



## Meeting Agenda

### Plan and Zoning Commission

**Tuesday, February 20, 2024**

**6:30 PM**

**Ankeny City Council Chambers**

**1250 SW District Drive, Second Floor, Ankeny, Iowa**

Ted Rapp, Chair

Glenn Hunter, Vice Chair

Trina Flack  
Randall Weisheit

Lisa West

Annette Renaud  
Todd Ripper

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*Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.*

**CALL TO ORDER:**

**A. ROLL CALL:**

**B. AMENDMENTS TO AGENDA:**

Consider MOTION to approve and accept the February 20, 2024 agenda with/without amendments.

**C. COMMUNICATIONS:**

**D. CITIZEN'S REQUEST:**

**E. CONSENT AGENDA ITEMS:**

**1. Minutes**

Consider MOTION to approve and accept the January 17, 2024 minutes of the Plan and Zoning Commission meeting.



**2. 350 NE 36th Street - DMOS MRI Addition Site Plan**

Consider MOTION to approve the site plan for 350 NE 36th Street, DMOS MRI Addition subject to obtaining the amended Stormwater Management Easement, SWPPP and COSESCO.

**3. Hope Crest Plat 1 Final Plat**

Consider MOTION to recommend City Council approval of the Hope Crest Plat 1 Final Plat.

**Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #3.**

**F. REMOVED CONSENT AGENDA ITEMS:**

**G. PUBLIC HEARINGS:**

**H. BUSINESS ITEMS:**

**I. OLD BUSINESS:**

**J. REPORTS:**

1. February 19, 2024 City Council Report - Staff

2. Director's Report

Tentative agenda items for Tuesday, March 5, 2024

January 2024 Building Permit Report

3. Commissioner's Reports

**K. MISCELLANEOUS ITEMS:**

March 4, 2024 - 5:30 p.m. City Council Representative: Staff

Election of Chair and Vice Chair

**L. ADJOURNMENT:**

Consider MOTION to adjourn the meeting.





PLAN AND ZONING COMMISSION

February 20, 2024

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

**Action:** Consider MOTION to approve and accept the January 17, 2024 minutes of the Plan and Zoning Commission meeting.

ADDITIONAL INFORMATION:

ATTACHMENTS:

[Click to download](#)









## **Meeting Minutes**

### **Plan & Zoning Commission Meeting**

Wednesday, January 17, 2024

Ankeny City Council Chambers, Second Floor  
1250 SW District Drive, Ankeny, Iowa

#### **CALL TO ORDER**

Chair Ted Rapp called the January 17, 2024 meeting of the Plan & Zoning Commission to order at 5:30 p.m.

#### **ROLL CALL**

Members present: Ted Rapp, Glenn Hunter, Todd Ripper, Annette Renaud, and Randy Weisheit. Absent: Trina Flack and Lisa West. Staff present: Eric Jensen, Eric Carstens and Brenda Fuglsang.

#### **AMENDMENTS TO THE AGENDA**

Motion by G.Hunter to approve and accept the January 17, 2024 agenda without amendments. Second by A.Renaud. All voted aye. Motion carried 5 – 0.

#### **COMMUNICATIONS**

There were no communications.

#### **CITIZEN'S REQUEST**

There were no requests.

#### **CONSENT AGENDA ITEMS**

##### **Item #1. Minutes**

Motion to approve and accept the January 3, 2024 minutes of the Plan and Zoning Commission meeting.

##### **Item #2. Delaware Landing Plat 3 Final Plat**

Motion to recommend City Council approval of the Delaware Landing Plat 3 Final Plat.

##### **Item #3. 5575 SE Delaware Avenue - MHC Kenworth of Des Moines Site Plan**

Motion to approve the site plan for 5575 SE Delaware Avenue, MHC Kenworth of Des Moines, subject to City Council approval of the Delaware Landing Plat 3 Final Plat.

Motion by T.Ripper to approve the recommendations for Consent Agenda Item #1 - #3. Second by G.Hunter. All voted aye. Motion carried 5 – 0.

#### **PUBLIC HEARINGS**

There were no public hearings.

#### **BUSINESS ITEMS**

There were no business items.

Commissioner Lisa West arrived at 5:32 p.m.

#### **REPORTS**

##### **City Council Meeting**

E.Jensen thanked the Commission for allowing the meeting to start at 5:30 p.m.

E.Jensen reported on the January 16, 2024 City Council meeting and the work session that followed.



**Director's Report**

E.Jensen presented the tentative agenda items for the Tuesday, February 6, 2024 Plan and Zoning Commission meeting and the Plan and Zoning Commission 2023 Annual Report.

**Commissioner's Reports**

There were no reports.

**MISCELLANEOUS ITEMS**

February 5, 2024 – 5:30 p.m. City Council Meeting Representative: Staff

**ADJOURNMENT**

There being no further business, T.Rapp motioned to adjourn. Meeting adjourned at 5:34 p.m.



Submitted by Brenda Fuglsang, Secretary  
Plan & Zoning Commission





PLAN AND ZONING COMMISSION

February 20, 2024

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

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ACTION REQUESTED:

Motion

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LEGAL:

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SUBJECT:

350 NE 36th Street - DMOS MRI Addition Site Plan

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EXECUTIVE SUMMARY:

See attached staff report.

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FISCAL IMPACT: **No**

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STAFF RECOMMENDATIONS:

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PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

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PUBLIC OUTREACH EFFORTS:

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ACTION REQUESTED:

**Action:** Consider MOTION to approve the site plan for 350 NE 36th Street, DMOS MRI Addition subject to obtaining the amended Stormwater Management Easement, SWPPP and COSESCO.

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ADDITIONAL INFORMATION:

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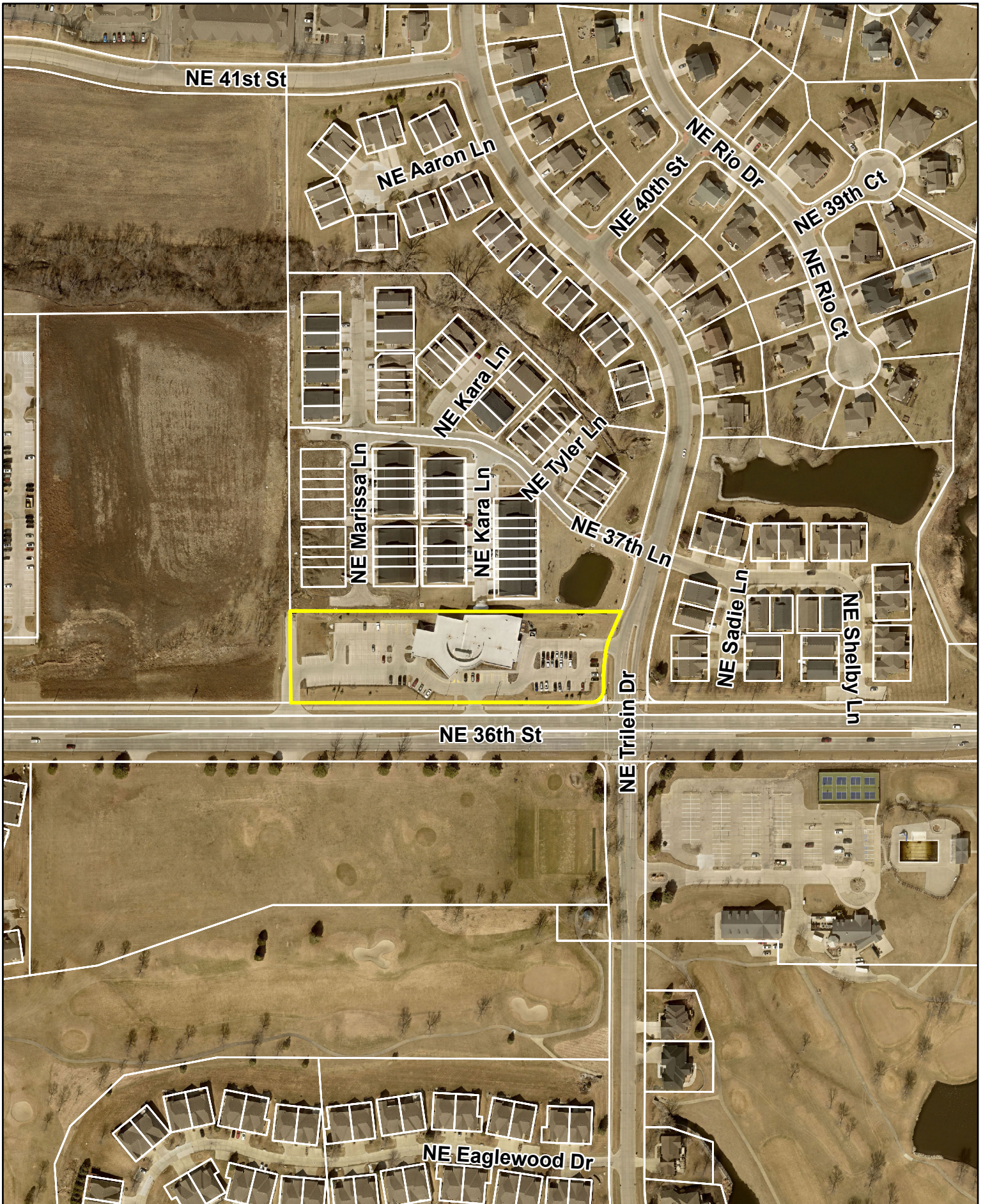
ATTACHMENTS:

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<b>Click to download</b>	
	<a href="#">Aerial Map</a>
	<a href="#">Staff Report</a>
	<a href="#">Applicant Letter</a>
	<a href="#">Site Plan</a>
	<a href="#">Elevations</a>









*Plan and Zoning Commission  
Staff Report*

*Meeting Date: February 20, 2024*

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**Agenda Item:** 350 NE 36<sup>th</sup> Street – DMOS MRI Addition Site Plan  
**Report Date:** February 14, 2024  
**Prepared by:** Ryan Kirschman *EJC*  
Planner I

**Staff Recommendation:**

That the Plan and Zoning Commission approve the site plan for 350 NE 36<sup>th</sup> Street, DMOS MRI Addition subject to obtaining the amended Stormwater Management Easement, SWPPP & COSESCO.

**Project Summary:**

The subject property at 350 NE 36<sup>th</sup> Street totals 2.59 acres (+/-), and is situated on Lot 1 Ankeny DMOS Office Park; north of NE 36<sup>th</sup> Street and west of NE Trilein Drive. The site is zoned PUD. The proposed addition will replace the temporary MRI trailer that was first approved in September 2022. As proposed the addition is approximately 3,700 square feet, situated on the west side of the existing building and north portion of the lot. The proposed addition conforms with the scale and materials of the existing building and other buildings along NE 36<sup>th</sup> Street. Access to the site will remain unchanged with 3 accesses to NE 36<sup>th</sup> Street and NE Trilein Drive. On the site there will be adequate parking with 120 spaces being provided in the proposed site plan and only 105 spaces being required. Landscaping on the site that is removed for the addition will be replaced, the site will conform to the landscaping standards set by the City of Ankeny. The site will utilize existing utility connections and the proposal addresses any anticipated changes to storm water management on the site from the proposed addition. The impacts of the proposed addition can be accommodated adequately.



**Site Plan Worksheet**  
**350 NE 36<sup>th</sup> Street - DMOS MRI Addition Site Plan**

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

**A. Site Development**

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The original building, site accesses and overall layout will not change. The proposed addition is towards the back of the site on the west side of the existing building.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site complies with all required setbacks and screening requirements.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides for adequate parking with 120 spaces being provided in the proposal with 105 being required. There will be safe access to and from the site for pedestrians and bicycles.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The site will maintain all three of its current accesses. The MRI Addition will not cause any congestion or decrease safety on site or surrounding public streets.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

Parking and parking area landscaping generally meet the requirements for off-street parking as stated in Chapter 194.01(6) (A).

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

There are no proposed service areas with this site plan.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services will be underground.



- 8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Site lighting will be directed away from adjoining property and downward.

- 9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

The proposal addresses any anticipated changes to storm water management on the site from the proposed addition.

- 10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The site will utilize existing utilities and connections on site. The impacts of the addition can be accommodated adequately.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

Open space is provided primarily towards the middle and southern portions of the site.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed parking lot shading and open space landscaping generally conform to the landscape requirements of the code.

## **B. Building Design**

- 1. Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

The proposed addition is scaled to compliment the existing building on the site. This design is complimentary of the other buildings along NE 36<sup>th</sup> Street.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The proposed addition has complimentary materials to the existing building on the site and the other buildings on NE 36<sup>th</sup> Street.



3. **All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There are no mechanical equipment or storage areas proposed with this development.

4. **Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

There is only one building on the site.

### **C. Signs**

There are no signs with the submitted plans; however final design and allowances will be determined with future sign permits if necessary.

### **D. Factors for Evaluation**

**The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:**

1. **Conformance to Design Standards and other applicable code requirements.**

The plans submitted generally conform to the written regulations of the City.

2. **Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The site layout is compatible with setbacks.

3. **Layout and utilization of building, parking, drive-ways, and open spaces.**

The layout and circulation system for traffic in and around the site is appropriate.

4. **Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**

The proposed addition would compliment the existing building in scale, materials, style, and design.

5. **Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**

The impacts on these utility systems can be accommodated adequately.



January 26, 2024

Planning and Zoning Commission  
City of Ankeny  
Planning & Building Department  
1210 NW Prairie Ridge Dr  
Ankeny, Iowa 50023

RE: DMOS Ankeny MRI Addition – Site Plan Submittal #2

Planning and Zoning Commission:

On behalf of Des Moines Orthopedic Surgeons (DMOS), we respectfully submit herewith the enclosed Site Plan in request for approval. This property consists of 2.60 acres and is located at 350 NE 36<sup>th</sup> Street. This site plan was prepared in accordance with Ankeny's standards and meets the requirements of The Woodland Reserve PUD. This project features the construction of a building addition of approximately 3,721 square feet with parking improvements, utility improvements, and landscaping throughout.

Please accept this submittal for the next available Planning & Zoning meeting. Let me know if you have any questions or require any further information to complete your review. Thanks.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC



Keith Weggen, ASLA



350 NE 36TH STREET  
ANKENY, IOWA

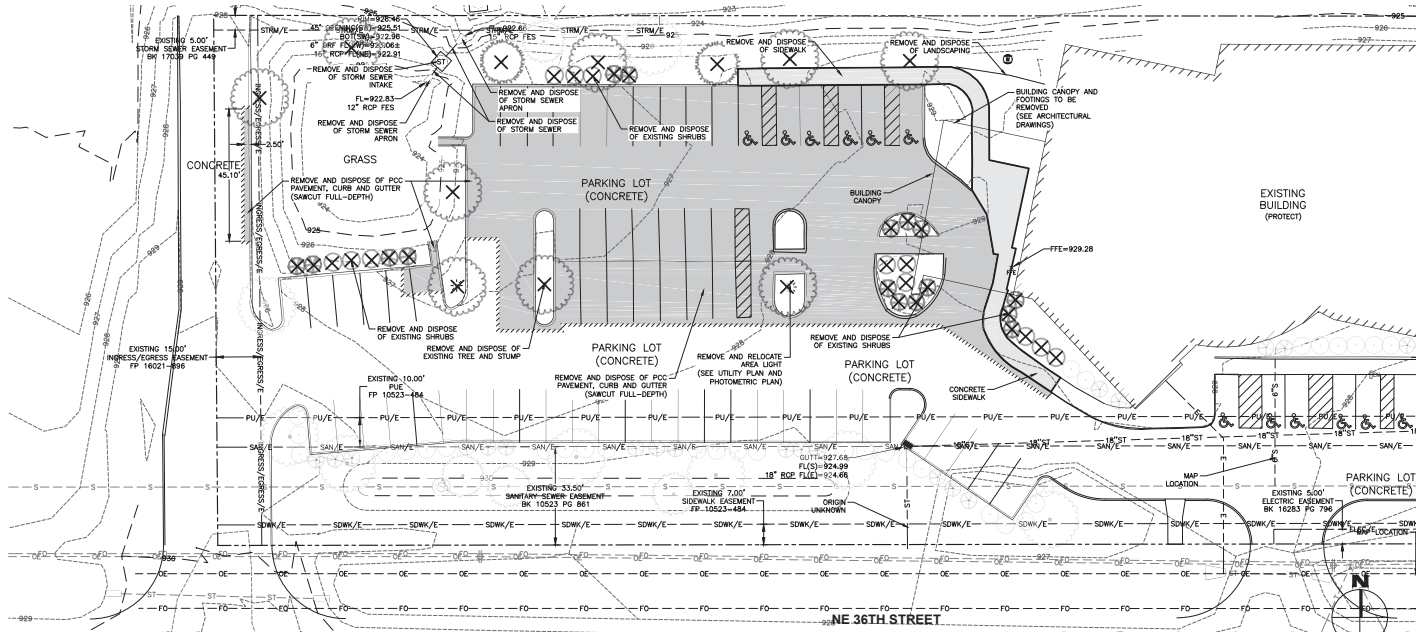
SITE PLAN SUBMITTAL #1:	12/28/2023
SITE PLAN SUBMITTAL #2:	01/26/2024
SITE PLAN SUBMITTAL #3:	02/09/2024

NW BOLT ON HYDRANT @ NW CORNER 36TH STREET & NE  
TRILEIN DRIVE: ELEVATION = 930.78

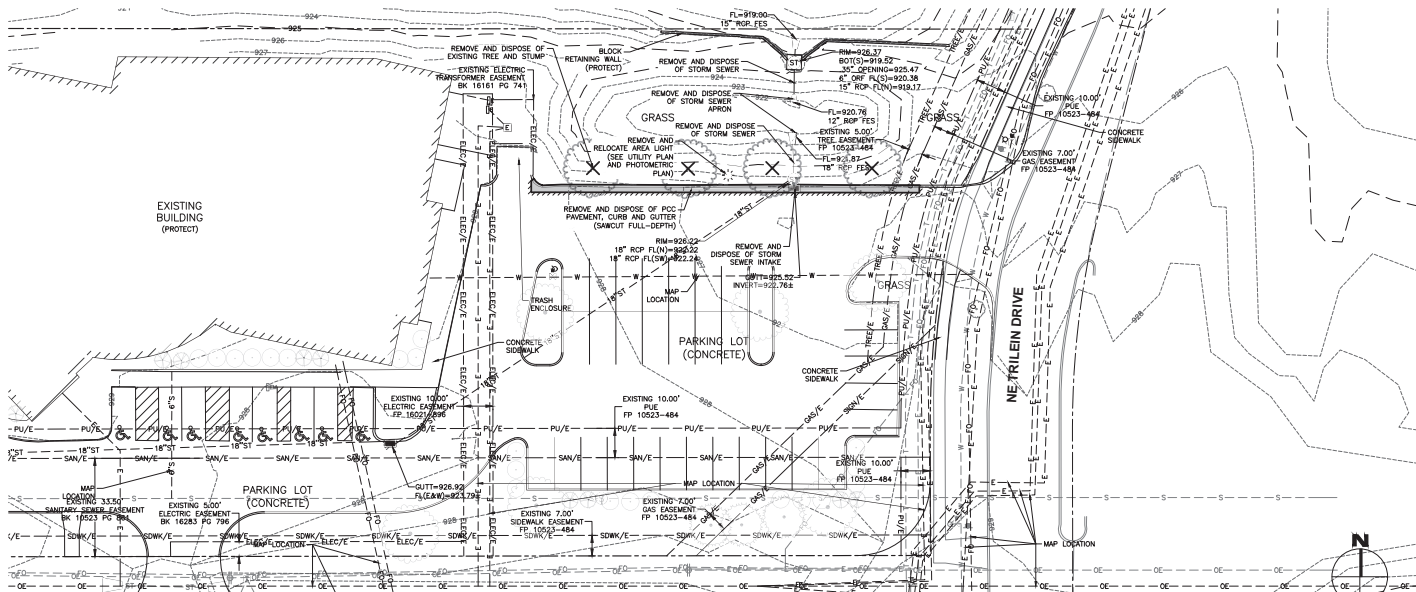
[illegible]

<b>Civil Design Advantage</b>	
ANKENY, IOWA	
CIVIL DESIGN ADVANTAGE	
ENGINEER:	
DRAFTED:	
DATE:	
REVISIONS:	
4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PHONE: (515) 369-4400	





1 BASE BID



2 ALTERNATE #1

### GENERAL NOTES

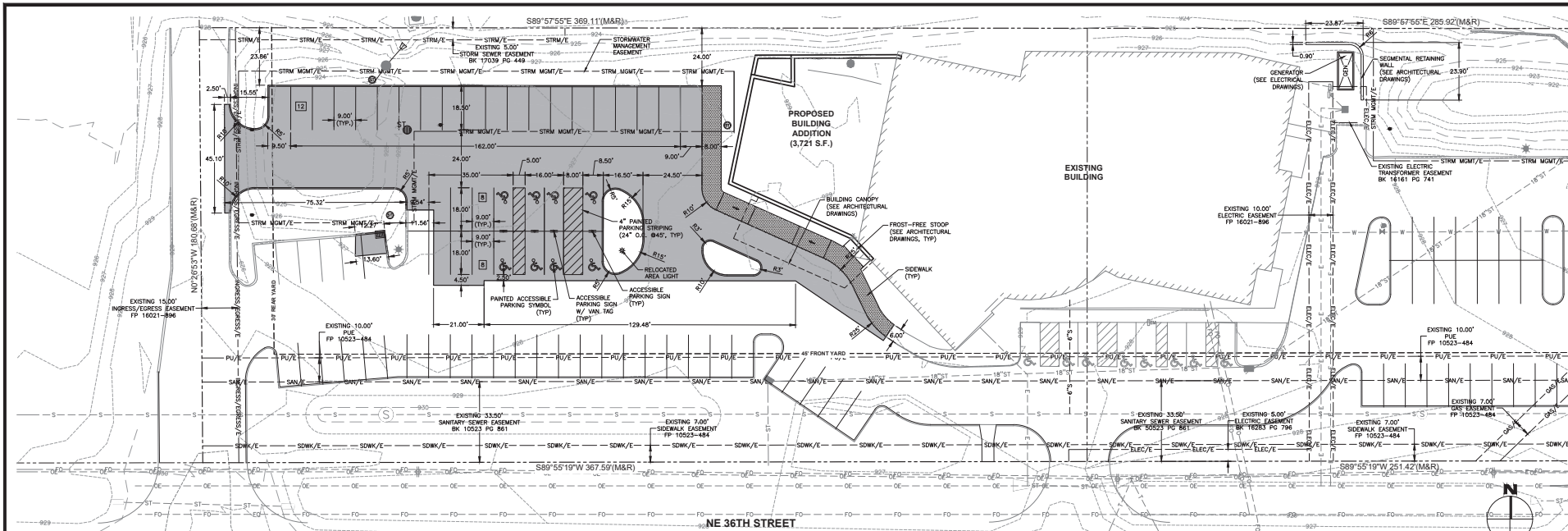
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
  - CITY OF ANKENY
  - APPROPRIATE UTILITY COMPANIES
  - OWNER
  - CIVIL DESIGN ADVANTAGE
  - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH CORRESPONDING MATERIAL COMPACTED TO 90% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE, TO BE ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION WORK SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL, REGULATORY, AND OTHER APPLICABLE LAWS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

### TRAFFIC CONTROL NOTES

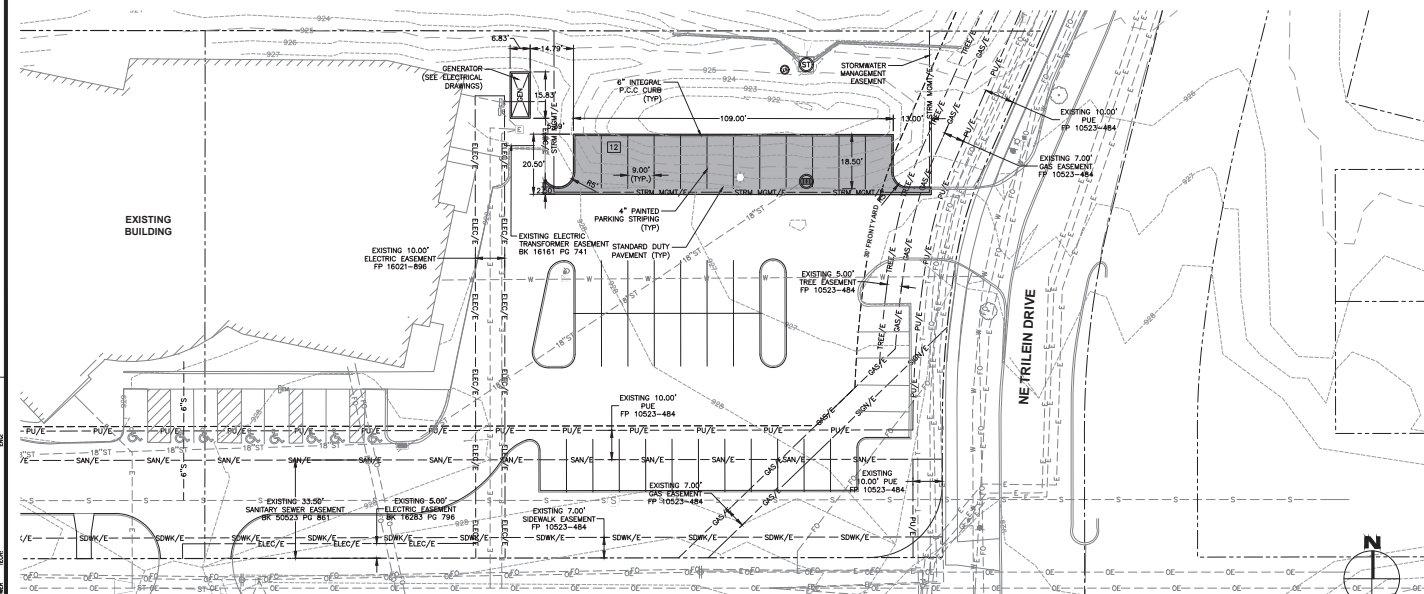
- LANE CLOSURES ON THE PUBLIC STREET ARE NOT PERMITTED FOR THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR IS CAUTIONED NOT TO OBSTRUCT THE PUBLIC RIGHT-OF-WAY, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL COORDINATE TRAFFIC CONTROL THROUGH THE EXISTING PARKING LOT WITH THE OWNER.

DATE	REVISIONS





1 BASE BID



2 ALTERNATE #1

# GENERAL NOTES

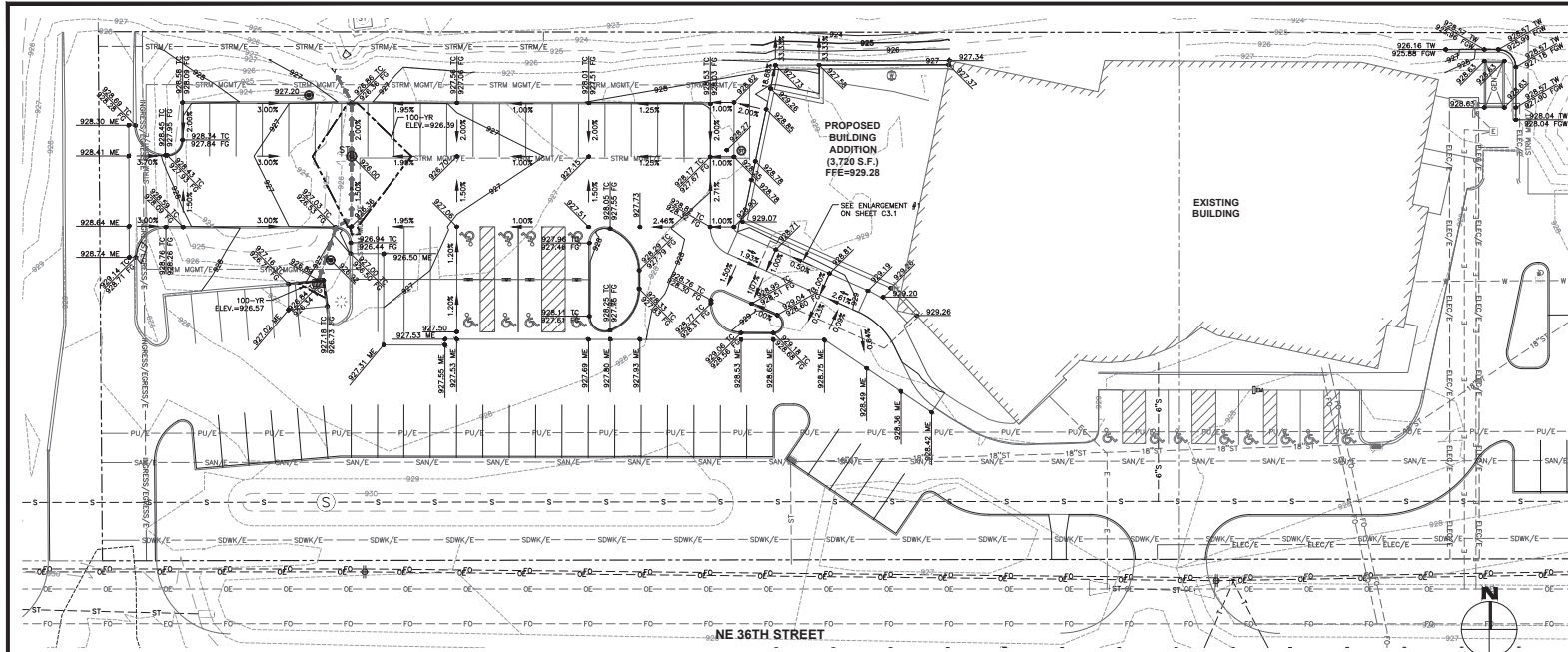
1. THE 2024 EDITION OF THE SDGAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPLICABLE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S DEVELOPMENT ENGINEERING DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR CONCRETE APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

## PAVEMENT THICKNESS

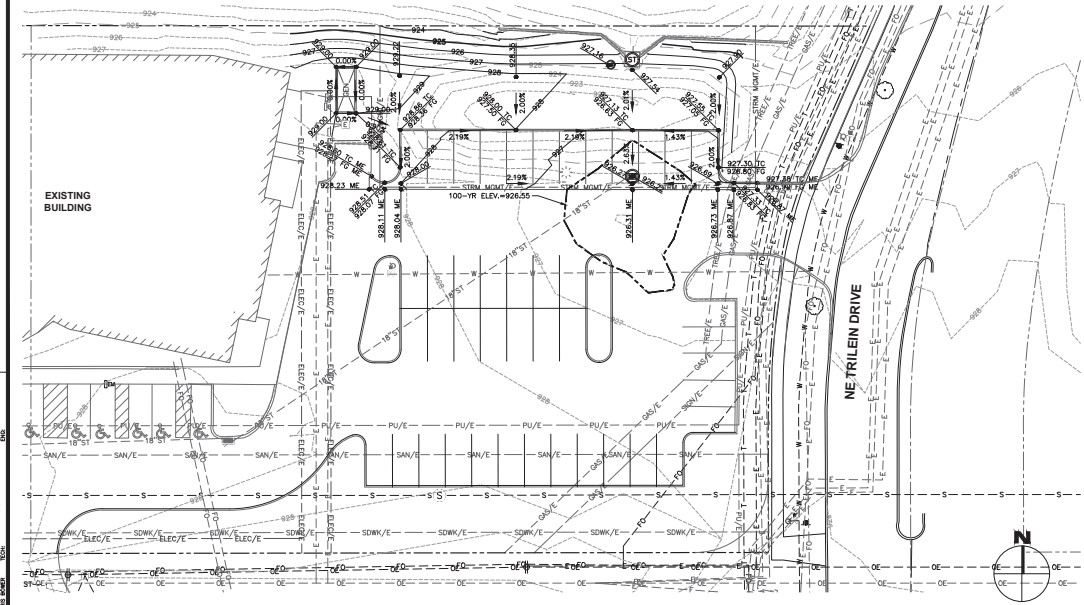
1. SIDEWALK 4" P.C.C.
2. STANDARD DUTY PAVING 6" P.C.C.



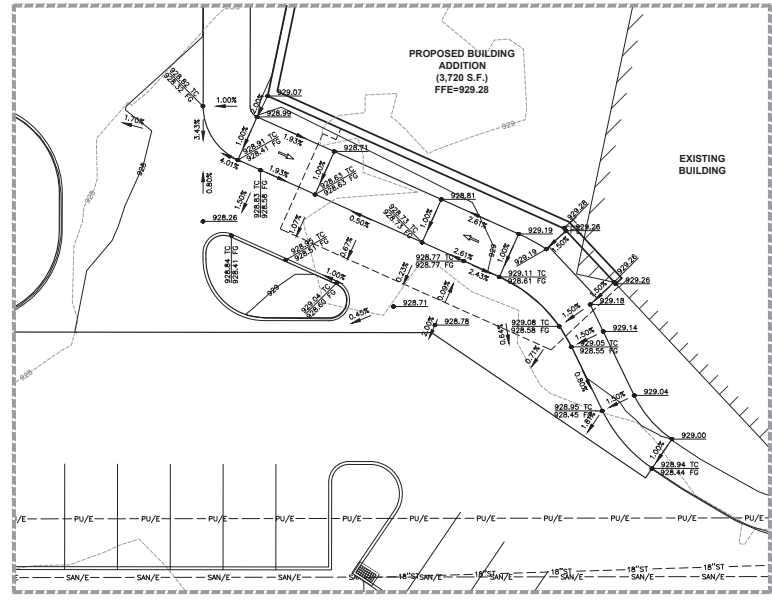




1 BASE BID



2 ALTERNATE #1



3 ENLARGEMENT #1

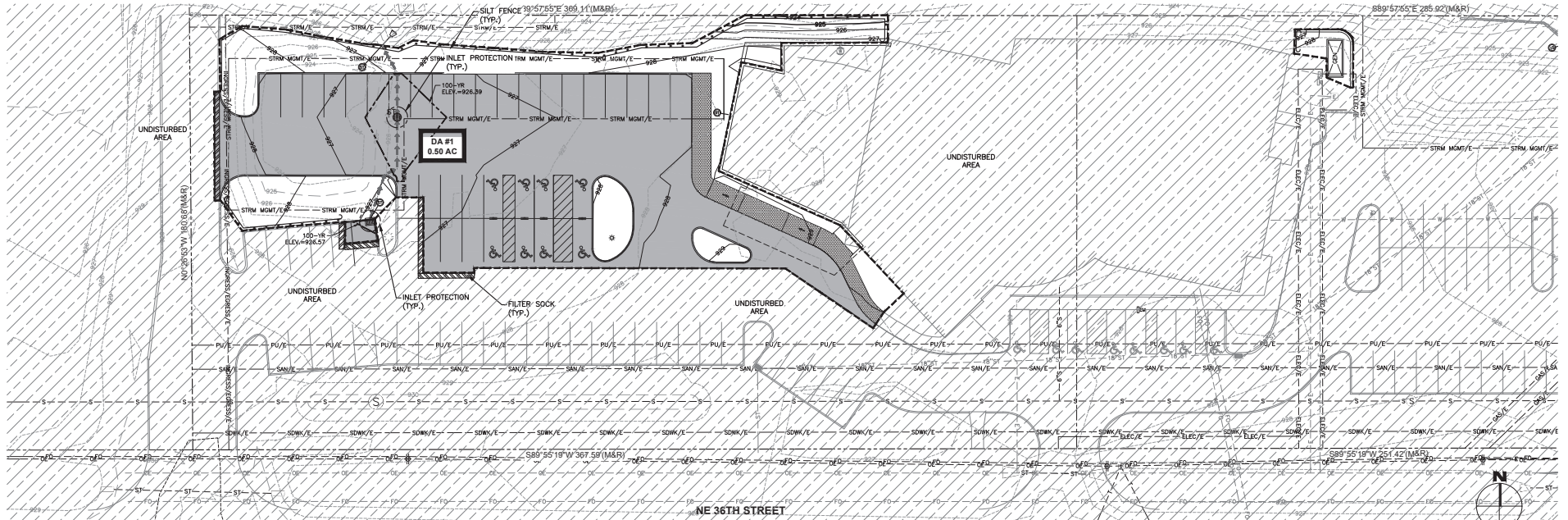
# GENERAL NOTES

1. PRIOR TO ANY GRADING A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL, THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPIRED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2024 EDITION OF THE SUBSISTANCE SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONDUCT HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE DETENTION FACILITY AND SHALL MAINTAIN THE DETENTION FACILITY FOR DUST. DETAILS ON EROSION CONTROL.
10. TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM WATER SYSTEM (IF APPLICABLE) AND THE INSTALLATION OF THE ORFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.

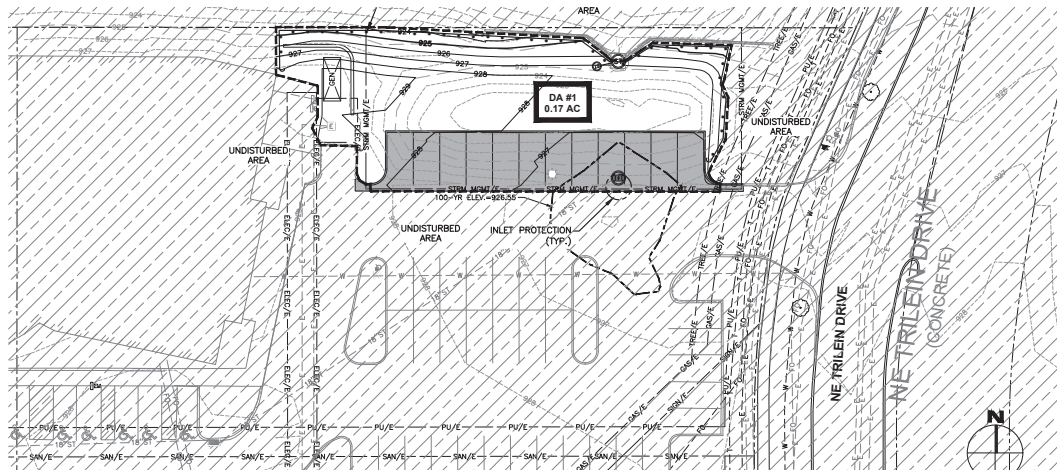


# DMOS ANKENY MRI ADDITION

## EROSION AND SEDIMENT CONTROL PLAN



1 BASE BID



2 ALTERNATE #1

ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE UNLESS OTHERWISE NOTED. DIMENSIONS ARE GIVEN TO THE CENTERLINE UNLESS OTHERWISE NOTED.

DATE	02/09/2024
REVISIONS	
4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PHONE: (515) 389-4400	DRAFTED:
CIVIL DESIGN ADVANTAGE	ENGINEER:
ANKENY, IOWA	350 NE 36TH STREET

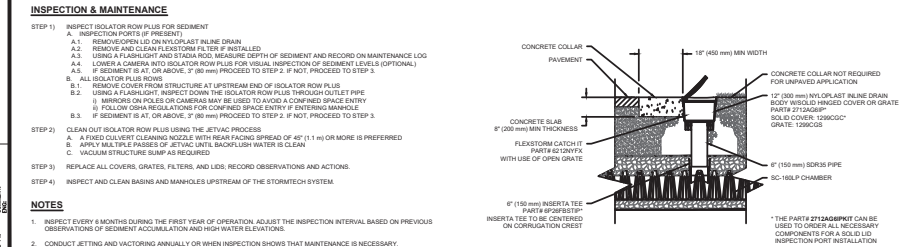
**DMOS ANKENY MRI ADDITION**  
EROSION AND SEDIMENT CONTROL PLAN

DATE: 02/09/2024  
SHEET NUMBER: **C3.2**  
2311.740







[illegible]

PART #	STUB	A
SC160EPP	6" (150 mm)	0.98" (16 mm)
	8" (200 mm)	0.80" (20 mm)
SC160EPP08	8" (200 mm)	0.98" (24 mm)

ALL STUBS ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

NOTE: ALL DIMENSIONS ARE NOMINAL.

[illegible]

- STORMCHASE SHALL BE INSTALLED IN ACCORDANCE WITH THE STORMCHASE CONSTRUCTION GUIDE<sup>®</sup>.
- STORMCHASE SHALL BE EMBEDED INTO SURROUNDING CONCRETE WITH A 3" CURRANT ANGLE STEEL REBAR (ASTM A618 #3/3.5" 4-47, 5, 56 OR 57).
- THE FOUNDATION SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- THE DEPTH OF FOUNDATION SHALL BE DETERMINED BASED ON THE SUBGRADE BEARING CAPACITY PROVIDED BY THE SITE DESIGN ENGINEER.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES CONCERNING CHAMBER FOUNDATION DESIGN AND SUBGRADE BEARING CAPACITIES TO THE PROJECT ENGINEER.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEALED PRIOR TO PLACING STONE.
- CHAMBERS SHALL BE INSTALLED TO THE TOP<sup>1</sup> NO ADDITIONAL SPACING BETWEEN CHAMBERS IS REQUIRED.
- STORMCHASE REMEDIATION'S BACKFILL METHODS:
- STONE/ROCKS LOCATED OFF THE CHAMBER BED.
  - BACKFILL SHOULD BE BUILT UP TO THE INVERT OR THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL SHOULD BE PLACED OUTSIDE USING A LONG BOOM HOE OR EXCAVATOR.
- ASDC RECOMMENDS THE USE OF "FLEXICAST" WHICH IT INVENTS DURING CONSTRUCTION OF THE FOUNDATION TO PROTECT THE SUBSURFACE FORTIFICATION MANAGEMENT SYSTEM FROM COLLAPSE OF THE BACKFILL.

1. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-106LP CHAMBERS IS LIMITED.

- NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
- NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE STORMTECH SC-106LP CONSTRUCTION GUIDE.
- WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-106LP CONSTRUCTION GUIDE".

2. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

CONTACT STORMTECH AT 1-888-852-2034 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

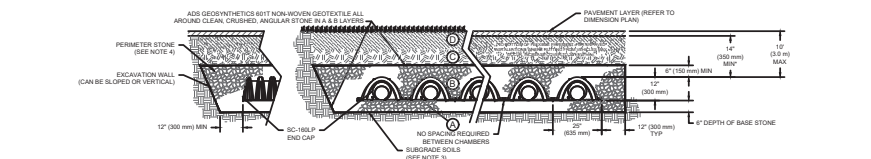
**PLEASE NOTE:**

1. THE LISTED ASHSTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST BE CLEAN, CRUSHED, ANGULAR FOR EXAMPLE A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (ASHSTO M3) STONE".

2. FORTION FROM COMPACTED REQUIREMENTS ARE TO BE PLACED IN LAYERS AND COMPACTED IN PLACE USING TWO PLAT COVERS WITH A VIBRATORY COMPACTOR.

3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STRUCTURE FOR SOLUTIONS.

4. ONCE LAYER C IS PLACED, ANY SOLICITARIUM CAN BE PLACED IN LAYER D UP TO THE FINISHED GRADE. MOST PAVEMENT SUBGRADE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER C OR D AT THE SITE DESIGN ENGINEER'S DISCRETION.



1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE PP) CORRUGATED WALLS, WATER/UTILE COLLECTION CHAMBERS".

2. CHAMBER SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2789 "STANDARD SPECIFICATION FOR STRUCTURAL RIGIDITY OF PERFORATED POLYPROPYLENE PP) CORRUGATED WALLS, INCLUDING 1) INSTANTANEOUS 1) MIN, ALLOWABLE LOADS 2) ALLOWABLE LOADS ON MINIMUM COVER 2) MAXIMUM PERMANENT PERFORATED POLYPROPYLENE PP) COVER LOAD AND 3) ALLOWABLE COVER WITH PERMANENT 1) HEAVY, ASHED DESIGN TRUCK.

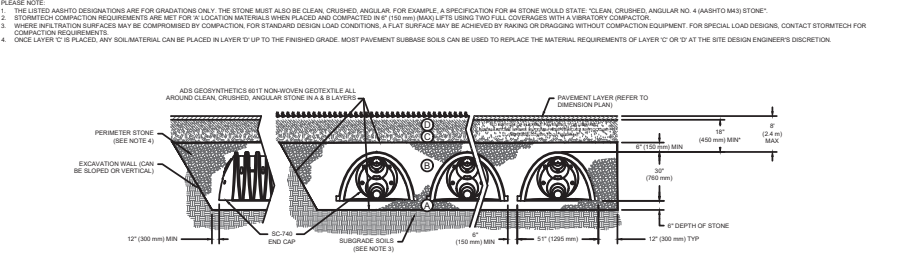
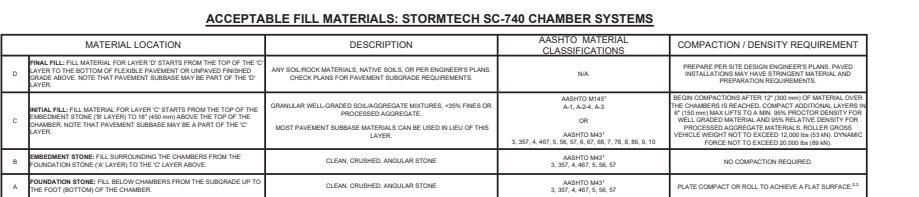
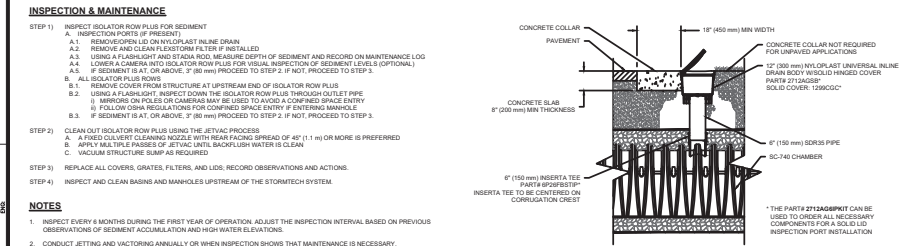
3. THE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.

4. PERMITTEE SITE MUST BE LATERED-HORIZONTALLY TO THE EXCAVATION WALLS FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

REQUIREMENTS FOR HANDLING AND INSTALLATION

- TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STAKING LOGS
- TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 400 LB/FT<sup>2</sup>. THE ASIC IS DEFINED IN RESPECTIVE LOGS OR FOR CONCREDES

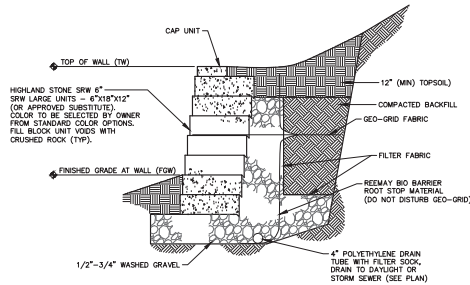




**NOTES:**

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2134, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. 76-40 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2137 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING CAPACITY OF THE SURFACE SOILS AND THE DEPTH OF FOUNDATION TO BE USED WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONTENTS.
4. REMEMBER STORM MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - a. TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTERLOCK, INTERLOCKING STACKING LOGS.
  - b. TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 4".
  - c. TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, AT THE ARCH VELOCITY CONSTANT SHALL BE GREATER THAN OR EQUAL TO 565 LB/FT<sup>2</sup>. THE AISI 316 DESIGN IN SECTION 6.2.8 OF ASTM A240 AND IN 6.2 TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT AVERAGE TEMPERATURES ABOVE 72° F / 22° C. CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORED.

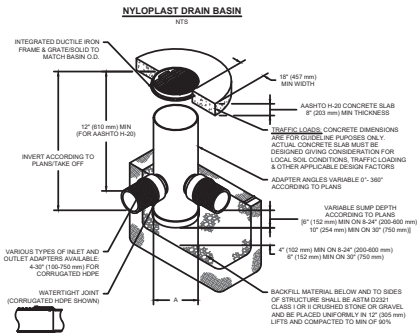




NOTES:  
THIS DETAIL IS FOR GENERAL REFERENCE ONLY. CONTRACTOR TO SUBMIT FULL  
DESIGN DATA TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION AND  
ORDERING OF MATERIALS. WALL SHALL BE DESIGNED BY A STRUCTURAL  
ENGINEER LICENSED TO PRACTICE IN THE STATE OF IOWA AND CONSTRUCTED IN  
ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN.

### 3 SEGMENTAL RETAINING WALL

NOT TO SCALE



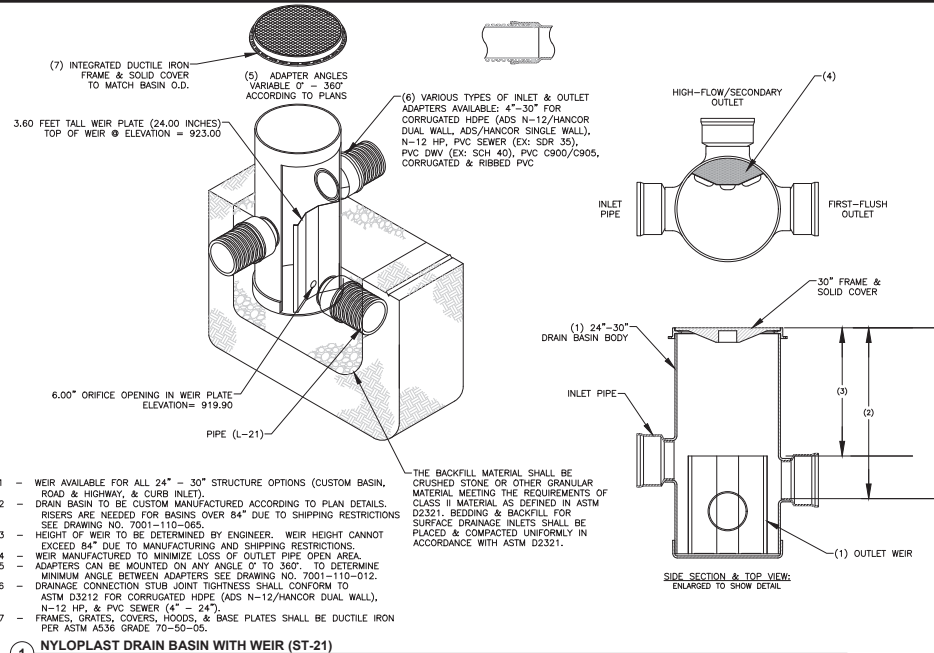
#### NOTES

1. 24\"/>

A	PART #	GRATE/SOLID COVER OPTIONS		
8" (203 mm)	2808AG	PEDESTRIAN LIGHT DUTY	STANDARD LIGHT DUTY	SOLID LIGHT DUTY
10" (254 mm)	2810AG	PEDESTRIAN LIGHT DUTY	STANDARD LIGHT DUTY	SOLID LIGHT DUTY
12" (305 mm)	2812AG	PEDESTRIAN ASHTO H-10	STANDARD ASHTO H-10	SOLID ASHTO H-20
15" (375 mm)	2815AG	PEDESTRIAN ASHTO H-10	STANDARD ASHTO H-20	SOLID ASHTO H-20
18" (457 mm)	2818AG	PEDESTRIAN ASHTO H-10	STANDARD ASHTO H-20	SOLID ASHTO H-20
24" (609 mm)	2824AG	PEDESTRIAN ASHTO H-10	STANDARD ASHTO H-20	SOLID ASHTO H-20
30" (762 mm)	2830AG	PEDESTRIAN ASHTO H-20	STANDARD ASHTO H-20	SOLID ASHTO H-20

### 4 NYLOPLAST DRAIN BASIN

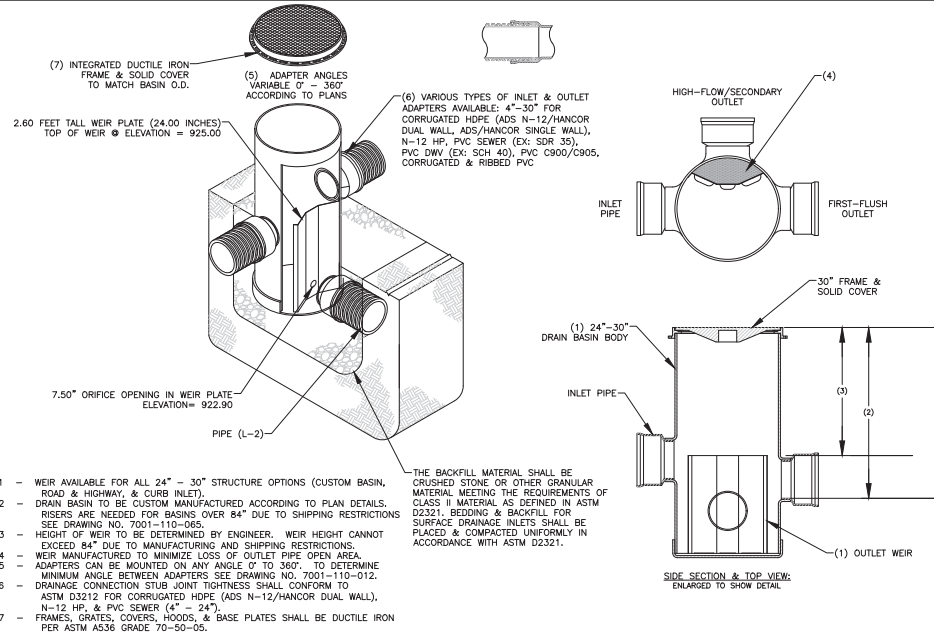
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1. WEIR AVAILABLE FOR ALL 24\"/>

### 1 NYLOPLAST DRAIN BASIN WITH WEIR (ST-21)

NOT TO SCALE

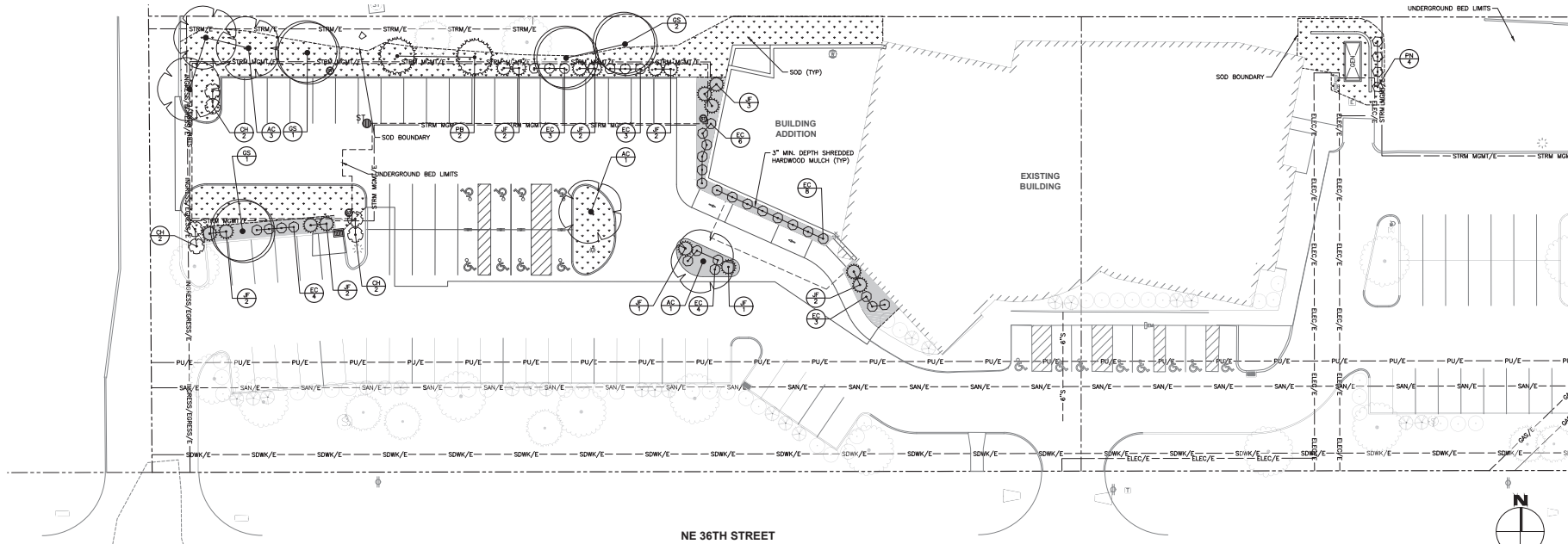


1. WEIR AVAILABLE FOR ALL 24\"/>

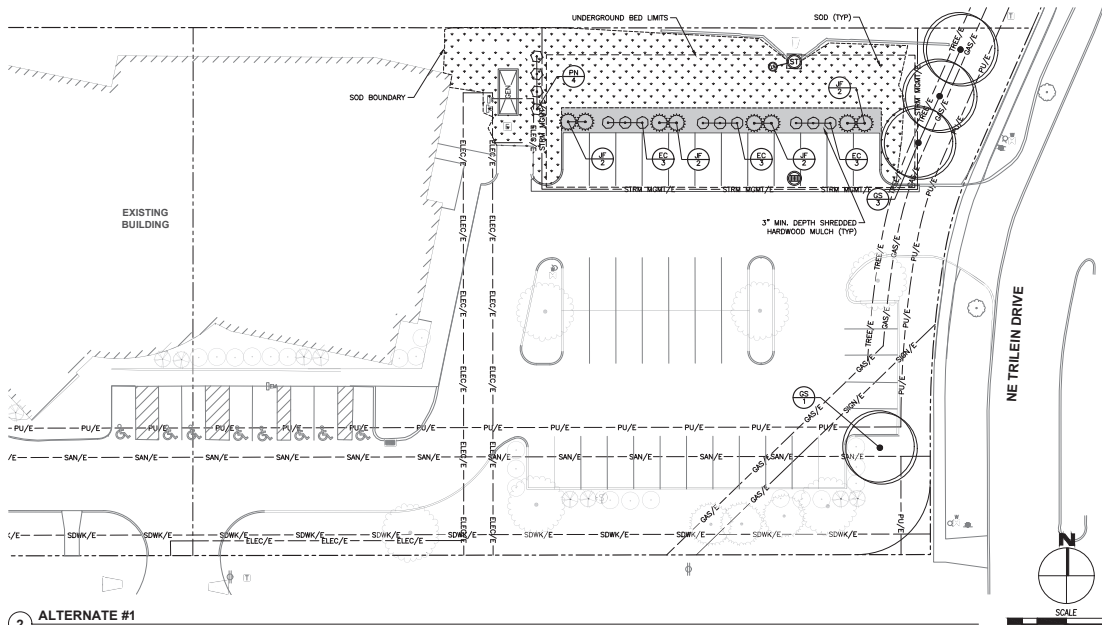
### 2 NYLOPLAST DRAIN BASIN WITH WEIR (ST-2)

NOT TO SCALE





1 BASE BID



2 ALTERNATE #1

### LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2024 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. THE SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK AND 2003.1 ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFECTIVE BRANCH AND ROOT SYSTEMS, TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
4. SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
5. BACKFILL TO TOP OF CURB, (MINUS 1 1/2" FOR SOD, IF REQ.)
6. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOD AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
7. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
8. ALL EDGING SHALL BE SPREAD OUT EDGE.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

### OPEN SPACE/ LANDSCAPE REQUIREMENTS

AREA: 2.30 AC (116,082 SF)

OPEN SPACE REQUIRED = 23,216 SF (20.0%)  
OPEN SPACE PROVIDED = 36,628 SF (32.4%)

#### OPEN SPACE PLANTING REQUIREMENTS

(2 TREES & 4 SHRUBS PER 3,000 SF OF REQUIRED OPEN SPACE)

REQUIRED TREES	= 15 TREES
REQUIRED SHRUBS	= 45 SHRUBS
PROVIDED TREES	= 11 TREES
PROVIDED SHRUBS	= 17 SHRUBS
TOTAL	= 28 TREES
EXISTING TREES	= 29 TREES
EXISTING SHRUBS	= 17 SHRUBS
TOTAL	= 46 SHRUBS

PLANTING LOT SCREENING	
EXISTING TREES	= 44 TREES (+0 SHRUBS)
EXISTING SHRUBS	= 20 SHRUBS (+19 SHRUBS)
TOTAL	= 64 SHRUBS

### PAVEMENT SHADING REQUIREMENTS

20% OF ALL PAVEMENT MUST BE SHADED

EXISTING PRIVATE STREET/PARKING	= 42,261 SF	SD ALT. 1 = 41,949 SF (-312 SF)
PROPOSED PRIVATE STREET/PARKING	= 3,373 SF	SD ALT. 1 = 3,373 SF (+0 SF)
TOTAL PAVEMENT	= 45,633 SF	SD ALT. 1 = 45,322 SF (-311 SF)
20% OF PAVEMENT	= 9,126 SF	SD ALT. 1 = 9,064 SF (-62 SF)
10,308 SF / 700' DIA. TREE	= 14 TREES	SD ALT. 1 = 14 TREES (+0 TREES)
PROVIDED	= 14 TREES	SD ALT. 1 = 14 TREES (+0 TREES)
EXISTING TREES	= 14 TREES	SD ALT. 1 = 14 TREES (+0 TREES)
TOTAL	= 28 TREES	SD ALT. 1 = 28 TREES (+0 TREES)

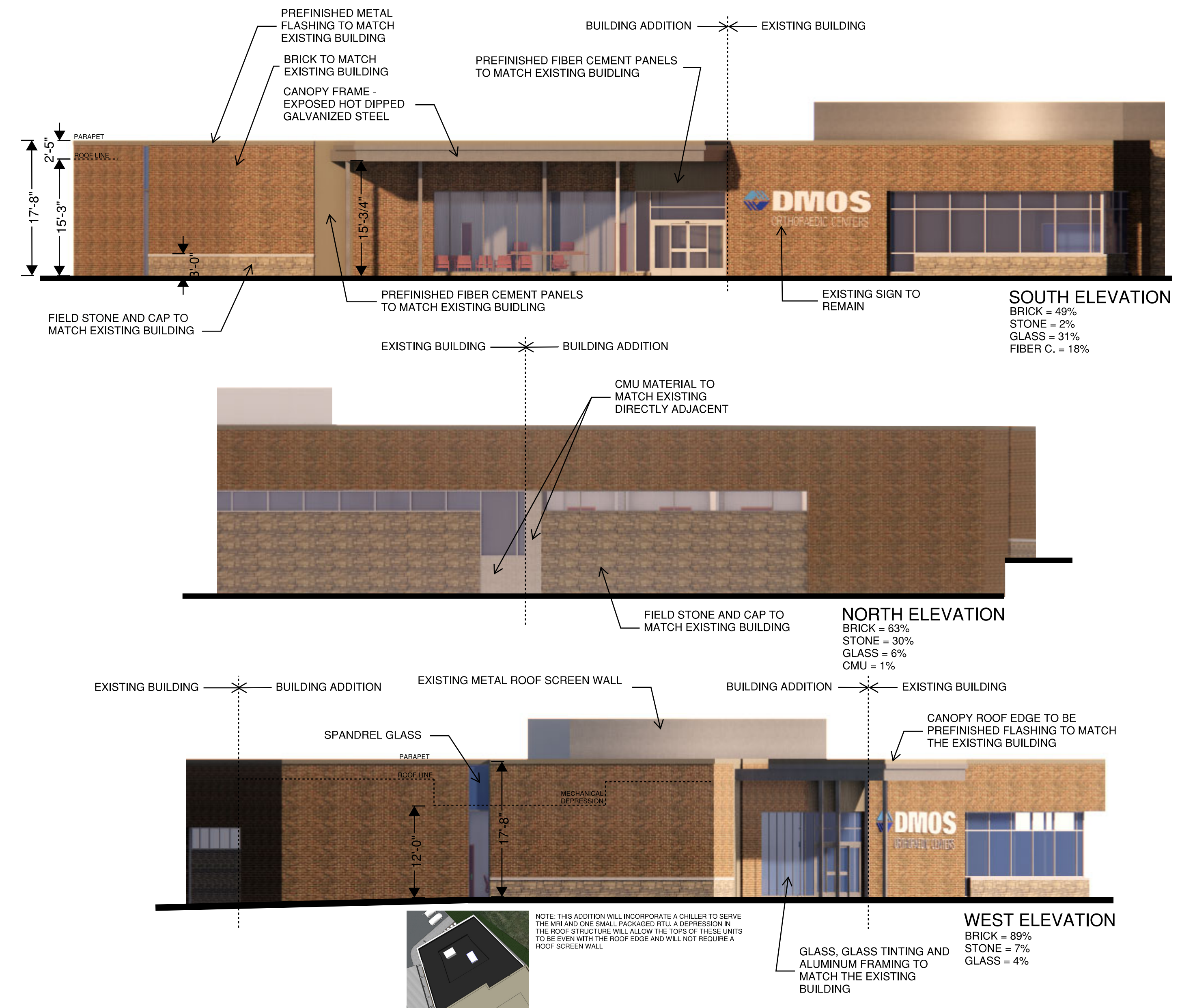
#### PLANT SCHEDULE OPEN SPACE

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
<b>UNDERGROUND TREES</b>				
PU	12	Colorado Blue Spruce	<i>Picea pungens glauca</i>	18" DB, 6' HEIGHT
<b>OVERSTORY TREES</b>				
CO	16	Cornish King Norway Maple	<i>Acer platanoides 'Cornish King'</i>	18" DB, 2" HEIGHT
OS	4	Shademaster Honey Locust	<i>Gleditsia triacanthos inermis 'Shademaster'</i>	18" DB, 2" HEIGHT
<b>SHRUBS</b>				
CO	16	Honey Yellow Tatarian Dogwood	<i>Cornus alba 'Rutgers'</i>	18" DB, 2" HEIGHT
EC	31	Compact Burning Bush	<i>Euonymus alatus 'Compactus'</i>	18" DB, 2" HEIGHT
JO	17	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	18" DB, 2" HEIGHT
PN	4	Whitepine	<i>Pinus strobus</i>	18" DB, 2" HEIGHT

#### PLANT SCHEDULE BID ALTERNATE 1

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
<b>UNDERGROUND TREES</b>				
PU	12	Shademaster Honey Locust	<i>Gleditsia triacanthos inermis 'Shademaster'</i>	18" DB, 2" HEIGHT
<b>OVERSTORY TREES</b>				
CO	16	Cornish King Norway Maple	<i>Acer platanoides 'Cornish King'</i>	18" DB, 2" HEIGHT
OS	4	Shademaster Honey Locust	<i>Gleditsia triacanthos inermis 'Shademaster'</i>	18" DB, 2" HEIGHT
<b>SHRUBS</b>				
EC	31	Compact Burning Bush	<i>Euonymus alatus 'Compactus'</i>	18" DB, 2" HEIGHT
JO	17	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	18" DB, 2" HEIGHT





EXISTING IMAGE







PLAN AND ZONING COMMISSION

February 20, 2024

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

---

ACTION REQUESTED:

Motion

---

LEGAL:

---

SUBJECT:

Hope Crest Plat 1 Final Plat

---

EXECUTIVE SUMMARY:

See attached staff report.

---

FISCAL IMPACT: **No**

---

STAFF RECOMMENDATIONS:

---

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

---

PUBLIC OUTREACH EFFORTS:

---

ACTION REQUESTED:

**Action:** Consider MOTION to recommend City Council approval of the Hope Crest Plat 1 Final Plat.

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ADDITIONAL INFORMATION:

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ATTACHMENTS:

[Click to download](#)



 <a href="#">Aerial Map</a>
 <a href="#">Staff Report</a>
 <a href="#">Applicant Letter</a>
 <a href="#">Final Plat</a>









*Plan and Zoning Commission  
Staff Report*

*Meeting Date: February 20<sup>th</sup>, 2024*

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**Agenda Item:** Hope Crest Plat 1 - Final Plat

**Report Date:** February 15, 2024

**Prepared By:** Bryan Morrissey  
Associate Planner

*ETC*

**Staff Recommendation:**

That the Plan and Zoning Commission recommend City Council approval of the Hope Crest Plat 1 Final Plat.

**Project Summary:**

Hope Crest Plat 1 is a proposed 22.26 acre (+/-) final plat generally located east of NW Irvinedale Drive and south of NW 54<sup>th</sup> Avenue, situated immediately north of Brinmore Estates Plat 3. The proposed final plat creates 72 two-family lots, one outlot for stormwater detention, and three outlots intended for future development. The subject area is appropriately zoned for the proposed two-family lots, as the area is zoned R-2, One-Family and Two-Family Residence District. A landscape buffer easement is proposed along the north side of lots 1-11 to screen the development from future NW State Street.

**Project Report:**

- Streets:** The general layout of the site extends NW Sharmin Drive and NW Arlan Drive north from the Brinmore Estates development to the south. The plat also includes the creation of NW 45<sup>th</sup> Court and NW 46<sup>th</sup> Street. NW Sharmin Drive will serve as the sole access point to the development until NW State Street is extended throughout the area.
- Water:** The project area will be serviced by installing eight-inch water mains throughout the entirety of the development. The proposed mains will extend from the existing eight-inch mains that are a part of the Brinmore Estates development to the south.
- Sewer:** Eight-inch sanitary mains will be extended throughout the project area as it connects to the existing sanitary mains from the south that are associated with the Brinmore Estates development.
- Drainage:** Stormwater within the project area will be collected from one of the multiple storm water intakes before flowing to the detention pond within Outlot 'Z'.
- Parkland:** The developer has opted for payment in lieu of parksite dedication for this phase of the Hope Crest development. Future parkland dedication will come with future phases of the Hope Crest development.



**CITY OF ANKENY  
SUBDIVISION DATA**

**NAME OF PLAT:** Hope Crest Plat 1

**NAME OF OWNER/ DEVELOPER:** Hope K. Farms, LLC

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**GENERAL INFORMATION:**

PLAT LOCATION: South of NW 54<sup>th</sup> Street; east of NW Irvinedale Drive  
SIZE OF PLAT: 22.26-acres  
ZONING: R-2, One-Family & Two-Family Residence District

**LOTS:**

NUMBER: 72 two-family lots, four outlots  
SIZE/DENSITY: 3.23 units per acre  
USE: Residential  
BUILDING LINES: Front: 30', Side: 7' (15' total), Rear: 35'

**PARK SITE DEDICATION:**

Developer is opting for payment in lieu of parkland dedication.

**ADJACENT LANDS:**

NORTH: PUD, Planned Unit Development (undeveloped)  
SOUTH: R-2, One-Family & Two-Family Residence District  
EAST: Unincorporated Polk County  
WEST: PUD, Planned Unit Development (Moeckly PUD)

**STREET DEVELOPMENT:**

NAME: NW Sharmin Drive  
LENGTH: 741.50'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW Arlan Drive  
LENGTH: 523.53'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW 45<sup>th</sup> Court  
LENGTH: 576.88'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW 46<sup>th</sup> Street  
LENGTH: 556.86'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'



**WASTE WATER:**

PROJECTED FLOWS: 72 units X 3 person. per house X 330 gal. per day/pers.= 71,280 GPD

WRA CAPACITY: 200 MGD; current daily avg. 132 MGD

NEAREST DOWNSTREAM INTERCEPTOR/TRUNK LINE: Four Mile Interceptor

**STORM WATER:**

BASIN FLOWS: This plat lies in the Upper Four Mile Creek Drainage Basin

**WATER SYSTEM:**

USAGE: 72 units X 3 persons/house X 100 gal. per day/person = 21,600 GPD

SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD.

**FINAL PLAT DRAWING:** Staff recommends approval.

**CONSTRUCTION PLANS:** To be approved.



December 01, 2023

Honorable Mayor, City Council and Planning & Zoning Commission  
c/o Bryan Morrissey  
City of Ankeny  
Community Development – Planning Department  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50023

RE: Hope Crest Plat 1  
Final Plat & Construction Drawing Approval

Honorable Mayor, City Council, and P&Z Commission;

On behalf of Hope K Farms, LLC., we submit herewith the following final plat and construction drawings for review and approval. The project area contains 22.3 acres and is located north of the intersection of NW Sharmin Drive and NW 44<sup>th</sup> Street. The final plat includes the development of 72 two-family lots, an outlot for detention, two outlots for future single-family development and one outlot for future residential development. The property is currently zoned R-2 One- and Two-Family Residence District.

Please accept this submittal for the next available Planning & Zoning and City Council meetings. Let me know if you have any questions or require any further information to complete your review. Thanks.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC



Jared Murray, P.E.



# INDEX LEGEND

LOCATION: PT. PARCEL "2021-85" IN THE  
W1/2 NE FRL 1/4 OF SECTION  
3-T80N-R24W

REQUESTED BY: HOPE K. FARMS LLC  
PROPRIETOR: 4500 WESTOWN PARKWAY, SUITE #277  
WEST DES MOINES, IA 50266

SURVEYOR: MATTHEW J. THOMAS, PLS

PREPARED BY: CIVIL DESIGN ADVANTAGE, LLC  
& RETURN TO: 4121 NW URBANDALE DRIVE  
URBANDALE, IOWA 50322  
PH: (515) 381-3925  
EMAIL: RKARGARZ@CPMGF.COM

# HOPE CREST PLAT 1 FINAL PLAT

## DATE OF SURVEY

OCTOBER 24, 2023

## OWNER / DEVELOPER

HOPE K. FARMS LLC  
CONTACT: REZA KARGARZADEH  
4500 WESTOWN PARKWAY, SUITE #277  
WEST DES MOINES, IA 50266  
PH: (515) 381-3925  
EMAIL: RKARGARZ@CPMGF.COM

## ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322

## ZONING

R-2: ONE AND  
TWO-FAMILY  
RESIDENCE DISTRICT

## BULK REGULATIONS

R-2 DISTRICT  
MIN. LOT WIDTH:  
70' (ONE-FAMILY DETACHED)  
40' (ONE-FAMILY ATTACHED)  
85' (TWO-FAMILY ATTACHED)  
FRONT:  
SIDE:  
REAR:  
30'  
7' (15' TOTAL)  
35'

AREA ABOVE RESERVED FOR RECORDER

## PLAT DESCRIPTION

A PART OF PARCEL "2021-85" AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 18797, PAGE 373, BEING A PART OF THE WEST HALF OF THE NORTHEAST FRACTIONAL QUARTER OF SECTION 3, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, ALL IN THE CITY OF ANKENY, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL "2021-85", ALSO BEING THE CENTER OF SAID SECTION 3; THENCE NORTH 01°18'43" WEST ALONG THE WEST LINE OF SAID PARCEL "2021-85", A DISTANCE OF 967.37 FEET; THENCE NORTH 62°02'21" EAST, 20.55 FEET; THENCE SOUTH 76°36'54" EAST, 50.61 FEET; THENCE SOUTH 76°36'54" EAST, 80.58 FEET; THENCE EASTERLY ALONG A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 500.00 FEET, WHOSE ARC LENGTH IS 83.07 FEET AND WHOSE CHORD BEARS SOUTH 71°51'18" EAST, 82.98 FEET; THENCE SOUTH 67°05'43" EAST, 1199.38 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL "2021-85"; THENCE SOUTH 01°14'08" EAST ALONG SAID EAST LINE, 443.33 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL "2021-85"; THENCE SOUTH 89°38'45" WEST ALONG THE SOUTH LINE OF SAID PARCEL "2021-85", A DISTANCE OF 1326.61 FEET TO THE POINT OF BEGINNING AND CONTAINING 22.17 ACRES (965,734 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

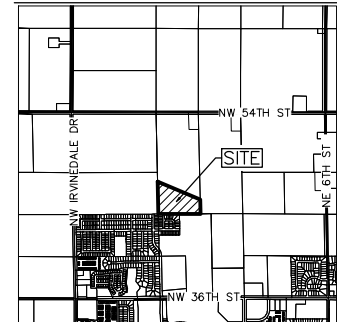
## NOTES

1. ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
2. LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
3. THE DRIVEWAYS FOR LOTS 5 AND 61 SHALL BE CONSTRUCTED TO AVOID THE SIDEWALK RAMP.
4. NO LOTS WILL BE ALLOWED DRIVEWAY ACCESS ONTO NW STATE STREET.
5. LANDSCAPE BUFFER REQUIREMENTS FOR LOTS 1-11 INCLUDE 1 EVERGREEN TREE, 2 OVERSTORY TREES AND 6 SHRUBS PER LOT.
6. OUTLOTS 'W', 'X', AND 'Y' WILL BE OWNED AND MAINTAINED BY THE DEVELOPER AND ARE FOR FUTURE DEVELOPMENT.
7. OUTLOT 'Z' WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION AND BE USED FOR STORM WATER DETENTION.
8. STREET LOTS 'A', 'B', 'C' AND 'D' TO BE DEDICATED TO THE CITY OF ANKENY AND SHALL BE USED AS PUBLIC STREET RIGHT-OF-WAY.

## CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD	CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	9°55'53"	363.00'	62.92'	S06°01'18"E	62.84'	C26	0°20'50"	620.00'	3.76'	S01°08'18"E	3.76'
C2	7°07'23"	363.00'	45.13'	S02°30'20"W	45.10'	C27	4°45'45"	620.00'	51.54'	N01°25'00"E	51.52'
C3	2°11'01"	363.00'	13.83'	S07°09'32"W	13.83'	C28	4°52'30"	620.00'	52.75'	N06°14'07"E	52.74'
C4	6°28'15"	303.00'	34.04'	S05°01'55"W	34.03'	C29	4°51'58"	620.00'	52.66'	N11°06'22"E	52.64'
C5	3°07'30"	303.00'	16.53'	S00°15'02"W	16.52'	C30	4°52'30"	620.00'	52.75'	N15°58'36"E	52.74'
C6	1°41'59"	363.00'	10.77'	S00°27'43"E	10.77'	C31	4°29'34"	620.00'	48.62'	N20°39'38"E	48.60'
C7	7°32'14"	363.00'	47.75'	S04°09'23"W	47.72'	C32	89°59'53"	30.00'	47.12'	S67°54'21"W	42.43'
C8	7°02'10"	363.00'	44.58'	S11°26'35"W	44.55'	C33	90°00'07"	30.00'	47.12'	N22°05'39"W	42.43'
C9	82°03'16"	25.00'	35.80'	S28°03'58"E	32.82'	C34	2°07'58"	680.00'	25.31'	N21°50'26"E	25.31'
C10	10°10'26"	25.00'	44.12'	N62°20'42"E	38.62'	C35	92°07'58"	25.00'	40.20'	N66°50'26"E	36.01'
C11	13°05'42"	303.00'	69.25'	N05°14'08"E	69.10'	C36	9°00'34"	680.00'	106.93'	S16°16'10"W	106.82'
C12	89°02'32"	25.00'	38.85'	N45°49'59"W	35.06'	C37	78°51'29"	25.00'	34.41'	S27°39'51"E	31.76'
C13	82°01'49"	25.00'	35.79'	N48°37'50"E	32.81'	C38	2°36'19"	680.00'	30.92'	S10°27'44"W	30.92'
C14	20°44'27"	303.00'	109.69'	N02°45'18"W	109.09'	C39	3°54'38"	680.00'	46.41'	S07°12'16"W	46.40'
C15	10°57'00"	61.50'	11.75'	N84°10'15"E	11.74'	C40	3°53'04"	680.00'	46.10'	S03°18'24"W	46.09'
C16	29°06'01"	61.50'	31.24'	N64°08'45"E	30.90'	C41	2°40'35"	680.00'	31.76'	S00°01'35"W	31.76'
C17	29°06'01"	61.50'	31.24'	N35°02'44"E	30.90'	C42	90°57'28"	25.00'	39.69'	S44°01'01"W	35.65'
C18	29°06'01"	61.50'	31.24'	N05°56'43"E	30.90'	C43	4°54'14"	500.00'	42.79'	N74°09'46"W	42.78'
C19	29°06'01"	61.50'	31.24'	N23°09'18"W	30.90'	C44	4°36'56"	500.00'	40.28'	N69°24'11"W	40.27'
C20	29°02'30"	61.50'	31.17'	N52°13'33"W	30.84'	C45	20°12'32"	333.00'	117.45'	N01°51'13"W	116.84'
C21	31°14'01"	61.50'	33.53'	N82°21'48"W	33.11'	C46	7°33'17"	333.00'	43.91'	N04°28'24"E	43.88'
C22	51°18'29"	61.50'	55.07'	S56°21'57"W	53.25'	C47	2°00'28"	333.00'	11.67'	N00°18'29"W	11.67'
C23	11°22'53"	61.50'	12.22'	S25°01'16"W	12.20'	C48	24°13'07"	333.00'	140.76'	N10°47'51"E	139.71'
C24	70°18'55"	33.50'	41.11'	S54°29'17"W	38.58'	C49	7°10'46"	650.00'	81.45'	N19°19'02"E	81.40'
C25	89°02'32"	25.00'	38.85'	N45°49'59"W	35.06'	C50	17°02'21"	650.00'	193.30'	N07°12'28"E	192.59'

## VICINITY MAP (NOT TO SCALE)



ANKENY, IOWA

## LEGEND

SECTION CORNER AS NOTED  
1/2" REBAR, RED PLASTIC CAP #19968  
(UNLESS OTHERWISE NOTED)  
1/2" REBAR, YELLOW PLASTIC CAP #15980  
(UNLESS OTHERWISE NOTED)  
MEASURED BEARING & DISTANCE  
RECORDED BEARING & DISTANCE  
DEEDED BEARING & DISTANCE  
PUBLIC UTILITY EASEMENT  
CURVE ARC LENGTH  
LOT ADDRESS  
CENTERLINE  
SECTION LINE  
EASEMENT LINE  
BUILDING SETBACK LINE  
PLAT BOUNDARY

FOUND	SET
●	△
■	○
(M)	
(R)	
(D)	
P.U.E.	
AL	
(1234)	



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MATTHEW J. THOMAS, PLS. DATE: \_\_\_\_\_

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023  
PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_  
SHEETS 2 AND 3

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400



ANKENY, IOWA

HOPE CREST PLAT 1  
FINAL PLAT

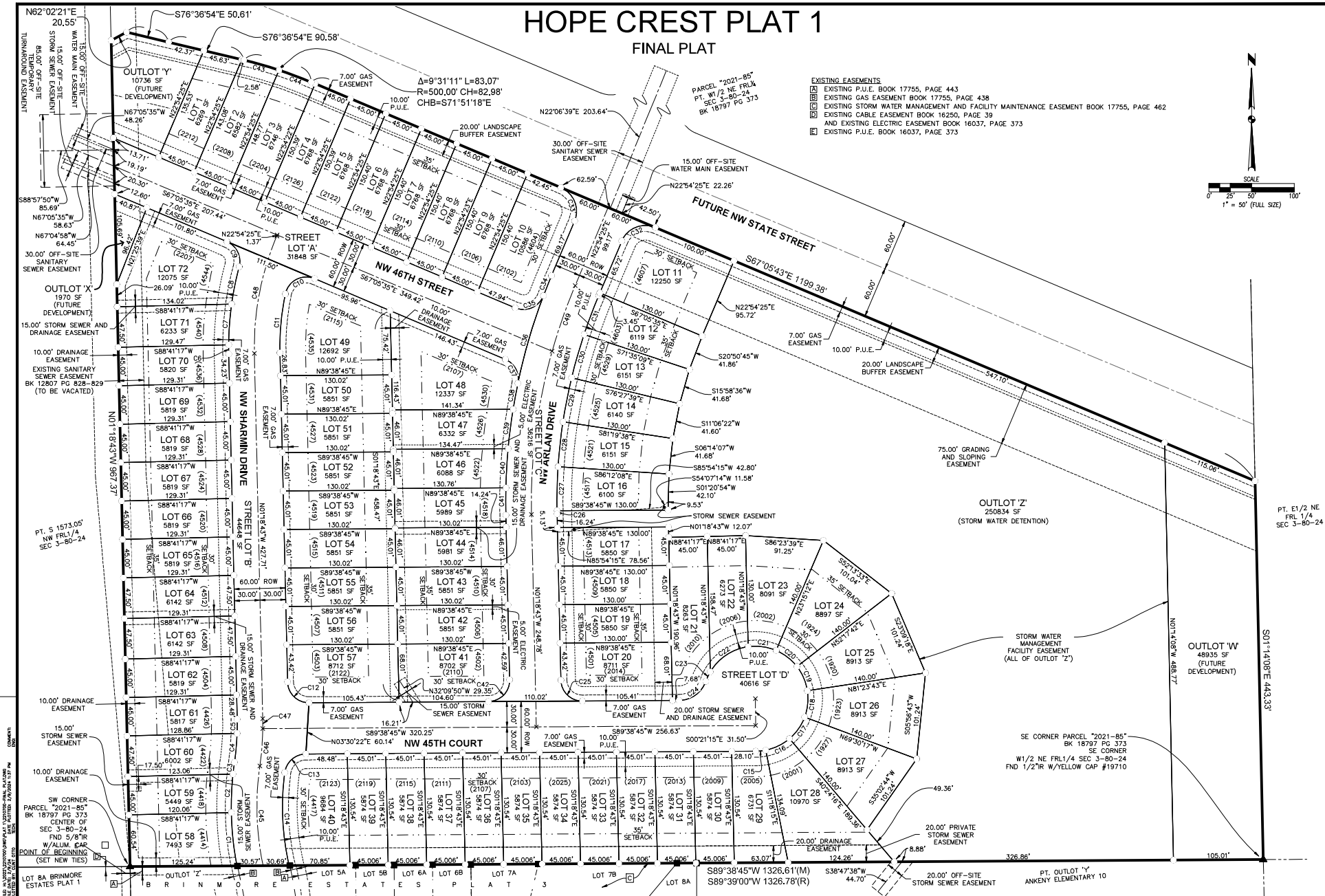
2/38

2210.700



# HOPE CREST PLAT 1

FINAL PLAT



REVISIONS	DATE
4TH SUBMITTAL	02/06/2024
3RD SUBMITTAL	01/18/2024
2ND SUBMITTAL	12/01/2023
1ST SUBMITTAL	10/27/2023

ENGINEER: JMM	TECH: CWO/JDS
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ANKENY, IOWA

**HOPE CREST PLAT 1**  
**FINAL PLAT**

3  
38  
2210.700





PLAN AND ZONING COMMISSION

February 20, 2024

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

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ACTION REQUESTED:

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LEGAL:

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SUBJECT:

1. February 19, 2024 City Council Report - Staff

2. Director's Report

Tentative agenda items for Tuesday, March 5, 2024

January 2024 Building Permit Report

3. Commissioner's Reports

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EXECUTIVE SUMMARY:

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FISCAL IMPACT: **No**

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STAFF RECOMMENDATIONS:

---

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

---

PUBLIC OUTREACH EFFORTS:

---

ACTION REQUESTED:


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ADDITIONAL INFORMATION:

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ATTACHMENTS:

Click to download
 <a href="#">January 2024 Building Permit Report</a>



**City of Ankeny**  
**Building Permit Report**  
**Month of January 2024**

	Issued		Issued		Issued Calendar Year				Issued Fiscal Year	
	January-24		January-23		1/1/2024-1/31/2024		1/1/2023-1/31/2023		7/1/2023-1/31/2024	
	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation	Num	Valuation
<b>RESIDENTIAL</b>										
New Dwellings										
New Single Family Detached	14	\$5,468,504	10	\$3,171,707	13	\$4,930,751	10	\$3,171,707	172	\$65,044,945
New Single Family Attached/Duplex	6	\$1,746,876	10	\$2,201,435	7	\$2,284,629	10	\$2,201,435	71	\$21,686,237
New Multi - Family	0	\$0	0	\$0	0	\$0	0	\$0	1	\$4,534,864
<b>Total New Residential Permits</b>	<b>20</b>	<b>\$7,215,380</b>	<b>20</b>	<b>\$5,373,142</b>	<b>20</b>	<b>\$7,215,380</b>	<b>20</b>	<b>\$5,373,142</b>	<b>244</b>	<b>\$91,266,046</b>
Additions/Alterations/Other (1)	20	\$346,973	42	\$899,397	20	\$346,973	42	\$899,397	397	\$6,146,087
<b>Total New Dwelling Units</b>	<b>20</b>		<b>20</b>		<b>20</b>		<b>20</b>		<b>243</b>	
<b>NON-RESIDENTIAL</b>										
New Commercial	0	\$0	2	\$6,520,000	0	\$0	2	\$6,520,000	13	\$18,220,152
COM Additions/Alterations/Other	3	\$148,167	5	\$1,035,000	3	\$148,167	5	\$1,035,000	45	\$27,837,281
New Church	0	\$0	0	\$0	0	\$0	0	\$0	0	\$0
CHR Additions/Alterations/Other	0	\$0	1	\$17,000	0	\$0	1	\$17,000	0	\$0
New School	0	\$0	0	\$0	0	\$0	0	\$0	2	\$6,930,500
SCH Additions/Alterations/Other	1	\$0	0	\$0	1	\$0	0	\$0	4	\$165,000
<b>Total Non Residential Permits</b>	<b>4</b>	<b>\$148,167</b>	<b>8</b>	<b>\$7,572,000</b>	<b>4</b>	<b>\$148,167</b>	<b>8</b>	<b>\$7,572,000</b>	<b>64</b>	<b>\$53,152,933</b>
MISC PERMITS (2)	28	\$97,630	31	\$93,934	28	\$97,630	31	\$93,934	492	\$800,822
<b>TOTALS</b>	<b>72</b>	<b>\$7,808,150</b>	<b>101</b>	<b>\$13,938,473</b>	<b>72</b>	<b>\$7,808,150</b>	<b>101</b>	<b>\$13,938,473</b>	<b>1197</b>	<b>\$151,365,888</b>

(1) includes permits issued for sheds, pools, garages, decks, porches, auxiliary structures

(2) includes permits issued for: driveway approach, signs, fences, other misc. non-residential

RSF includes attached & detached dwelling units; RDF includes duplexes; RMF includes apartments & stacked condo units

\* includes footing & foundation permits



The City Of Ankeny  
Building Permit Report (Monthly)  
Issued from January 2024

Type of Use	Type of Work	Issue Date	Valuation	Permit Number	Street Address	Applicant Name	Contractor Name
Single Family Detached	New Building	1/3/2024	\$397,425	24-0006-NEW	1411 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	1/3/2024	\$328,029	24-0007-NEW	1407 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	1/3/2024	\$402,707	23-6769-NEW	320 NE 62nd St	Benchmark Builders Iowa	Benchmark Builders Iowa
Single Family Detached	New Building	1/3/2024	\$386,248	23-6827-NEW	6011 NE Sherman Dr	Kimberley Development Corp	Kimberley Development Corp
Single Family Detached	New Building	1/5/2024	\$400,857	23-7238-NEW	1006 NW Benjamin Dr	Claman Custom Homes	Jeffrey R Claman
Single Family Detached	New Building	1/16/2024	\$412,734	24-0066-NEW	1401 NW Benjamin Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	1/16/2024	\$419,133	24-0077-NEW	1307 NW Benjamin Dr	Sage Homes Inc.	Sage Homes Inc
Single Family Detached	New Building	1/19/2024	\$395,022	24-0043-NEW	803 NW 32nd St	Redwood Builders LLC	Redwood Builders LLC
Single Family Detached	New Building	1/25/2024	\$352,957	24-0135-NEW	3413 NW 27th St	Greenland Homes Inc	Greenland Homes Inc
Single Family Detached	New Building	1/25/2024	\$262,774	24-0137-NEW	4404 NW 12th St	Greenland Homes Inc	Greenland Homes Inc
Single Family Detached	New Building	1/25/2024	\$398,165	24-0199-NEW	1403 NE Deerfield Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	1/26/2024	\$329,229	24-0200-NEW	5605 NE Verona Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	New Building	1/30/2024	\$445,471	24-0040-NEW	1101 SW Des Moines St	Kimberley Development Corp	Kimberley Development Corp
Single Family Detached	New Building	1/26/2024	\$537,753	23-6986-NEW	3004 NW Beechwood Ct	Happe Homes, LLP	Happe Homes, LLP
Single Family Attached	New Building	1/16/2024	\$291,146	24-0055-NEW	4401 NE Mongoose Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	1/16/2024	\$291,146	24-0072-NEW	4405 NE Mongoose Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	1/16/2024	\$291,146	24-0073-NEW	4409 NE Mongoose Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	1/16/2024	\$291,146	24-0074-NEW	4413 NE Mongoose Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	1/16/2024	\$291,146	24-0075-NEW	4417 NE Mongoose Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	New Building	1/16/2024	\$291,146	24-0076-NEW	4421 NE Mongoose Ln	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	Building Alteration	1/2/2024	\$17,703	23-7245-ALT	730 SE Richland Ct	Jennifer K Poole	Brian Lehman
Single Family Detached	Building Alteration	1/2/2024	\$2,800	24-0002-ALT	3201 SW Court Ave	Compelling Homes	Compelling Homes
Single Family Detached	Building Alteration	1/3/2024	\$18,333	23-7243-ALT	316 NE Whitetail Dr	Jeremy J Pruitt	3P Carpentry & Construction
Single Family Detached	Building Alteration	1/3/2024	\$47,250	23-7244-ALT	2314 SW White Birch Dr	David G Lienemann	David G Lienemann
Single Family Detached	Garage	1/3/2024	\$53,184	24-0016-GAR	3022 SW Glenbrooke Blvd	Carl Bumgardner Dustin	Tuff Shed
Single Family Detached	Porch	1/9/2024	\$3,360	23-7012-PRCH	305 NE 51st St	Jennifer Robertson	Jennifer Robertson
Single Family Detached	Shed	1/9/2024	\$2,400	24-0065-SHD	725 SW Springfield Dr	Tuff Shed	Tuff Shed
Single Family Detached	Building Alteration	1/17/2024	\$24,885	24-0100-ALT	2211 SW Vintage Pkwy	Ultimate Construction Services	Ultimate Construction Services
Single Family Detached	Building Alteration	1/19/2024	\$23,373	24-0059-ALT	5203 NW 13th St	Steger Construction Inc	Steger Construction Inc
Single Family Detached	Building Alteration	1/19/2024	\$15,844	24-0163-ALT	4305 NE 15th St	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Detached	Building Alteration	1/22/2024	\$26,397	24-0173-ALT	5506 NE Seneca Dr	DR Horton - Iowa LLC	DR Horton - Iowa LLC
Single Family Attached	Solar	1/23/2024	\$21,400	24-0024-SOL	4103 NE 7th St	One Source Solar	1 Source Solar
Single Family Detached	Building Alteration	1/25/2024	\$6,489	24-0069-ALT	1016 NE 41st St	John Wetzel	John H Wetzel
Single Family Detached	Building Alteration	1/25/2024	\$5,576	24-0214-ALT	1316 NW Reinhart Dr	knox Construction LLC	knox Construction LLC
Single Family Detached	Building Alteration	1/30/2024	\$3,000	24-0221-ALT	825 SE Uehlamar Dr	Toby Hughes	Toby Hughes
Single Family Detached	Building Alteration	1/30/2024	\$22,050	24-0226-ALT	1709 SW Westview Dr	Ultimate Construction Services	Ultimate Construction Services



Single Family Detached	Building Alteration	1/31/2024	\$14,490 24-0294-ALT	4106 NW 5th St	Adam Crudele	Adam Crudele
Single Family Detached	Solar	1/31/2024	\$19,800 24-0297-SOL	1811 NW Reinhart Dr	One Source Solar	1 Source Solar
Single Family Detached	Solar	1/31/2024	\$18,640 24-0302-SOL	2805 SW 28th St	One Source Solar	1 Source Solar
Single Family Detached	Spa/Hot Tub	1/30/2024	\$0 24-0281-SPA	2402 NW 44th St	Tan G Huynh	Tan G Huynh
Office	Fuel Tanks	1/19/2024	\$0 24-0112-FUEL	2115 SW State St	Drew Hartley	Primus Companies
Retail	Building Alteration	1/25/2024	\$83,767 24-0118-ALT	410 N Ankeny Blvd	Steve Gray	Hy-Vee Weitz Construction
Office	Building Alteration	1/30/2024	\$64,400 24-0202-ALT	1 SE Convenience Blvd	Casey's General Stores	Waldinger Corporation
School	Fuel Tanks	1/23/2024	\$0 24-0029-FUEL	1302 N Ankeny Blvd	Henkel Construction Company	Henkel Construction Company
Single Family Detached	Fence/Wall	1/2/2024	\$0 23-7199-FNCE	4111 NW Linwood Dr	Thrive Fencing	Thrive Fencing
Single Family Detached	Fence/Wall	1/3/2024	\$0 24-0021-FNCE	1101 NW Jackson Dr	Superior Fence and Rail	Superior Fence and Rail
Single Family Detached	Fence/Wall	1/8/2024	\$0 24-0041-FNCE	317 NE Oak Dr	Superior Fence & Rail of Central IA	Superior Fence & Rail of Central IA
Single Family Attached	Fence/Wall	1/25/2024	\$0 24-0190-FNCE	715 SE Chaparal Dr	Ferguson Joshua	Ferguson Joshua
Single Family Detached	Fence/Wall	1/30/2024	\$0 24-0277-FNCE	602 NE Meadow Landing Dr	Bret Staples	Bret Staples
Single Family Detached	Drive Approach	1/3/2024	\$0 24-0019-RSTRM	3022 SW Glenbrooke Blvd	Carl Bumgardner Dustin	Karns Concrete
Office	Sign	1/2/2024	\$6,500 23-7189-SIGNP	1465 SW Park Square Dr UT 207	Tri City Sign	Tri City Sign
Other	Sign	1/5/2024	\$10,300 23-6862-SIGNP	7368 NE Berwick Dr	Iowa Sign Company	Iowa Sign Company
Retail	Sign	1/11/2024	\$2,558 23-6670-SIGNP	1690 SE Delaware Ave Ste 109	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Office	Sign	1/11/2024	\$6,469 23-6867-SIGNP	607 N Ankeny Blvd	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Restaurant	Sign	1/11/2024	\$5,400 24-0013-SIGNP	1325 SW Oralabor Rd Ste 200	Coinco Design + Production LLC	Nathan Connolly
Restaurant	Sign	1/11/2024	\$300 24-0032-SIGNP	1325 SW Oralabor Rd Ste 200	Coinco Design + Production LLC	Coinco Design + Production, LLC
Restaurant	Sign	1/16/2024	\$8,000 24-0008-SIGNP	2732 SE Delaware Ave Ste 310	CR Signs & Lighting Inc	CR Signs Inc
Multi-Family	Sign	1/16/2024	\$9,750 24-0124-SIGNP	1108 SW 11th Ln	Lisa Hanrahan	Iowa Sign Company
Multi-Family	Sign	1/16/2024	\$668 24-0125-SIGNP	1108 SW 11th Ln	Lisa Hanrahan	Iowa Sign Company
Mixed Use	Sign	1/22/2024	\$5,960 24-0088-SIGNP	1608 NW State St Unit 101	BDI Signs	BDI Signs
Office	Sign	1/24/2024	\$7,800 23-6972-SIGNP	2115 SW State St	Lashier Graphics & Signs	Lashier Graphics & Signs
Office	Sign	1/24/2024	\$7,800 23-6973-SIGNP	2115 SW State St	Lashier Graphics & Signs	Lashier Graphics & Signs
Office	Sign	1/24/2024	\$3,900 23-6974-SIGNP	2115 SW State St	Lashier Graphics & Signs	Lashier Graphics & Signs
Office	Sign	1/24/2024	\$3,900 23-6975-SIGNP	2115 SW State St	Lashier Graphics & Signs	Lashier Graphics & Signs
Office	Sign	1/24/2024	\$7,700 23-6976-SIGNP	2115 SW State St	Lashier Graphics & Signs	Lashier Graphics & Signs
Multi-Family	Sign	1/24/2024	\$7,000 24-0080-SIGNP	1010 SW Magazine Rd	Lashier Graphics & Signs	Lashier Graphics & Signs
Office	Sign	1/26/2024	\$2,125 24-0188-SIGNP	121 SE Shurfine Dr Ste 1	Nagle/Eagle Sign Co	Nagle/Eagle Sign Co
Hospital	Sign	1/30/2024	\$1,500 23-6875-SIGNP	4325 SE Delaware Ave	Superior Lighting Inc	Superior Lighting Inc



Restaurant	Temporary Sign	1/4/2024	\$0 24-0012-SIGNT	1325 SW Oralabor Rd Ste 200	Coinco Design + Production LLC	Coinco Design + Production LLC
Other	Temporary Sign	1/4/2024	\$0 24-0028-SIGNT	1300 NW 36th St STE 103	Kirk D Jordison	Kirk D Jordison
Retail	Temporary Sign	1/11/2024	\$0 23-6770-SIGNT	1690 SE Delaware Ave Ste 109	Signarama Ankeny and YESCO DM	Signarama Ankeny and YESCO DM
Single Family Detached	Demolition	1/2/2024	\$0 24-0010-DEMO	117 SW State St	Black Oak Hauling	Black Oak Hauling