
| C.1.           | COVER SHEET        |
| C.2.           | TOPOGRAPHIC SURVEY |
| C.3.           | SITE PLAN          |
| C.4.           | DETAILS            |

**OWNER:**  
POLK COUNTY AVIATION AUTHORITY  
410 W. 1ST STREET  
ANKENY, IA 50023-1557

**DEVELOPER (LEASE):**  
RICK'S LANDING, L.L.C.  
KARIE KADING RAMSEY  
7008 MADISON AVE  
URBANDALE, IOWA 50322  
(515) 229-2740

**OWNER'S CONTACT:**  
PAUL MORITZ  
410 W. 1ST STREET  
ANKENY, IA 50023-1557  
Tele: (515) 965-6240

**ENGINEER/SURVEYOR:**  
MARK L LEE  
LEE CHAMBERLIN  
CONSULTANT ENGINEERS  
10430 NEW YORK AVE, STE C  
URBANDALE, IA 50322-3773  
Tele: (515) 669-4188

**HANGER SITE ADDRESS:**  
ANKENY REGIONAL AIRPORT  
3710 SE CONVENIENCE BLVD.  
ANKENY, IA 50021

**Utility Coordination**

The Contractor is responsible to coordinate construction with the following utilities known to have services in the area:

Electric: MidAmerican Energy  
Water & Sewer: City of Ankeny  
Natural Gas: MidAmerican Energy or Black Hills Energy  
Communications: Metronet  
Refuse: Ankeny Sanitation

**ZONING CLASSIFICATION:**  
U-1 CONSERVATION AND PUBLIC UTILITY DISTRICT

**ESTIMATED CONSTRUCTION SCHEDULE**

**PROPOSED USE:**  
WAREHOUSE - AIRCRAFT HANGAR

**BUILDING:**  
82'x217' STEEL FRAME

**FLOOR AREA:**  
HANGAR = 15,334 SF  
DAYROOM = 2,460 SF  
TOTAL = 17,794 SF

**PARKING:**  
REQUIRED: 6  
PROPOSED: 7 W/ 1 H.C.

**EQUIVALENT RESIDENTIAL UNITS(ERU):**  
Total Impervious Area = 25,500 SF  
ERU = 25,500/4000 = 6.38  
PROPOSED = 7 ERU

| LEGEND                   |                                |
|--------------------------|--------------------------------|
| ▲ SECTION CORNER FOUND   | ○ DECOUOUS TREE (EXISTING)     |
| △ SECTION CORNER SET     | ● DECOUOUS TREE (REQUIRED)     |
| ○ PROPERTY PIN FOUND     | ★ CONFERIOUS TREE (EXISTING)   |
| ● PROPERTY PIN SET       | ★ CONFERIOUS TREE (REQUIRED)   |
| ○ GPS MONUMENT           | ○ SHRUB (EXISTING)             |
| ○ BENCHMARK              | ○ SHRUB (REQUIRED)             |
| ○ MONUMENT               | ○ TREE REMOVAL REQUIRED        |
| ○ SOIL BORING            | ○ STUMP                        |
| ○ TEST WELL              | ○ PROPOSED PAVEMENT ELEVATION  |
| ○ MONITORING WELL        | ○ GRADE FLOW ARROW             |
| ○ SANITARY SEWER MANHOLE | ○ PIPE FLOW ARROW              |
| ○ SANITARY CLEWOUT       | ○ EXISTING CONTOURS            |
| ○ SEPTIC TANK            | ○ PROPOSED CONTOURS            |
| ○ CISTERN                | ○ PROPERTY LINE                |
| ○ LIFT STATION           | ○ CENTERLINE OF ROADWAY        |
| ○ STORM SEWER MANHOLE    | ○ RIGHT-OF-WAY                 |
| ○ CURB INTAKE            | ○ FENCE LINE                   |
| ○ BEEHIVE INTAKE         | ○ CONSTRUCTION LIMITS          |
| ○ CATCH BASIN            | ○ SS SANITARY SEWER LINE       |
| ○ FLARED END SECTION     | ○ ST STORM SEWER LINE          |
| ○ CULVERT                | ○ CP STORM CULVERT PIPE        |
| ○ WATER MANHOLE          | ○ RCP REINFORCED CONCRETE PIPE |
| ○ FIRE HYDRANT           | ○ DI DUCTILE IRON PIPE         |
| ○ YARD HYDRANT           | ○ W WATER LINE                 |
| ○ WATER VALVE            | ○ OP OVERHEAD ELECTRIC LINE    |
| ○ POST INDICATOR VALVE   | ○ E UNDERGROUND ELECTRIC LINE  |
| ○ VALVE PIT              | ○ T UNDERGROUND TELEPHONE LINE |
| ○ WATER METER            | ○ FO FIBER OPTICS LINE         |
| ○ PUMP                   | ○ HG HIGH PRESSURE GAS LINE    |
| ○ METER STATION          | ○ G LOW PRESSURE GAS LINE      |
| ○ PUMP STATION           | ○ STEEL LUMINAIRE              |
| ○ WATER TANK             | ○ SIGN                         |
| ○ WELL                   | ○ MAILBOX                      |
| ○ ELECTRIC MANHOLE       | ○ BIN                          |
| ○ ELECTRIC BOX           | ○ PROPANE TANK                 |
| ○ TRANSFORMER PAD        |                                |
| ○ GUY                    |                                |
| ○ FIBER OPTICS MANHOLE   |                                |
| ○ TELEPHONE MANHOLE      |                                |
| ○ TELEPHONE PEDESTAL     |                                |
| ○ TELEPHONE BOOTH        |                                |
| ○ UNKNOWN MANHOLE        |                                |
| ○ UTILITY POLE           |                                |

#### NOTES:

- Utility warning:**  
The utilities shown have been located from field survey information and / or Records obtained. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities shown are in the Exact location indicated. Verify location of all utilities before construction.
- Length of utilities shown on plans are dimensioned from center of structure To center of structure for sanitary and inside wall to inside wall for storm sewer.
- All traffic control shall be provided in accordance with requirements Set forth in the manual on uniform traffic control devices (mutcd) When construction activities obstruct portions of the roadway, flaggers Shall be provided. Flaggers shall conform to the mutcd in appearance, Equipment and method.
- Notify engineer and City of Ankeny at least 48 hours prior to beginning work.
- Backfill with suitable material and compact to 95% minimum density per sudas.
- Adjustment of existing utility appurtenances to final grade is considered incidental to the site work.
- Dimensions, building location, utilities and grading of this site are based on information available at the time of layout. Deviations may be necessary in the field, any such changes or conflicts between this plan and held Conditions are to be reported to the architect/engineer prior to starting construction.
- The site contractor shall be responsible for verification of all dimensions prior to starting work.

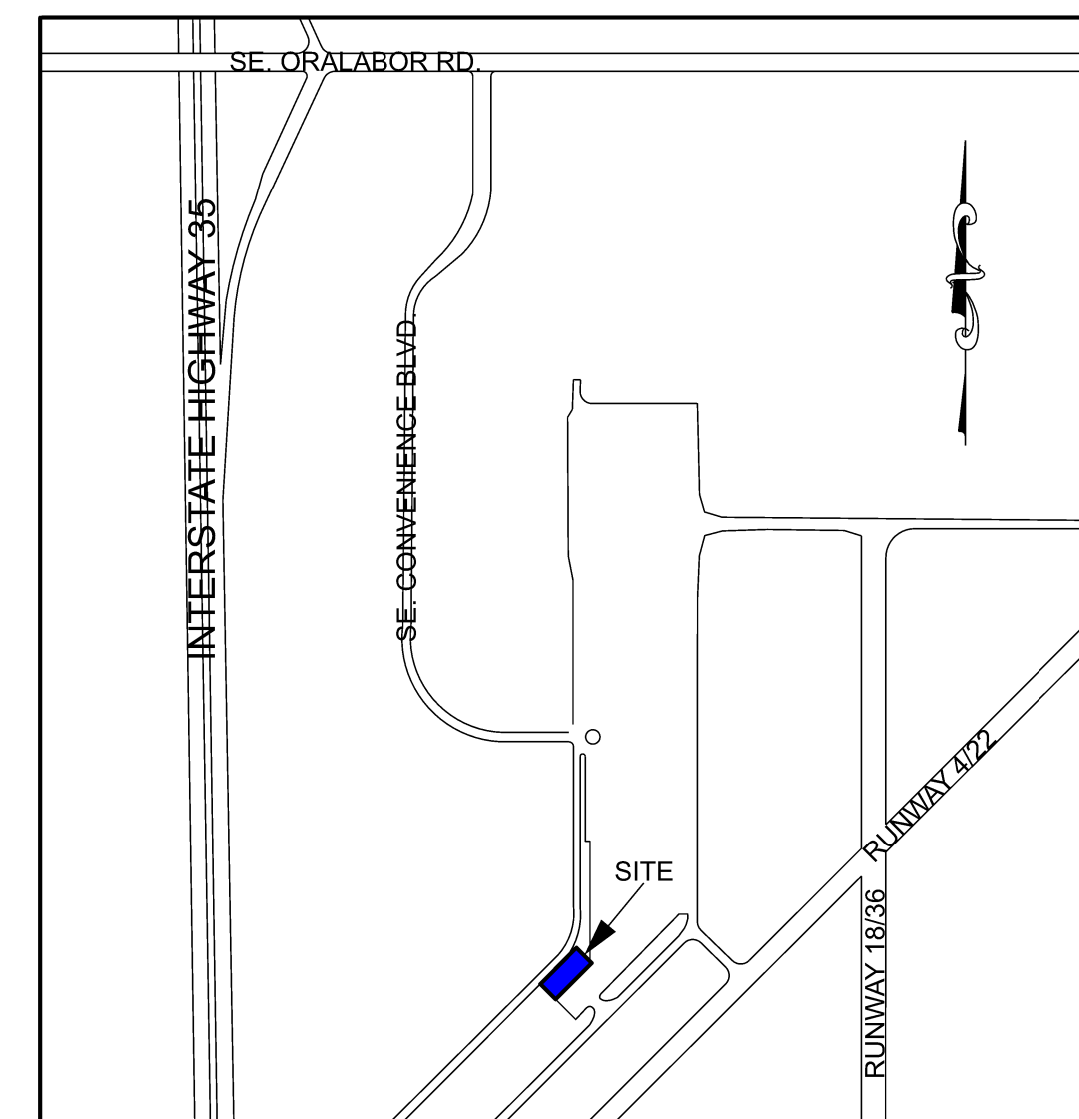
#### LEGAL DESCRIPTION (BOOK 7041 PAGE 836):

PART OF THE NE $\frac{1}{4}$  AND PART OF THE SE $\frac{1}{4}$  OF SECTION 31, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8 INCH IRON ROD FOUND FOR THE CENTER OF SAID SECTION 31; THENCE N00°24'44"E, ALONG THE WEST LINE OF SAID NE $\frac{1}{4}$  FOR 1319.46 FEET TO A 5/8 INCH IRON ROD SET FOR THE NORTHWEST CORNER OF THE SW $\frac{1}{4}$  NE $\frac{1}{4}$  SAID SECTION 31; THENCE S89°57'01"E, ALONG THE NORTH LINE OF SAID SW $\frac{1}{4}$  NE $\frac{1}{4}$  AND SE $\frac{1}{4}$  NE $\frac{1}{4}$  FOR 2577.34 FEET TO A 5/8 INCH IRON ROD SET; THENCE S89°57'01"E, ALONG SAID NORTH LINE FOR 60.00 FEET TO THE NORTHEAST CORNER OF THE SE $\frac{1}{4}$  NE $\frac{1}{4}$ ; THENCE S00°20'54"W, ALONG THE EAST LINE OF SAID NE $\frac{1}{4}$  FOR 1319.51 FEET TO A 5/8 INCH ROD FOUND FOR THE SOUTHEAST CORNER OF SAID NE $\frac{1}{4}$ ; THENCE S00°38'14"W, ALONG THE EAST LINE OF SAID SE $\frac{1}{4}$  FOR 521.21 FEET' THENCE N89°55'48"W, PARALLEL WITH THE SOUTH LINE OF THE NW $\frac{1}{4}$  SE $\frac{1}{4}$  AND NE $\frac{1}{4}$  SE $\frac{1}{4}$  OF SAID SECTION 31 FOR 60.00 FEET TO A 5/8 INCH IRON ROD SET; THENCE N89°55'48"W, PARALLEL WITH SAID SOUTH LINE FOR 753.52 FEET TO A 5/8 INCH IRON ROD SET; THENCE S00°00'00"E, FOR 800.00 FEET TO A 5/8 INCH IRON ROD SET IN THE SOUTH LINE OF SAID NW $\frac{1}{4}$  SE $\frac{1}{4}$ ; THENCE N89°55'58"W, ALONG SAID SOUTH LINE FOR 1829.41 FEET TO A 5/8 INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID NW $\frac{1}{4}$  SE $\frac{1}{4}$ ; THENCE N00°25'49"E, ALONG THE EWST LINE OF SAID SE $\frac{1}{4}$  FOR 1320.42 FEET TO THE POINT OF BEGINNING, CONTAINING 144.989 ACRES (6,315,707 SQUARE FEET) OF LAND; SUBJECT TO 2,535 ACRES (110,438 SQUARE FEET) OF LAND FOR ROADWAY PROPOSES, WITH ALL THE SECTION LIENS RELATIVE TO TRUE NORTH.

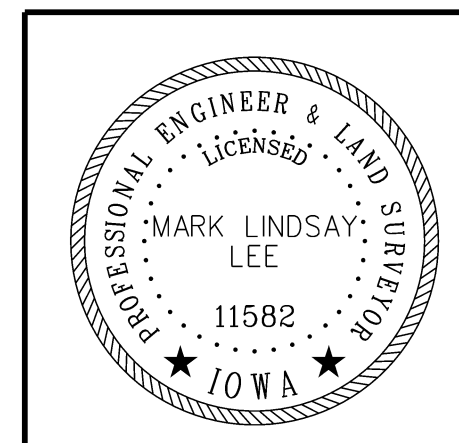
#### GENERAL NOTES:

- ALL PUBLIC IMPROVEMENTS CONSTRUCTION MUST CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE CURRENT VERSION OF SUDAS (2024) AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF ANKENY IS RESPONSIBLE FOR PROVIDING CONSTRUCTION INSPECTION OF ALL PUBLIC IMPROVEMENTS.
- ALL UTILITY CONTRACTORS/OWNERS SHALL BE RESPONSIBLE TO PROVIDE LEE CHAMBERLIN CONSULTANT ENGINEERS WITH "AS BUILT" DRAWINGS SHOWING THE LOCATION OF PUBLIC FACILITIES AS CONSTRUCTED. LEE CHAMBERLIN CONSULTANT ENGINEERS SHALL PROVIDE TO THE CITY OF ANKENY CERTIFIED "AS BUILT" DRAWINGS, INCLUDING DETENTION BASINS VERIFYING STORAGE REQUIREMENTS ARE PER PLAN.
- ALL AREAS WITHIN THE RIGHT-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH SUDAS AND THE CITY OF ANKENY STANDARD SPECIFICATIONS. IF CONSTRUCTION CANNOT BE COMPLETED BEFORE THE END OF THE NORMAL SEEDING PERIOD, TEMPORARY SEEDING WILL BE REQUIRED IN THE INTERIM.
- IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES IF SAID PERMITS ARE REQUIRED AS A PART OF THIS PROJECT.
- ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE TIED INTO THE PROPOSED PAVEMENT SUBDRAIN SYSTEM OR THE PROPOSED STORM SEWER SYSTEM.
- THE POST DEVELOPMENT RUN-OFF WILL NOT ADVERSELY AFFECT THE DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY OWNERS.
- ANY SUBSURFACE DRAINAGE FACILITIES THAT ARE DISTURBED DURING THE CONSTRUCTION SHALL BE RESTORED OR REROUTED BY THE PROPERTY OWNER/CONTRACTOR.
- ALL SIDEWALKS SHALL BE 6' WIDE. SIDEWALK ADA RAMPS SHALL BE INSTALLED WHERE NECESSARY.
- A GEOTECHNICAL REPORTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF DRAINAGE SWALES LOCATED IN OVERLAND FLOWAGE AREAS.
- ALL CRITICAL CROSSINGS OF THE WATERMAIN AND SEWER (SANITARY AND STORM) MUST FOLLOW THE REQUIREMENTS OF THE CURRENT VERSION OF SUDAS (2024), DIVISION 5- WATERMAINS AND APPURTENANCES, 3.06 CONFLICTS (2024)
- BUILDING PLANS AND STRUCTURAL REPORTS WILL BE SUBMITTED SEPARATELY.
- REFUSE CONTAINERS SHALL BE LOCATED INSIDE.



VICINITY SKETCH  
1:500

| PROJECT BENCHMARK: |                                     |    |
|--------------------|-------------------------------------|----|
|                    | WGS 84 DATUM- GE01D 18              |    |
|                    | IOWA STATE PLANE SOUTH              |    |
| BM-1               | FIRE HYDRANT - ARROW ELEV. = 897.52 |    |
|                    |                                     |    |
|                    |                                     |    |
|                    |                                     |    |
|                    |                                     |    |
|                    |                                     |    |
|                    |                                     |    |
| DATE               | REVISION                            | BY |



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Name: (Printed or typed) MARK L. LEE  
License Number 11582  
My license renewal date is December 31, 2024.  
Pages or sheets covered by this seal: ENTIRE SET

RICK'S LANDING, L.L.C.  
SITE PLAN  
ANKENY, POLK COUNTY, IOWA

**LEE CHAMBERLIN**  
CONSULTANT ENGINEERS

10430 New York Ave, Ste C  
Urbandale, IA 50322-3773  
Phone: (515) 252-7457  
Email: mlee@leechamberlinengineers.com  
Website: www.leechamberlinengineers.com

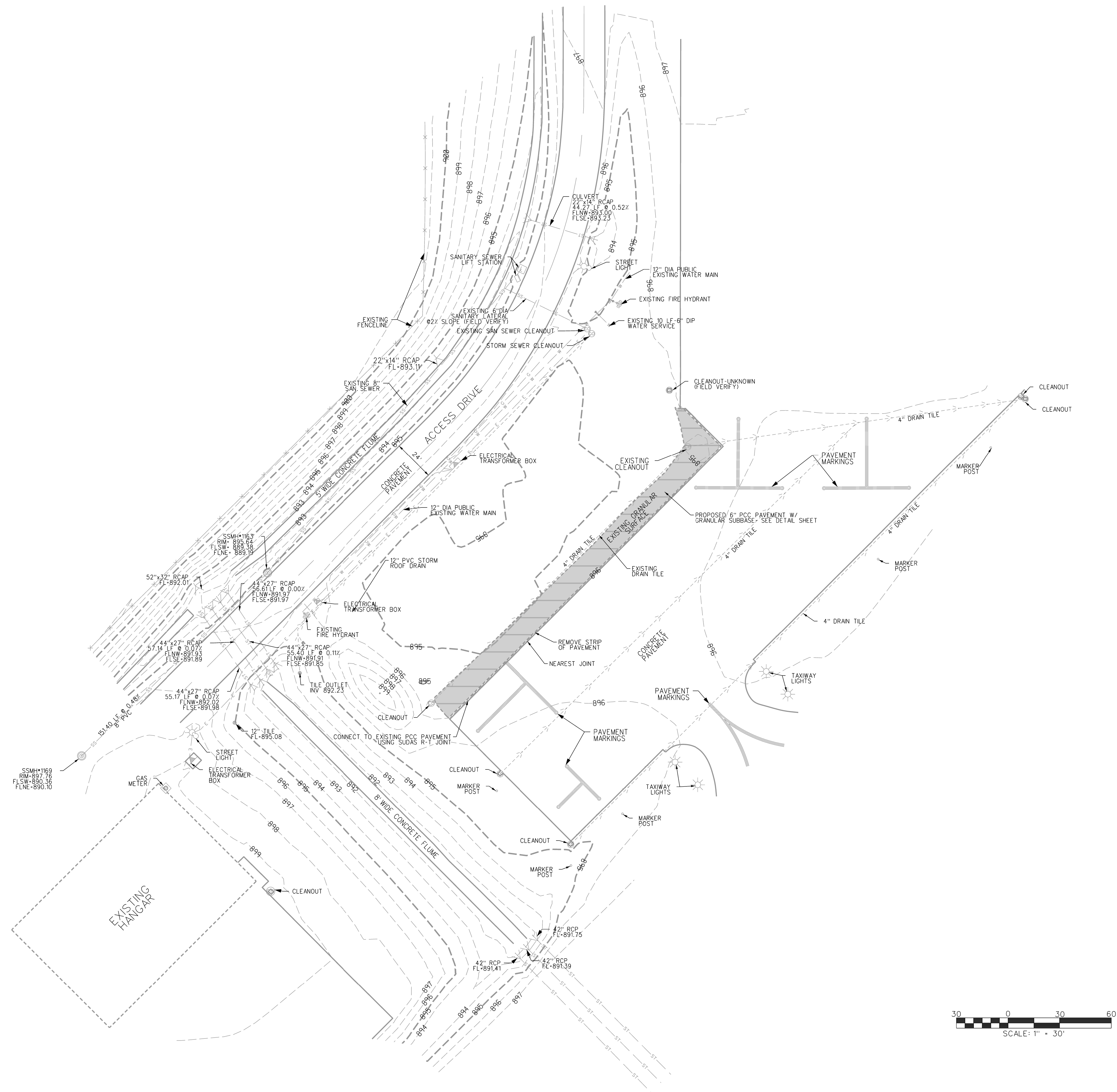
DRAWING TITLE:  
**COVER SHEET**

|             |            |
|-------------|------------|
| DRAWN BY:   | RWT        |
| CHECKED BY: | JCF        |
| DATE:       | 08/23/2024 |
| JOB NO.:    | 22032      |
| SHEET       | C.1        |

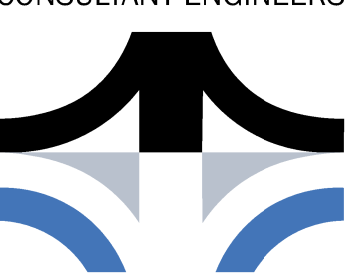


|                                   |            |
|-----------------------------------|------------|
| DESIGN START DATE:                | 08-02-2023 |
| DATE PLOTTED:                     | 07-19-2024 |
| PRELIMINARY FIELD WORK COMPLETED: | 07-18-2024 |
| FIELD BOOK NO.                    | 2024-01    |

**RICK'S LANDING, L.L.C.**  
SITE PLAN  
ANKENY, POLK COUNTY, IOWA



**LEE CHAMBERLIN**  
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Website: www.leechamberlinengineers.com

DRAWING TITLE:  
**TOPOGRAPHIC SURVEY**


|             |            |
|-------------|------------|
| DRAWN BY:   | RWT        |
| CHECKED BY: | JCF        |
| DATE:       | 08/23/2024 |
| JOB NO.     | 22032      |
| SHEET       | C.2        |



|                                   |            |
|-----------------------------------|------------|
| DESIGN START DATE:                | 08-02-2023 |
| DATE PLOTTED:                     | 07-19-2024 |
| PRELIMINARY FIELD WORK COMPLETED: | 07-18-2024 |
| FIELD BOOK NO.:                   | 2024-01    |

**RICK'S LANDING, L.L.C.**  
SITE PLAN  
ANKENY, POLK COUNTY, IOWA

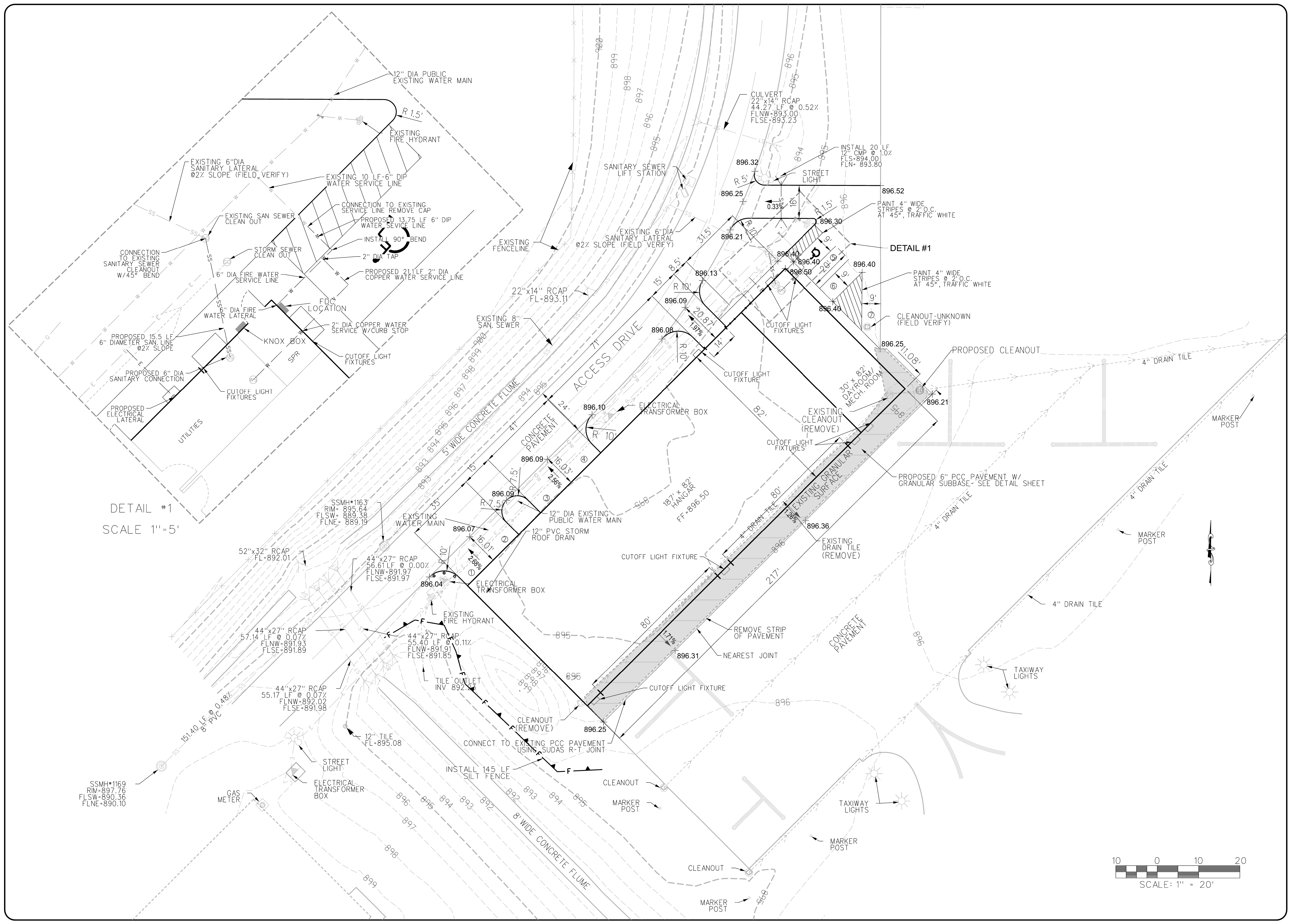
**LEE CHAMBERLIN**  
CONSULTANT ENGINEERS



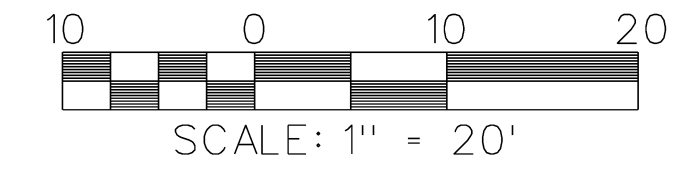
10430 New York Ave, Ste C  
Urbandale, IA 50322-3773  
Phone: (515)252-7457  
Email: mlee@leechamberlinengineers.com  
Website: www.leechamberlinengineers.com

DRAWING TITLE:  
**SITE PLAN**

|             |            |
|-------------|------------|
| DRAWN BY:   | RWT        |
| CHECKED BY: | JCF        |
| DATE:       | 08/23/2024 |
| JOB NO.:    | 22032      |
| SHEET:      | C.3        |



DETAIL #1  
SCALE 1"=5'







DESIGN START DATE:  
08-02-2023  
DATE PLOTTED:  
07-19-2024  
PRELIMINARY FIELD  
WORK COMPLETED:  
07-18-2024  
FIELD BOOK NO.  
2024-01

**RICK'S LANDING**  
HANGER BUILDING  
ANKENY, POLK COUNTY, IOWA

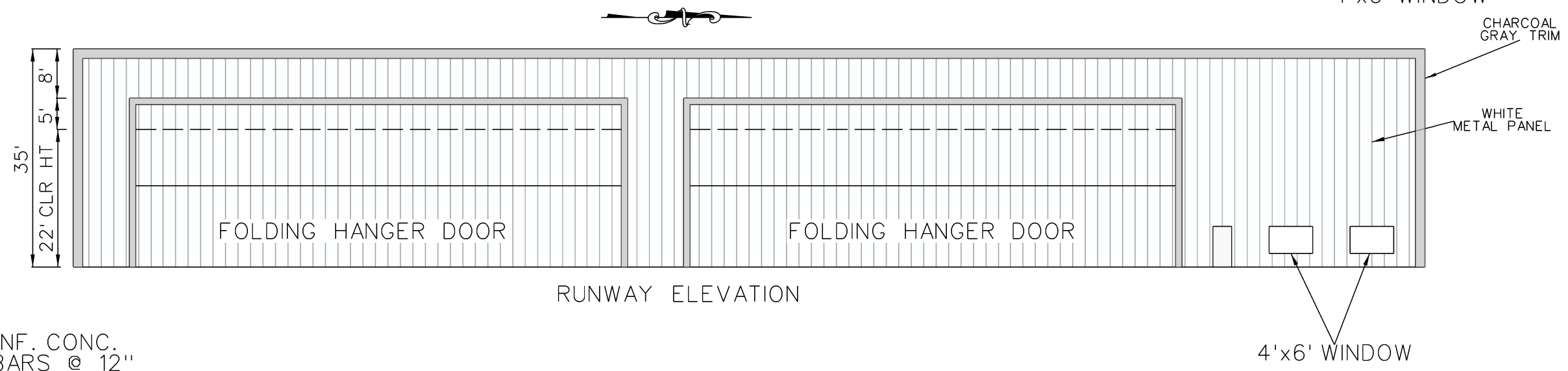
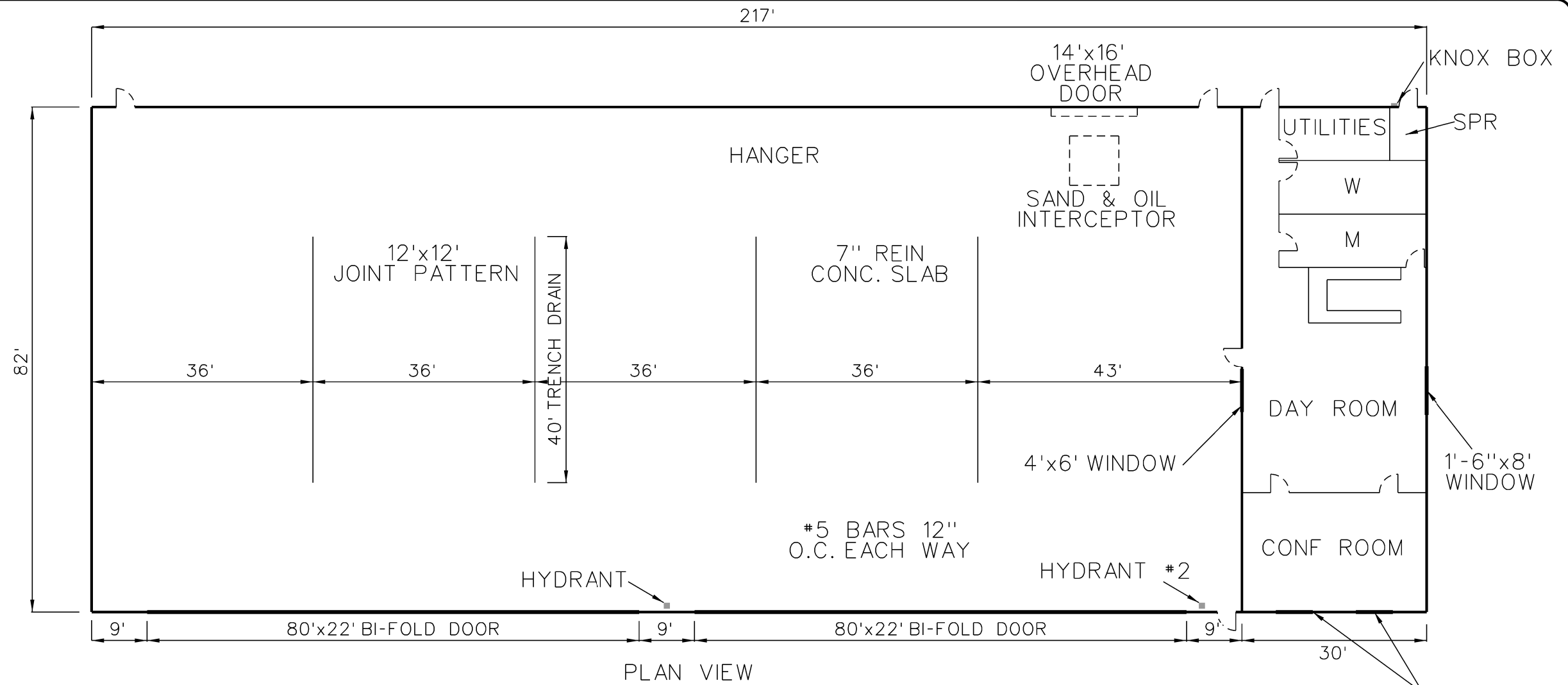
**LEE**  
CHAMBERLIN  
CONSULTANT ENGINEERS

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Phone: (515)252-7457  
Email:  
mllee@leechamberlinengineers.com  
Website:  
www.leechamberlinengineers.com

DRAWING TITLE:  
**FLOOR PLAN**

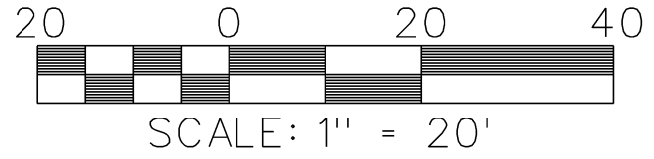
DRAWN BY:  
HJB  
CHECKED BY:  
JGP  
DATE:  
08/23/2024  
JOB NO.  
22032  
SHEET

**A1.1**



NOTE 1: 7" REINF. CONC. SLAB W/ #5 BARS @ 12" O.C. EACH WAY


NOTE 2: SLAB JOINTS @ 12' O.C. EACH WAY



DESIGN START DATE:  
08-02-2023  
DATE PLOTTED:  
07-19-2024  
PRELIMINARY FIELD  
WORK COMPLETED:  
07-18-2024  
FIELD BOOK NO.  
2024-01

RICK'S LANDING  
HANGER BUILDING  
ANKENY, POLK COUNTY, IOWA

**LEE**  
**CHAMBERLIN**  
CONSULTANT ENGINEERS

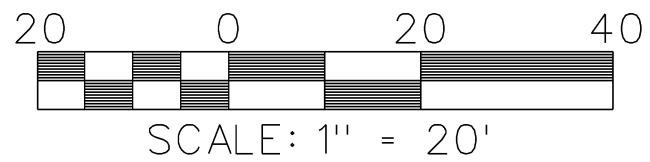
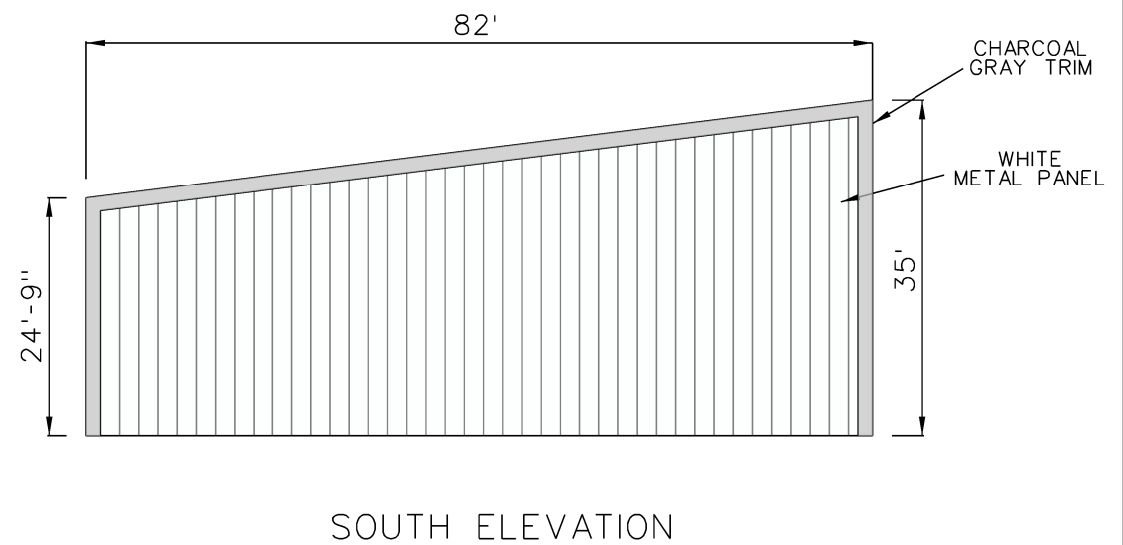
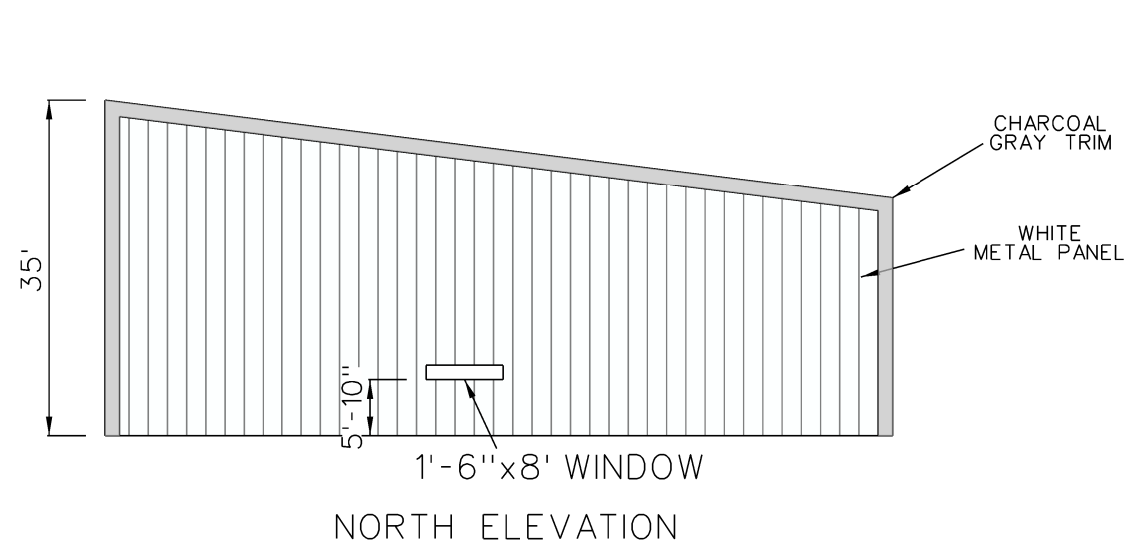
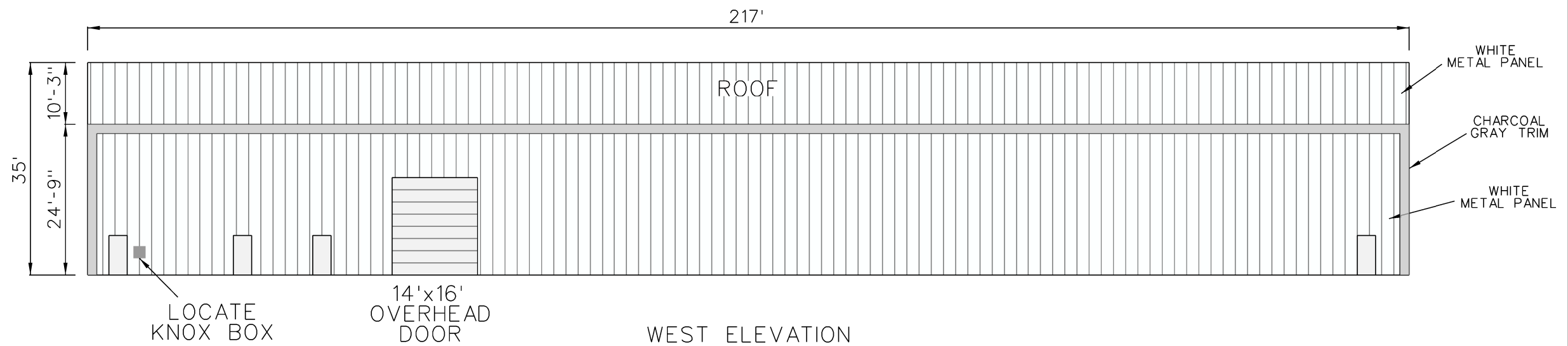


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mllee@leechamberlinengineers.com  
Website:  
www.leechamberlinengineers.com

DRAWING TITLE:  
**ELEVATION  
VIEW**

DRAWN BY:  
HJB  
CHECKED BY:  
JGP  
DATE:  
08/23/2024  
JOB NO.  
22032  
SHEET

A1.2





PLAN AND ZONING COMMISSION  
September 4, 2024  
6 : 30 PM

Print

ORIGINATING DEPARTMENT:  
Planning and Building

COUNCIL GOAL:  
Ensure Economic Vitality

ACTION REQUESTED:  
Motion

LEGAL:

SUBJECT:

Trestle Ridge Estates Plat 8 Final Plat

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **Yes**

Cost-participation in the amount of \$9,796.50 for 8' sidewalk along NW Reinhart Drive.

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

**Action:** Consider MOTION to recommend City Council approval of Trestle Ridge Estates Plat 8 Final Plat; and recommend City cost-participation in the amount of \$9,796.50 for 8' sidewalk along NW Reinhart Drive. An estimate for the cost of the turn lanes along NW Weigel Drive will be reviewed and approved by the City. Once there is an agreement on the cost, the developer will provide a check for the required amount at the time of final plat approval, which will be applied to the future City project.

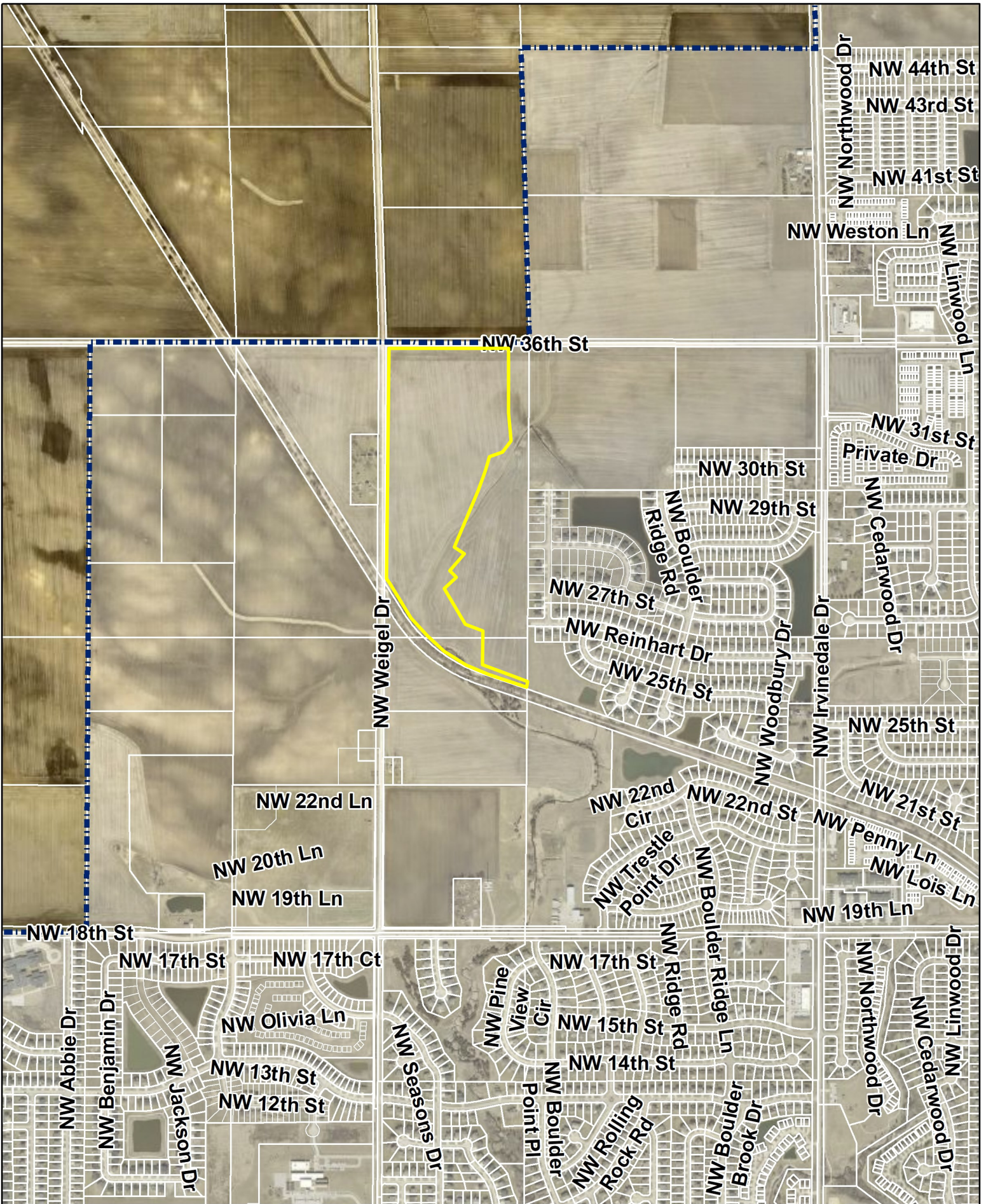
ADDITIONAL INFORMATION:

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ATTACHMENTS:

|   |
|---|
| <b>Click to download</b>                                  |
| <input type="checkbox"/> <a href="#">Aerial</a>           |
| <input type="checkbox"/> <a href="#">Staff Report</a>     |
| <input type="checkbox"/> <a href="#">Applicant Letter</a> |
| <input type="checkbox"/> <a href="#">Final Plat</a>       |





N



1 inch = 1,095 feet

Date: 8/13/2024

### Trestle Ridge Estates Plat 8





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**Agenda Item:** Trestle Ridge Estates Plat 8 Final Plat  
**Report Date:** August 29, 2024  
**Prepared By:** Laura Hutzell *ELC*  
Associate Planner

**Staff Recommendation:**

That the Plan and Zoning Commission recommend City Council approval of Trestle Ridge Estates Plat 8 Final Plat; and recommend City Council authorization of cost participation in an amount estimated to be \$9,796.50 for 8' sidewalk along NE Reinhart Drive. An estimate for the cost of the turn lanes along NW Weigel Drive will be reviewed and approved by the City. Once there is an agreement on the cost, the developer will provide a check for the required amount at the time of final plat approval, which will be applied to the future City project.

**Project Summary:**

Trestle Ridge Estates Plat 8 is a proposed 54-acre (+/-) plat located in the northwest quadrant of Ankeny at the southeast intersection of NW Weigel Drive and NW 36<sup>th</sup> Street. The final plat includes the development of 86 single family lots, a 13.4-acre outlot for future multi-family and a 9.3-acre outlot for open space. The southern portion of the property is currently zoned R-3 Multiple Family Residence District restricted to single family and the north outlot is zoned R-3 Multiple Family Residence District restricted to 10 units/acre. The applicant is requesting preliminary approval of the final plat be granted.

**Project Report:**

- Streets:** Trestle Ridge Estates Plat 8 will be primarily accessed via a westerly extension of NW Reinhart Drive from Trestle Ridge Estates Plat 7. NW Reinhart Drive will then connect to NW Weigel Drive at the west end of the development. Five-foot sidewalks will be required throughout Plat 8, with the exception of an 8-foot sidewalk being required on the south side of NW Reinhart Drive for which there will be sidewalk cost share.
- Water:** A 10-inch water main will be installed along NW Reinhart Drive, and an eight-inch water main will be extended throughout the remainder of the proposed development.
- Sewer:** 24-inch sanitary sewer exists east of the development. Eight-inch sanitary sewer will then be extended throughout the development.
- Drainage:** The plat area is part of the Rock Creek watershed and stormwater generally flows from the northeast to the southwest. A drainage study associated with the final plat is being reviewed by Development Engineering. There are four existing tiles present on

the property, these will be routed to the detention facility or piped through the development.

The required detention for this plat will occur in Outlot Y associated with Plat 7, which will be owned and maintained by the Homeowner's Association. Stormwater for the entire development will be conveyed via storm sewer and overland flowage to the proposed detention basin located in the center of the development. The Flood Study done with Plat 7 referred to as "Trestle Ridge Estates Plat 2" provides a detailed analysis.

An additional flood study with floodplain modeling and mapping was prepared with Trestle Ridge Estates Plat 7. Minimal grading inside the floodplain along the south side of the proposed plat will occur with Plat 8, because of this an Ankeny Floodplain Development Permit is required.

Parkland: The City's Parks Department agreed to accept 3.33 acres as parkland dedication with Trestle Ridge Plat 7. This ground, along with a 6.3-acre (+/-) dedication from Trestle Ridge Estates Plat 2, will combine to create an approximate 9.6-acre park adjacent to the High Trestle Trail. No additional parkland is required with Plat 8.

**CITY OF ANKENY  
SUBDIVISION DATA**

**NAME OF PLAT: Trestle Ridge Estates Plat 8**

**NAME OF OWNER/ DEVELOPER: Absolute Farms, LLC**

---

**GENERAL INFORMATION:**

PLAT LOCATION: Southeast intersection of NW 36<sup>th</sup> Street and NW Weigel Drive.  
SIZE OF PLAT: 54-acres  
ZONING: R-3 Restricted to Single Family Residential & R-3 Restricted to 10 units per acre.

**LOTS:**

NUMBER: 86 single-family lots  
SIZE/DENSITY: 1.59 units per acre  
USE: Residential  
BUILDING LINES: 30' front yard setback; 35' rear yard setback; 17' (>1 story-8' minimum);  
15' (1 story-7' minimum)

**PARK SITE DEDICATION:**

The City's Parks Department agreed to accept 3.33 acres as parkland dedication during the platting of Trestle Ridge Plat 7. This ground, along with a 6.3-acre (+/-) dedication from Trestle Ridge Estates Plat 2, combines to create an approximate 9.6-acre park adjacent to the High Trestle Trail. No additional parkland is required with Plat 8.

**ADJACENT LANDS:**

NORTH: R-3 Restricted to 10 units per acre  
SOUTH: R-3 Restricted to 10 units per acre  
EAST: R-3 Restricted to Single Family  
WEST: Undeveloped R-1

**STREET DEVELOPMENT:**

NAME: NW Reinhart Drive  
LENGTH: 605.12'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 70'/70'  
PAVEMENT WIDTH: 31'

NAME: NW Newhaven Drive  
LENGTH: 1202.07'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW 33<sup>rd</sup> Street  
LENGTH: 491.21'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW 33<sup>rd</sup> Court  
LENGTH: 283.22'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW 32<sup>nd</sup> Court  
LENGTH: 142.37'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW 30<sup>th</sup> Street  
LENGTH: 376.87'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW Woodmoor Drive  
LENGTH: 676.16'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

**WASTE WATER:**

PROJECTED FLOWS: 54 acres X 990 gal. per day/pers.= 53,460 GPD

WRA CAPACITY: 11.2 MGD; current daily avg. 4.4 MGD

NEAREST DOWNSTREAM INTERCEPTOR/TRUNK LINE: 24" Rock Creek Trunk Sewer

**STORM WATER:**

BASIN FLOWS: This plat lies in the Rock Creek Drainage Basin

**WATER SYSTEM:**

USAGE: 86 units X 3 persons X 990 gal. per day/person = 255,420 GPD

SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD.

**FINAL PLAT DRAWING:**

Staff recommends approval.

**CONSTRUCTION PLANS:**

To be approved.

August 23, 2024

Honorable Mayor, City Council & Planning & Zoning Commission  
c/o Laura Hutzell  
City of Ankeny  
Planning & Building Department  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50021

RE: Trestle Ridge Estates Plat 8  
Construction Drawings & Preliminary Approval of Final Plat

Honorable Mayor, City Council and Planning and Zoning Commission;

On behalf of Absolute Farms LLC, we submit herewith the following final plat and construction drawings for review and approval. The project area contains 54.0 acres and is located southeast of the intersection of NW 36<sup>th</sup> Street and NW Weigel Drive. The final plat includes the development of 86 single family lots, a 13.4 acre outlot for future multi-family development and a 9.3 acre outlot for open space. The southern portion of the property is currently zoned R-3 Multiple Family Residential District restricted to single family and the north outlot is zoned R-3 Multiple Family Residential District restricted to 10 units/acre. We are requesting that preliminary approval of the final plat be granted by City Council. We will bring the final plat with bonds back before the City Council for approval once construction is complete. We would like to request cost sharing in the amount of \$9,765 for the upsizing of the sidewalk along NW Reinhart Drive and NW Weigel Drive to 8 feet.

Please accept this submittal for the next available Planning & Zoning and City Council meetings. Let me know if you have any questions or require any further information to complete your review. Thanks.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC



Erin K. Ollendike, P.E.

# TRESTLE RIDGE ESTATES PLAT 8

## FINAL PLAT

**INDEX LEGEND**  
 LOCATION: SEC 09-80-24, PT. E1/2 NW1/4  
 REQUESTOR: ABSOLUTE FARMS, LLC  
 PROPRIETOR: ABSOLUTE FARMS, LLC  
 PO BOX 430  
 GRANGER, IOWA 50109  
 SURVEYOR: MICHAEL A. BROOKER  
 COMPANY: CIVIL DESIGN ADVANTAGE  
 PREPARED BY: CIVIL DESIGN ADVANTAGE  
 & RETURN TO: 4121 NW URBANDALE DRIVE  
 URBANDALE, IOWA 50322  
 PH: 515-369-4400

AREA ABOVE RESERVED FOR RECORDER

**OWNER / DEVELOPER**  
 ABSOLUTE FARMS, LLC  
 PO BOX 430  
 GRANGER, IOWA 50109  
 PH: (515) 489-0878  
 CONTACT: SONNY HALL

**ENGINEER / SURVEYOR**  
 CIVIL DESIGN ADVANTAGE  
 4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322

**DATE OF SURVEY**  
 JUNE 26, 2024

**ZONING**  
 R-3 MULTIPLE-FAMILY RESIDENCE DISTRICT,  
 RESTRICTED TO SINGLE FAMILY RESIDENTIAL ONLY  
 (LOTS 1-86 AND OUTLOT 'Z')  
 R-3 MULTIPLE-FAMILY RESIDENCE DISTRICT,  
 RESTRICTED TO 10 UNITS/ACRE  
 (OUTLOT 'Y')

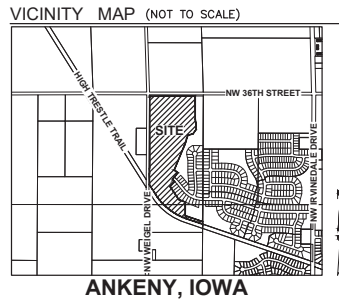
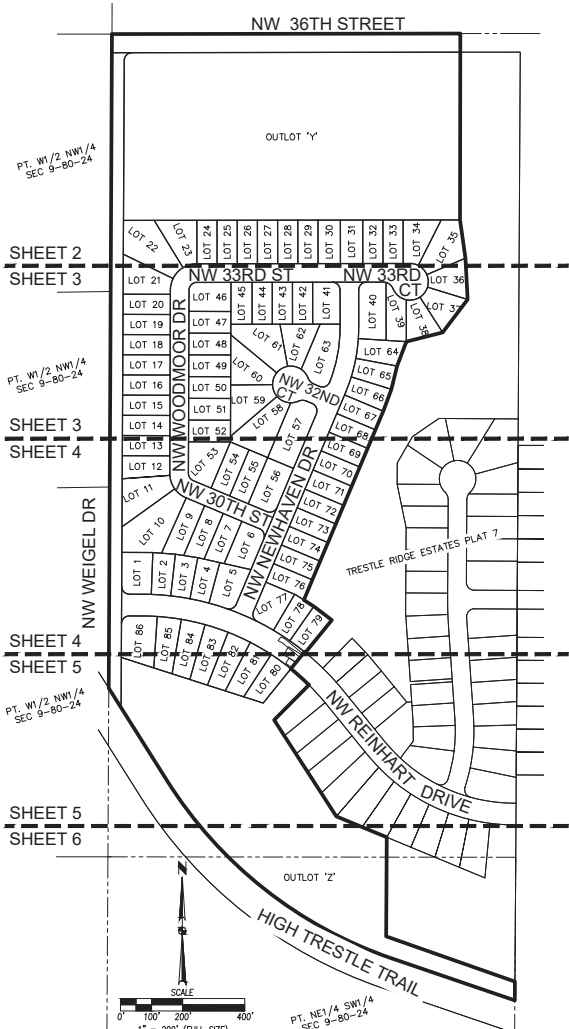
**BULK REGULATIONS**  
 MINIMUM LOT AREA: 8000 SF  
 MINIMUM LOT WIDTH: 65'  
 FRONT YARD SETBACK: 30'  
 REAR YARD SETBACK: 35'  
 TOTAL SIDE YARD: 17' (GREATER THAN 1 STORY)  
 MIN SIDE YARD (ONE SIDE): 8' (GREATER THAN 1 STORY)  
 TOTAL SIDE YARD (ONE SIDE): 7' (1 STORY)

**PLAT DESCRIPTION**  
 A PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF TRESTLE RIDGE ESTATES PLAT 7, AN OFFICIAL PLAT; THENCE SOUTH 00°05'55" WEST ALONG THE WESTERLY LINE OF SAID TRESTLE RIDGE ESTATES PLAT 7, A DISTANCE OF 540.00 FEET; THENCE SOUTH 08°04'42" EAST ALONG SAID WESTERLY LINE, 124.41 FEET; THENCE SOUTH 03°01'23" EAST ALONG SAID WESTERLY LINE, 133.09 FEET; THENCE SOUTH 37°05'53" WEST ALONG SAID WESTERLY LINE, 103.09 FEET; THENCE SOUTH 75°44'14" WEST ALONG SAID WESTERLY LINE, 120.79 FEET; THENCE SOUTH 20°42'38" WEST ALONG SAID WESTERLY LINE, 84.08 FEET; THENCE SOUTH 13°45'59" WEST ALONG SAID WESTERLY LINE, 77.05 FEET; THENCE SOUTH 20°19'05" WEST ALONG SAID WESTERLY LINE, 71.85 FEET; THENCE SOUTH 22°45'40" WEST ALONG SAID WESTERLY LINE, 662.74 FEET; THENCE SOUTH 57°04'54" EAST ALONG SAID WESTERLY LINE, 41.61 FEET; THENCE SOUTH 52°46'30" EAST ALONG SAID WESTERLY LINE, 69.52 FEET; THENCE SOUTH 39°10'46" WEST ALONG SAID WESTERLY LINE, 134.88 FEET; THENCE NORTHWESTERLY ALONG SAID WESTERLY LINE AND A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 835.00 FEET, WHOSE ARC LENGTH IS 3.50 FEET AND WHOSE CHORD BEARS NORTH 50°56'28" WEST, 3.50 FEET; THENCE SOUTH 38°56'21" WEST ALONG SAID WESTERLY LINE, 70.00 FEET; THENCE SOUTHEASTERLY ALONG SAID WESTERLY LINE AND A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 765.00 FEET, WHOSE ARC LENGTH IS 78.06 FEET AND WHOSE CHORD BEARS SOUTH 48°08'14" EAST, 78.03 FEET; THENCE SOUTH 44°47'04" WEST ALONG SAID WESTERLY LINE, 159.07 FEET; THENCE SOUTH 32°50'12" EAST ALONG SAID WESTERLY LINE, 369.19 FEET; THENCE SOUTH 67°29'25" EAST ALONG SAID WESTERLY LINE, 175.84 FEET; THENCE SOUTH 02°21'43" WEST ALONG SAID WESTERLY LINE, 319.09 FEET TO THE SOUTHWEST CORNER OF SAID TRESTLE RIDGE ESTATES PLAT 7; THENCE SOUTH 70°38'23" EAST ALONG THE SOUTH LINE OF SAID TRESTLE RIDGE ESTATES PLAT 7, A DISTANCE OF 439.52 FEET TO THE SOUTHEAST CORNER OF SAID TRESTLE RIDGE ESTATES PLAT 7, ALSO BEING THE WEST LINE OF OUTLOT 'Z', TRESTLE RIDGE ESTATES PLAT 2, AN OFFICIAL PLAT; THENCE NORTH 71°08'48" WEST ALONG SAID NORTHERLY LINE, 418.37 FEET; THENCE NORTHWESTERLY ALONG SAID NORTHERLY LINE AND A CURVE CONCAVE NORTHEASTERLY WHOSE RADIUS IS 1382.54 FEET, WHOSE ARC LENGTH IS 939.32 FEET AND WHOSE CHORD BEARS NORTH 61°40'58" WEST, 821.36 FEET; THENCE NORTH 22°13'12" WEST ALONG SAID NORTHERLY LINE, 353.48 FEET TO THE WEST LINE OF SAID EAST HALF OF THE NORTHWEST QUARTER; THENCE NORTH 00°16'48" EAST ALONG SAID WEST LINE, 2105.86 FEET TO THE NORTHWEST CORNER OF SAID EAST HALF OF THE NORTHWEST QUARTER; THENCE NORTH 89°54'59" EAST ALONG THE NORTH LINE OF SAID SECTION 9, A DISTANCE OF 1121.51 FEET; THENCE SOUTH 00°05'55" WEST, 60.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 53.98 ACRES (2,351,244 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

| CURVE DATA |           |         |         |             | CURVE DATA |       |           |         |         |             |         |
|------------|-----------|---------|---------|-------------|------------|-------|-----------|---------|---------|-------------|---------|
| CURVE      | DELTA     | RADIUS  | LENGTH  | BEARING     | CHORD      | CURVE | DELTA     | RADIUS  | LENGTH  | BEARING     | CHORD   |
| C1         | 16'07'36" | 800.00' | 225.17' | N59°07'26"W | 224.43'    | C33   | 44°38'06" | 59.00'  | 45.96'  | N79°28'34"E | 44.81'  |
| C2         | 22°37'21" | 800.00' | 315.87' | N78°29'55"W | 313.82'    | C34   | 56°13'25" | 59.00'  | 57.90'  | S50°05'40"E | 55.60'  |
| C3         | 7°20'01"  | 835.00' | 106.88' | S67°11'14"E | 106.80'    | C35   | 53°04'48" | 33.50'  | 31.04'  | S48°31'21"E | 29.94'  |
| C4         | 67°22'39" | 55.00'  | 64.68'  | N33°29'55"W | 61.01'     | C36   | 15°01'16" | 33.50'  | 8.78'   | S82°34'23"E | 8.76'   |
| C5         | 89°43'35" | 55.00'  | 86.13'  | N45°03'12"E | 77.60'     | C37   | 90°00'00" | 25.00'  | 39.27'  | N44°54'59"E | 35.36'  |
| C6         | 22°53'46" | 500.00' | 199.81' | S11°21'52"W | 198.48'    | C38   | 34°05'02" | 530.00' | 34.69'  | N01°47'30"E | 34.69'  |
| C7         | 5°51'27"  | 765.00' | 78.21'  | S53°59'22"E | 78.18'     | C39   | 6°56'38"  | 530.00' | 64.23'  | N07°08'20"E | 64.19'  |
| C8         | 5°51'27"  | 765.00' | 78.21'  | S59°50'50"E | 78.18'     | C40   | 6°38'35"  | 530.00' | 61.45'  | N13°55'57"E | 61.41'  |
| C9         | 5°51'27"  | 765.00' | 78.21'  | S65°42'17"E | 78.18'     | C41   | 5°33'32"  | 530.00' | 51.42'  | N20°02'00"E | 51.40'  |
| C10        | 5°51'27"  | 765.00' | 78.21'  | S71°33'44"E | 78.18'     | C42   | 86°20'00" | 25.00'  | 37.67'  | N20°21'14"W | 34.21'  |
| C11        | 5°51'27"  | 765.00' | 78.21'  | S77°25'12"E | 78.18'     | C43   | 4°05'13"  | 835.00' | 59.56'  | N61°28'37"W | 59.55'  |
| C12        | 5°51'27"  | 765.00' | 78.21'  | S83°16'39"E | 78.18'     | C44   | 4°18'23"  | 835.00' | 62.76'  | N57°16'49"W | 62.75'  |
| C13        | 3°36'13"  | 765.00' | 48.11'  | S88°00'29"E | 48.11'     | C45   | 4°03'59"  | 835.00' | 59.26'  | N53°05'38"W | 59.25'  |
| C14        | 89°54'37" | 25.00'  | 39.23'  | N45°14'06"E | 35.33'     | C46   | 90°00'00" | 25.00'  | 39.27'  | S67°48'46"E | 35.36'  |
| C15        | 90°05'23" | 25.00'  | 39.31'  | N44°45'54"W | 35.38'     | C47   | 67°22'39" | 25.00'  | 29.40'  | N33°29'55"W | 27.73'  |
| C16        | 1°57'46"  | 835.00' | 28.60'  | N88°49'43"W | 28.60'     | C48   | 89°43'35" | 25.00'  | 39.15'  | N45°03'12"E | 35.27'  |
| C17        | 4°18'12"  | 835.00' | 62.72'  | N85°41'43"W | 62.70'     | C49   | 90°00'00" | 25.00'  | 39.27'  | S45°05'01"E | 35.36'  |
| C18        | 4°18'12"  | 835.00' | 62.72'  | N81°23'31"W | 62.70'     | C50   | 2°148'38" | 470.00' | 178.91' | S10°49'18"W | 177.83' |
| C19        | 4°18'12"  | 835.00' | 62.72'  | N77°05'19"W | 62.70'     | C51   | 91°05'09" | 25.00'  | 39.74'  | S67°16'11"W | 35.69'  |
| C20        | 4°04'58"  | 835.00' | 59.50'  | N72°53'44"W | 59.49'     | C52   | 46°38'51" | 33.50'  | 27.27'  | N43°51'49"W | 26.53'  |
| C21        | 86°20'00" | 25.00'  | 37.67'  | S65°58'45"W | 34.21'     | C53   | 35°21'41" | 59.00'  | 36.41'  | N38°13'15"W | 35.84'  |
| C22        | 90°00'00" | 25.00'  | 39.23'  | S22°11'14"E | 35.36'     | C54   | 44°24'26" | 59.00'  | 45.73'  | N78°06'18"W | 44.59'  |
| C23        | 31°25'16" | 85.00'  | 46.61'  | S51°28'36"E | 46.03'     | C55   | 40°07'16" | 59.00'  | 41.31'  | S59°37'50"W | 40.48'  |
| C24        | 31°37'59" | 85.00'  | 46.93'  | S19°56'59"E | 46.33'     | C56   | 40°07'16" | 59.00'  | 41.31'  | S19°30'34"W | 40.48'  |
| C25        | 4°19'24"  | 85.00'  | 6.41'   | S01°58'17"E | 6.41'      | C57   | 40°07'16" | 59.00'  | 41.31'  | S20°36'42"E | 40.48'  |
| C26        | 25°55'54" | 85.00'  | 38.47'  | S13°09'22"W | 38.14'     | C58   | 48°47'30" | 59.00'  | 50.24'  | S65°04'05"E | 48.74'  |
| C27        | 32°28'56" | 85.00'  | 48.19'  | S42°21'47"W | 47.55'     | C59   | 24°22'14" | 59.00'  | 25.10'  | N78°21'02"E | 24.91'  |
| C28        | 31°18'45" | 85.00'  | 46.45'  | S74°15'37"W | 45.88'     | C60   | 46°38'51" | 33.50'  | 27.27'  | N69°29'20"E | 26.53'  |
| C29        | 26°52'43" | 59.00'  | 27.68'  | N76°38'39"W | 27.42'     | C61   | 90°00'00" | 25.00'  | 39.27'  | S22°11'14"E | 35.36'  |
| C30        | 40°07'16" | 59.00'  | 41.31'  | N43°08'40"W | 40.48'     | C62   | 3°50'14"  | 470.00' | 31.48'  | N01°50'06"E | 31.47'  |
| C31        | 40°07'16" | 59.00'  | 41.31'  | N03°01'23"W | 40.48'     | C63   | 89°38'11" | 25.00'  | 39.11'  | N45°05'54"E | 35.24'  |
| C32        | 40°07'16" | 59.00'  | 41.31'  | N37°05'53"E | 40.48'     |       |           |         |         |             |         |



- NOTES**
- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
  - LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
  - STREET LOTS 'A', 'B', 'C', 'D' AND 'E' SHALL BE DEDICATED TO THE CITY OF ANKENY FOR PUBLIC RIGHT-OF-WAY.
  - SIDEWALK ON THE SOUTH SIDE OF NW REINHART DRIVE AND BETWEEN THE HIGH TRESTLE TRAIL AND NW REINHART DRIVE SHALL BE 8 FEET WIDE. ALL OTHER SIDEWALKS SHALL BE 5 FEET WIDE.
  - OUTLOT 'Z' SHALL BE USED AS OPEN SPACE AND OWNED BY THE HOMEOWNER'S ASSOCIATION.
  - OUTLOT 'Y' IS FOR FUTURE DEVELOPMENT.
  - THE DEVELOPER IS RESPONSIBLE FOR STREETLIGHT INSTALLATION WITHIN THE SUBDIVISION AND ALONG NW WEIGEL DRIVE.
  - THE DRIVEWAY ON LOT 83 SHALL BE CONSTRUCTED TO AVOID THE SIDEWALK RAMP.
  - LOTS 1, 10-22 AND 86 SHALL NOT BE ALLOWED DRIVEWAYS OFF OF NW WEIGEL DRIVE.
  - LOTS 1 AND 86 SHALL LOCATE DRIVEWAYS AS FAR EAST AS POSSIBLE TO MAINTAIN 100' SEPARATION FROM NW WEIGEL DRIVE. LOTS 57, 63, 73, 77, 82, AND 83 SHALL LOCATE DRIVEWAYS IN LOCATIONS AS TO NOT INTERFERE WITH PROPOSED SIDEWALK RAMPS OR STORM SEWER STRUCTURES.
  - FENCES ON LOTS ADJACENT TO NW WEIGEL DRIVE SHALL BE SETBACK 20' FROM THE NW WEIGEL DRIVE RIGHT-OF-WAY. FENCES WILL BE ALLOWED AT A 10' SETBACK FROM THE NW WEIGEL DRIVE RIGHT-OF-WAY WITH THE CONDITION THAT TWO TREES ARE PLANTED BETWEEN THE FENCE AND THE NW WEIGEL DRIVE RIGHT-OF-WAY.
  - FENCES SHALL NOT BE ALLOWED WITHIN THE STORM SEWER EASEMENTS ON LOTS 35-79.

**LEGEND**

| SECTION CORNER AS NOTED                                       | FOUND  | SET |
|---|--------|-----|
| 1/2" REBAR, YELLOW PLASTIC CAP#15980 (UNLESS OTHERWISE NOTED) | ▲      | △   |
| MEASURED BEARING & DISTANCE                                   | (M)    |     |
| RECORDED BEARING & DISTANCE                                   | (R)    |     |
| DEEDED BEARING & DISTANCE                                     | (D)    |     |
| PUBLIC UTILITY EASEMENT                                       | P.U.E. |     |
| CURVE ARC LENGTH  | AL     |     |
| LOT ADDRESS   | (1234) |     |
| CENTERLINE  | -----  |     |
| SECTION LINE  | -----  |     |
| EASEMENT LINE   | -----  |     |
| BUILDING SETBACK LINE   | -----  |     |
| PLAT BOUNDARY   | -----  |     |

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. BROOKER, P.L.S. DATE: \_\_\_\_\_  
 LICENSE NUMBER 15980  
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024  
 PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_  
 SHEETS 1 THROUGH 6

FILE IN IOWA COUNTY RECORDS AT THE POLK COUNTY RECORDER'S OFFICE, 100 WEST MAIN STREET, ANKENY, IOWA 50009. THIS PLAT WILL BE RECORDED BY THE POLK COUNTY RECORDER'S OFFICE.

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

SECOND SUBMITTAL: \_\_\_\_\_

COUNTY COMMENTS: \_\_\_\_\_

FIRST SUBMITTAL: \_\_\_\_\_

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

REVIEW: \_\_\_\_\_

TECH: \_\_\_\_\_

ENGINEER: \_\_\_\_\_

CIVIL DESIGN ADVANTAGE

ANKENY, IOWA

**TRESTLE RIDGE ESTATES PLAT 8**

**FINAL PLAT**

2405.399









# TRESTLE RIDGE ESTATES PLAT 8

FINAL PLAT



FILE: H:\INDIANA\2007\PLAT\2007-08-14\TRESTLE RIDGE ESTATES PLAT 8.DWG  
 DATE PLOTTED: 8/15/2007 10:38 AM  
 PLOT BY: J. W. HARRIS

| DATE     | REVISIONS        |
|----------|------------------|
| 08/15/07 | SECOND SUBMITTAL |
| 08/22/07 | COUNTY COMMENTS  |
| 08/23/07 | FIRST SUBMITTAL  |

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400



ANKENY, IOWA  
 CIVIL DESIGN ADVANTAGE

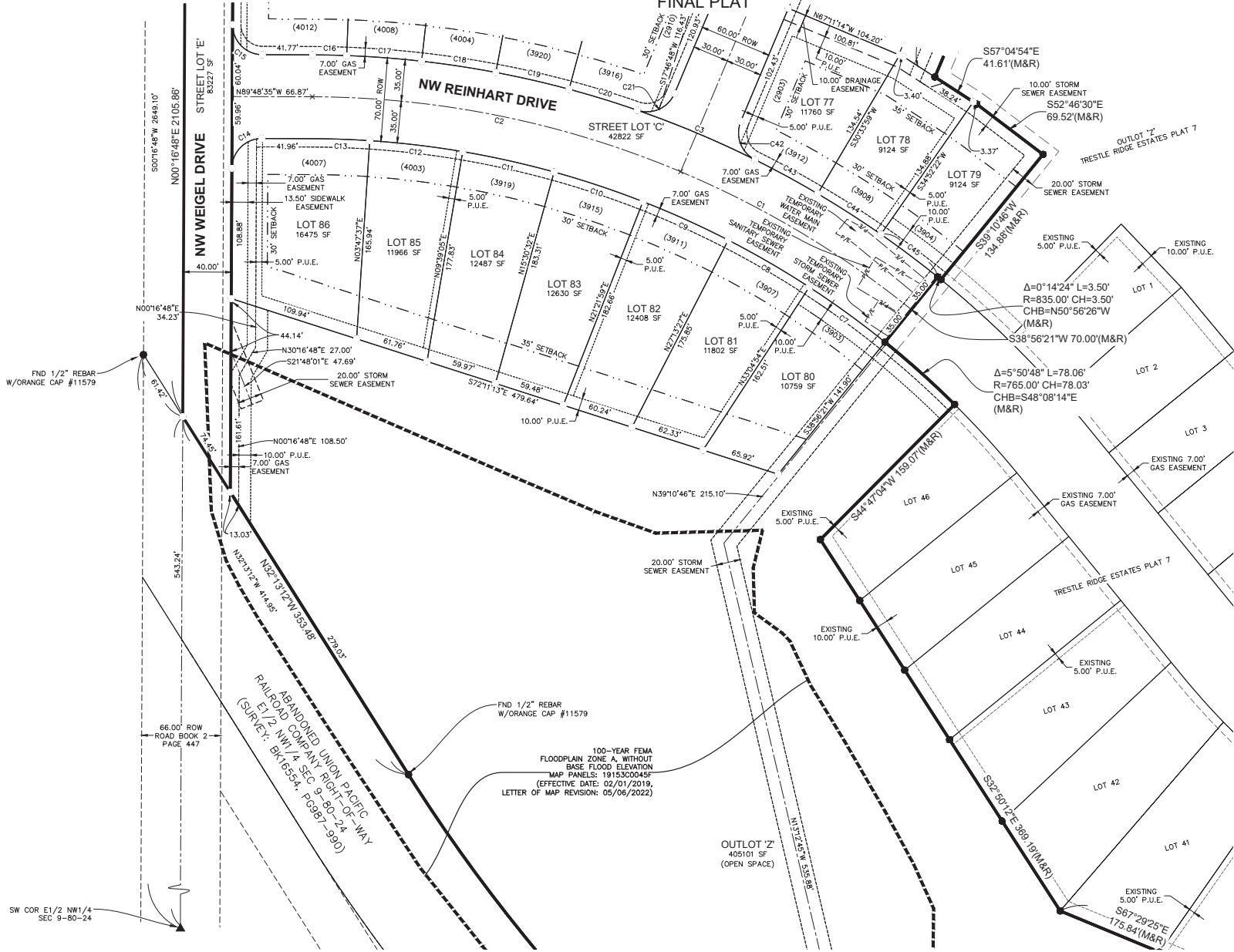
TRESTLE RIDGE ESTATES PLAT 8  
 FINAL PLAT

4  
 6  
 2405.399

| REVIEW: | TECH: | ENGINEER: |
|---------|-------|-----------|
|         |       |           |

# TRESTLE RIDGE ESTATES PLAT 8

FINAL PLAT

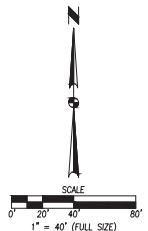


FILE: H:\2405399\2405399\2405399\_FINAL\_PLAT8.DWG DATE: 05/06/2022 10:58:38 AM DRAWN BY: JMM

SW COR E1/2 NW1/4 SEC 9-80-24

66.00' ROW ROAD BOOK 2 PAGE 447

100-YEAR FEMA FLOODPLAIN ZONE A, WITHOUT BASE FLOOD ELEVATION MAP PANELS: 1913300045 (EFFECTIVE DATE: 02/01/2019, LETTER OF MAP REVISION: 05/06/2022)



| DATE     | REVISIONS        |
|----------|------------------|
| 05/02/22 | SECOND SUBMITTAL |
| 04/20/22 | COUNTY COMMENTS  |
| 04/12/22 | FIRST SUBMITTAL  |

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400



ANKENY, IOWA  
CIVIL DESIGN ADVANTAGE ENGINEER:

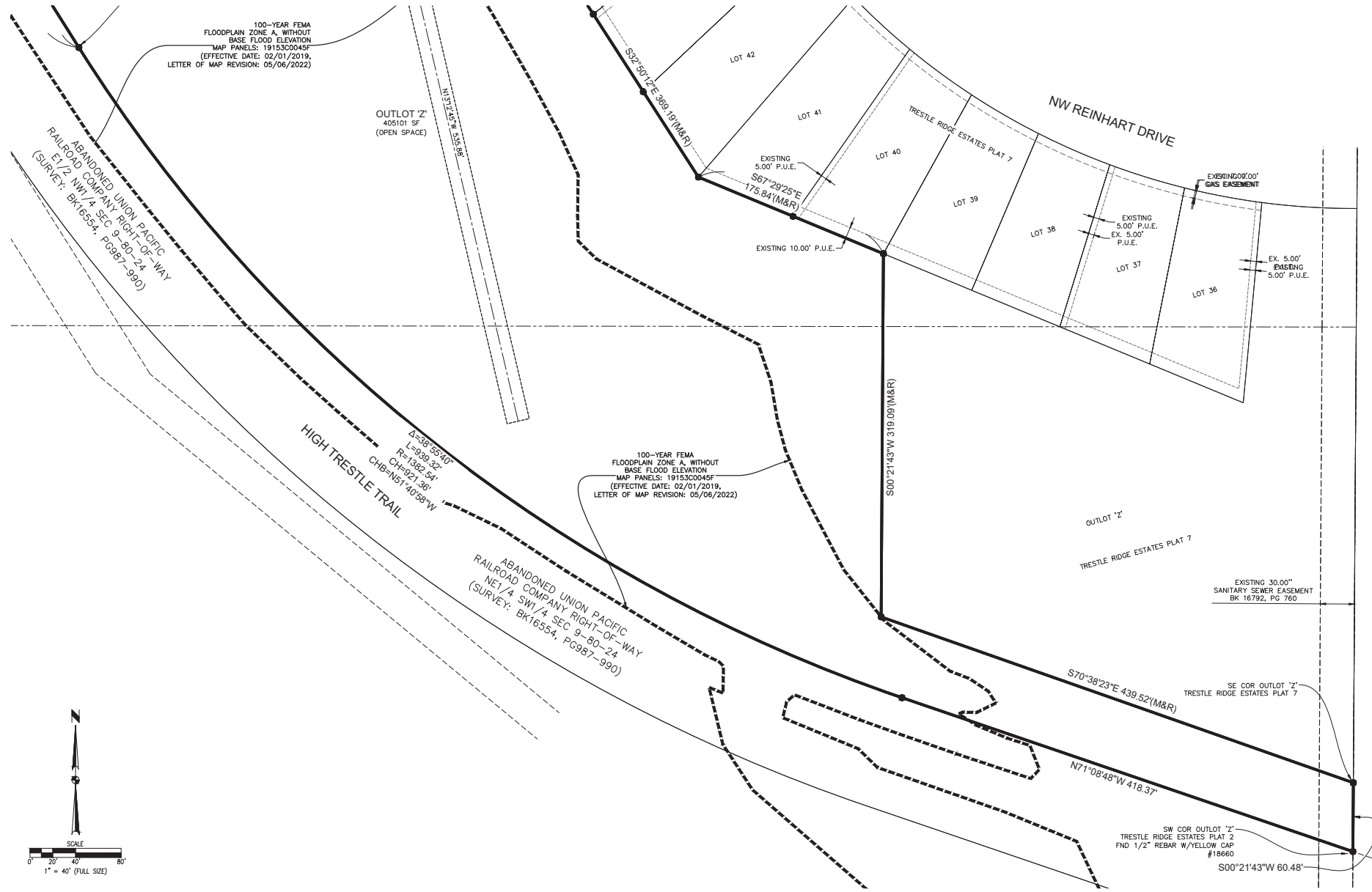
TRESTLE RIDGE ESTATES PLAT 8  
FINAL PLAT

5  
6

2405.399

# TRESTLE RIDGE ESTATES PLAT 8

FINAL PLAT



FILE IN: \\S:\DATA\2405399\TRESTLE RIDGE ESTATES PLAT 8 - FINAL PLAT.DWG DATE PLOTTED: 6/15/2024 3:57 PM DRAWN BY: JMM

| REVISIONS        | DATE     | BY  | APP'D |
|------------------|----------|-----|-------|
| FIRST SUBMITTAL  | 06/02/24 | JMM |       |
| COUNTY COMMENTS  | 06/02/24 | JMM |       |
| SECOND SUBMITTAL | 06/02/24 | JMM |       |

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400



ANKENY, IOWA  
CIVIL DESIGN ADVANTAGE

TRESTLE RIDGE ESTATES PLAT 8  
FINAL PLAT

ENGINEER: [Signature]  
TECH: [Signature]  
REVIEW: [Signature]