



## Meeting Agenda

### Plan and Zoning Commission

Tuesday, March 19, 2024

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Ted Rapp, Chair

Randy Weisheit, Vice Chair

Trina Flack  
Glenn Hunter

Lisa West

Annette Renaud  
Todd Ripper

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*Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.*

#### **CALL TO ORDER:**

#### **A. ROLL CALL:**

#### **B. AMENDMENTS TO AGENDA:**

Consider MOTION to approve and accept the March 19, 2024 agenda with/without amendments.

#### **C. COMMUNICATIONS:**

#### **D. CITIZEN'S REQUEST:**

#### **E. CONSENT AGENDA ITEMS:**

##### **1. Minutes**

Consider MOTION to approve and accept the March 5, 2024 minutes of the Plan and Zoning Commission meeting.

**2. Trestle Ridge Estates Plat 7 Final Plat**

Consider MOTION to recommend City Council approval of Trestle Ridge Estates Plat 7 Final Plat; and recommend City Council authorization of 100% reimbursement in the amount of \$47,430 for 24-inch trunk sewer and City cost-participation in the amount of \$9,555 for 8' sidewalk along NW Reinhart Drive.

**3. 1101 S Ankeny Boulevard - Hyper Energy Bar Site Plan**

Consider MOTION to approve the site plan for 1101 S Ankeny Boulevard, Hyper Energy Bar Site Plan; subject to City Council approval of the stormwater management facility maintenance covenant and permanent easement agreement.

**Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #3.**

**F. REMOVED CONSENT AGENDA ITEMS:**

**G. PUBLIC HEARINGS:**

*Public Hearings are held during Plan and Zoning's regular meetings. The Chairperson opens the hearing with a statement of the subject being considered and asks if there is anyone present who wishes to speak for or against the proposed item. The Chairperson may require a time limit on the number of minutes each member of the public may speak, normally five minutes. Members of the public who wish to speak will be requested to step forward to the podium and must state their name and address. At the conclusion of all public testimony and questions and comments from the Commission on a subject, the public hearing will be closed and the item will be placed on the next agenda for the next regular meeting. At that meeting City Staff will present their report and the Commission will deliberate and act on the subject.*

**4. Request to amend a portion of the I-80 Commerce Center PUD, Planned Unit Development, for property owned by Commerce Center, LLC**

Consider MOTION to close the public hearing, and receive and file documents.

**5. Berwick Holdings, LLC request to rezone property from R-1, One-Family Residence District to PUD, Planned Unit Development**

Consider MOTION to close public hearing, and receive and file documents.

**H. BUSINESS ITEMS:**

**6. Vintage Business Park Neighborhood Plan 6th Amendment**

Consider MOTION to recommend City Council approval of the 6th Amended Vintage Business Park at Prairie Trail Neighborhood Plan and rescind the previous plan approved March 7, 2022.

**I. OLD BUSINESS:**

**J. REPORTS:**

1. March 18, 2024 City Council Report - Staff
2. Director's Report  
Tentative agenda items for Tuesday, April 2, 2024
3. Commissioner's Reports

**K. MISCELLANEOUS ITEMS:**

**April 1, 2024 - 5:30 p.m. City Council Representative: Staff**

L. **ADJOURNMENT:**

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

March 19, 2024

6 : 30 PM

Print

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

**Action:** <p>Consider MOTION to approve and accept the March 5, 2024 minutes of the Plan and Zoning Commission meeting.</p> <p>&nbsp;</p> <p>&nbsp;</p>

ADDITIONAL INFORMATION:

ATTACHMENTS:

[Click to download](#)





**Meeting Minutes**  
**Plan & Zoning Commission Meeting**

Tuesday, March 5, 2024

Ankeny City Council Chambers, Second Floor  
1250 SW District Drive, Ankeny, Iowa

**CALL TO ORDER**

Chair Ted Rapp called the March 5, 2024 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

**ROLL CALL**

Members present: Ted Rapp, Glenn Hunter, Trina Flack, Annette Renaud, Todd Ripper, Lisa West, and Randy Weisheit. Staff present: Eric Jensen, Eric Carstens, Jake Heil, Ryan Kirschman and Brenda Fuglsang.

**AMENDMENTS TO THE AGENDA**

Motion by T.Flack to approve and accept the March 5, 2024 agenda without amendments. Second by T.Ripper. All voted aye. Motion carried 7 – 0.

**COMMUNICATIONS**

There were no communications.

**CITIZEN'S REQUEST**

There were no requests.

**CONSENT AGENDA ITEMS**

**Item #1. Minutes**

Motion to approve and accept the February 20, 2024 minutes of the Plan and Zoning Commission meeting.

**Item #2. Village at the Grove Plat 1 Final Plat and Village at the Grove Plat 1 Site Plan**

Motion to recommend City Council approval of Village at the Grove Plat 1 Final Plat; and recommend City Council authorization of cost-participation for sidewalk oversizing along NW Weigel Drive in the amount estimated to be \$3,696.00.

Motion to approve Village at the Grove Plat 1 Site Plan subject to recordation of the final plat, and acceptance of the private street name NW Olivia Lane.

**Item #3. 825 SW Irvinedale Drive - John Deere Des Moines Works B12X Lab Building Site Plan**

Motion to approve the site plan for 825 SW Irvinedale Drive, John Deere Des Moines Works B12X Lab Building.

Motion by R.Weisheit to approve the recommendations for Consent Agenda Item #1 - #3. Second by L.West. All voted aye. Motion carried 7 – 0.

**PUBLIC HEARINGS**

There were no public hearings.

**BUSINESS ITEMS**

There were no business items.

## REPORTS

### City Council Meeting

E.Jensen reported on the March 4, 2024 City Council meeting.

### Director's Report

E.Jensen presented the tentative agenda items for the Tuesday, March 19, 2024 Plan and Zoning Commission meeting and stated that there will be two public hearings at the March 19<sup>th</sup> meeting.

E.Jensen presented the February 2024 Building Permit Report.

### Commissioner's Reports

There were no Commissioner reports.

## MISCELLANEOUS ITEMS

March 18, 2024 – 5:30 p.m. City Council Meeting Representative: Staff

## ADJOURNMENT

There being no further business, T.Rapp motioned to adjourn. Meeting adjourned at 6:34 p.m.



Submitted by Brenda Fuglsang, Secretary  
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

March 19, 2024

6 : 30 PM

Print

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Trestle Ridge Estates Plat 7 Final Plat

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **Yes**

100% reimbursement in the amount of \$47,430 for 24-inch trunk sewer and City cost participation in the amount of \$9,555 for 8' sidewalk along NW Reinhart Drive.

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

**Action:** Consider MOTION to recommend City Council approval of Trestle Ridge Estates Plat 7 Final Plat; and recommend City Council authorization of 100% reimbursement in the amount of \$47,430 for 24-inch trunk sewer and City cost-participation in the amount of \$9,555 for 8' sidewalk along NW Reinhart Drive.

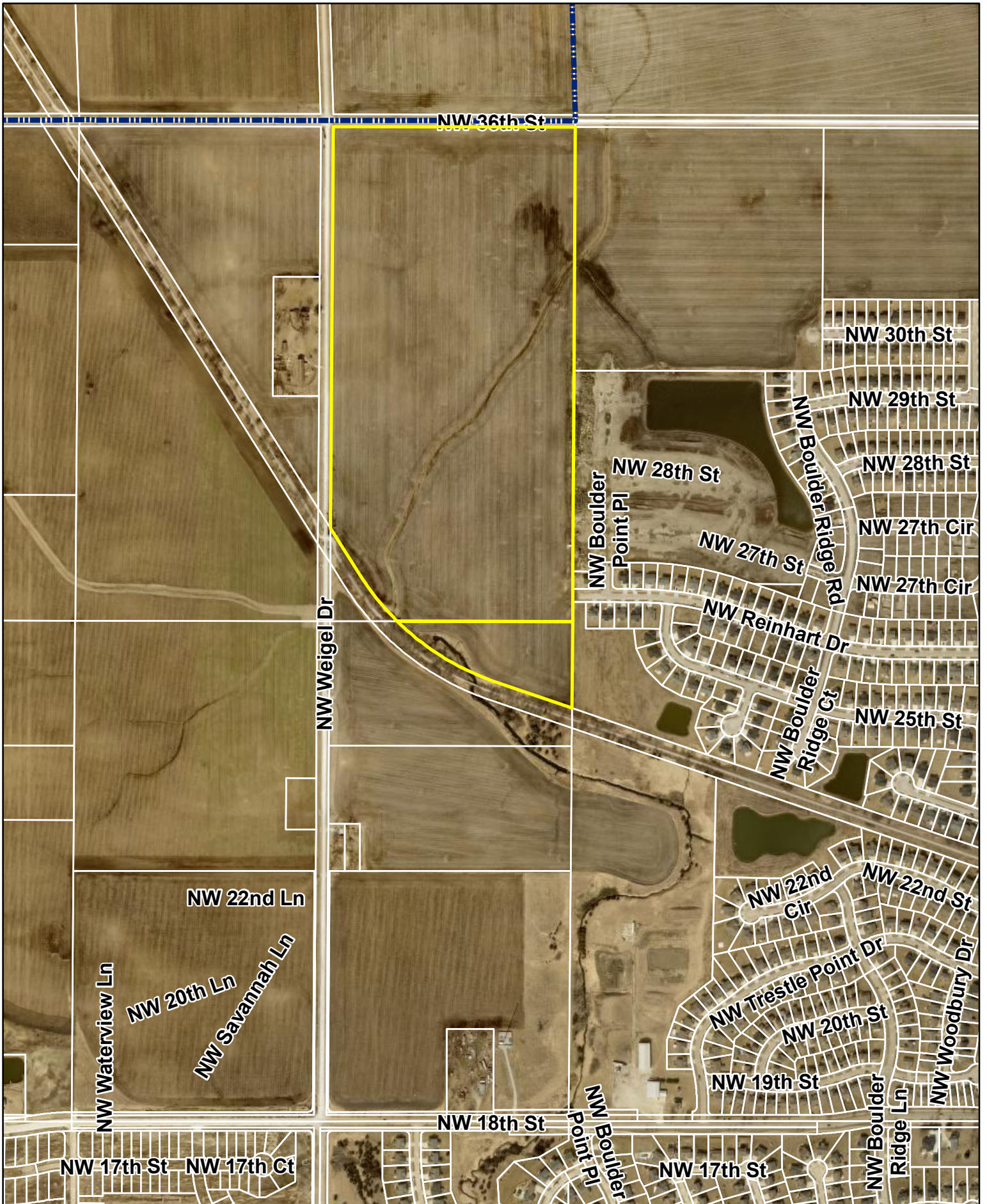


ADDITIONAL INFORMATION:

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ATTACHMENTS:

<b>Click to download</b>
<input type="checkbox"/> <a href="#">Aerial Map</a>
<input type="checkbox"/> <a href="#">Staff Report</a>
<input type="checkbox"/> <a href="#">Applicant Letter</a>
<input type="checkbox"/> <a href="#">Final Plat</a>



N



1 inch = 650 feet

Date: 3/13/2024

**Trestle Ridge Estates Plat 7**



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**Agenda Item:** Trestle Ridge Estates Plat 7 Final Plat

**Report Date:** March 14, 2024

**Prepared By:** Laura Hutzell  
Associate Planner

ESC

**Staff Recommendation:**

That the Plan and Zoning Commission recommend City Council approval of Trestle Ridge Estates Plat 7 Final Plat; and recommend City Council authorization of 100% reimbursement in the amount of \$47,430 for 24-inch trunk sewer and City cost participation in the amount of \$9,555 for 8' sidewalk along NW Reinhart Drive.

**Project Summary:**

Trestle Ridge Estates is a proposed 29.4 (+/-) plat located in the northwest quadrant of Ankeny at the southeast intersection of NW Weigel Drive and NW 36<sup>th</sup> Street. The final plat includes the development of 46 single family lots, a 10.6-acre outlot for detention and a 3.3-acre outlot for parkland dedication. The property is currently zoned R-3 Multiple Family Residential District restricted to single family.

**Project Report:**

**Streets:** Trestle Ridge Plat 7 will be primarily accessed via an easterly extension of NW Reinhart Drive and NW 28<sup>th</sup> Street. NW Reinhart Drive will connect north to NW Fairfield Drive, which turns into NW Fairfield CT. Five-foot sidewalks will be required throughout Plat 7, with the exception of an 8-foot sidewalk being required on the south side of NW Reinhart Drive for which there will be sidewalk cost share.

**Water:** A 10-inch water main will be installed along NW Reinhart Drive, and an eight-inch water main will be extended throughout the remainder of the proposed development.

**Sewer:** 24-inch sanitary sewer exists along the east plat boundary, this will be extended further north to serve the northern portion of the development near lot 22. Eight-inch sanitary sewer will then be extended throughout the development.

**Drainage:** The plat area is part of the Rock Creek watershed and stormwater generally flows from the northeast to the southwest. A drainage study associated with the final plat is being reviewed by Development Engineering. There are four existing tiles present on the property, these will be routed to the detention facility or piped through the development.

The required detention for this plat will occur in Outlot Y, which will be owned and maintained by the Homeowner's Association. Two reinforced concrete box culverts, and a weir are required to handle the drainage through the extension of NW Reinhart Drive.

An additional flood study with floodplain modeling and mapping is also being prepared. The area west and south of Outlot Z contains areas of Zone A, Special Flood Hazard Area without Base Flood Elevation (BFE) and Zone X, Area of Minimal Flood Hazard. The construction plans show grading and installation of riprap in the special flood hazard area, so an Ankeny Floodplain Development Permit is required.

Parkland: The City's Parks Department has agreed to accept Outlot Z totaling 3.33 acres as parkland dedication. This ground, along with a 6.3-acre (+/-) dedication from Trestle Ridge Estates Plat 2, will combine to create an approximate 9.6-acre park adjacent to the High Trestle Trail.

**CITY OF ANKENY  
SUBDIVISION DATA**

**NAME OF PLAT: Trestle Ridge Estates Plat 7**

**NAME OF OWNER/ DEVELOPER: Absolute Farms, LLC**

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**GENERAL INFORMATION:**

PLAT LOCATION: Southeast intersection of NW 36<sup>th</sup> Street and NW Weigel Drive.  
SIZE OF PLAT: 29.4-acres  
ZONING: R-3 Restricted to Single Family Residential

**LOTS:**

NUMBER: 46 single-family lots  
SIZE/DENSITY: 1.56 units per acre  
USE: Residential  
BUILDING LINES: 30' front yard setback; 35' rear yard setback; 17' (>1 story-8' minimum);  
15' (1 story-7' minimum)

**PARK SITE DEDICATION:**

The City's Parks Department agreed to accept Outlot Z totaling 3.33 acres as parkland dedication. This ground, along with a 6.3-acre (+/-) dedication from Trestle Ridge Estates Plat 2, combines to create an approximate 9.6-acre park adjacent to the High Trestle Trail.

**ADJACENT LANDS:**

NORTH: R-3 Restricted to 10 units per acre  
SOUTH: R-3 Restricted to 10 units per acre  
EAST: R-3 Restricted to Single Family  
WEST: Undeveloped R-1

**STREET DEVELOPMENT:**

NAME: NE Reinhart Drive  
LENGTH: 680.89  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 70'/70'  
PAVEMENT WIDTH: 31'

NAME: NW Fairfield Drive  
LENGTH: 657.07'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW Fairfield Ct  
LENGTH: 388.21  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

NAME: NW 28<sup>th</sup> Street  
LENGTH: 194.01'  
CLASSIFICATION: Normal Residential  
R.O.W. (REQ'D./PROV.): 60'/60'  
PAVEMENT WIDTH: 27'

**WASTE WATER:**

PROJECTED FLOWS: 29.4 acres X 990 gal. per day/pers.= 29,106 GPD

WRA CAPACITY: 11.2 MGD; current daily avg. 4.4 MGD

NEAREST DOWNSTREAM INTERCEPTOR/TRUNK LINE: 24" Trunk Sewer extended along the east plat boundary.

**STORM WATER:**

BASIN FLOWS: This plat lies in the Rock Creek Drainage Basin

**WATER SYSTEM:**

USAGE: 46 units X 3 persons X 990 gal. per day/person = 136,620 GPD

SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD.

**FINAL PLAT DRAWING:**

Staff recommends approval.

**CONSTRUCTION PLANS:**

To be approved.

March 7, 2024

Honorable Mayor, City Council & Planning & Zoning Commission  
c/o Laura Hutzell  
City of Ankeny  
Planning & Building Department  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50021

RE: Trestle Ridge Estates Plat 7  
Construction Drawings & Preliminary Approval of Final Plat

Honorable Mayor, City Council and Planning and Zoning Commission;

On behalf of Absolute Farms LLC, we submit herewith the following final plat and construction drawings for review and approval. The project area contains 29.4 acres and is located southeast of the intersection of NW 36<sup>th</sup> Street and NW Weigel Drive. The final plat includes the development of 46 single family lots, a 10.6 acre outlot for detention and a 3.3 acre outlot for parkland dedication. The property is currently zoned R-3 Multiple Family Residential District restricted to single family. We are requesting that preliminary approval of the final plat be granted by City Council. We will bring the final plat with bonds back before the City Council for approval once construction is complete.

We would like to request cost sharing for the upsizing of the 8 foot trail along NW Reinhart Drive in the amount of \$9,555 and reimbursement in the amount of \$47,430 for the cost of the 24-inch sanitary sewer trunk main.

Please accept this submittal for the next available Planning & Zoning and City Council meetings. Let me know if you have any questions or require any further information to complete your review. Thanks.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC



Erin K. Ollendike, P.E.

**INDEX LEGEND**  
 LOCATION: PT. E1/2 NW1/4  
 PT. N1/2 NE1/4 SW1/4  
 SEC 9-80-24  
 ANKENY, POLK COUNTY, IOWA  
 REQUESTOR: ABSOLUTE FARMS, LLC  
 PROPRIETOR: ABSOLUTE FARMS, LLC  
 PO BOX 430  
 GRANGER, IOWA 50109  
 SURVEYOR: MICHAEL A. BROONER  
 COMPANY: CIVIL DESIGN ADVANTAGE  
 PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE  
 4121 NW URBANDALE DRIVE  
 URBANDALE, IOWA 50322  
 PH: 515-369-4400

# TRESTLE RIDGE ESTATES PLAT 7

## FINAL PLAT

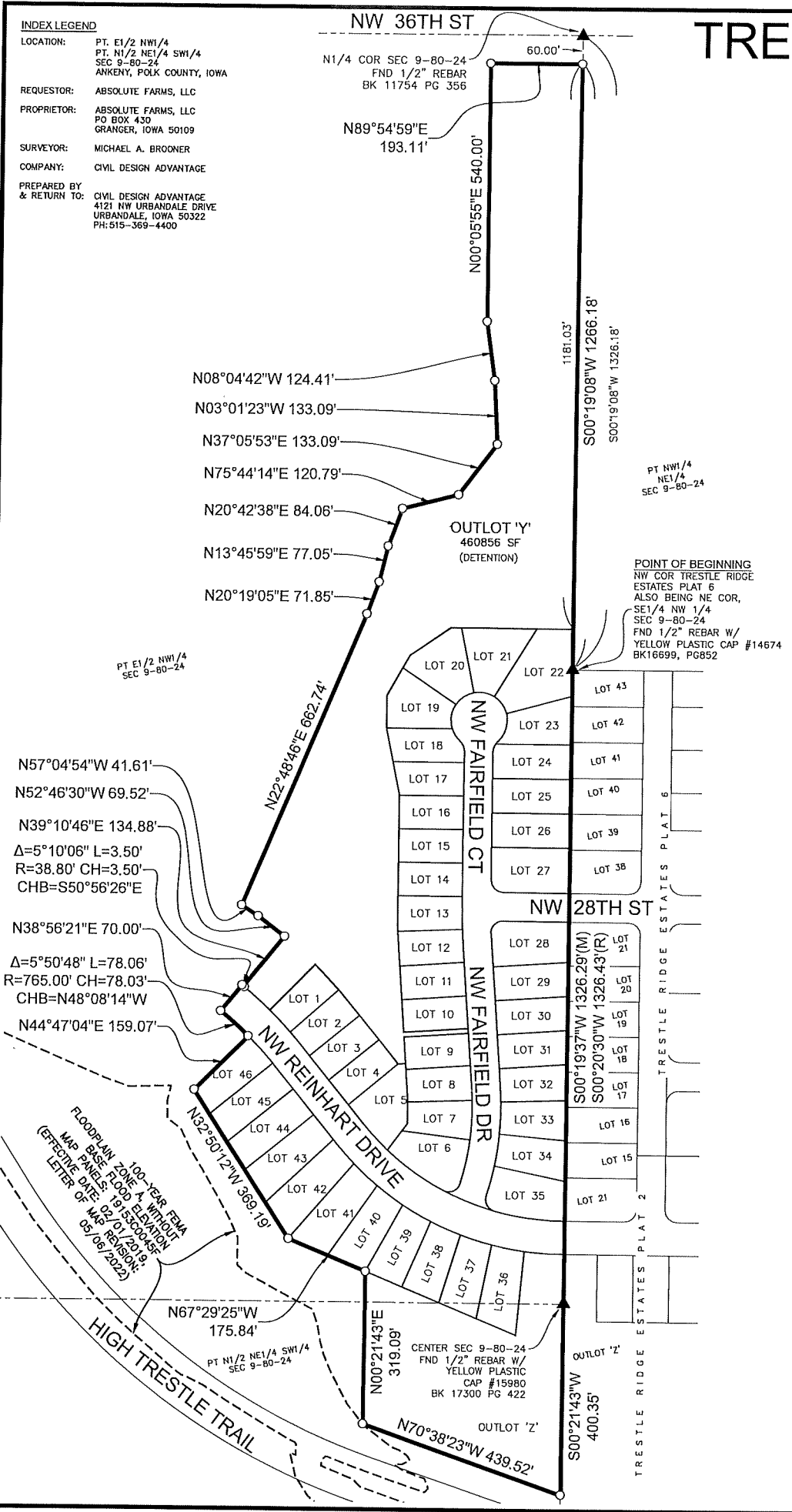
AREA ABOVE RESERVED FOR RECORDING STAMP

REVISIONS	DATE
FIFTH SUBMITTAL	03/05/2024
FOURTH SUBMITTAL	02/02/2024
THIRD SUBMITTAL	12/08/2023
SECOND SUBMITTAL	10/20/2023
FIRST SUBMITTAL	09/15/2023

4121 NW URBANDALE DRIVE  
 URBANDALE, IOWA 50322  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 ENGINEER: JMM TECH: MST  
 ENGINEER: EKO



TRESTLE RIDGE ESTATES PLAT 7  
 FINAL PLAT



### OWNER / DEVELOPER

ABSOLUTE FARMS, LLC  
 PO BOX 430  
 GRANGER, IOWA 50109  
 PH. (515) 489-0878  
 CONTACT: SONNY HALL

### ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE  
 4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322

### ZONING

R-3 MULTIPLE-FAMILY RESIDENCE DISTRICT, RESTRICTED TO SINGLE FAMILY RESIDENTIAL ONLY

### BULK REGULATIONS

MINIMUM LOT AREA:	8000 SF
MINIMUM LOT WIDTH:	65'
FRONT YARD SETBACK:	30'
REAR YARD SETBACK:	35'
TOTAL SIDE YARD:	17' (GREATER THAN 1 STORY)
TOTAL SIDE YARD:	15' (1 STORY)
MIN SIDE YARD (ONE SIDE):	8' (GREATER THAN 1 STORY)
MIN SIDE YARD (ONE SIDE):	7' (1 STORY)

### DATE OF SURVEY

SEPTEMBER 15, 2023

### NOTES

- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
- SIDEWALK ON THE SOUTH SIDE OF NW REINHART DRIVE SHALL BE 8 FEET WIDE. ALL OTHER SIDEWALKS SHALL BE 5 FEET WIDE.
- OUTLOT 'Z' SHALL BE DEDICATED TO THE CITY OF ANKENY FOR PARKLAND.
- OUTLOT 'Y' WILL BE OWNED AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION AND UTILIZED FOR DETENTION.
- STREET LOTS 'A' AND 'B' SHALL BE DEDICATED TO THE CITY OF ANKENY FOR PUBLIC RIGHT OF WAY.
- THE DRIVEWAY FOR LOT 5 SHALL BE CONSTRUCTED TO AVOID THE INTAKE.
- THE DRIVEWAY FOR LOT 25 SHALL BE CONSTRUCTED TO AVOID THE INTAKE.
- LOTS 6 AND 35 SHALL NOT HAVE DRIVEWAY ACCESS ONTO NW REINHART DRIVE.
- THE DRIVEWAY FOR LOT 37 SHALL BE CONSTRUCTED TO AVOID THE ADA RAMP.

### CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	21°00'12"	575.00'	210.78'	N79°09'24"W	209.60'
C2	29°30'32"	575.00'	296.14'	N53°54'02"W	292.88'
C3	11°54'52"	800.00'	166.36'	N45°06'12"W	166.06'
C4	12°17'11"	540.00'	115.80'	S68°32'18"E	115.57'
C5	25°17'07"	550.00'	242.72'	S08°42'09"W	240.76'
C6	4°16'03"	1000.00'	74.48'	S01°48'24"E	74.46'
C7	5°47'02"	765.00'	77.22'	S42°19'18"E	77.19'
C8	0°17'01"	765.00'	3.79'	S39°17'17"E	3.79'
C9	4°58'39"	610.00'	52.99'	S41°38'06"E	52.98'
C10	6°17'23"	610.00'	66.96'	S47°16'07"E	66.93'
C11	6°20'22"	610.00'	67.49'	S53°34'59"E	67.46'
C12	6°23'05"	610.00'	67.98'	S59°56'43"E	67.94'
C13	6°25'30"	610.00'	68.40'	S66°21'00"E	68.37'
C14	6°27'36"	610.00'	68.78'	S72°47'33"E	68.74'
C15	6°29'21"	610.00'	69.09'	S79°16'02"E	69.05'
C16	7°08'47"	610.00'	76.08'	S86°05'06"E	76.04'
C17	14°58'37"	540.00'	141.15'	N82°10'11"W	140.75'
C18	92°50'45"	25.00'	40.51'	N28°15'30"W	36.22'
C19	6°24'20"	580.00'	64.84'	N14°57'43"E	64.81'
C20	6°40'21"	580.00'	67.55'	N08°25'22"E	67.51'
C21	6°40'21"	580.00'	67.55'	N01°45'01"E	67.51'
C22	2°21'15"	580.00'	23.83'	N02°45'47"W	23.83'
C23	1°03'34"	970.00'	17.94'	N03°24'38"W	17.94'
C24	93°13'21"	25.00'	40.68'	N43°43'50"E	36.34'
C25	89°59'07"	25.00'	39.26'	N44°39'56"W	35.35'
C26	34°27'36"	33.50'	20.15'	N17°33'26"E	19.85'
C27	12°11'15"	33.50'	7.13'	N40°52'51"E	7.11'
C28	62°04'20"	59.00'	63.92'	N15°56'18"E	60.84'
C29	43°10'55"	59.00'	44.47'	N36°41'19"W	43.42'
C30	43°10'55"	59.00'	44.47'	N79°52'14"W	43.42'
C31	44°38'22"	59.00'	45.97'	S56°13'07"W	44.81'
C32	51°42'03"	59.00'	53.24'	S08°02'55"W	51.45'
C33	28°31'06"	59.00'	29.37'	S32°03'40"E	29.06'
C34	46°38'51"	33.50'	27.27'	S22°59'48"E	26.53'
C35	2°35'44"	1030.00'	46.66'	S00°58'14"E	46.66'
C36	1°40'19"	1030.00'	30.06'	S03°06'16"E	30.05'
C37	1°53'11"	520.00'	17.12'	S02°59'49"E	17.12'
C38	9°07'30"	520.00'	82.81'	S02°30'31"W	82.73'
C39	10°21'35"	520.00'	94.02'	S12°15'03"W	93.89'
C40	100°10'27"	25.00'	43.71'	S67°31'04"W	38.35'
C41	15°22'20"	540.00'	144.88'	N54°42'32"W	144.45'
C42	7°52'36"	540.00'	74.24'	N43°05'04"W	74.18'
C43	2°11'59"	835.00'	32.06'	N40°14'46"W	32.06'
C44	4°18'23"	835.00'	62.76'	N43°29'57"W	62.75'
C45	5°10'06"	835.00'	75.32'	S48°14'12"E	75.29'

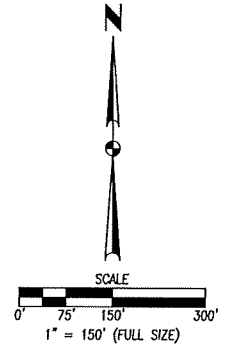
### PLAT DESCRIPTION

A PART OF THE EAST HALF OF THE NORTHWEST QUARTER AND A PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, ALL IN SECTION 9, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

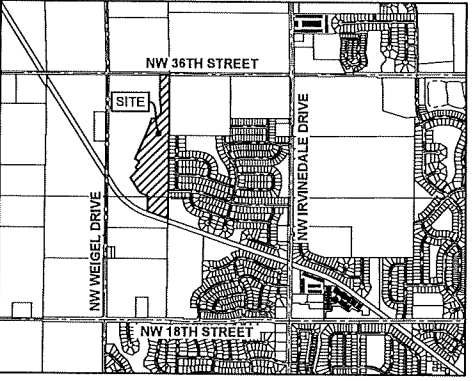
BEGINNING AT THE NORTHWEST CORNER OF TRESTLE RIDGE ESTATES PLAT 6, AN OFFICIAL PLAT; THENCE SOUTH 00°19'37" WEST ALONG THE EAST LINE OF SAID EAST HALF OF THE NORTHWEST QUARTER, 1326.29 FEET TO THE CENTER OF SAID SECTION 9; THENCE SOUTH 00°21'43" WEST ALONG THE EAST LINE OF SAID NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 400.35 FEET; THENCE NORTH 70°38'23" WEST, 439.52 FEET; THENCE NORTH 00°21'43" EAST, 319.09 FEET; THENCE NORTH 67°29'25" WEST, 175.84 FEET; THENCE NORTH 32°50'12" WEST, 369.19 FEET; THENCE NORTH 44°47'04" EAST, 159.07 FEET; THENCE NORTHWESTERLY ALONG A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 765.00 FEET, WHOSE ARC LENGTH IS 78.06 FEET AND WHOSE CHORD BEARS NORTH 48°08'14" WEST, 78.03 FEET; THENCE NORTH 38°56'21" EAST, 70.00 FEET; THENCE SOUTHEASTERLY ALONG A CURVE CONCAVE NORTHEASTERLY WHOSE RADIUS IS 38.80 FEET, WHOSE ARC LENGTH IS 3.50 FEET AND WHOSE CHORD BEARS SOUTH 50°56'26" EAST, 3.50 FEET; THENCE NORTH 39°10'46" EAST, 134.88 FEET; THENCE NORTH 52°46'30" WEST, 69.52 FEET; THENCE NORTH 57°04'54" WEST, 41.61 FEET; THENCE NORTH 22°48'46" EAST, 662.74 FEET; THENCE NORTH 20°19'05" EAST, 71.85 FEET; THENCE NORTH 13°45'59" EAST, 77.05 FEET; THENCE NORTH 20°42'38" EAST, 84.06 FEET; THENCE NORTH 75°44'14" EAST, 120.79 FEET; THENCE NORTH 37°05'53" EAST, 133.09 FEET; THENCE NORTH 03°01'23" WEST, 133.09 FEET; THENCE NORTH 08°04'42" WEST, 124.41 FEET; THENCE NORTH 00°05'55" EAST, 540.00 FEET; THENCE NORTH 89°54'59" EAST, 193.11 FEET TO THE EAST LINE OF SAID EAST HALF OF THE NORTHWEST QUARTER; THENCE SOUTH 00°19'08" WEST ALONG SAID EAST LINE, 1266.18 FEET TO THE POINT OF BEGINNING AND CONTAINING 29.38 ACRES (1,279,803 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

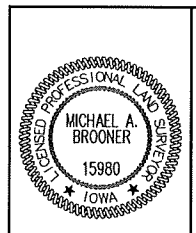
LEGEND	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW PLASTIC CAP #18660 (UNLESS OTHERWISE NOTED)	■	□
1/2" REBAR, YELLOW PLASTIC CAP #15980 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE	---	
SECTION LINE	----	
EASEMENT LINE	----	
BUILDING SETBACK LINE	----	
PLAT BOUNDARY	----	



### VICINITY MAP NOT TO SCALE



ANKENY, IOWA



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

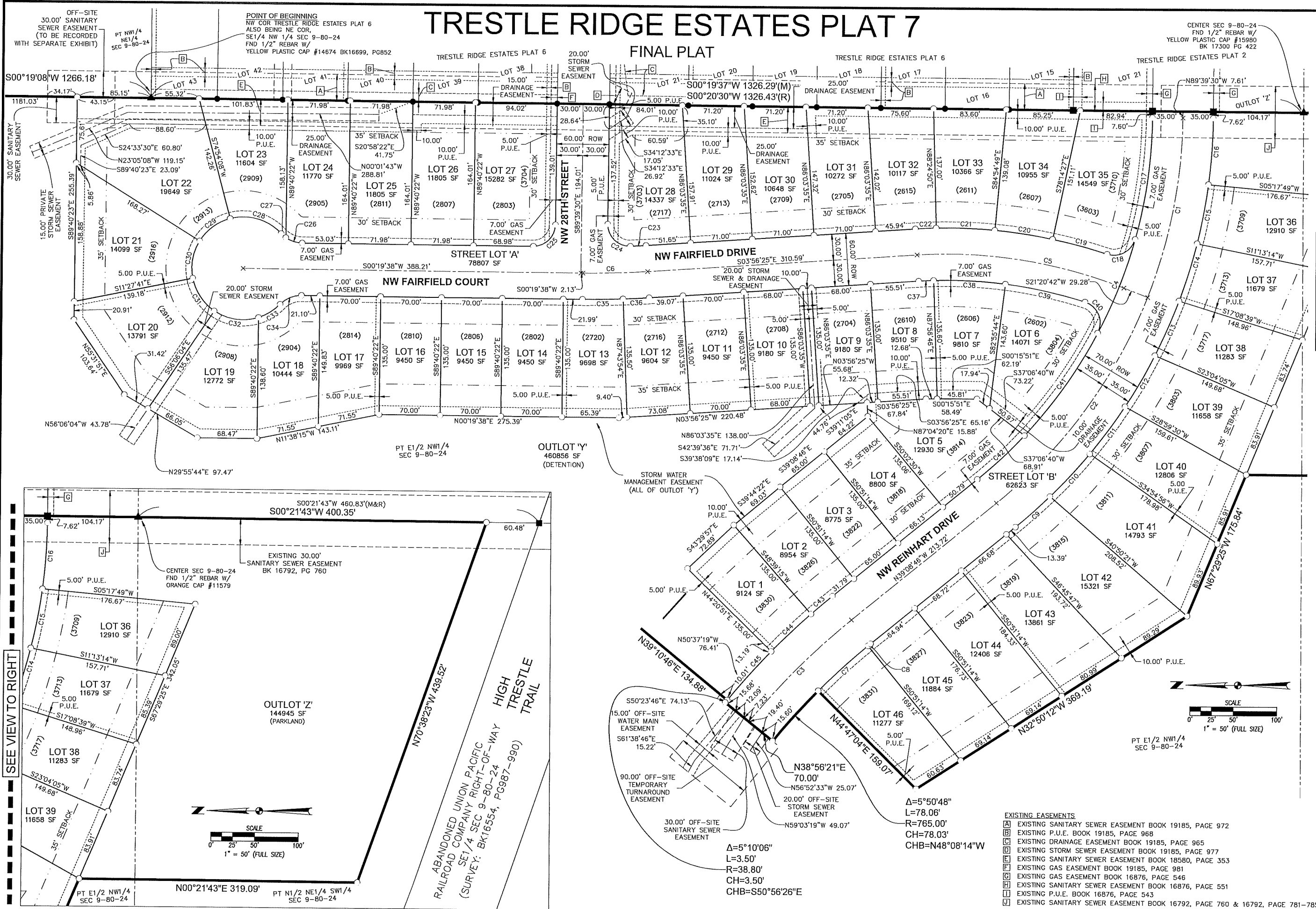
MICHAEL A. BROONER, P.L.S. DATE  
 LICENSE NUMBER 15980  
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024  
 PAGES OR SHEETS COVERED BY THIS SEAL:  
 SHEETS 1 AND 2

FILE: H:\2023\2309591\2309591\_FINAL\_PLAT.dwg  
 COMMENT: PNC  
 DATE PLOTTED: 3/6/2024 2:14 PM  
 PLOTTED BY: BEN KLEINING



# TRESTLE RIDGE ESTATES PLAT 7

FINAL PLAT



SEE VIEW TO LEFT

SEE VIEW TO RIGHT

REVISIONS	DATE
FIRST SUBMITTAL	08/15/2023
SECOND SUBMITTAL	10/20/2023
THIRD SUBMITTAL	12/08/2023
FOURTH SUBMITTAL	02/02/2024
FIFTH SUBMITTAL	03/05/2024

4121 NW URBANDALE DRIVE  
URBANDALE, IOWA 50322  
PHONE: (515) 369-4400 FAX: (515) 369-4410  
ENGINEER: JWM TECH: MST

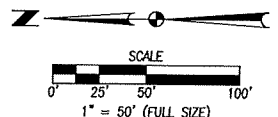
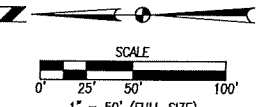


TRESTLE RIDGE ESTATES PLAT 7  
FINAL PLAT

- EXISTING EASEMENTS
- [A] EXISTING SANITARY SEWER EASEMENT BOOK 19185, PAGE 972
  - [B] EXISTING P.U.E. BOOK 19185, PAGE 968
  - [C] EXISTING DRAINAGE EASEMENT BOOK 19185, PAGE 965
  - [D] EXISTING STORM SEWER EASEMENT BOOK 19185, PAGE 977
  - [E] EXISTING SANITARY SEWER EASEMENT BOOK 18580, PAGE 353
  - [F] EXISTING GAS EASEMENT BOOK 19185, PAGE 981
  - [G] EXISTING GAS EASEMENT BOOK 16876, PAGE 546
  - [H] EXISTING SANITARY SEWER EASEMENT BOOK 16876, PAGE 551
  - [I] EXISTING P.U.E. BOOK 16876, PAGE 543
  - [J] EXISTING SANITARY SEWER EASEMENT BOOK 16792, PAGE 760 & 16792, PAGE 781-785

$\Delta=5^{\circ}10'06''$   
 $L=3.50'$   
 $R=38.80'$   
 $CH=3.50'$   
 $CHB=S50^{\circ}56'26''E$

$\Delta=5^{\circ}50'48''$   
 $L=78.06'$   
 $R=765.00'$   
 $CH=78.03'$   
 $CHB=N48^{\circ}08'14''W$



FILE: N:\2023\2309.591\2309.591.DWG  
 PLOTTED BY: ERN GLENBERG  
 DATE: 2/27/24  
 TIME: 2:14 PM  
 CONTOUR: 2.0  
 DATE PLOTTED: 2/27/24



PLAN AND ZONING COMMISSION

March 19, 2024

6 : 30 PM

Print

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

1101 S Ankeny Boulevard - Hyper Energy Bar Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):






PUBLIC OUTREACH EFFORTS:

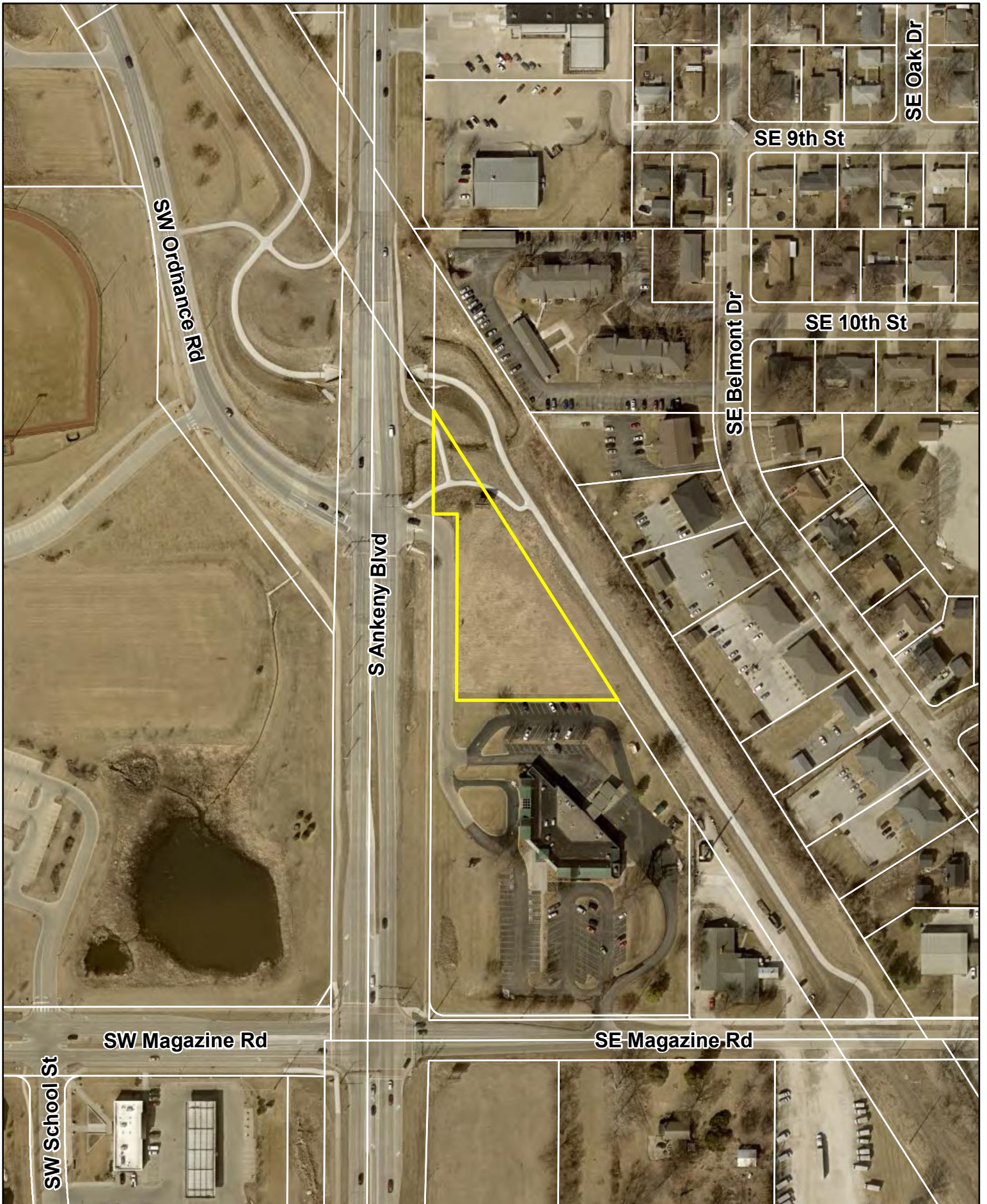
ACTION REQUESTED:

**Action:** Consider MOTION to approve the site plan for 1101 S Ankeny Boulevard, Hyper Energy Bar Site Plan; subject to City Council approval of the stormwater management facility maintenance covenant and permanent easement agreement.

ADDITIONAL INFORMATION:

ATTACHMENTS:

<b>Click to download</b>
 <a href="#">Aerial Map</a>
 <a href="#">Staff Report</a>
 <a href="#">Applicant Letter</a>
 <a href="#">Site Plan</a>
 <a href="#">Elevations</a>



N



1 inch = 200 feet

Date: 12/14/2023

# 1101 S Ankeny Blvd Hyper Energy Bar Site Plan





*Plan and Zoning Commission  
Staff Report*

*Meeting Date: March 19, 2024*

---

**Agenda Item:** 1101 S Ankeny Boulevard – Hyper Energy Bar  
**Report Date:** March 13, 2024  
**Prepared by:** Jake Heil  
Associate Planner

*EJC*

**Staff Recommendation:**

That the Plan and Zoning Commission approve the site plan for 1101 S Ankeny Boulevard, Hyper Energy Bar; subject to City Council approval of the stormwater management facility maintenance covenant and permanent easement agreement.

**Project Summary:**

The subject property at 1101 S Ankeny Boulevard totals 1.37 acres (+/-), and is located north of SW Magazine Road and east of S Ankeny Boulevard. The site is zoned C-2, General Retail, Highway Oriented and Central Business Commercial District; while properties to the south are similarly zoned, properties to the north and east are zoned C-1 Neighborhood Retail Commercial District and properties to the west are zoned Prairie Trail PUD. The proposed site plan includes the construction of a single story 1,029 sf building, two separate drive thru aisles, parking lot, trail and pedestrian connections, landscaping, utility service connections and associated site improvements.

The proposed building will have a maximum height of 17'- 1" to the uppermost point and will be constructed primarily of brick veneer, metal and glass. The landscaping shown on the proposed site plan generally complies with all applicable regulations. The site will be accessed primarily from two full access points along the existing frontage road along S Ankeny Boulevard. Each access provides an in/out access for each of the respective drive thru aisles, and the northern access will provide access to the parking provided on site. Parking for the site requires 1 space per 100 sf of gross floor area and 1 space for every 4 outdoor seats provided on site. The proposed site plan provides 11 parking stalls out of the required 18 parking stalls. The proposed site plan provides adequate parking for the proposed building, but provides additional outdoor seating and bike parking for High Trestle Trail users and by providing walk up service. City staff was okay with the reduction in parking stalls due to the nature of the site being primarily for drive thru and pedestrian traffic. Sidewalk connections are provided on the site, along with providing access to the High Trestle Trail which is just northeast of the site.

The proposed site plan will add a new 1-inch water service line that connects to the existing 16-inch water main along S Ankeny Boulevard. A new 6-inch sanitary service main will be extended from the southeast corner of the proposed buildings to the south, where an existing 8-inch sanitary stub exists in the southeast corner of the lot. Stormwater for the site generally drains to the southside of the site, where stormwater outlets into a storm water detention basin. From there stormwater conveys offsite via conduit and open source channels eventually emptying into Fourmile Creek. From there stormwater flows south and east ultimately outletting into the Des Moines River.

**Site Plan Worksheet  
1101 S Ankeny Boulevard  
Hyper Energy Bar Site Plan**

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

**A. Site Development**

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The primary building facade will still face west towards S Ankeny Boulevard. The site will be accessed directly from a frontage road adjacent to S Ankeny Boulevard. The proposed building and parking meet all setbacks required by code. The proposed site is complimentary to the existing buildings in the area.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan conforms with the open space and parking requirements of the Code.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

Parking for the site requires 1 space per 100 sf of gross floor area and 1 space for every 4 outdoor seats provided on site. The proposed site plan provides 11 parking stalls out of the required 18 parking stalls. The proposed site plan provides adequate parking for the proposed building, but provides additional outdoor seating and bike parking for High Trestle Trail users and provides walk up services. City staff was okay with the reduction in parking stalls due to the nature of the site being primarily for drive thru and pedestrian traffic. Sidewalk connections are provided on the site, along with providing access to the High Trestle Trail which is just northeast of the site.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The site will be accessed primarily from two full access points along the existing frontage road along S Ankeny Boulevard. Each access provides an in/out access for each of the respective drive thru aisles, and the northern access will provide access to the parking provided on site.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

Parking and parking area landscaping generally meet the requirements for off-street parking as stated in Chapter 194.01(6) (A). Headlight screening is provided where necessary.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

There is a proposed trash enclosure located south of the proposed building, which utilizes the same materials as the main building and shrubs.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services will be underground.

- 8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Site lighting will be directed away from adjoining property and downward.

- 9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Stormwater for the site generally drains to the southside of the site, where stormwater outlets into a storm water detention basin. From there stormwater conveys offsite via conduit and open source channels eventually emptying into Fourmile Creek. From there stormwater flows south and east ultimately outletting into the Des Moines River.

- 10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The proposed site plan will add a new 1 inch water service line that connects to the existing 16 inch water main along S Ankeny Boulevard. A new 6 inch sanitary service main will be extended from the southeast corner of the proposed buildings to the south, where an existing 8 inch sanitary stub exists in the southeast corner of the lot.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The site meets open space requirements, with the majority of the open space along the north and east sides of the site.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed parking lot shading and open space landscaping conform to the landscape requirements of the Code.

## **B. Building Design**

- 1. Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

The proposed 1,029 sf building will have a maximum height of 17'- 1" to the uppermost point. The scale and position of the proposed building is appropriate for its proximity to neighboring properties.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The proposed building will be constructed primarily of brick veneer, metal and glass. The proposed materials complement adjacent developments.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There are no rooftop mechanical equipment and the proposed dumpster is screened from view with an enclosure that utilizes materials matching the building and landscaping.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

There is only one proposed building on this site, and the submitted elevations complement adjacent developments.

## **C. Signs**

Locations of signs have been shown on the submitted plans; however final design and allowances will be determined with future sign permits.

## **D. Factors for Evaluation**

**The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:**

- 1. Conformance to Design Standards and other applicable code requirements.**

The plans submitted generally conform to the written regulations of the City.

- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The building meets all setbacks required by Code, and is complementary to adjacent development.



**3. Layout and utilization of building, parking, drive-ways, and open spaces.**

The proposed addition will not adversely affect traffic flow of vehicles and pedestrians.

**4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**

The proposed 1,029 sf building will have a maximum height of 17'- 1" to the uppermost point and will be constructed primarily of brick veneer, metal and glass. The proposed materials complement adjacent developments.

**5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**

It appears that the impacts on these utility systems can be accommodated adequately.

December 22, 2023

Planning and Zoning Commission  
City of Ankeny  
Planning & Building Department  
1210 NW Prairie Ridge Dr  
Ankeny, Iowa 50023

RE: Hyper Energy Bar - Ankeny (2311.718)

Dear Planning and Zoning Commission:

On behalf of *Heart of America Group*, we respectfully submit herewith the Hyper Energy Bar - Ankeny Site Plan in request for approval. This project features the construction of a 1,029 sf Hyper Energy Bar located at 1101 S. Ankeny Blvd. This Hyper Energy Bar will feature a dual drive-through, an outdoor patio space along the north side of the building and a secondary patio space along the east property line. This secondary patio space will also provide 16 bike spaces, a shade structure, and a connection to High Trestle Trail. Other improvements include, 11 parking spaces, a detention basin, utility improvements, and landscaping.

Please accept this submittal for the next available Planning & Zoning meeting. Let me know if you have any questions or require any further information to complete your review. Thanks.

Sincerely,

CIVIL DESIGN ADVANTAGE



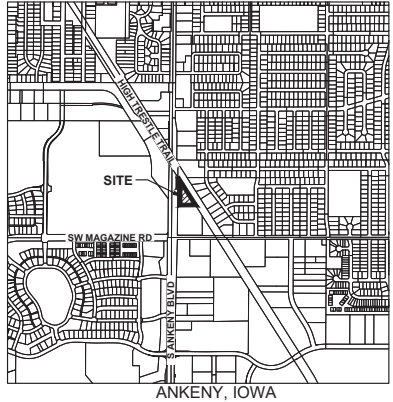
Nikki Neal, ASLA

# SITE PLAN FOR: HYPER ENERGY BAR - ANKENY

## 1101 S. ANKENY BLVD ANKENY, IOWA

### VICINITY MAP

1"=1000'



**OWNER**  
ANKENY J4 LLC  
2505 HEMEL DRIVE  
PELLA, IA 5219-7923  
CONTACT: JUSTIN MADSEN  
EMAIL: JUSTIN.MADSEN@WARDJONES.COM  
PH: (641) 628-9038

**APPLICANT**  
HEART OF AMERICA GROUP  
515 E LOCUST STREET SUITE 100  
DES MOINES, IA 50309  
CONTACT: CHRISTOPHER WHALEN  
EMAIL: CWHALEN@HOARI.COM  
PH: (309) 797-9300

**ENGINEER**  
CIVIL DESIGN ADVANTAGE  
4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
CONTACT: NIKKI NEAL  
EMAIL: NICOLEN@CDA-ENG.COM  
PH: (515) 369-4400

**SURVEYOR**  
CIVIL DESIGN ADVANTAGE  
4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
CONTACT: CHARLIE MCGLATHLEN  
EMAIL: CHARLEM@CDA-ENG.COM  
PH: (515) 369-4400

**SUBMITTAL DATES**  
FIRST SUBMITTAL: 12/01/2023  
SECOND SUBMITTAL: 12/22/2023  
THIRD SUBMITTAL: 01/05/2024  
FOURTH SUBMITTAL: 02/28/2024  
FIFTH SUBMITTAL: 03/11/2024

### LEGAL DESCRIPTION

BEGINNING AT THE NORTH CORNER OF SAID LOT 2; THENCE SOUTH 32°28'01" EAST ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 659.60 FEET; THENCE SOUTH 89°48'37" WEST, 262.81 FEET; THENCE NORTH 01°17'31" EAST, 303.49 FEET; THENCE NORTH 89°42'29" WEST, 40.00 FEET TO THE WEST LINE OF SAID LOT 2; THENCE NORTH 01°17'31" EAST ALONG SAID WEST LINE, 169.32 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.36 ACRES (59,479 S.F.). PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### ZONING

C-2 GENERAL RETAIL HIGHWAY-ORIENTED AND CENTRAL BUSINESS COMMERCIAL DISTRICT

### PROJECT SITE ADDRESS

1101 S. ANKENY BLVD

### EXISTING/ PROPOSED USE

EXISTING: UNDEVELOPED  
PROPOSED: HYPER ENERGY BAR

### DEVELOPMENT SUMMARY

**AREAL:** 1.365 ACRES (59,479 SF)  
**ZONING:** C-2 GENERAL RETAIL HIGHWAY-ORIENTED AND CENTRAL BUSINESS COMMERCIAL DISTRICT

**SETBACKS**  
FRONT: 35 FEET  
SIDE: NONE  
REAR: 40 FEET  
PARKING: 5 FEET

**OPEN SPACE**  
REQUIRED: 11,896 SF (20%)  
PROPOSED: 36,605 SF (62%)

**IMPERVIOUS AREA**  
PROPOSED BUILDING: 1,029 SF  
PROPOSED SIDEWALK/TRAIL: 4,942 SF  
PROPOSED PAVING: 15,452 SF  
EXISTING SIDEWALK/TRAIL: 1,451 SF  
TOTAL: 22,874 SF

**PARKING**  
1 SPACE PER 100 SF OF GFA:  
4 1 SPACE PER 4 OUTSIDE SEATS:  
TOTAL REQUIRED: 10 SPACES  
8 SPACES  
18 SPACES

**TOTAL PROVIDED:**  
STANDARD: 10 SPACES  
ACCESSIBLE: 1 SPACE  
TOTAL: 11 SPACES

**BIKE PARKING**  
PROVIDED: 15 SPACES

### ERU CALCULATION

22,509 SF/4000 SF: 6  
(MAXIMUM: 60)

### DATE OF SURVEY

11/08/2023

### BENCHMARKS

- TOP BOLT HYDRANT E SIDE FRONTAGE ROAD ON WEST SIDE OF SITE  
ELEV.=984.56
- ARROW ON HYDRANT @ NW CORNER DMACC DRIVE & S. ANKENY BLVD  
ELEV.=949.71

### INDEX OF SHEETS

- | NO.       | DESCRIPTION                              |
|-----------|--|
| CO.0      | COVER SHEET                              |
| C1.1      | TOPOGRAPHIC SURVEY/DEMOLITION PLAN       |
| C2.1-C2.2 | DIMENSION PLAN                           |
| C3.1-C3.2 | GRADING PLAN                             |
| C3.3      | EROSION AND SEDIMENT CONTROL PLAN        |
| C4.1      | UTILITY PLAN                             |
| C5.1      | TRAFFIC CONTROL PLAN - SIDEWALK          |
| C5.2      | TRAFFIC CONTROL PLAN - VEHICULAR PHASE 1 |
| C5.3      | TRAFFIC CONTROL PLAN - VEHICULAR PHASE 2 |
| C6.1      | DETAILS                                  |
| L1.1      | LANDSCAPE PLAN                           |
| L2.1      | LANDSCAPE DETAILS                        |

### GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GYI ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



### UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



**CIVIL DESIGN ADVANTAGE**

4121 NW URBANDALE DRIVE, URBANDALE, IA 50322

PH: (515) 369-4400

PROJECT NO. 2311.718

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF ANKENY GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

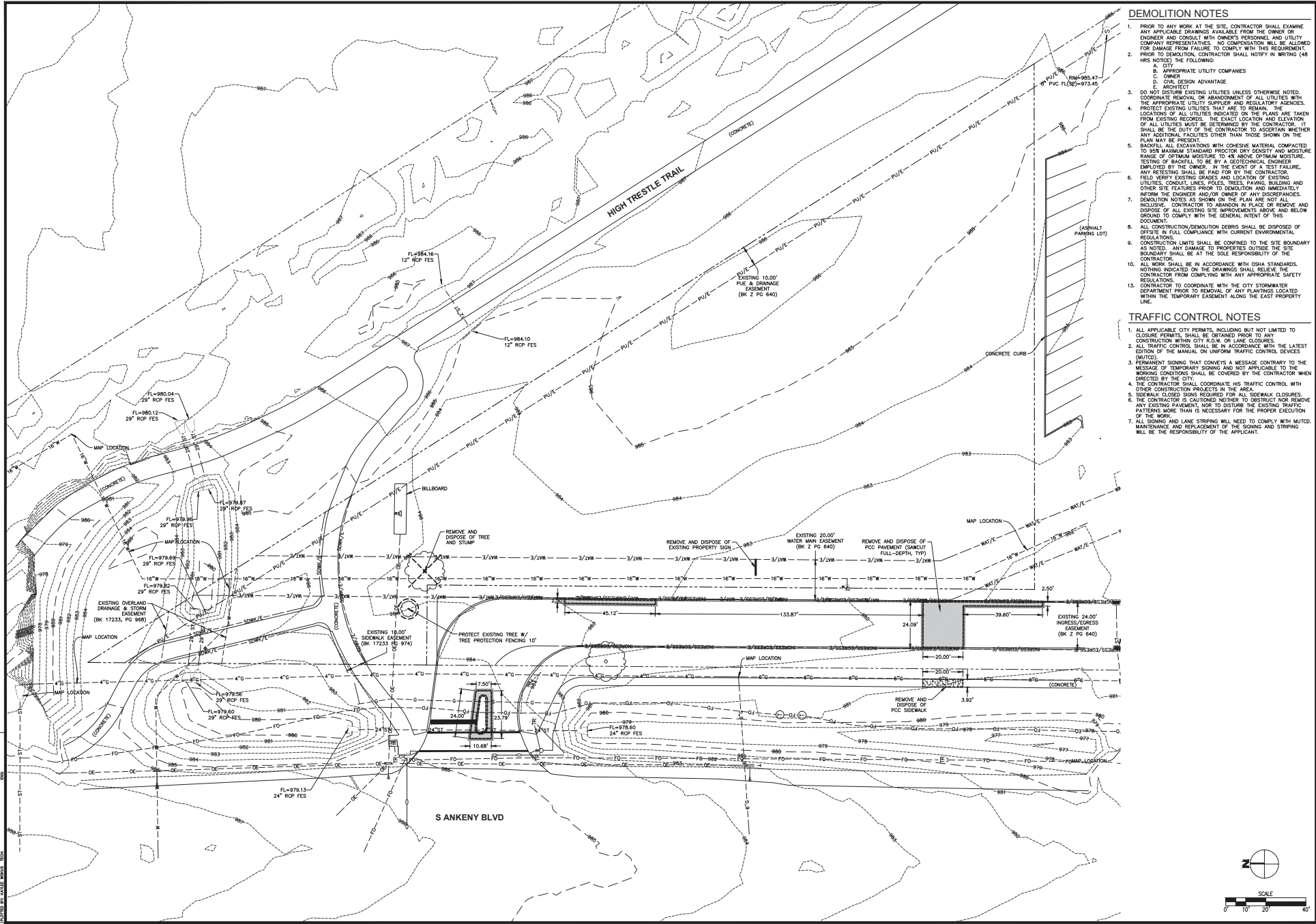
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.  
DATE: 03/11/2024  
PROFESSIONAL ENGINEER NO. 25593  
IOWA LICENSE RENEWAL DATE IS DECEMBER 31, 2024  
PAGES OR SHEETS COVERED BY THIS SEAL:  
CO.0, C1.1, C2.1-C2.2, C3.1-C3.3, C4.1, C5.1-C5.3, AND C6.1

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.  
DATE: 03/11/2024  
PROFESSIONAL ENGINEER NO. 00442  
IOWA LICENSE RENEWAL DATE IS JUNE 30, 2024  
PAGES OR SHEETS COVERED BY THIS SEAL:  
L1.1 AND L2.1

FILED IN ANKENY COUNTY IOWA WITH THE WATER AND SEWER DIVISION ON 03/11/2024 AT 10:00 AM BY JESSICA L. WARD, CLERK OF COURSE



**DEMOLITION NOTES**

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE MADE FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
  - APPROPRIATE UTILITY COMPANIES
  - OWNER
  - ARCHITECT
  - CIVIL DESIGN ADVANTAGE
  - ENGINEER
- DO NOT DESTROY EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- CONTRACTOR TO COORDINATE WITH THE CITY STORMWATER DEPARTMENT PRIOR TO REMOVAL OF ANY PLANTINGS LOCATED WITHIN THE TEMPORARY EASEMENT ALONG THE EAST PROPERTY LINE.

**TRAFFIC CONTROL NOTES**

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY BLOCK OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSURE SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT MARKS TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

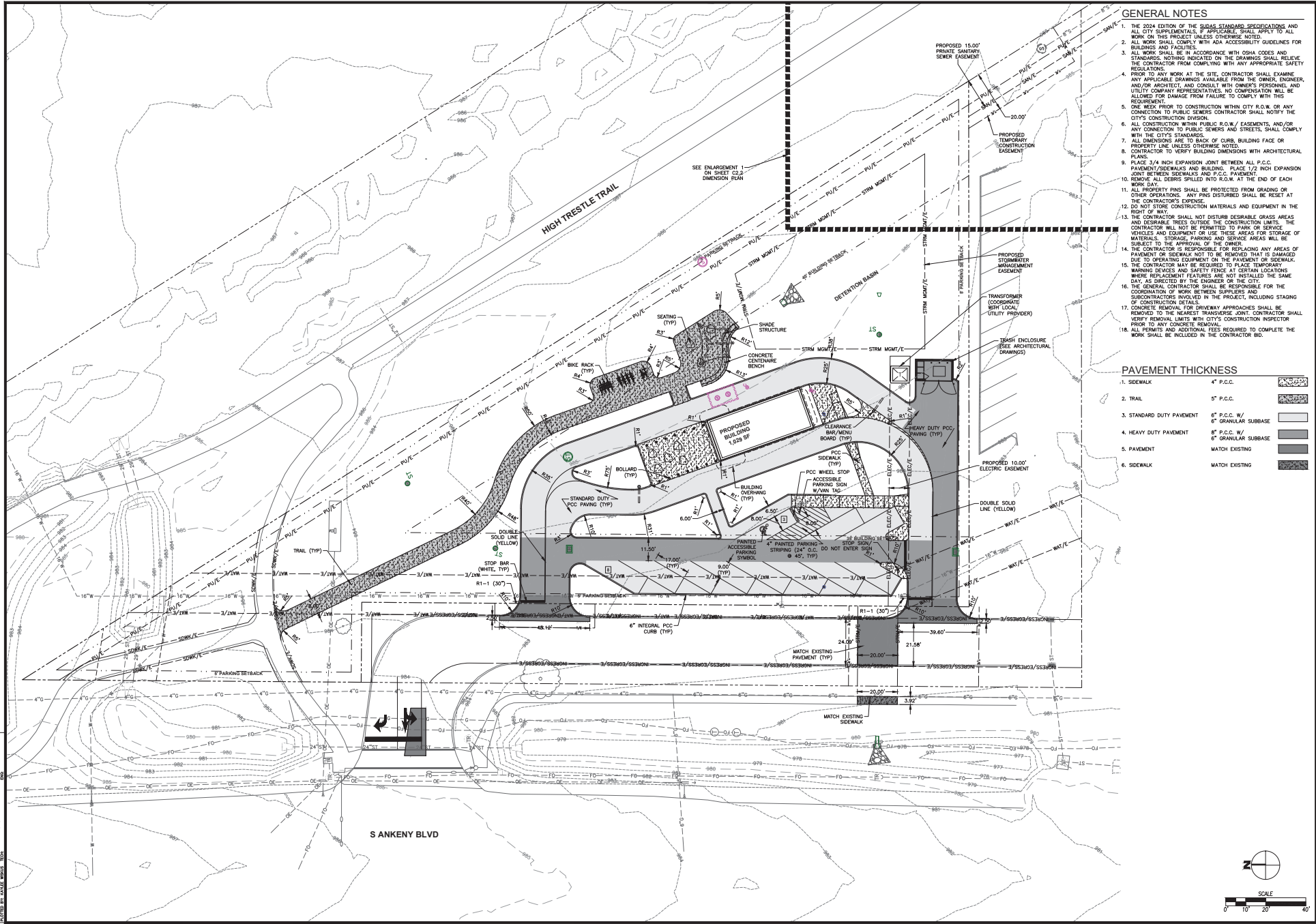
DATE	
REVISIONS	

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400 FAX: (515) 369-4410

CIVIL DESIGN ADVANTAGE ENGINEER DRAFTED:

**HYPER ENERGY BAR - ANKENY**  
TOPOGRAPHIC SURVEY/DEMOLITION PLAN  
1101 S. ANKENY BLVD

DATE: 03/11/2024  
SHEET NUMBER: **C1.1**  
2311.7.18



**GENERAL NOTES**

1. THE 2024 EDITION OF THE SDGAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR STANDARDS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLAN.
9. PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. BRIDGE: ALL GIRDS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

**PAVEMENT THICKNESS**

1. SIDEWALK	4" P.C.C.	
2. TRAIL	5" P.C.C.	
3. STANDARD DUTY PAVEMENT	6" P.C.C. W/ 6" GRANULAR SUBBASE	
4. HEAVY DUTY PAVEMENT	8" P.C.C. W/ 8" GRANULAR SUBBASE	
5. PAVEMENT	MATCH EXISTING	
6. SIDEWALK	MATCH EXISTING	

DATE: \_\_\_\_\_

REVISIONS:

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400 FAX: (515) 369-4410

HYPER ENERGY BAR - ANKENY  
DIMENSION PLAN

1101 S. ANKENY BLVD

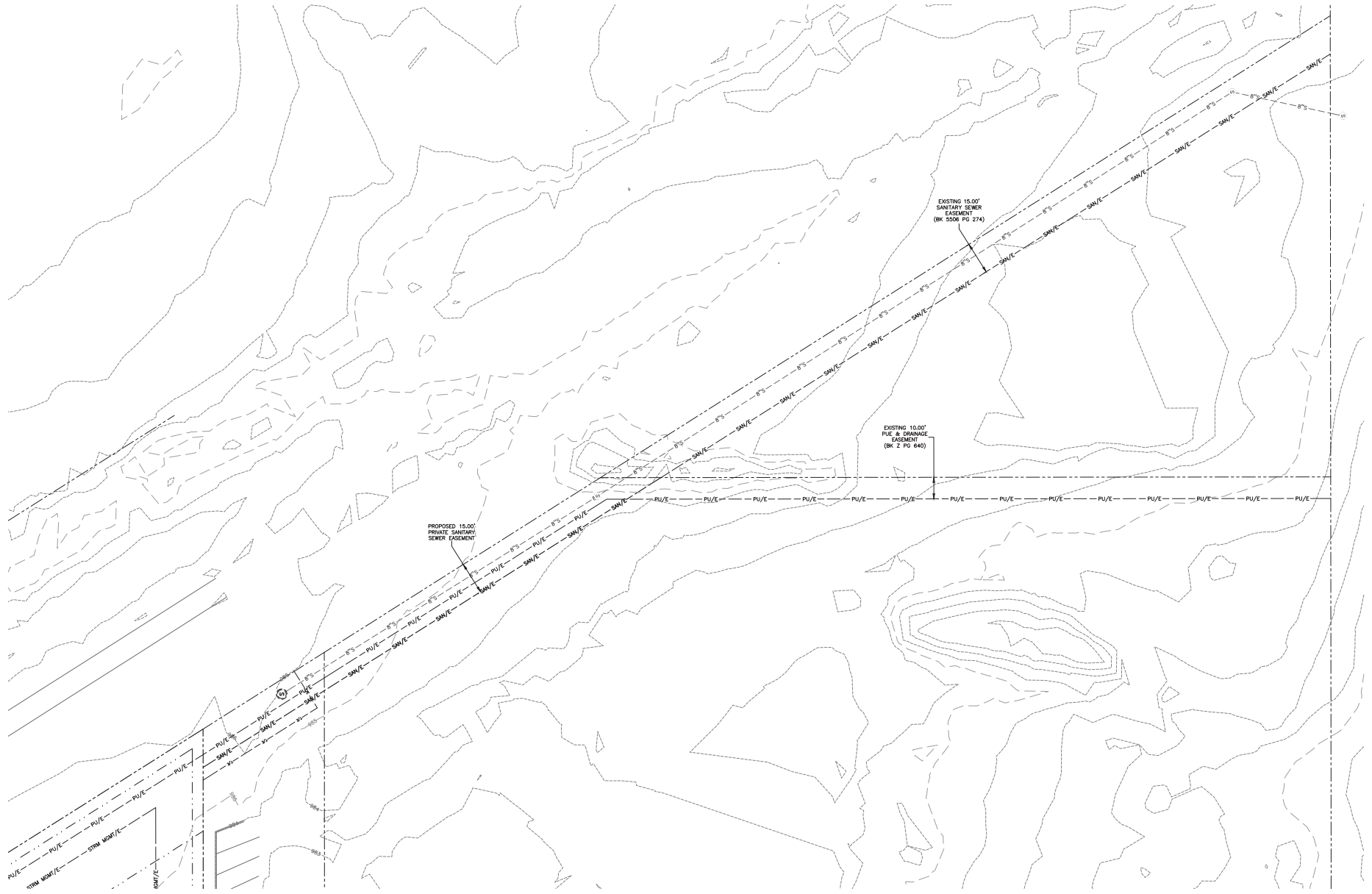
DATE: 03/11/2024  
SHEET NUMBER: C2.1  
2311.718

CIVIL DESIGN ADVANTAGE ENGINEER: \_\_\_\_\_ DRAFTED: \_\_\_\_\_

HYPER

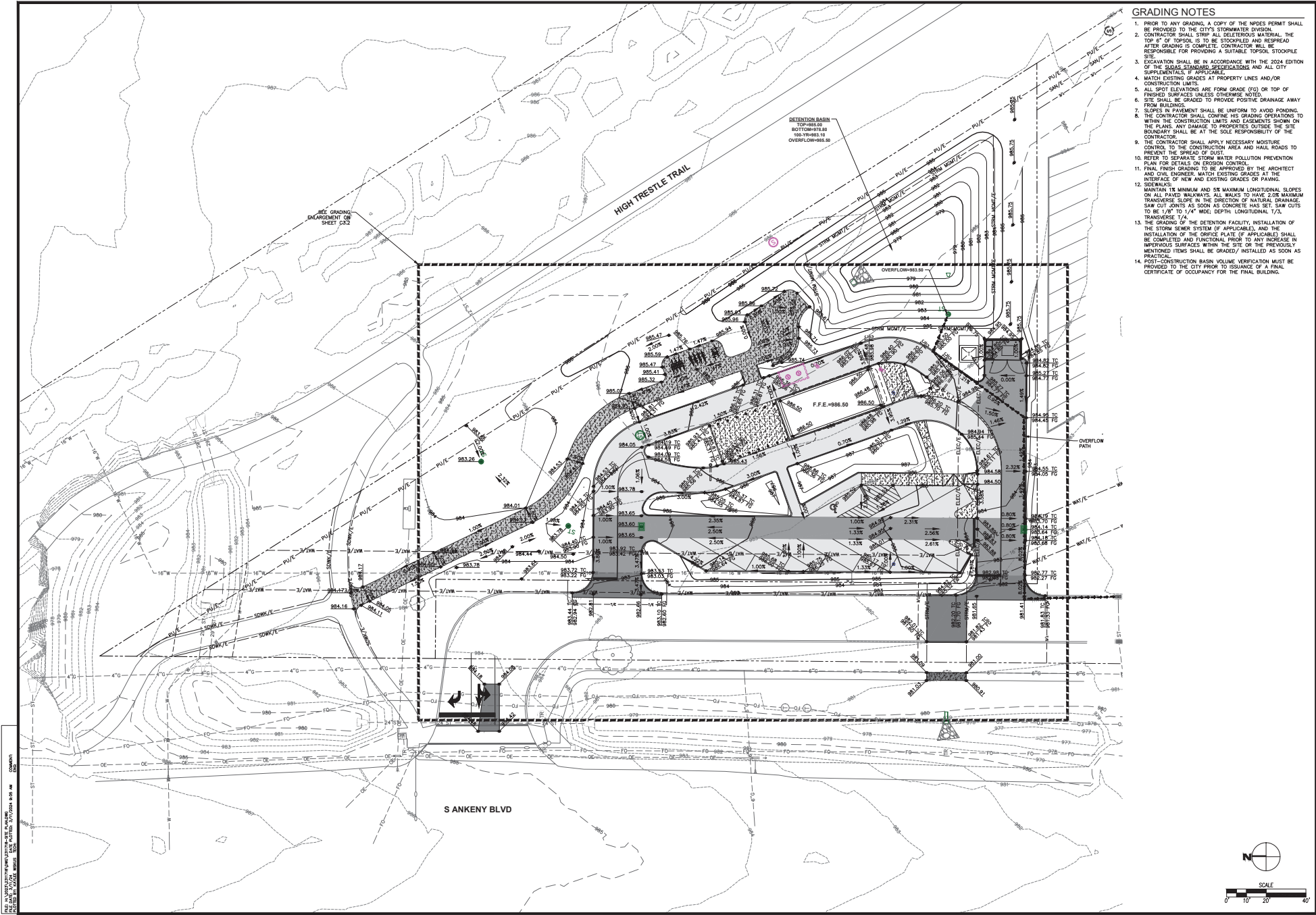
SCALE: 1" = 10'

FILE IN PROJECT DIRECTORY UNDER THE PROJECT NAME AND SHEET NUMBER  
DATE: 03/11/2024 10:58 AM  
DRAWN BY: JAVIER MORALES  
CHECKED BY: JAVIER MORALES



ENLARGEMENT #1

DATE:	
REVISIONS:	
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 389-4400 FAX: (515) 369-4410	DRAFTED:
CIVIL DESIGN ADVANTAGE	ENGINEER:
HYPER ENERGY BAR - ANKENY DIMENSION PLAN	
1101 S. ANKENY BLVD ANKENY, IOWA	
DATE: 03/11/2024	
SHEET NUMBER: C2.2	
2311.7.18	



**GRADING NOTES**

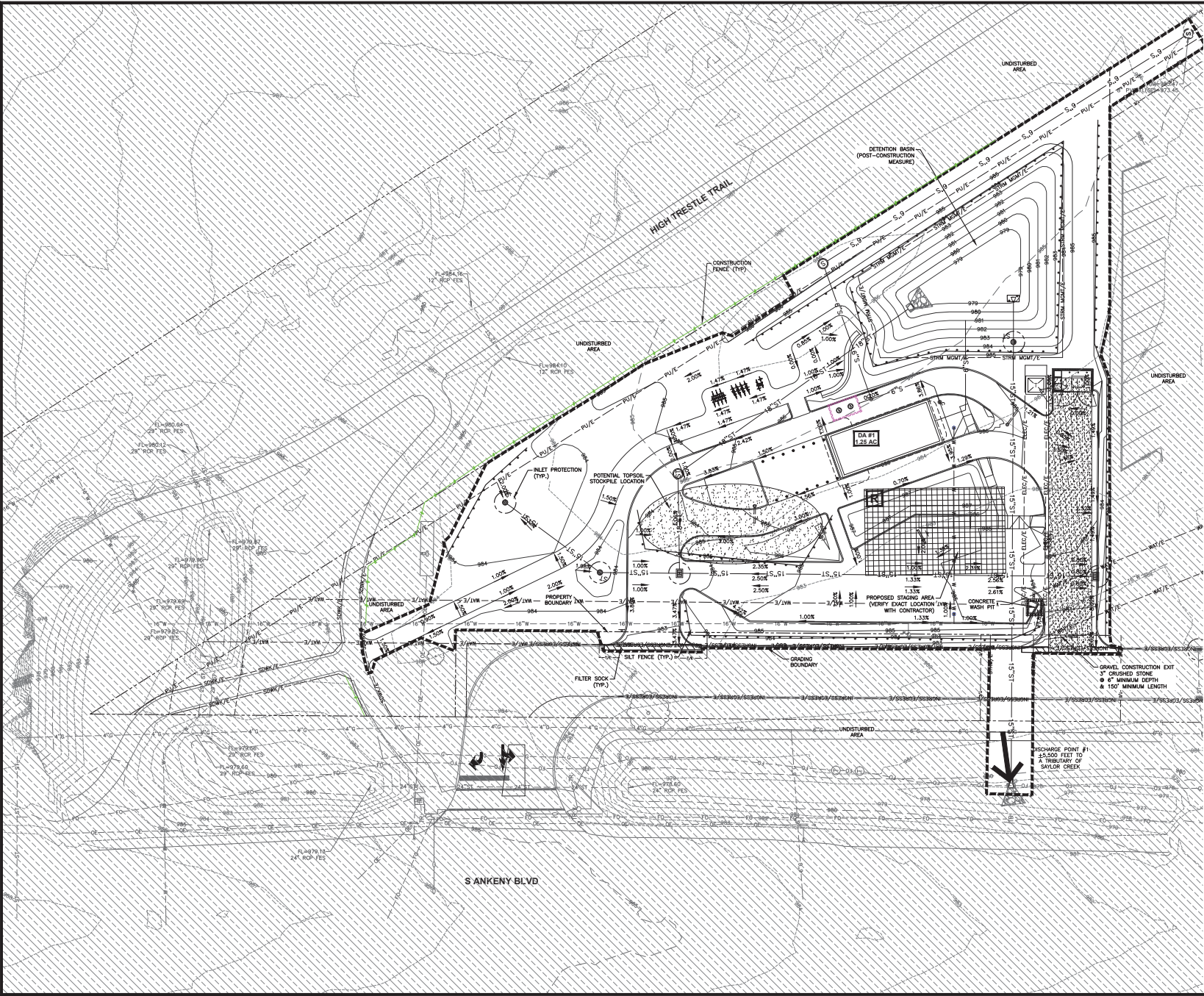
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S STORMWATER DIVISION.
2. CONTRACTOR SHALL STRIP ALL DECELERATOR MATERIAL, THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
9. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
10. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
11. SEE REMARKS.
12. MAINTAIN 1% MINIMUM AND SIX MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED DRIVEWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.
14. POST-CONSTRUCTION BASIN VOLUME VERIFICATION MUST BE PROVIDED TO THE CITY PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY FOR THE FINAL BUILDING.

<p>DATE: _____</p> <p>REVISIONS:</p>	<p>4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 389-4400 FAX: (515) 369-4410</p> <p><b>Hyper</b></p> <p>CIVIL DESIGN ADVANTAGE ENGINEER</p> <p>ANKENY, IOWA</p>
<p><b>HYPER ENERGY BAR - ANKENY</b></p> <p><b>GRADING PLAN</b></p>	
<p>1101 S. ANKENY BLVD</p>	
<p>DATE: 03/11/2024</p> <p>SHEET NUMBER: <b>C3.1</b></p> <p>2311.718</p>	





MADE BY: HYPER ENERGY BAR - ANKENY  
 DATE: 03/11/2024  
 SHEET NUMBER: C3.3  
 SCALE: 1" = 20'



**DISCHARGE POINT SUMMARY**

DISCHARGE POINT #1 TO SAUKO CREEK ±5,500 FT	1.25 ACRES
AREA DISTURBED TO DISCHARGE POINT	4,500 CU FT
VOLUME PROVIDED IN FILTER SOCK (65 LF @ 2.0 CU FT/LF OF SOCK)	163 CU FT
VOLUME PROVIDED IN SILT FENCE (1,000 LF @ 4.5 CU FT/LF OF FENCE)	4,500 CU FT
TOTAL VOLUME PROVIDED	4,663 CU FT

**STABILIZATION QUANTITIES**

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,000
2	FILTER SOCK	LF	65
3	SEEDING, FERTILIZING, AND MULCHING	AC	1
4	INLET PROTECTION DEVICES	EA	6
5	CONCRETE WASHOUT PIT	EA	1

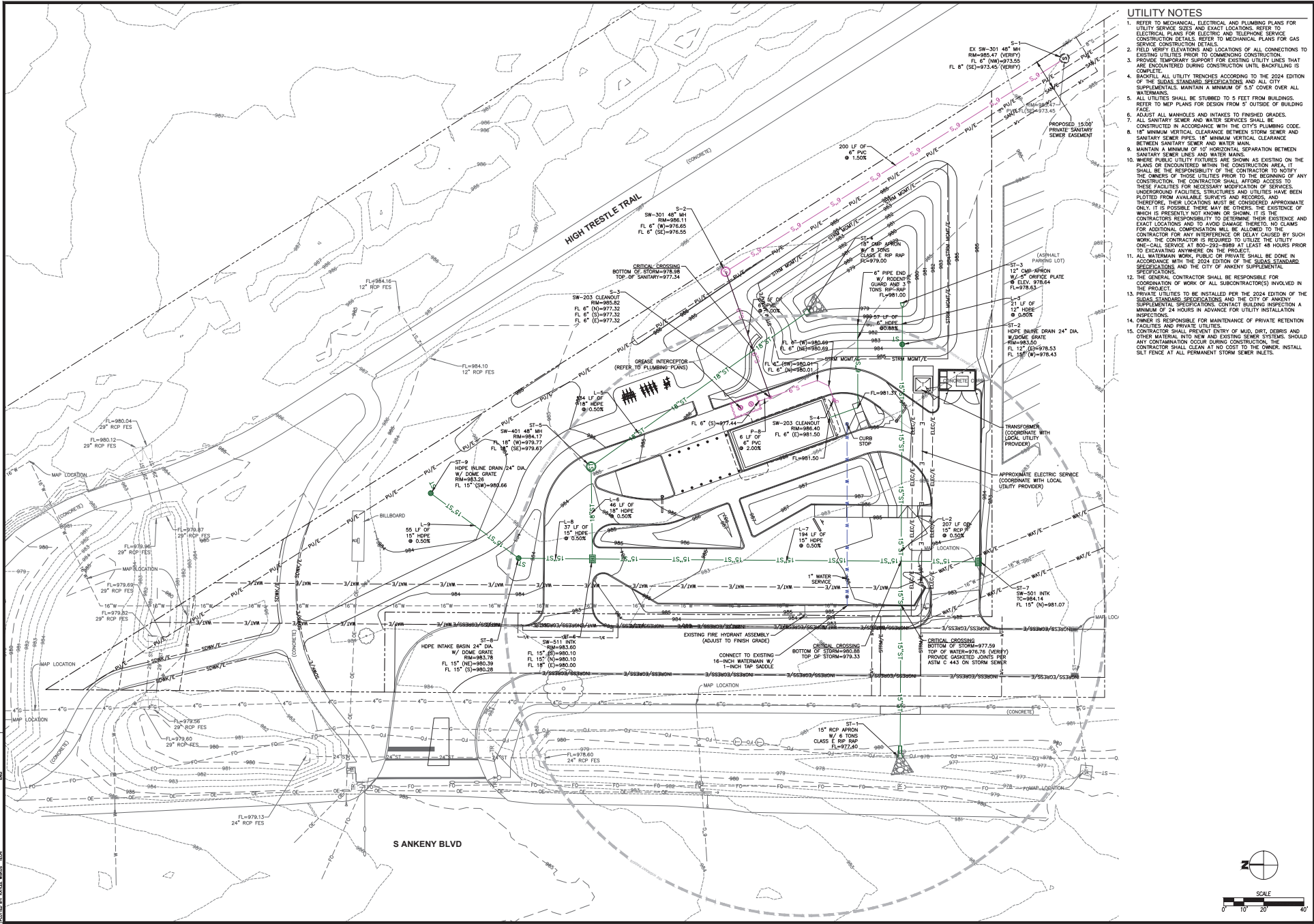
**NOTES:**

- IF DETERMINED IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY SEED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.

**SWPPP LEGEND**

DRAINAGE ARROW	
GRADING LIMITS	
FILTER SOCK	
SILT FENCE	
CONSTRUCTION FENCE	
INLET PROTECTION	
PORTABLE RESTROOM	
CONCRETE WASHOUT PIT	
UNDISTURBED AREA	
RIIP-RAP	
GRAVEL ENTRANCE	
STAGING AREA	

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 CIVIL DESIGN ADVANTAGE ENGINEER: \_\_\_\_\_  
**HYPER ENERGY BAR - ANKENY**  
 EROSION AND SEDIMENT CONTROL PLAN  
 ANKENY, IOWA  
 DATE: 03/11/2024  
 SHEET NUMBER: **C3.3**  
 SCALE: 1" = 20'  
 2311.718  
 1101 S. ANKENY BLVD



**UTILITY NOTES**

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5:1 COVER OVER ALL WATERWAYS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 3' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION SHALL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH ONE-CALL SERVICE AT 800-252-2889 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN REPAIRS OR SERVICE SHALL BE DONE IN ACCORDANCE WITH THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL Silt Fence at all Permanent Storm Sewer Inlets.

DATE	03/11/2024
REVISIONS	
ENGINEER	HYPER ENERGY BAR - ANKENY
PROJECT	UTILITY PLAN
ADDRESS	4121 NW URBANDALE DRIVE, URBANDALE, IA 50322
PHONE	(515) 369-4400
FAX	(515) 369-4410
DRAWN BY	
CHECKED BY	
SCALE	AS SHOWN
SHEET NUMBER	C4.1
TOTAL SHEETS	2311.718

ALL UTILITIES SHOWN ARE BASED ON THE RECORD PLANS AND FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

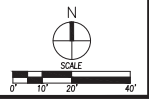
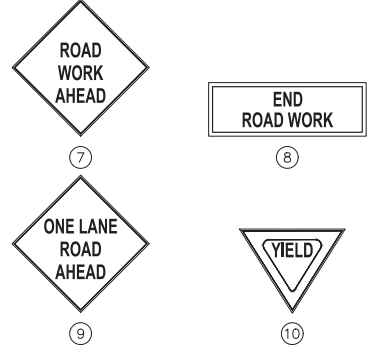




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 DRAWING NO: 2311718-01 - TRAFFIC CONTROL PLAN - VEHICULAR PHASE 2  
 DATE: 03/11/2024  
 DRAWN BY: J. K. [unreadable]  
 CHECKED BY: [unreadable]



SIGN LEGEND



DATE:	03/11/2024
REVISIONS:	
PROJECT:	HYPER ENERGY BAR - ANKENY
LOCATION:	1101 S. ANKENY BLVD
DATE:	03/11/2024
SHEET NUMBER:	C53
SCALE:	2311.7 18

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 389-4400 FAX: (515) 389-4410

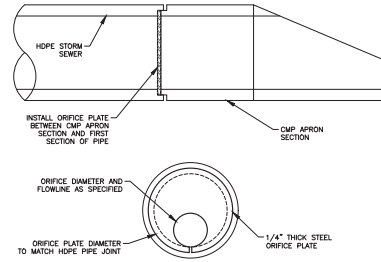
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FILED IN ANKENY, IOWA, 03/11/2024 AT 10:00 AM BY: JESSICA L. HARRIS, COUNTY CLERK

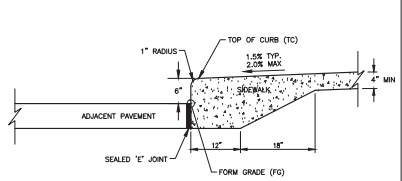
CONTRACT NO. 2311.718

PROJECT: HYPER ENERGY BAR - ANKENY

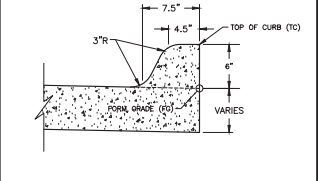
**8** ORIFICE PLATE  
NOT TO SCALE



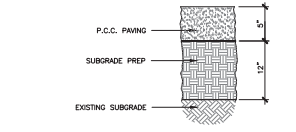
**2** INTEGRAL CURB AND SIDEWALK  
NOT TO SCALE



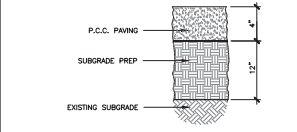
**1** INTEGRAL 6" STANDARD CURB  
NOT TO SCALE



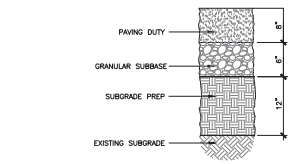
**4** PCC TRAIL  
NOT TO SCALE



**3** PCC SIDEWALK  
NOT TO SCALE

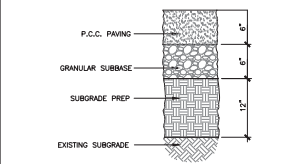


**6** HEAVY DUTY PCC PAVING  
NOT TO SCALE



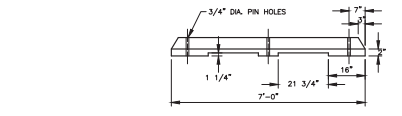
NOTE:  
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.  
2. SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

**5** STANDARD DUTY PCC PAVING  
NOT TO SCALE



NOTE:  
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.  
2. SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

**7** P.C.C. WHEELSTOP  
NOT TO SCALE



GENERAL NOTES:  
1. DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE ON CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.  
2. ANY PRECAST P.C.C. WHEELSTOP MEASURING LONGER THAN 6'-0" WILL REQUIRE 3 ANCHOR PINS TO HOLD WHEELSTOP IN POSITION.

3. ANCHOR PINS SHALL BE 5/8" DIAMETER, 1'-6" LONG. ANCHOR PINS THAT ARE NOT BEADED IN CONCRETE SHALL BE GALVANNEZED. GROUT ANCHOR PINS MINIMUM OF 2" DEEP.  
4. REINFORCING STEEL USED IN PRECAST P.C.C. WHEELSTOPS SHALL HAVE A MINIMUM OF 2" CLEARANCE TO THE CONCRETE SURFACES.  
5. MINIMUM CONCRETE STRENGTH IS 4,000 PSI. LOCATE 6" FROM EDGE OF PAVEMENT TO CENTER OF WHEELSTOP. CENTER WHEELSTOP IN EACH SPACE.

DATE: 03/11/2024  
SHEET NUMBER: C6.1  
2311.718

HYPER ENERGY BAR - ANKENY  
DETAILS

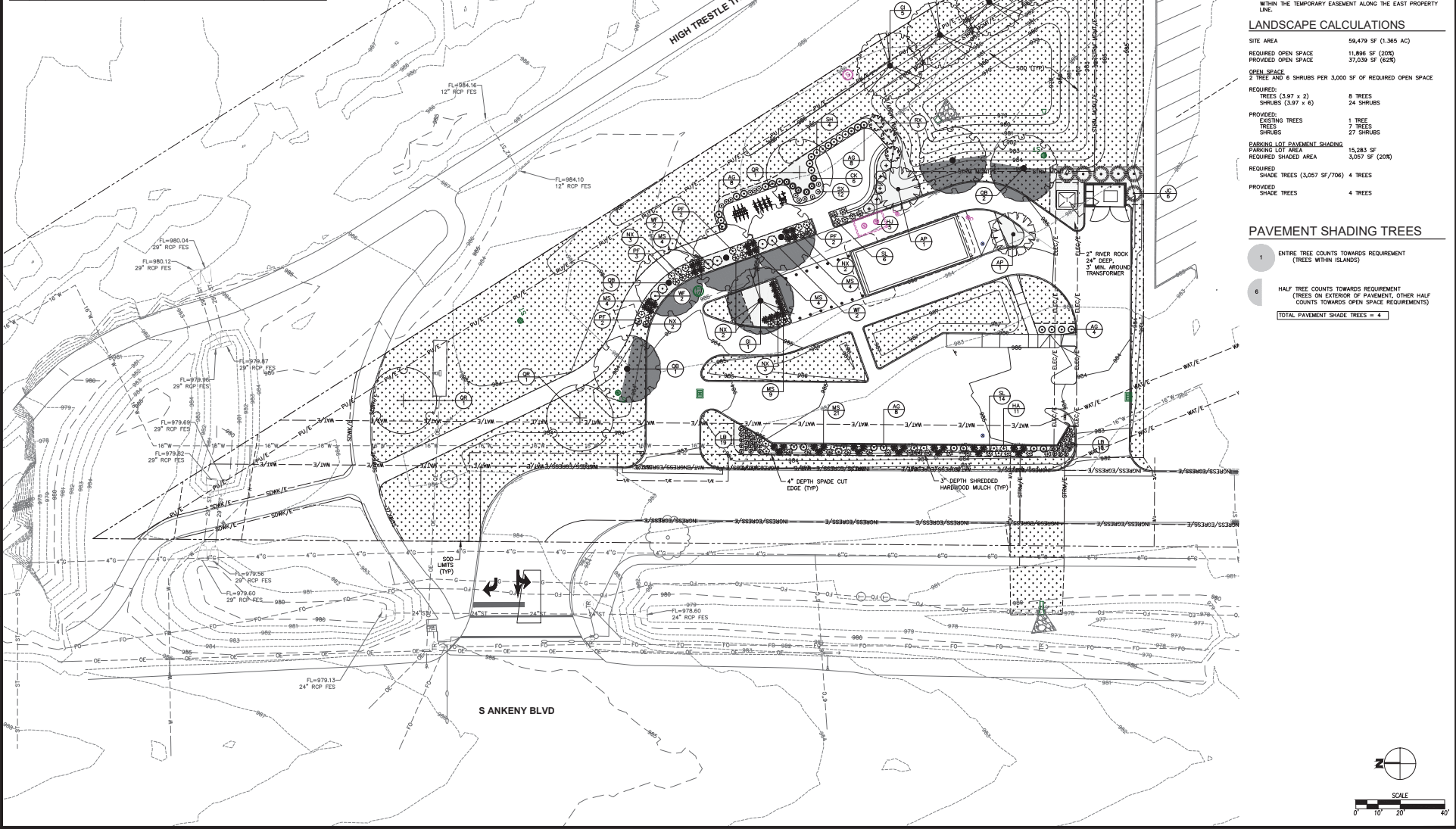
4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 389-4400 FAX: (515) 389-4410

ANKENY, IOWA

CIVIL DESIGN ADVANTAGE ENGINEER

DRAFTED:

PLANT SCHEDULE	CODE	LOT#	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	
OVERSTORY TREES	02		Horseshoe King Maple	<i>Acer platanoides 'Horseshoe King'</i>	B&B, 2" CALIPER	
	06		Skymine Honey Locust	<i>Gleditsia triacanthos inermis 'Skymine'</i>	B&B, 2" CALIPER	
	08		Swamp White Oak	<i>Quercus bicolor</i>	B&B, 2" CALIPER	
	09		Red Oak	<i>Quercus rubra</i>	B&B, 2" CALIPER	
SHRUBS	01		Little Lime/Panicle Hydrangea	<i>Hydrangea paniculata 'Lime'</i>	CONT., 3 GAL	
	02		Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	CONT., 3 GAL	
	03		Abbotwood Potentilla	<i>Potentilla fruticosa 'Abbotwood'</i>	CONT., 3 GAL	
	04		Album Novum Rhododendron	<i>Rhododendron 'Album Novum'</i>	CONT., 3 GAL	
	05		Wire & Rose Weigela	<i>Weigela florida 'Alexandra' TM</i>	CONT., 3 GAL	
	GRASSES	01		Big Bluestem	<i>Andropogon gerardii</i>	CONT., 1 GAL
02			Kari Foerster Feather Reed Grass	<i>Calamagrostis x scutellaria 'Kari Foerster'</i>	CONT., 1 GAL	
03			Little Bunny Fountain Grass	<i>Pennisetum glaucum 'Little Bunny'</i>	CONT., 1 GAL	
04			Purple Silver Grass	<i>Miscanthus sinensis 'Purple Silver'</i>	CONT., 1 GAL	
05			Purple Dragoon	<i>Sporobolus heterolepis</i>	CONT., 1 GAL	
06			Little Bluestem	<i>Schizopyrium scoparium</i>	CONT., 1 GAL	
ANNUALS/PERENNIALS		01		Black Eyed Susan Doyly	<i>Hemerocallis x 'Black Eyed Susan'</i>	CONT., 1 GAL
		02		Western Low Cotinoid	<i>Nepeta x 'Issacomi' 'Western Low'</i>	CONT., 1 GAL
		03		May Night Sage	<i>Salvia x 'Sylvester' 'May Night'</i>	CONT., 1 GAL



- ### LANDSCAPE NOTES
1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
  2. THE 2024 EDITION OF THE GUIDELINE SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
  3. TYPE, SIZE AND QUALITY OF ALL PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR PLANT MATERIAL (ANSI Z603).
  4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT CHARACTERS OF GROWTH OF THE SPECIES OR VARIETY. BRANCH AND ROOT SYSTEMS, TREE TO HEIGHT, SHAPE AND SPREAD SHALL BE AS SPECIFIED.
  5. SOIL ALL DISTURBED AREAS AS DIRECTED BY OWNER.
  6. BACKFILL TO TOP OF CURB (MIN. 1 1/2' FOR SOIL).
  7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATION.
  8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A MIN. DEPTH OF 3".
  9. ALL EDGING SHALL BE SPACE CUT EDGE.
  10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
  11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
  12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
  13. CONTRACTOR TO COORDINATE WITH THE CITY STORMWATER DEPARTMENT PRIOR TO REMOVAL OF ANY PLANTINGS LOCATED WITHIN THE TEMPORARY EASEMENT ALONG THE EAST PROPERTY LINE.

### LANDSCAPE CALCULATIONS

SITE AREA	59,479 SF (1.365 AC)
REQUIRED OPEN SPACE	11,896 SF (20%)
PROVIDED OPEN SPACE	37,039 SF (62%)
OPEN SPACE	
2 TREE AND 6 SHRUBS PER 3,000 SF OF REQUIRED OPEN SPACE	
REQUIRED TREES (3.97 x 2)	8 TREES
REQUIRED SHRUBS (3.97 x 6)	24 SHRUBS
PROVIDED TREES	1 TREE
PROVIDED SHRUBS	27 SHRUBS
PARKING LOT PAVEMENT SHADING	
PARKING LOT AREA	15,283 SF
REQUIRED SHADE TREES (15,283 SF / 3,700)	4 TREES
PROVIDED SHADE TREES	4 TREES

- ### PAVEMENT SHADING TREES
- 1. ENTIRE TREE COUNTS TOWARDS REQUIREMENT (TREES WITHIN ISLANDS)
  - 6. HALF TREE COUNTS TOWARDS REQUIREMENT (TREES ON EXTERIOR OF PAVEMENT, OTHER HALF COUNTS TOWARDS OPEN SPACE REQUIREMENTS)
- TOTAL PAVEMENT SHADE TREES = 4**

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400 FAX: (515) 369-4410

DRAFTED: \_\_\_\_\_

ENGINEER: \_\_\_\_\_

CIVIL DESIGN ADVANTAGE

Hyper

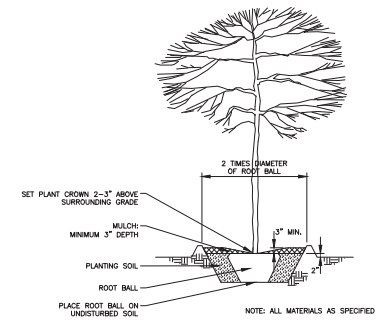
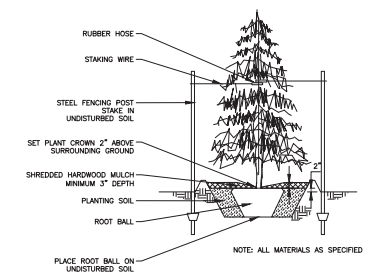
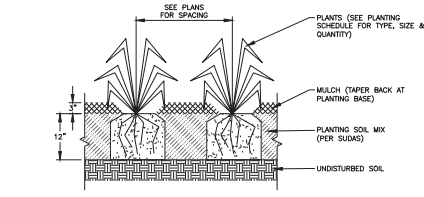
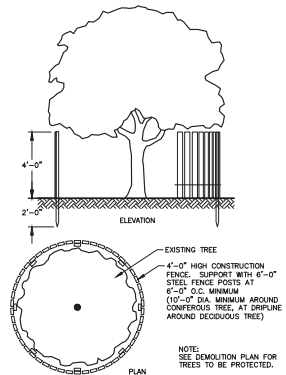
ANKENY, IOWA

HYPER ENERGY BAR - ANKENY  
LANDSCAPE PLAN

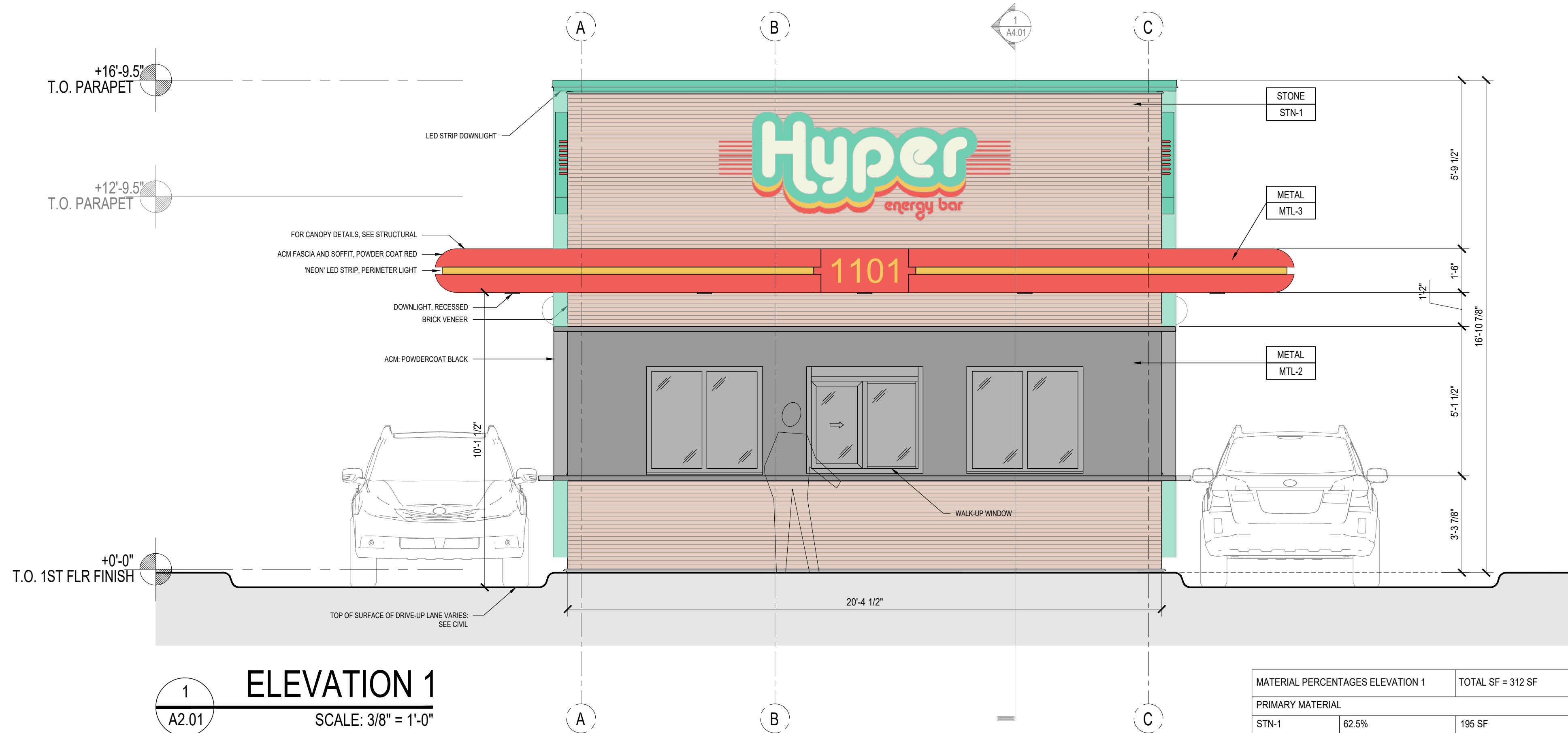
1101 S. ANKENY BLVD

DATE: 03/11/2024  
SHEET NUMBER: L1.1  
2311.718

FILED IN ANKENY, IOWA, ON 03/11/2024 AT 10:00 AM BY JESSICA M. HARRIS, CLERK OF COURTS. PROJECT: HYPER ENERGY BAR - ANKENY. SHEET: L2.1

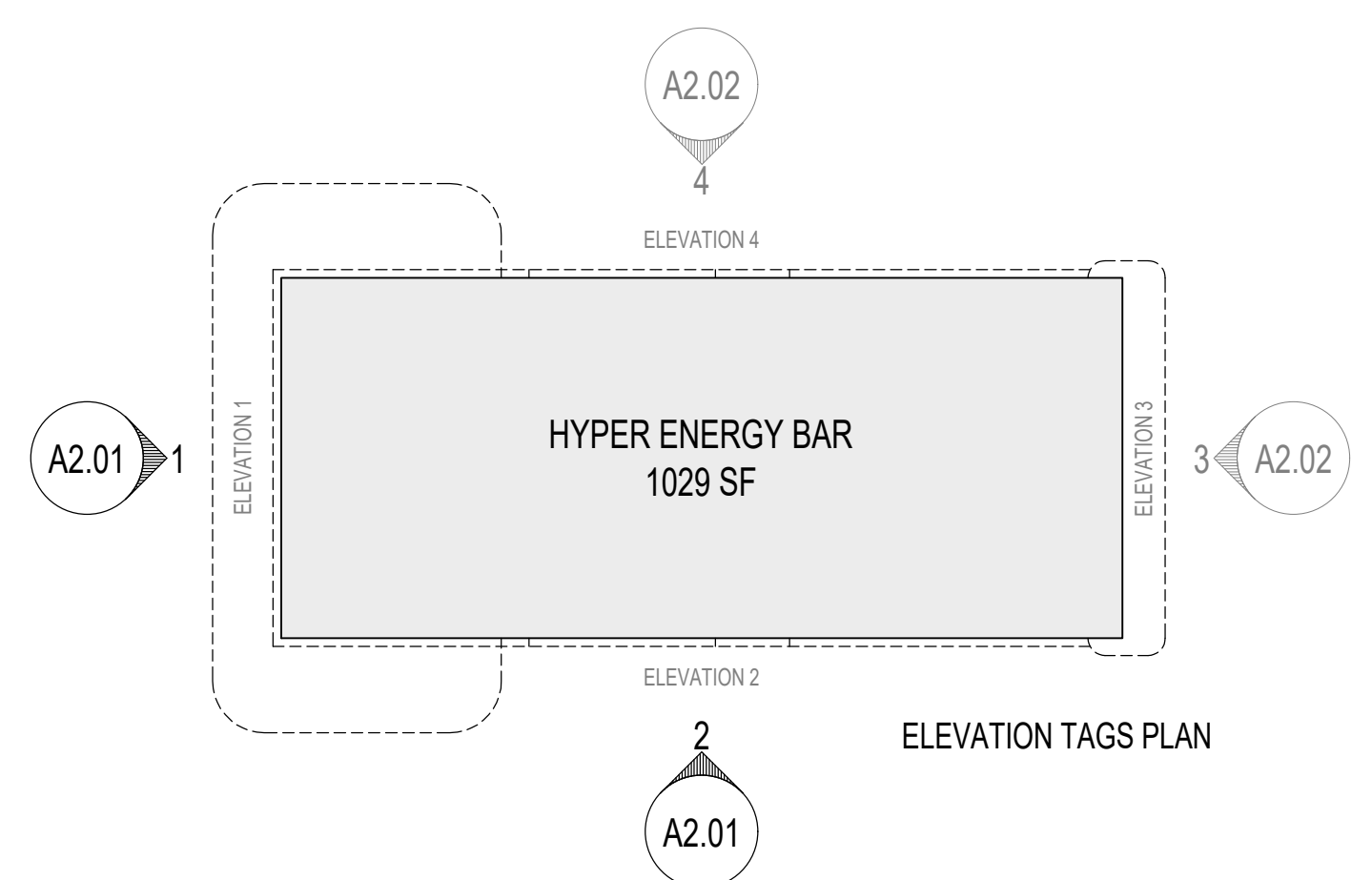






**1**  
A2.01  
**ELEVATION 1**  
SCALE: 3/8" = 1'-0"

MATERIAL PERCENTAGES ELEVATION 1		TOTAL SF = 312 SF
PRIMARY MATERIAL		
STN-1	62.5%	195 SF
SECONDARY MATERIALS		
MTL-1	0%	0 SF
MTL-2 & 3	19%	59 SF
GLASS	18.5%	58 SF



**ELEVATION TAGS PLAN**

- GENERAL NOTES**
- PROVIDE DEDICATED CIRCUIT AT ALL BUILDING SIGNAGE LOCATIONS.
  - ALL EXPOSED FLASHINGS TO BE SATIN POWDER COAT, ANODIZED, OR TO MATCH.
- EXTERIOR FINISH LEGEND**
- |       |   |
|-------|---|
| STN-1 | BRICK VENEER: LOREI/BRICK™ FAROLA™ A LONG-FORMAT BRICK PROFILE. WITH TEXTURAL DETAILS, SLENDER CUTS AND SOFT GRADIENTS        |
| MTL-1 | METAL PANELS: PERFORATED CUSTOM DESIGN ARCHITECTURAL PANELS WITH CONCEALED FASTENERS FINISH: ANODIZED METAL, WARM LED BACKLIT |
| MTL-2 | ACM PANEL RAIN SCREEN: ALPOLIC FINISH: SATIN POWDERCOAT   |
| MTL-3 | ACM PANEL RAIN SCREEN: ALPOLIC FINISH: SATIN POWDERCOAT   |
- NOTE:** THIS IS A CUSTOM STICK-BUILT, FLAGSHIP AND SPECIFIC TO THE ANKENY BLVD. HIGH TRESTLE TRAIL LOCATION

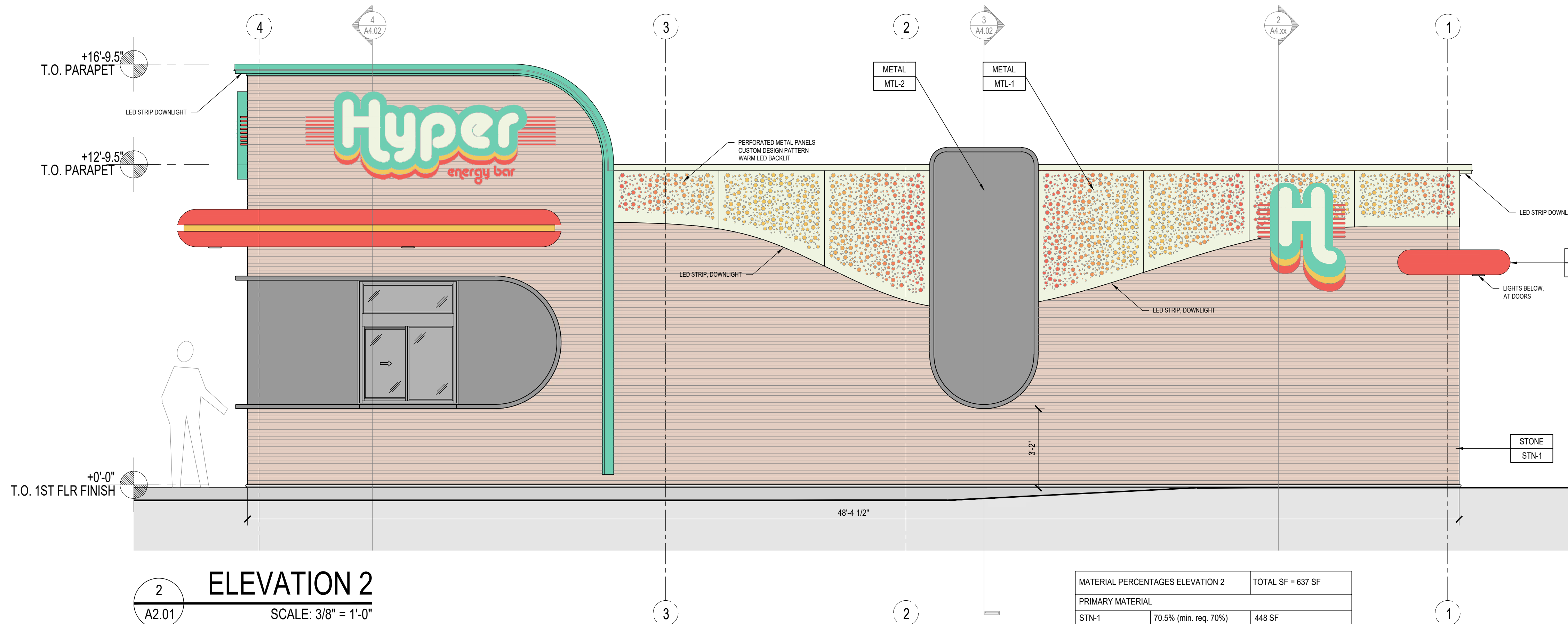
OVERALL MATERIAL PERCENTAGES		TOTAL ELEVATIONS = 1,822 SF
MATERIAL	PERCENTAGE (%)	MATERIAL SF
STN-1	65.4%	1,191 SF
MTL-1	9.5%	174 SF
MTL-2 & 3	18.5%	337 SF
GLASS	6.6%	120 SF

DESIGN DEVELOPMENT  
NOT FOR PERMIT OR  
CONSTRUCTION

Date: 03-08-2024  
Designed by: HOAD  
Drawn by: EJS  
Checked by: ...

**ISSUED FOR PERMIT:**  
XX-XX-XX

**Revisions:**

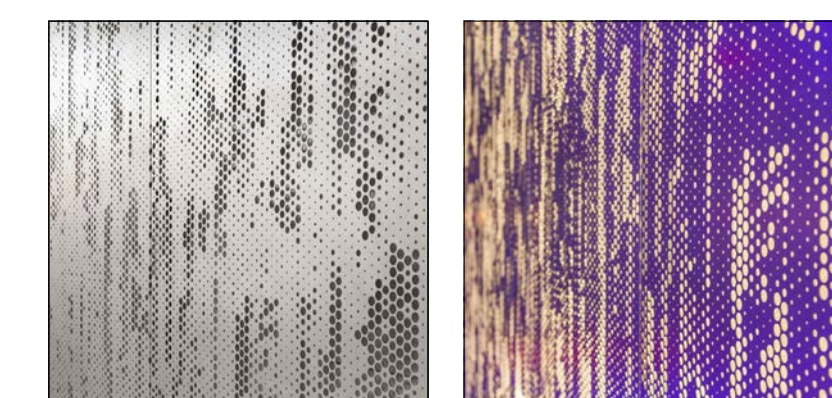



**2**  
A2.01  
**ELEVATION 2**  
SCALE: 3/8" = 1'-0"

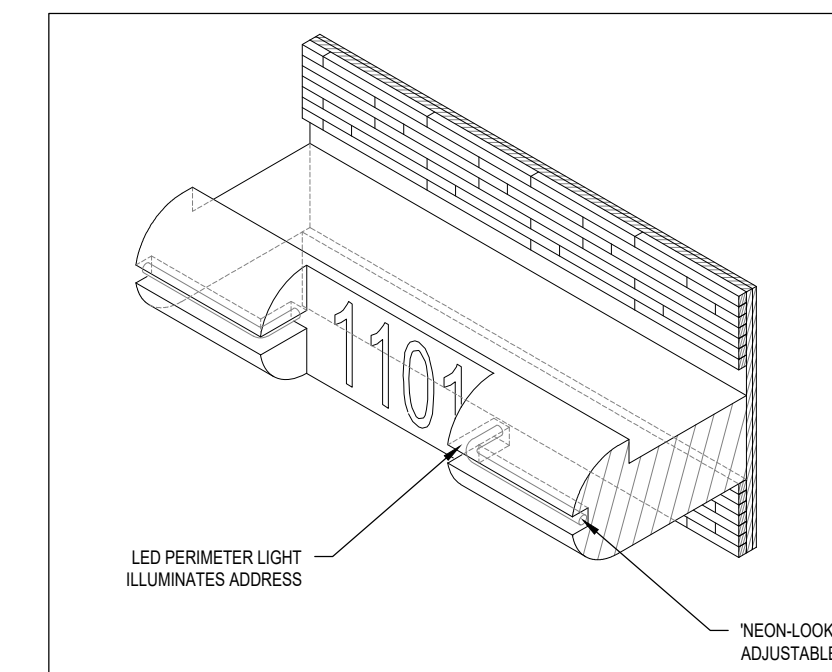
MATERIAL PERCENTAGES ELEVATION 2		TOTAL SF = 637 SF
PRIMARY MATERIAL		
STN-1	70.5% (min. req. 70%)	448 SF
SECONDARY MATERIALS		
MTL-1	13.8%	87 SF
MTL-2 & 3	12.8%	82 SF
GLASS	3.1%	20 SF



**BASE & PRIMARY MATERIAL - REFERENCE IMAGES**  
Brick veneer: Lorei/brick Farola. A long-format brick profile, with textural details, slender cuts and soft gradients.



**SECONDARY MATERIAL - REFERENCE IMAGES**  
Perforated metal screens: Custom design t.b.c. by artist, warm backlight and concealed fasteners.



**CANOPY DETAIL**  
A 'neon-look' LED perimeter light recessed in canopy edge. Address number set into break in curved canopy edge, illuminated by recessed LED perimeter light.

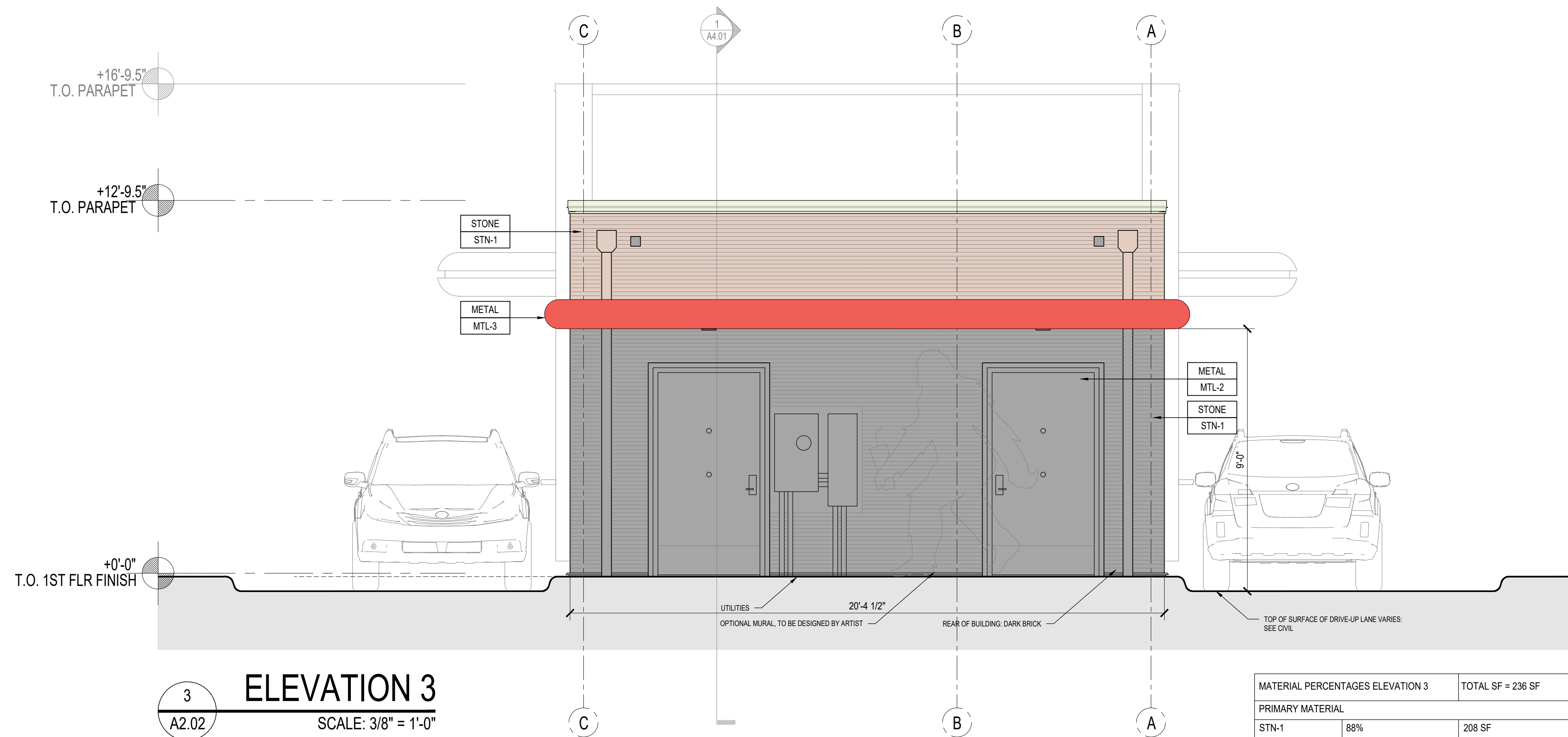
**HYPER ENERGY BAR**  
1101 S. ANKENY BLVD & HIGH TRESTLE TRAIL  
ANKENY, IOWA

**Heart of America**  
**Hyper energy bar**

© 2024 Heart of America Group | 515 E Locust St., Suite 100, Des Moines, IA 50309 | 1501 River Drive, Moline, IL 61265 | Phone: 309.797.9300

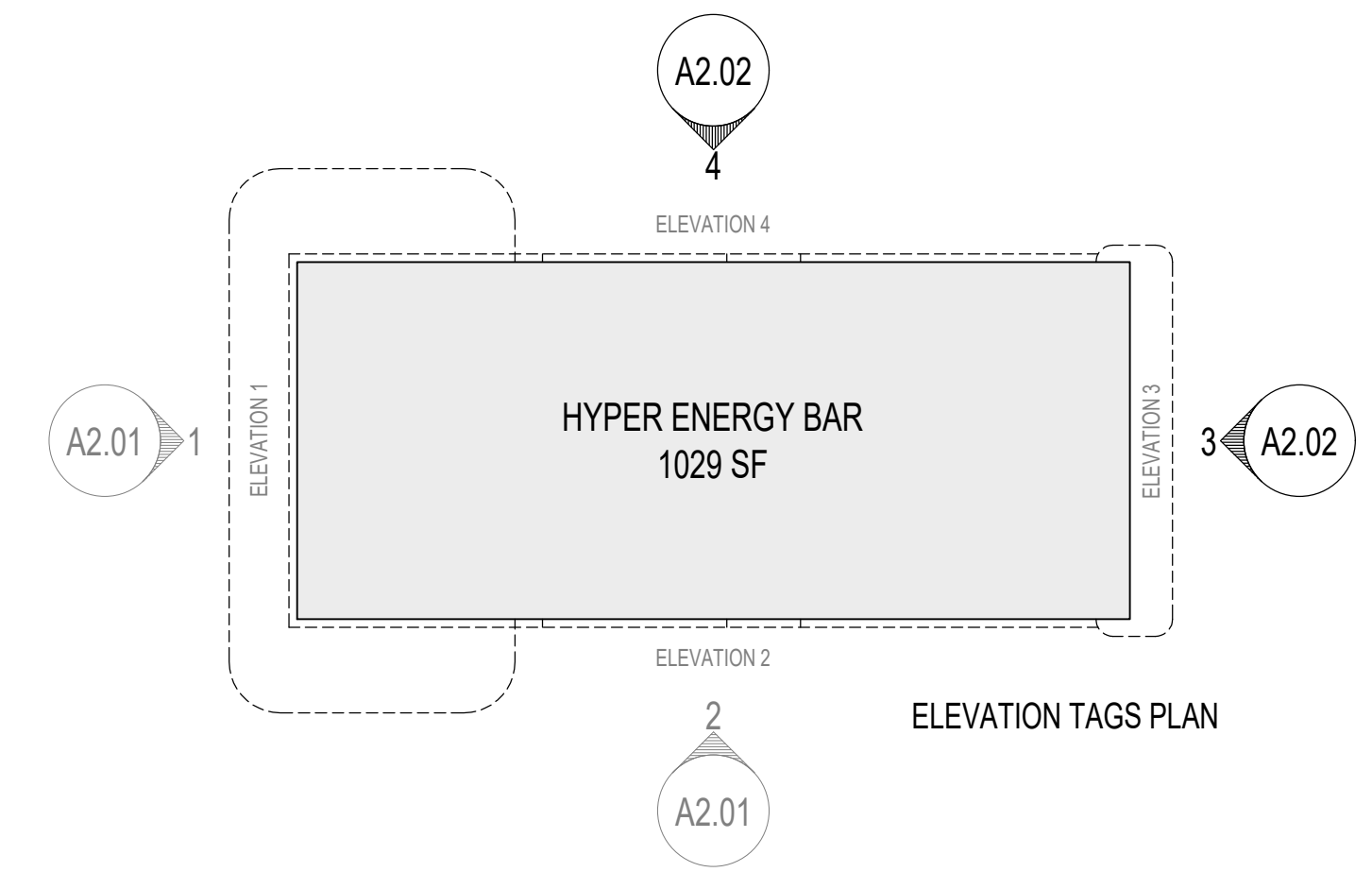
Project No. 500-574  
Sheet Content:  
EXTERIOR ELEVATIONS 1 & 2

Sheet No.  
**A2.01**



**3 ELEVATION 3**  
A2.02 SCALE: 3/8" = 1'-0"

MATERIAL PERCENTAGES ELEVATION 3		TOTAL SF = 236 SF
PRIMARY MATERIAL		
STN-1	88%	208 SF
SECONDARY MATERIALS		
MTL-1	5%	11.5 SF
MTL-2 & 3	7%	16.5 SF
GLASS	0%	0 SF



ELEVATION TAGS PLAN

**GENERAL NOTES**

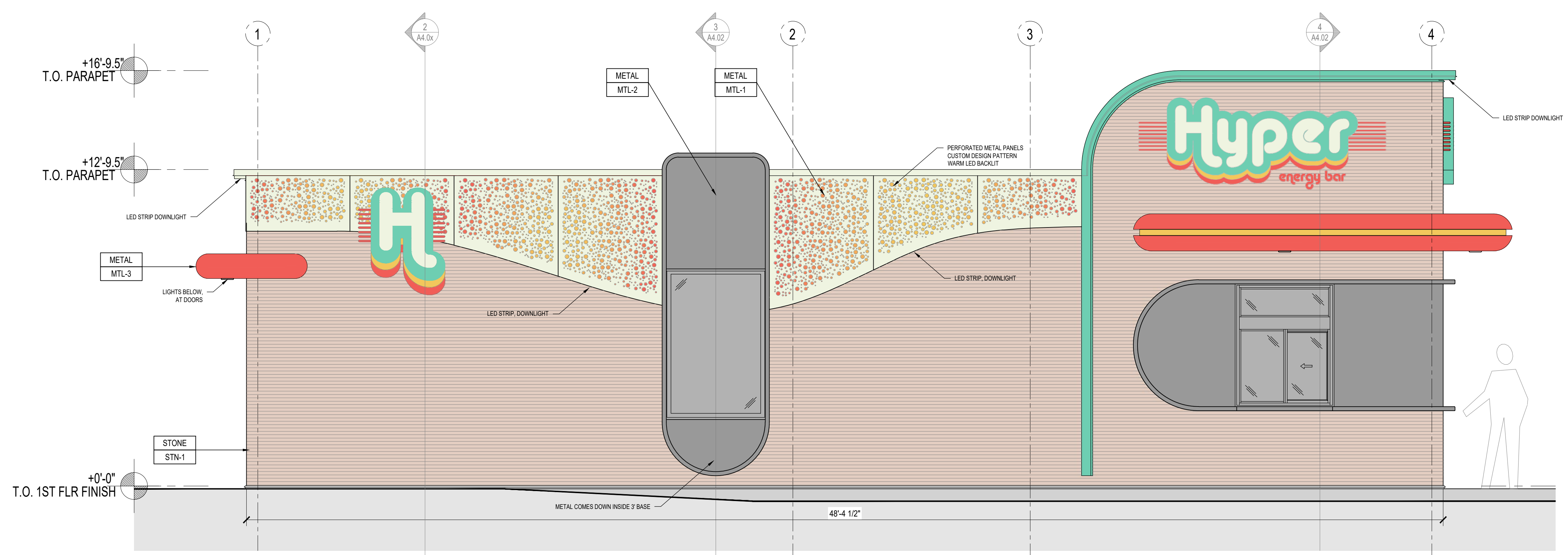
- PROVIDE DEDICATED CIRCUIT AT ALL BUILDING SIGNAGE LOCATIONS.
- ALL EXPOSED FLASHINGS TO BE SATIN POWDER COAT, ANODIZED, OR TO MATCH.

**EXTERIOR FINISH LEGEND**

STN-1	BRICK VENEER: LOREI/BRICK™ FAROLA™ A LONG-FORMAT BRICK PROFILE, WITH TEXTURAL DETAILS, SLENDER CUTS AND SOFT GRADIENTS
MTL-1	METAL PANELS: PERFORATED CUSTOM DESIGN ARCHITECTURAL PANELS WITH CONCEALED FASTENERS FINISH: ANODIZED METAL, WARM LED BACKLIT
MTL-2	ACM PANEL RAIN SCREEN: ALPOLIC FINISH: SATIN POWDERCOAT
MTL-3	ACM PANEL RAIN SCREEN: ALPOLIC FINISH: SATIN POWDERCOAT

**NOTE:** THIS IS A CUSTOM STICK-BUILT, FLAGSHIP AND SPECIFIC TO THE ANKENY BLVD. HIGH TRESTLE TRAIL LOCATION

OVERALL MATERIAL PERCENTAGES		TOTAL ELEVATIONS = 1,822 SF
MATERIAL	PERCENTAGE (%)	MATERIAL SF
STN-1	65.4%	1,191 SF
MTL-1	9.5%	174 SF
MTL-2 & 3	18.5%	337 SF
GLASS	6.6%	120 SF

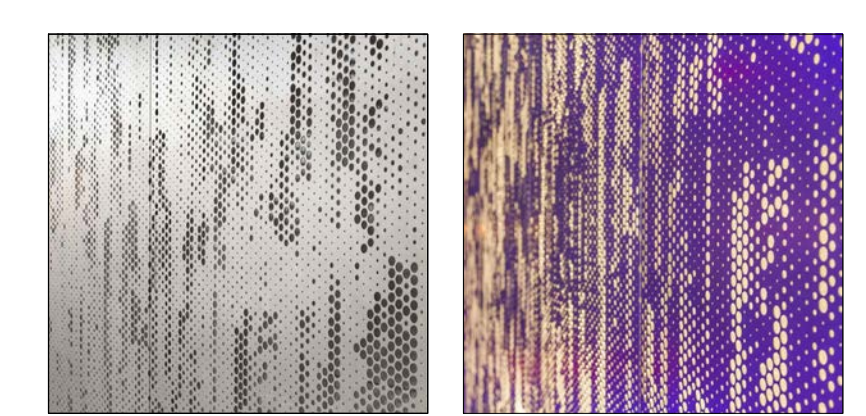


**4 ELEVATION 4**  
A2.02 SCALE: 3/8" = 1'-0"

MATERIAL PERCENTAGES ELEVATION 4		TOTAL SF = 637 SF
PRIMARY MATERIAL		
STN-1	68.7%	438 SF
SECONDARY MATERIALS		
MTL-1	13.8%	87 SF
MTL-2 & 3	10.9%	70 SF
GLASS	6.8%	42 SF



BASE & PRIMARY MATERIAL - REFERENCE IMAGES  
Brick veneer: Lorei/brick Farola. A long-format brick profile, with textural details, slender cuts and soft gradients.



SECONDARY MATERIAL - REFERENCE IMAGES  
Perforated metal screens: Custom design t.b.c. by artist, warm backlit and concealed fasteners.



BASE & PRIMARY MATERIAL - REFERENCE IMAGES  
Brick veneer: Elevation 3 to be partially clad with dark, Hollin brick veneer. Grouted, long-format profile, with textural details, slender cuts and soft gradients.

DESIGN DEVELOPMENT  
NOT FOR PERMIT OR  
CONSTRUCTION

Date: 03-08-2024

Designed by: HOAD

Drawn by: EJS

Checked by: ...

ISSUED FOR PERMIT:  
XX-XX-XX

Revisions:


**HYPER ENERGY BAR**

1101 S. ANKENY BLVD & HIGH TRESTLE TRAIL  
ANKENY, IOWA

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Project No. 500-574

Sheet Content:  
EXTERIOR ELEVATIONS 3 & 4

Sheet No.  
**A2.02**



PLAN AND ZONING COMMISSION

March 19, 2024

6 : 30 PM

Print

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Request to amend a portion of the I-80 Commerce Center PUD, Planned Unit Development, for property owned by Commerce Center, LLC

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

**Action:** Consider MOTION to close the public hearing, and receive and file documents.

ADDITIONAL INFORMATION:

ATTACHMENTS:

**Click to download**

[!\[\]\(21199eb166cc97331a0c54c649195dcc\_img.jpg\) Aerial Map](#)

[!\[\]\(2bdfe261b986065ee0ac76460d6528c9\_img.jpg\) Staff Report](#)

[!\[\]\(dfbd6b3763a6d1d9afaa974f64e2e4b5\_img.jpg\) Applicant Letter](#)

[!\[\]\(e78f798d4ea5c530c9db49e7d26e6b95\_img.jpg\) Rezoning Exhibit](#)

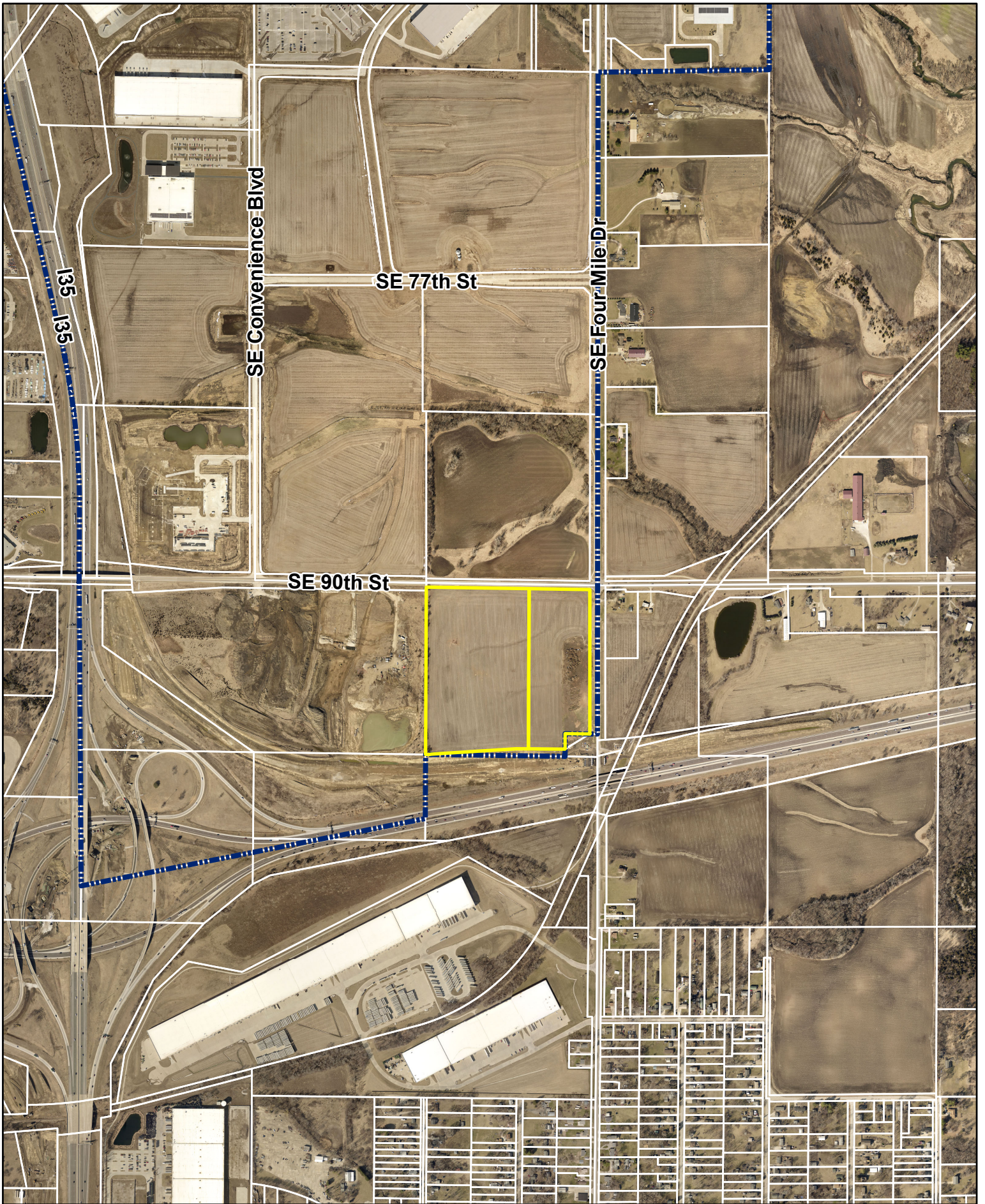
[!\[\]\(23d9fc146e83b5c3013cfa32c784f8d5\_img.jpg\) I-80 Commerce Center PUD](#)

[!\[\]\(c694a3ff3b077d76910920a6a1593ab4\_img.jpg\) PUD Master Plan](#)

[!\[\]\(ec9132f1d27c8919987d92907322654d\_img.jpg\) PUD Master Plan Alternative](#)

[!\[\]\(05be7c7a8995decd503647c99211f7c2\_img.jpg\) Zoning Map](#)

[!\[\]\(aa53ad6fea213b8b2226d3077e30533a\_img.jpg\) Future Land Use Map](#)



N



1 inch = 944 feet

Date: 3/5/2024

**I-80 Commerce Center  
PUD Amendment  
Aerial Map**



*Plan and Zoning Commission  
Staff Report*

*Meeting Date: March 19, 2024*

---

**Agenda Item:** I-80 Commerce Center – Public Hearing  
**Report Date:** March 14, 2024  
**Prepared By:** Ryan Kirschman  
Planner I

ESC

Commerce Center, LLC is proposing an amendment to a portion of the I-80 Commerce Center PUD. The request is for 35.66 acres within the development to be amended, adding an alternate land use for a data center and an electric substation.

The subject area is approximately 35.66 acres of property, located south of SE 90th Street, west of NE 29th Street/SE Four Mile Drive, and north of Interstate 80. Properties to the north are zoned Crosswinds Business Park PUD. Properties to the west are zoned R-1, One-Family Residence District. Surrounding properties to the south and east are unincorporated—zoned under Polk County—with property to the east zoned MDR, Medium-Density Residential District; and property to the south zoned HI, Heavy Industrial District.

The PUD Master Plan outlines the general plan for development of the site with tentative building footprints, accesses to public streets, parking areas, and storm water detention areas; however, final designs will be determined and approved with subsequent final platting and site planning. Language in the PUD Master Plan discusses screening to be required, as well as fencing, and utility services. Proposed building elevations are provided with examples of other buildings having similar architectural character integrating painted, concrete, pre-cast, tilt-up wall sections in earth-tone colors, with various textures, colors, and glass. The amendment adds the Data Center Use with additional language allowing an alternate architectural style to have Cerulean blue as a main accent color. The amendment also provides additional landscaping language for a Type C screen which will be a combination of earth berms, trees and shrubs that screen for an electrical substation.

The Ankeny Comprehensive Plan indicates the subject area as office business park; therefore, the proposed amendment remains consistent with the Future Land Use Map.

The applicant submitted the required rezoning petitions for the subject property. Notification for the rezoning were mailed to all properties within 250' of the subject area, legal notice was posted in the Des Moines Register, and public notification signage was posted on the property.

A complete staff report will be presented at the next Planning and Zoning Commission meeting on April 2, 2024.

February 16, 2024

Honorable Mayor and City Council  
Plan and Zoning Commission  
City of Ankeny  
410 West 1st Street  
Ankeny, Iowa 50021

RE: I-80 COMMERCE CENTER PUD AMENDED  
PART OF THE NE ¼, NE ¼ OF SEC. 18, T79N, R23W  
S&A Project No. 124.0167.01

Dear Honorable Mayor, City Council and Plan and Zoning Commission:

On behalf of Commerce Center, LLC, as owner and applicant, we respectfully submit the rezoning amendment request for their property located at the southwesterly corner of SE Four Mile Drive and SE 90<sup>th</sup> Street, north of Interstate 80.

With this amendment, we are requesting the rezoning of approximately 35.662 acres from the current zoning designation of I-80 Commerce Center PUD district to proposed zoning designation of I-80 Commerce Center PUD Amended. We are requesting this modification to allow for a Data Center and electrical substation on the property.

Attached are copies of the Rezoning Application form, Petitions for Rezoning, Rezoning Map, PUD Master Plan, and associated information. Please contact our office should you have any questions or require additional information. Thank you.

Sincerely,

SNYDER & ASSOCIATES, INC.



Brent K. Culp

Enclosure

cc: Andy Hodges, Commerce Center, LLC (w/enclosure emailed)  
File (electronic)





# **I-80 COMMERCE CENTER PUD**

**ANKENY, IOWA**

*Developed by*

**COMMERCE CENTER, LLC**

**AMENDED PUD PLAN**

**FEBRUARY 16, 2024**  
*REVISED: MARCH 8, 2024*



**SNYDER & ASSOCIATES**  
Engineers and Planners

# TABLE OF CONTENTS

---

## 1. REZONING AMENDMENT REQUEST

- Petition Cover Letter
- Rezoning Application Form
- Petitions for Rezoning
- Rezoning Map

## 2. PUD PLAN EXHIBITS

- PUD Master Plan

## 3. BULK REGULATIONS

- Bulk Regulations
- Architectural Character
- Compatible Building Examples

## 4. SUPPORTING EVIDENCE

- Supporting Evidence Statement
- Vicinity Map and Rezoning Description
- Existing Topography/Drainage Areas
- FIRM Map
- Water Usage Calculations
- Trip Generation Memorandum

# 1. REZONING AMENDMENT REQUEST



March 8, 2024

Honorable Mayor and City Council  
Plan and Zoning Commission  
City of Ankeny  
410 West 1st Street  
Ankeny, Iowa 50021

RE: I-80 COMMERCE CENTER PUD AMENDED  
PART OF THE NE ¼, NE ¼ OF SEC. 18, T79N, R23W  
S&A Project No. 124.0167.01

Dear Honorable Mayor, City Council and Plan and Zoning Commission:

On behalf of Commerce Center, LLC, as owner and applicant, please find accompanying the revised PUD Master Plan, PUD Booklet and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications. We respectfully request the City's review and approval of these documents. The plans illustrate a light industrial development located at the southwesterly corner of SE Four Mile Drive and SE 90<sup>th</sup> Street, north of Interstate 80 that is approximately 35.662 acres. We are requesting a modification to allow for a Data Center and electrical substation on the property that is currently zoned I-80 Commerce Center PUD.

As requested, we have addressed all items of the Tech Review through plan modification and discussions with Staff. Please find accompanying the following items:

- 6 copies of the PUD Booklet,
- 6 Full Size PUD Master Plan,
- 6 Half Size Rezoning Map, and
- Comment Response Letter addressing Staff Comments.

If there are additional questions or comments on this project, please contact me at your convenience. Thank you.

Sincerely,

SNYDER & ASSOCIATES, INC.



Brent K. Culp

Enclosure

cc: Andy Hodges, Commerce Center, LLC (w/enclosure emailed)  
File (electronic)



February 16, 2024

Honorable Mayor and City Council  
Plan and Zoning Commission  
City of Ankeny  
410 West 1st Street  
Ankeny, Iowa 50021

RE: I-80 COMMERCE CENTER PUD AMENDED  
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Sincerely,

SNYDER & ASSOCIATES, INC.

Brent K. Culp

Enclosure

cc: Andy Hodges, Commerce Center, LLC (w/enclosure emailed)  
File (electronic)

**Rezoning Application Form**

Property Location (street address and/or boundary description):

Southwesterly quadrant of the intersection of SE 90th Street and SE Four Mile Drive

Gross acreage of rezoning: 35.662 acres

Current property zoning: I-80 Commerce Center PUD

Proposed property zoning: I-80 Commerce Center PUD Amended

Conditions:

None

Is property within Ankeny's corporate limits  yes  no

Applicant/Contact Person:

Full Name: Andy Hodges Company: Commerce Center, LLC

Address: 4701 121st Street

City, State, Zip: Urbandale, Iowa 50323-2316

Office Phone: 515-221-9990 Cell Phone: \_\_\_\_\_

E-mail: Ahodges@SignatureRES.com

Property Owner:

Full Name: Same as Above Applicant Company: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Office Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

Attorney

Full Name: \_\_\_\_\_ Firm Name: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Office Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

Land Surveyor/Engineer: Snyder and Associates, Inc.

Address: 2727 SW Snyder Blvd.

City, State, Zip: Ankeny, Iowa 50023

Office Phone: 515-964-2020 Cell Phone: 515-669-1419

E-mail: bkculp@snyder-associates.com

I (We) certify that I (we) am (are) familiar with applicable state and local codes and ordinances, the procedural requirements of the City of Ankeny, and have submitted all the required information.

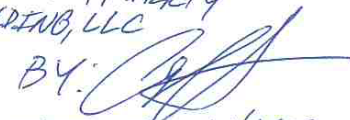
Signed by:  ANDY HODGES Date: 1-16-24  
(Applicant/Contact Person)

Note: No other signature may be substituted for the Property Owner's Signature

and: COMMERCE CENTER LLC Date: 1-16-24  
(Property Owner)

BY: SELECT PROPERTY HOLDINGS, LLC **\*\*Original signatures are required\*\***

City of Ankeny

BY:   
NAME: ANDY HODGES  
ITS: MANAGER

Page 3 of 6

PETITION FOR REZONING

TO: Honorable Mayor and City Council  
Plan and Zoning Commission

We, the undersigned owners of the following described real estate

Legal Description / Address:

See Attached Exhibit 'A'

request that said real estate be rezoned from its present classification of PUD to PUD Amended for the purpose of allowing the following use(s):


Light Industrial, Data Center and Electrical Substation

The undersigned owners of real estate lying outside of said tract, but within two hundred and fifty (250') feet of the boundaries thereof, intervening streets and alleys not included in the computation of said distance, join in this petition for the purpose of having the above described real estate rezoned from PUD to Amended PUD.

**Parcel owner(s) signatures**

Commerce Center, LLC, Andy Hodges

(owner name)



(Signature)

(owner name)

(Signature)

**Parcel owners within 250' of the above tract:**

Property Owner: Rose Brown

Address: 4425 Cameron Swing, Pleasant Hill, IA 50327

Signature: Rose Brown

Date: 2-16-24

Printed Name: Rose Brown

Title: owner

Property Owner: Vicki Brown

Address: 4425 Cameron Swing, Pleasant Hill, IA 50327 2909 NE 54TH AVE, DES MOINES, IA

Signature: Vicki Brown

Date: 2-16-24

Printed Name: Vicki Brown

Title: owner

PETITION FOR REZONING

TO: Honorable Mayor and City Council  
Plan and Zoning Commission

We, the undersigned owners of the following described real estate

Legal Description / Address:

See Attached Exhibit 'A'

request that said real estate be rezoned from its present classification of PUD to PUD Amended for the purpose of allowing the following use(s):  
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**Parcel owner(s) signatures**

Commerce Center, LLC, Andy Hodges  
(owner name) (Signature)

\_\_\_\_\_  
(owner name) (Signature)

**Parcel owners within 250' of the above tract:**

Property Owner: Jerri Renees (Brown)  
Address: 2969 NE 54TH AVE.  
Signature: Jerri Brown Date: 2-16-24  
Printed Name: Jerri Brown Title: Owner

Property Owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Printed Name: \_\_\_\_\_ Title: \_\_\_\_\_



PETITION FOR REZONING

TO: Honorable Mayor and City Council  
Plan and Zoning Commission

We, the undersigned owners of the following described real estate

Legal Description / Address:

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Parcel owner(s) signatures

Commerce Center, LLC, Andy Hodges

(owner name)

(Signature)

(owner name)

(Signature)

Parcel owners within 250' of the above tract:

Property Owner: Graham Warehouse 4 LP

Address: 505 5th Ave. Ste. 200

Signature: [Signature]

Date: 1-24-24

Printed Name: Doug Den Adel

Title: President

Property Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

PETITION FOR REZONING

TO: Honorable Mayor and City Council  
Plan and Zoning Commission

We, the undersigned owners of the following described real estate

Legal Description / Address:

See Attached Exhibit 'A'

request that said real estate be rezoned from its present classification of PUD to PUD Amended for the purpose of allowing the following use(s):  
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**Parcel owner(s) signatures**

Commerce Center, LLC, Andy Hodges  
(owner name)

  
(Signature)

\_\_\_\_\_  
(owner name)

\_\_\_\_\_  
(Signature)

**Parcel owners within 250' of the above tract:**

Property Owner: Iowa Department of Transportation

Address: 1020 South 4th Street, Ames IA 50010

Signature: Shelby Ebel Digitally signed by Shelby Ebel  
Date: 2024.02.05 15:11:45 -06'00' Date: 02/05/24

Printed Name: Shelby Ebel Title: District 1 Planner

Property Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_ Title: \_\_\_\_\_

EXHIBIT 'A'

I-80 COMMERCE CENTER PUD AMENDED -REZONING DESCRIPTION

THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M., CITY OF ANKENY, POLK COUNTY IOWA.

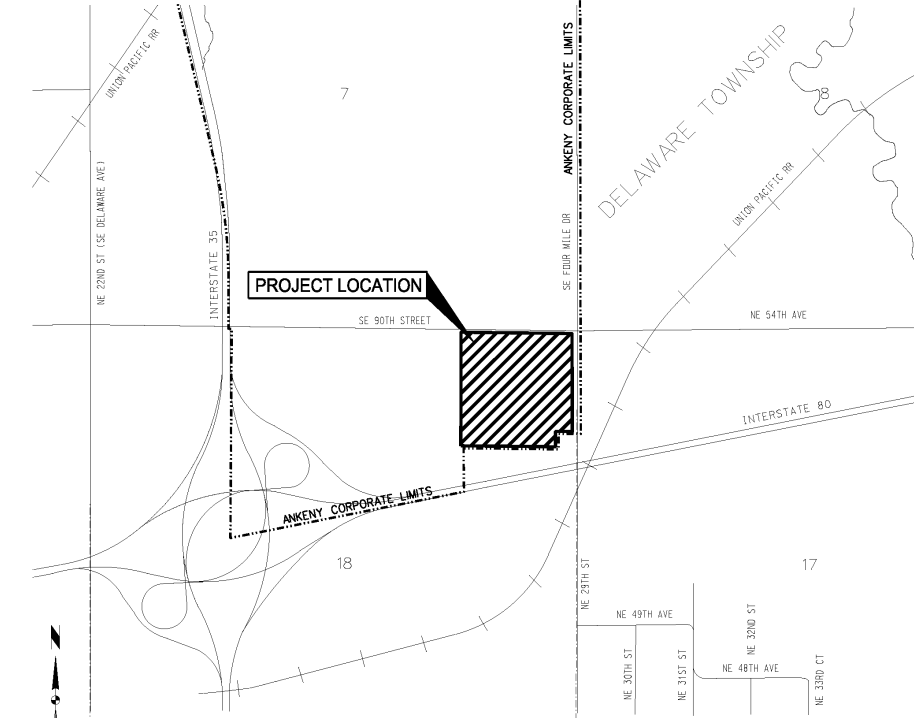
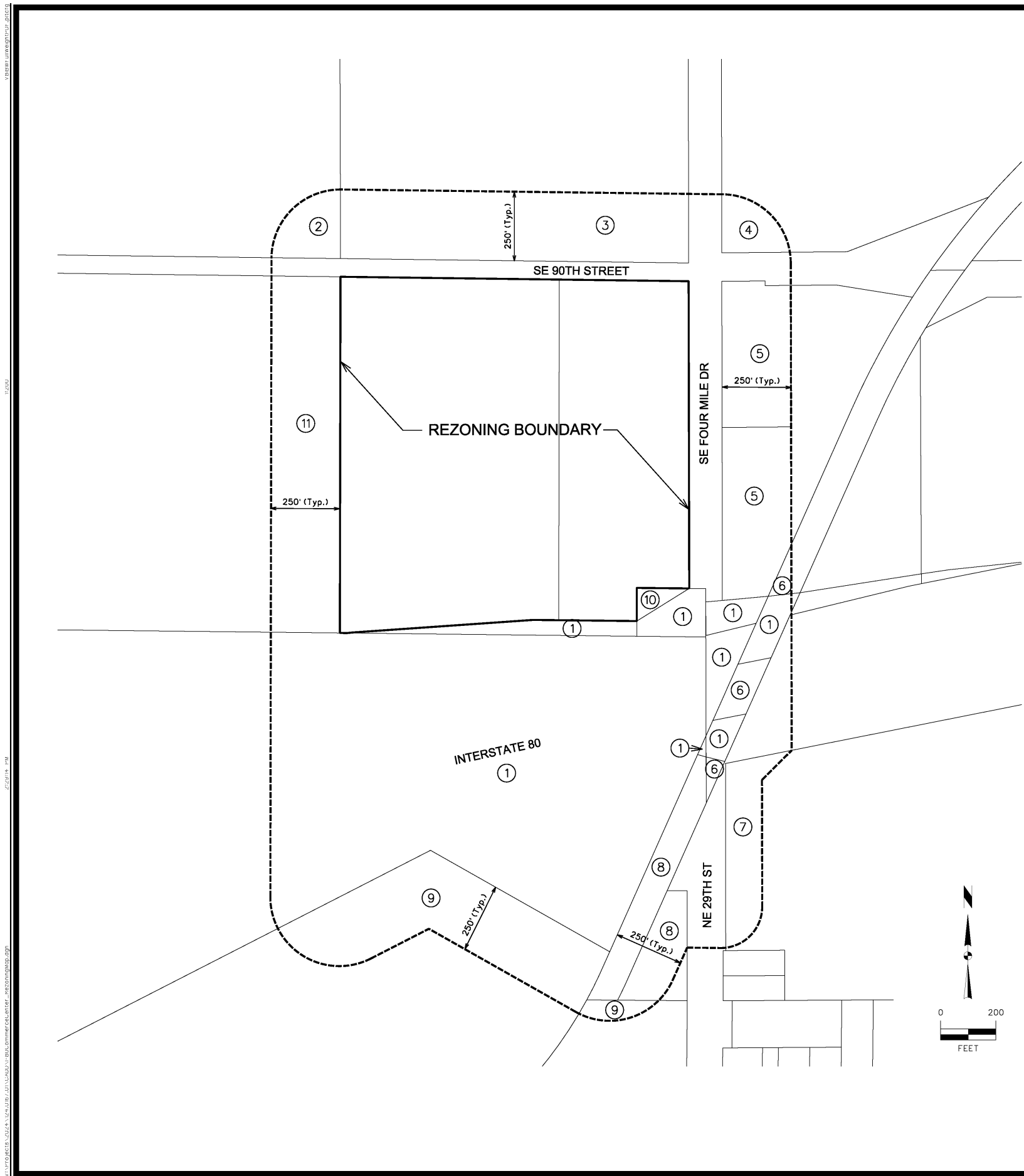
EXCEPT ROADWAYS

AND

EXCEPT WARRANTY DEED FILED IN BOOK 17366, PAGE 842 OF THE POLK COUNTY RECORDER'S OFFICE.

AND

EXCEPT THE SOUTH 175 FEET OF THE EAST 250 FEET OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18.



NOT TO SCALE

VICINITY MAP  
 city of  
**Ankeny**  
*bringing it all together*

**REZONING DESCRIPTION**

THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M., CITY OF ANKENY, POLK COUNTY IOWA. EXCEPT ROADWAYS AND EXCEPT WARRANTY DEED FILED IN BOOK 17366, PAGE 842 OF THE POLK COUNTY RECORDER'S OFFICE. AND EXCEPT THE SOUTH 175 FEET OF THE EAST 250 FEET OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18.

**OWNER/DEVELOPER**

SIGNATURE REAL ESTATE  
 COMMERCE CENTER LLC  
 4701 121ST STREET  
 URbandale, IA 50323  
 CONTACT: DAVE HANSEN  
 PHONE: (515) 221-9990

**ZONING**

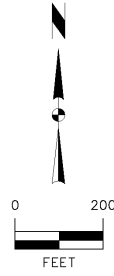
EXISTING: I-80 COMMERCE CENTER PUD  
 PROPOSED: I-80 COMMERCE CENTER PUD AMENDED

**ADJACENT PROPERTY OWNERS**

- |  |  |
|--|--|
| 1. STATE OF IOWA<br>800 LINCOLN WAY<br>AMES, IA 50010                                    | 6. POLK COUNTY CONSERVATION BOARD<br>11407 NW JESTER PARK DR<br>GRANGER, IA 50109        |
| 2. LEGACY HOUSBY LLC<br>1305 50TH ST<br>WEST DES MOINES, IA 50266                        | 7. GUNNER & DIANNA VIGNAROLI<br>5069 NE 29TH ST<br>DES MOINES, IA 50317                  |
| 3. SILVER LAND COMPANY LC.<br>6152 NE 48TH ST<br>ALTOONA IA 50009                        | 8. POLK COUNTY<br>5885 NE 14TH ST<br>DES MOINES, IA 50313                                |
| 4. LEGACY HOUSBY LLC<br>4200 RIVER OAKS DR<br>DES MOINES, IA 50312                       | 9. GRAHAM WAREHOUSE 4 LP<br>505 5TH AVE. STE 200<br>DES MOINES, IA 50309                 |
| 5. ROSE BROWN, JERI RENES & VICKI BROWN<br>4425 CAMERON SWING<br>PLEASANT HILL, IA 50327 | 10. SIGNATURE REAL ESTATE<br>COMMERCE CENTER LLC<br>4701 121ST ST<br>URbandale, IA 50323 |
|  | 11. DOT ROW DIVISION<br>800 LINCOLN WAY<br>AMES, IOWA 50010                              |

**ADJACENT OWNERSHIP AREAS**

OWNER	ACRES	PERCENTAGE OF OWNERSHIP	PERCENTAGE OF APPROVAL
1	3.10	X 0.00%	NEUTRAL
2	1.12	X 3.45%	
3	7.23	X 22.24%	
4	0.90	X 2.77%	
5	6.36	X 19.56%	
6	0.64	X 0.00%	NEUTRAL
7	2.06	X 6.34%	
8	5.34	X 0.00%	NEUTRAL
9	7.18	X 22.08%	
10	0.26	X 0.80%	
11	7.40	X 22.76%	
<b>TOTAL</b>	<b>32.51</b>	<b>35.60% +</b>	<b>64.40% = 100.00%</b>



MARK	REVISION	DATE	BY
	Checked By: J.L.H.	1"-200'	
	Engineer: AWS	02/16/24	
	Technician: AWS		

Project No: 124.0167.01 Sheet 1 of 1

**I-80 COMMERCE CENTER PUD AMENDED**

**REZONING MAP**

**ANKENY, IOWA**

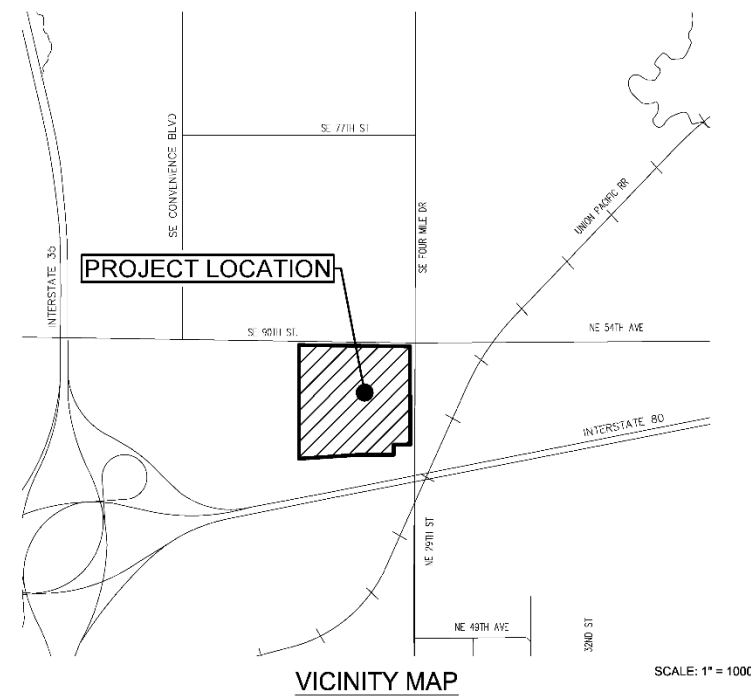
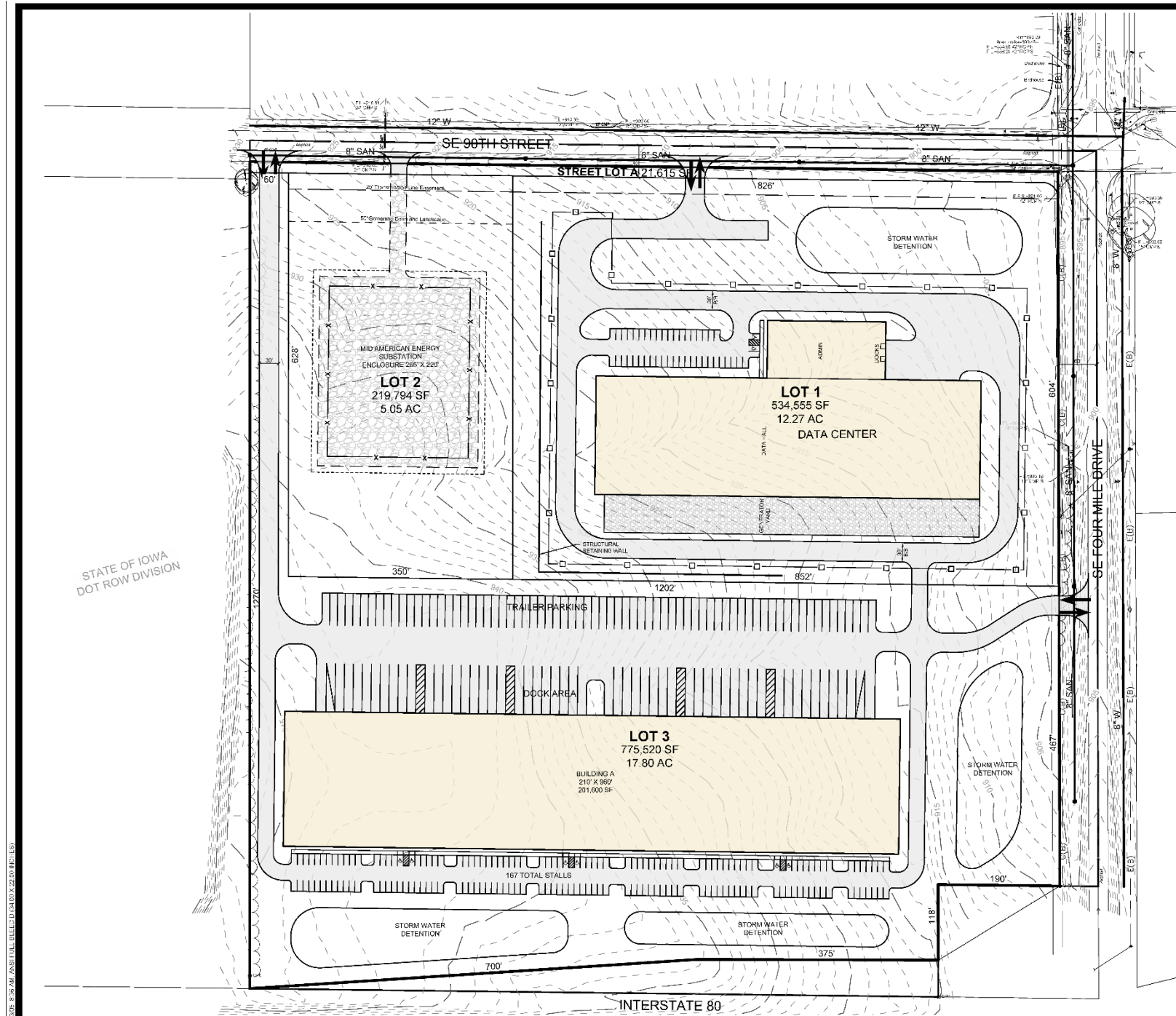
2727 S.W. SNYDER BLVD.  
 ANKENY, IOWA 50023  
 515-964-2020 | www.snyder-associates.com

**SNYDER & ASSOCIATES, INC.**

**SNYDER & ASSOCIATES**

Project No: 124.0167.01  
 Sheet 1 of 1

## **2. PUD PLAN EXHIBIT**



**REZONING DESCRIPTION**  
THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P. M., CITY OF ANKENY, POLK COUNTY IOWA.

AND

EXCEPT WARRANTY DEED FILED IN BOOK 17386, PAGE 842 OF THE POLK COUNTY RECORDER'S OFFICE.

AND

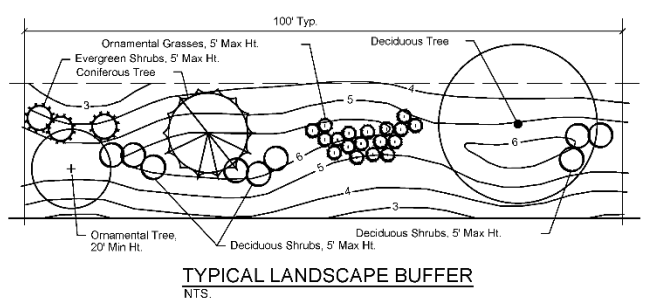
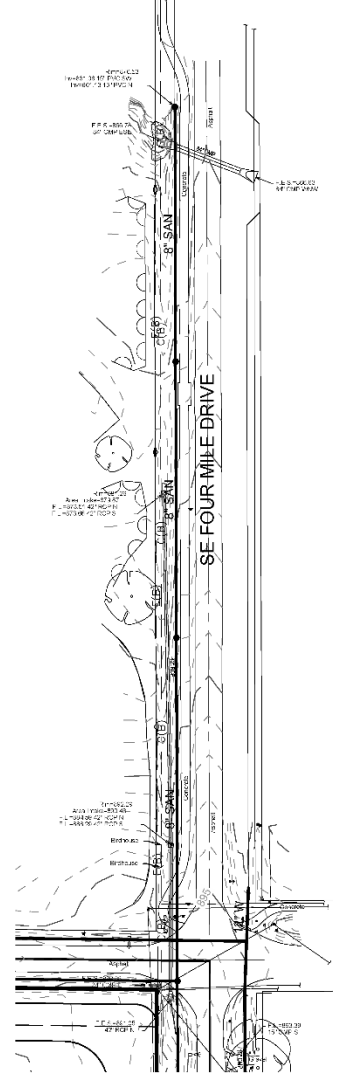
EXCEPT THE SOUTH 175 FEET OF THE EAST 250 FEET OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18.

**OWNER/APPLICANT**  
SIGNATURE REAL ESTATE  
COMMERCE CENTER LLC,  
4701 121ST STREET  
URBANDALE, IA 50323  
CONTACT: ANDY HODGES  
PHONE: (515) 221-9990

**ZONING**  
EXISTING: I-80 COMMERCE CENTER PUD  
PROPOSED: I-80 COMMERCE CENTER PUD AMENDED

**BULK REGULATIONS**  
SEE I-80 COMMERCE CENTER PUD AMENDED SUPPLEMENTAL MANUAL

**LAND USE**  
OFFICE/BUSINESS PARK



- NOTES**
- REFER TO THE I-80 COMMERCE CENTER PUD SUPPLEMENTAL MANUAL FOR ADDITIONAL INFORMATION REGARDING THE PUD PLAN.
  - FEATURES AS SHOWN ARE FOR GRAPHIC PRESENTATION PURPOSES ONLY. FINAL DESIGN MAY VARY.
  - THE FINAL DESIGNATION OF ACCESS POINTS WILL OCCUR WITH FUTURE LOT DEVELOPMENT PER CITY POLICY AND SUDAS STANDARDS.
  - SCREENING SHALL BE REQUIRED WHEREVER SERVICE AREAS, LOADING AND UNLOADING DOCKS, DELIVERY AREAS, DUMPSTERS, AND LARGE STORMWATER DETENTION BASINS ARE VISIBLE FROM PUBLIC WAYS AND ADJOINING PROPERTIES IN ACCORDANCE WITH THE CITY OF ANKENY ZONING ORDINANCE.
  - SCREENING WILL MEET THE REQUIREMENT OF CHAPTER 154: PARKING, LOADING AND SCREENING REQUIREMENTS OF THE ANKENY ORDINANCE OR AS NOTED IN THE PUD MANUAL.
  - THE SITE WILL MEET THE OPEN SPACE, LANDSCAPING AND PARKING LOT SHADING REQUIREMENT OF THE ANKENY ZONING ORDINANCE.
  - DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF STREETLIGHTS AND SIDEWALK ALONG SE 90TH STREET AND SE FOUR MILE DRIVE.
  - THE INDIVIDUAL LOT OWNERS, AT THE TIME OF LOT DEVELOPMENT, SHALL BE RESPONSIBLE FOR THEIR RESPECTIVE SITE TRAFFIC STUDY, AS WELL AS, PUBLIC TRAFFIC IMPROVEMENTS REQUIRED FROM THE CITY APPROVED TRAFFIC STUDY. THE TRAFFIC STUDY SCOPE SHALL BE REVIEWED WITH THE CITY TRAFFIC ENGINEERING MANAGER PRIOR TO ANY TRAFFIC STUDY SUBMITTAL TO THE CITY.

MARK	REVISION	DATE	BY
1	REVISED PER CITY COMMENTS	3-6-24	AVS
Engineer: J.H.	Checked By: B.K.	Scale: 1" = 100'	
Technician: AVS	Date: 2-14-2024	I-RS: 79N-23W-18	
Project No: 124.0167.01			Sheet C100

**I-80 COMMERCE CENTER PUD AMENDED**

**PUD MASTER PLAN**

**ANKENY, IOWA**

**SNYDER & ASSOCIATES, INC.**

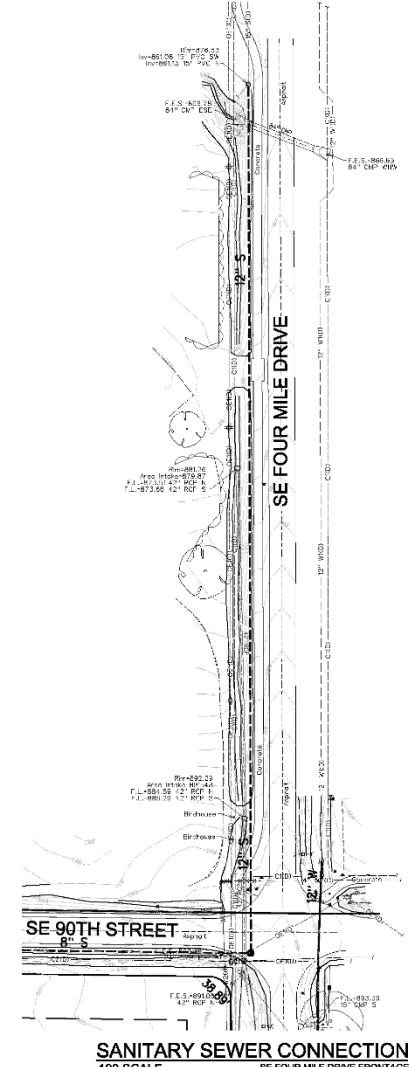
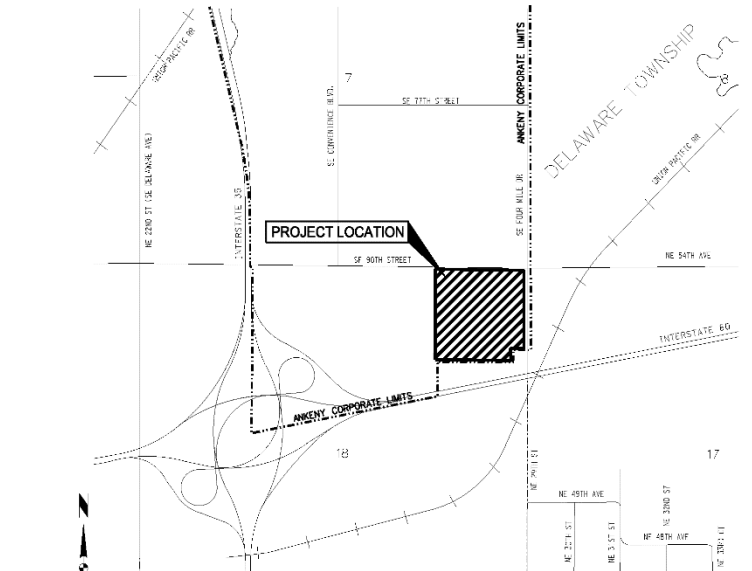
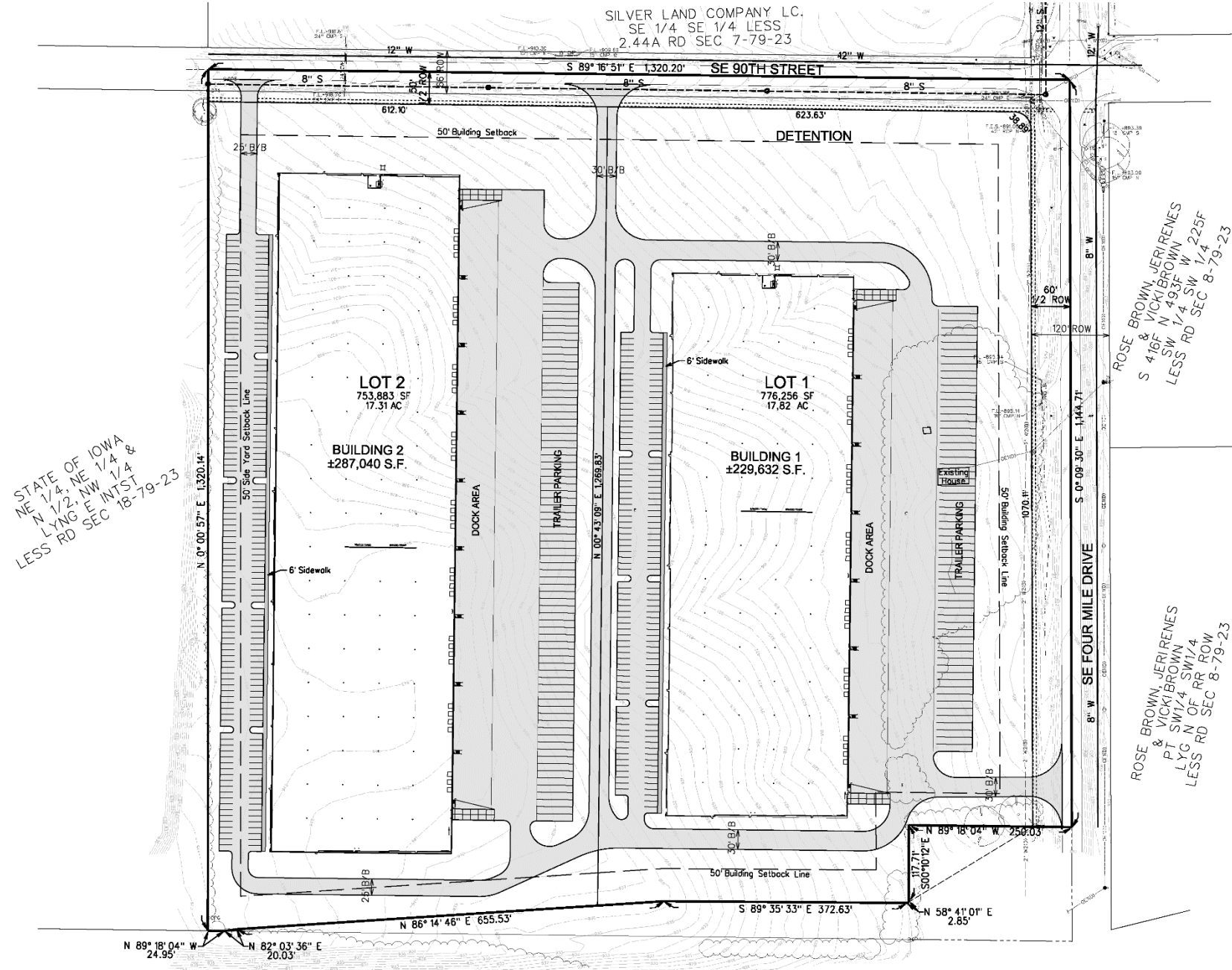
2727 S.W. SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com

**SNYDER & ASSOCIATES**

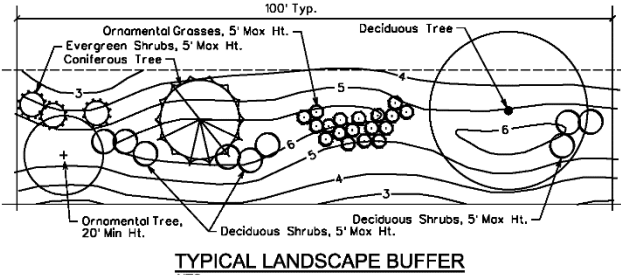
Project No: 124.0167.01

Sheet C100

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STATE OF IOWA  
NE 1/4, NE 1/4 &  
N 1/2, NW 1/4 &  
LYNG E INTST  
LESS RD SEC 18-79-23



**REZONING DESCRIPTION**

THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M., CITY OF ANKENY, POLK COUNTY IOWA.

AND

EXCEPT WARRANTY DEED FILED IN BOOK 17366, PAGE 842 OF THE POLK COUNTY RECORDER'S OFFICE.

AND

EXCEPT THE SOUTH 175 FEET OF THE EAST 250 FEET OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18.

**OWNER/APPLICANT**

SIGNATURE REAL ESTATE  
COMMERCE CENTER LLC  
4701 121ST STREET  
URBANDALE, IA 50323  
CONTACT: DAVE HANSEN  
PHONE: (515) 221-9990

**ZONING**

EXISTING: I-80 COMMERCE CENTER PUD  
PROPOSED: I-80 COMMERCE CENTER PUD AMENDED

**BULK REGULATIONS**

SEE I-80 COMMERCE CENTER PUD AMENDED SUPPLEMENTAL MANUAL

**LAND USE**

OFFICE/BUSINESS PARK

- NOTES**
- REFER TO THE I-80 COMMERCE CENTER PUD SUPPLEMENTAL MANUAL FOR ADDITIONAL INFORMATION REGARDING THE PUD PLAN.
  - FEATURES AS SHOWN ARE FOR GRAPHIC PRESENTATION PURPOSES ONLY. FINAL DESIGN MAY VARY.
  - THE FINAL DESIGNATION OF ACCESS POINTS WILL OCCUR WITH FUTURE LOT DEVELOPMENT PER CITY POLICY AND SUDAS STANDARDS.
  - SCREENING SHALL BE REQUIRED WHEREVER SERVICE AREAS, LOADING AND UNLOADING DOCKS, DELIVERY AREAS, DUMPSTERS, AND LARGE STORMWATER DETENTION BASINS ARE VISIBLE FROM PUBLIC WAYS AND ADJOINING PROPERTIES IN ACCORDANCE WITH THE CITY OF ANKENY ZONING ORDINANCE.
  - SCREENING WILL MEET THE REQUIREMENT OF CHAPTER 194: PARKING, LOADING AND SCREENING REQUIREMENTS OF THE ANKENY ORDINANCE OR AS NOTED IN THE PUD MANUAL.
  - THE SITE WILL MEET THE OPEN SPACE, LANDSCAPING AND PARKING LOT SHADING REQUIREMENT OF THE ANKENY ZONING ORDINANCE.
  - DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF STREETLIGHTS AND SIDEWALK ALONG SE 90TH STREET AND SE 404 MILE DRIVE.
  - THE INDIVIDUAL LOT OWNERS, AT THE TIME OF LOT DEVELOPMENT, SHALL BE RESPONSIBLE FOR THEIR RESPECTIVE SITE TRAFFIC STUDY, AS WELL AS PUBLIC TRAFFIC IMPROVEMENTS REQUIRED FROM THE CITY APPROVED TRAFFIC STUDY. THE TRAFFIC STUDY SCOPE SHALL BE REVIEWED WITH THE CITY TRAFFIC ENGINEERING MANAGER PRIOR TO ANY TRAFFIC STUDY SUBMITTAL TO THE CITY.

MARK	REVISION	DATE	BY

Engineer: J.L.H. Checked By: B.K.C. Scale: 1"=100'  
 Technician: A.W.S. Date: 02/16/24 Field Bk: Pg: 1

Project No: 124.0167.01 Sheet 1 of 1

**I-80 COMMERCE CENTER PUD AMENDED**

**PUD MASTER PLAN - ALTERNATE A**

**SNYDER & ASSOCIATES, INC.**

2727 S.W. SNYDER BLVD.  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com

**SNYDER & ASSOCIATES**

Project No: 124.0167.01  
Sheet 1 of 1

### **3. BULK REGULATIONS**



# I-80 COMMERCE CENTER PUD BULK REGULATIONS

## Allowable Land Uses

- The provisions of Chapter 192.12, M-1 Light Industrial District Regulations, City of Ankeny Municipal Zoning Code are incorporated as the basis for zoning where listed as follows.
- The following uses shall be allowed in the I-80 Commerce Center PUD District:

The following M-1: LIGHT INDUSTRIAL DISTRICT uses will be allowed:

Chapter 192.12.1.

- A. Any use permitted in the M-3 District.
- B. Any use permitted in the C-2 District, except that no new residential or multiple dwelling shall be permitted, ~~unless accessory to a permitted principal use.~~
- C. Automobile assembly.
- D. Bag, carpet, and rug cleaning, provided necessary equipment is installed and operated for the effective precipitation or recovery of dust.
- E. Bakeries.
- F. Welding or other metal-working shops.
- G. Contractor's equipment storage yard or plant, or rental of equipment commonly used by contractors, storage and sale of livestock feed (provided dust is effectively controlled), and storage yards for vehicles of a delivery or draying service.
- H. Carting, express hauling or storage yards.
- ~~I. Circus, carnival or similar transient enterprise; provided, such structures or buildings shall be at least 200 feet from any R district.~~
- ~~J. Coal yard, coke yard or wood yard.~~
- K. Concrete mixing, concrete products manufacture.
- L. Cooperage works.
- M. Creamery, bottling works, ice cream manufacturing (wholesale), ice manufacturing and cold storage plant.
- ~~N. Enameling, lacquering or japanning.~~

- ~~O. Foundry casting lightweight nonferrous metals or electric foundry not causing noxious fumes or odors.~~
- P. Experimental, film or testing laboratories.
- ~~Q. Livery stable or riding academy.~~
- R. Machine shop.
- S. Manufacture of musical instruments and novelties.
- T. Manufacture of pottery or other ceramic products, using only previously pulverized clay.
- U. Manufacture or assembly of electrical appliances, instruments, and devices.
- V. Manufacture and repair of electric signs, advertising structures, and sheet metal products, including heating and ventilating equipment.
- W. Milk distributing station other than a retail business conducted on the premises.
- X. Sawmill and planing mill, including manufacture of wood products not involving chemical treatment.
- Y. The manufacturing, compounding, processing, packaging or treatment of cosmetics, pharmaceuticals and food products, ~~except fish~~ and meat products, cereals, sauerkraut, vinegar, yeast, stock feed, flour; and the rendering or refining of fats and oils.
- Z. The manufacturing, compounding, assembling or treatment of articles or merchandise from previously prepared materials ~~such as bone, leather, paper, plastics, metals or stones, tobacco, wax, yarns and wood.~~
- AA. Automobile body or fender repair shop, but not including automobile wrecking or used parts yards.
- BB. Lumberyards and building materials sales yards.
- ~~CC. Vulcanizing, retreading and recapping of tires.~~
- DD. Truck rental establishments.
- EE. Warehousing and storage, retail or wholesale.
- FF. Data Center including exterior support equipment.
- GG. Electrical Substation.

- Area and Size regulations shall be as follows:

Lot Area:	No Minimum
Lot Width:	No Minimum
Front Yard:	50 Feet
Side Yard:	No Minimum, 50 Feet when adjacent Residential
Rear Yard:	40 Feet, where a railroad right-of-way line lies immediately adjacent to the rear of the lot, the rear yard requirement does not apply.
Max. Height:	75 Feet
Max. Stories:	5 Stories

- Off-street parking and loading. Spaces for off-street parking and loading shall be provided in accordance with the provisions of Section 194.01 of the Zoning Ordinance; except for Data Centers, the gross floor area devoted to data hall and ancillary operations require no parking spaces.
- Trailer parking areas along SE Four Mile Drive and SE 90<sup>th</sup> Street shall be screened from public rights-of-way by a combination of landscaping and earthen berms. These berms shall be a minimum of thirty (30) inches above the existing grade at the rights-of-way and be planted with trees and shrubs.
- Site lighting will be addressed by 25'-50' tall pole mounted lights and/or building mounted flood lights. Light fixtures will be oriented on-site such that they direct light downward and keep light from encroaching onto the adjacent rights-of-way or any neighboring property. The Data Center will use a Lithonia Lighting model or similar equal with night sky compliance.



### RSX2 LED Area Luminaire



Catalog Number	
Notes	
Type	

Hit the tab by your mouse over the page to see all interactive elements.

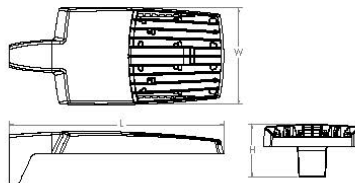
#### Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 11,000 to 31,000 lumens allowing it to replace 250W to 1000W HID luminaires.

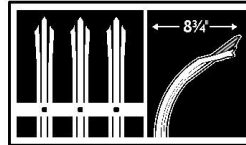
The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor and an adjustable integral slip-fitter are also available.

#### Specifications

EPA (ft <sup>2</sup> @0°):	0.69 ft <sup>2</sup> (0.06 m <sup>2</sup> )
Length:	29.3" (74.4 cm) (SPA mount)
Width:	13.4" (34.0 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.3 cm) Arm
Weight (max):	33.0 lbs (15.0 kg)



- Site fencing consisting of up to 8-foot height chain link fence or its equivalent will be permitted. Barbed wire will not be permitted. The security fence used on the Data Center site is the Ameristar Impasse II -Gauntlet fence or similar equal.



**GAUNTLET™**

Gauntlet is designed with *high-tensile steel corrugated pales that rise above the topmost rail with an outward curve* and terminate with a triple-pointed splayed spear tip. The outward curved pales *discourage attempts to gain access* by would be intruders.

3-RAIL PANELS | 7', 8', 9' & 10' HEIGHTS

2-RAIL PANELS | 7' & 8' HEIGHTS

- The Data Center will include a critical equipment yard located immediately adjacent to the building and will contain such items as generators, transformers, chillers, etc. Screening walls will be installed to limit views and further secure the critical equipment yard. The screening walls will be constructed to a height required to screen the equipment contained within. The screening wall will contain louvers or openings for adequate air flow and may share similar features with the building.

# **I-80 COMMERCE CENTER PUD ARCHITECTURAL CHARACTER**

## **LIGHT INDUSTRIAL USE**

Typical elevations and pictures of buildings with similar architectural character illustrating the proposed buildings are attached. The buildings will be constructed of painted, concrete, pre-cast, tilt-up wall sections, painted in earthtone colors with colors and texture highlighting the architectural character of the buildings. Select door entrances will be set-off out from the wall plane with protruding panel sections emphasizing the entrances providing the opportunity for shadowing effects with the different wall planes. Tinted glass glazing will be used at store front locations.

## **DATA CENTER USE**

Typical elevations and pictures of buildings with similar architectural characteristics of the proposed building are attached. The buildings will be constructed as a steel-framed structure with pre-cast concrete and/or metal panels or tilt-up wall sections. The building will feature a neutral baseline color package with selected highlighted areas of Cerulean Blue, which is the main accent color. The Cerulean blue will appear on the administration portion of the building and possibly on some elements of the main data hall. The data center will be broken up into distinct architectural elements according to their internal function, breaking up the massing of the building, emphasizing the entrance, and creating visual interest. Tinted glass and store front will be incorporated into the administration building to highlight the entrance. Data halls will have a concrete or metal panel façade to accommodate security requirements. The data halls may house roof top equipment which will be screened from view by parapet or louvered walls. Critical equipment yards, housing equipment such as generators, will be located adjacent to the building. The critical equipment yards will be surrounded by concrete, louvered, or similar walls of an adequate height to completely screen the equipment from view.

# COMPATIBLE BUILDING EXAMPLES



Compatible Industrial Building Examples



Compatible Industrial Building Examples





Compatible Industrial Building Examples



Compatible Industrial Building Examples



Compatible Data Center Building Examples



Compatible Data Center Building Examples



Data Center and Electrical Substation Aerial Exhibits

## **4. SUPPORTING EVIDENCE**

# **I-80 COMMERCE CENTER PUD SUPPORTING EVIDENCE STATEMENT**

## **STORM WATER MANAGEMENT**

The proposed development location generally drains east-northeast. Storm water enters both SE 90<sup>th</sup> Street and SE Four Mile Drive roadway ditches and drains to a 42-inch storm sewer that passes under SE 90<sup>th</sup> Street and eventually discharges into the right-of-way ditch along SE Four Mile Drive and drains north to a 84-inch culver under SE Four Mile Drive.

Currently, the conceptual plans for the proposed development include light industrial building(s), a Data Center, and electrical substation. Runoff from each location will be handled individually or conveyed to shared detention basin(s). Storm water runoff will be detained in the shared basin and be released at a rate equal to or less than the 5-yr pre-developed release rate, while also maintaining the required water quality volume. The storm sewers within this development are to be private systems owned and maintained by the individual lot owners.

Four Mile Creek to the east is a FEMA regulated channel. According to the mapping, the 100-year floodplain does not appear to extend to the eastern edge of the development. (See the attached drainage map and FIRM map.)

## **SANITARY SEWER**

The existing 15-inch sanitary sewer is located approximately 1000-feet north of the intersection of SE Four Mile Drive and SE 90<sup>th</sup> Street on the west side of SE Four Mile Drive. A proposed 12-inch sanitary sewer will extend south to the intersection. A proposed 8-inch sanitary sewer will extend west along the south side of SE 90<sup>th</sup> Street and another south along the west side of SE Four Mile Drive. A minimum 6-inch service will be provided to each building from the proposed 8-inch main.

## **WATER MAIN**

The proposed 12-inch water main will be extended along the north side of SE 90<sup>th</sup> Street and the east side of SE Four Mile Drive from the intersection of SE Four Mile and SE 90<sup>th</sup> Street. Service to the proposed development will connect into these public water mains. All new water mains in the rights-of-way will be public improvements and will provide water and fire protection for the lots within the development.

## PRIVATE DRIVES

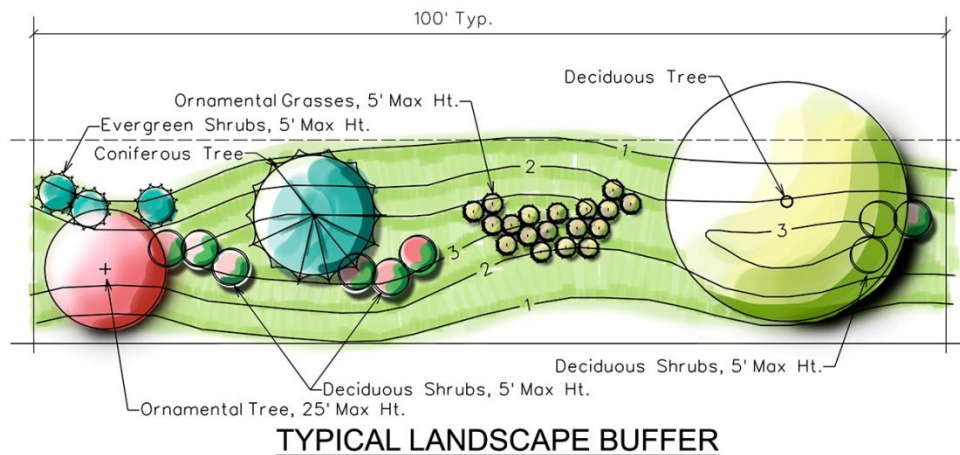
There are no public streets proposed within the development. One full access entering/exiting SE Four Mile Drive is planned near the SE corner of the development. Two full access drives entering/exiting SE 90<sup>th</sup> Street are planned on the north side the development. A utility access drive is anticipated into the electrical substation off of SE 90<sup>th</sup> Street. Drives within the development are planned to be private.

The individual lot owners at time of lot development shall be responsible for their respective site traffic study, as well as public traffic improvements required from the City approved traffic study at the time of site development. The traffic study scope shall be reviewed with the City Traffic Engineering Manager prior to any traffic study submittal to the City.

## SCREENING, OPEN SPACE AND LANDSCAPING

Proposed screening will meet the requirements of Chapter 194: Parking, Loading and Screening as well as the open space, landscaping and parking lot shading requirement of the Ankeny Zoning Ordinance.

A Type 'B' Screen will be provided along the north side and east side of the property, adjacent to the street right-of-way. This will be installed during site development of the individual lot(s). Below is an example of the typical landscape buffer that would be required along this length of property boundary. In locations where a berm will block or impede drainage, a 4-foot high opaque fence may be allowed to pass drainage beneath.



The electrical substation shall be screened from adjacent public right-of-way with a combination of landscaping and earth berms. The earth berms shall be a minimum height of six (6) feet above the existing grade at the right-of-way and planted with trees and scrubs to create a Type 'C' screen. The west property line of the electrical substation shall be lined with a row of evergreen trees placed 20-feet on center.



## FRANCHISE UTILITIES

If not currently available, the gas main will be located in a gas easement and service will be extended to the proposed development. The electric, telephone, and cable television utilities are proposed along the development frontage within public utility easements.

## SIGNAGE

All proposed signs will conform to the current City of Ankeny sign requirements, in accordance with the provisions of Chapter 195 of the Zoning Ordinance; except as follows:

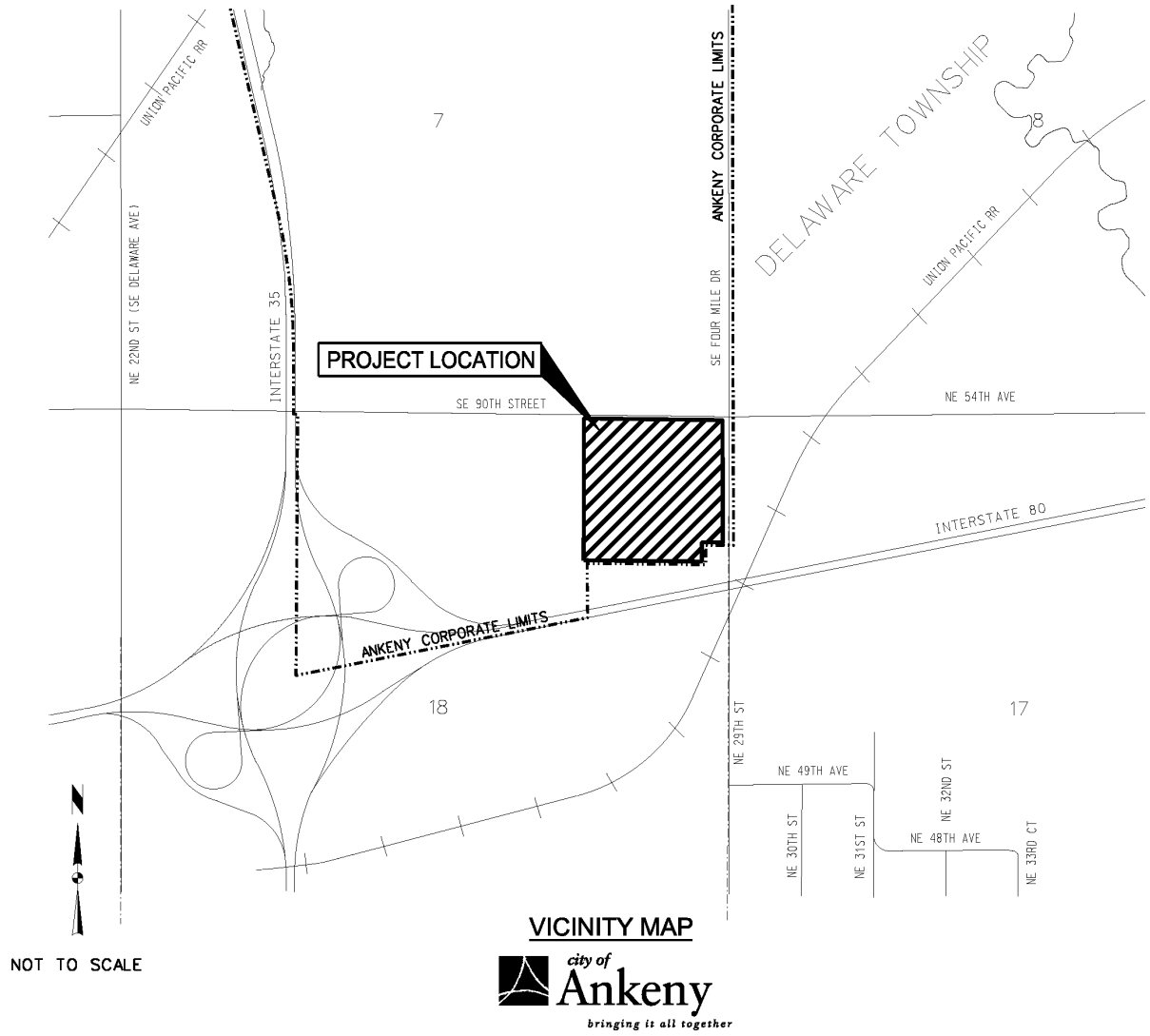
Multi-tenant signage for I-80 Commerce Center Light Industrial shall be allowed as follows:

- 1.0 sq. ft./lin. ft. of tenant public street frontage for buildings set back up to 40 ft. with a maximum size not to exceed 150 sq. ft.,
- 1.5 sq. ft./lin. ft. of tenant public street frontage for buildings set back 41 to 100 ft. with a maximum size not to exceed 150 sq. ft., or
- 2 sq. ft./lin. ft. of tenant public street frontage for buildings set back greater than 100 ft. or abutting I-80 right-of-way with a maximum size not to exceed 150 sq. ft.

In the case that a tenant has frontage along more than one (1) public street, the total sign area shall be calculated off of no more than two (2) public street frontages, up to a maximum of three hundred (300) square feet.

The number of allowable signs per tenant/business is not limited so long as the signage square footage stays under the allowable maximum and where such signage may be installed along either the tenant's Interstate 80 or other public street frontages (or the side walls for the end caps only).

# VICINITY MAP AND REZONING DESCRIPTION



**I-80 COMMERCE CENTER PUD**

THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M., CITY OF ANKENY, POLK COUNTY IOWA.

EXCEPT ROADWAYS

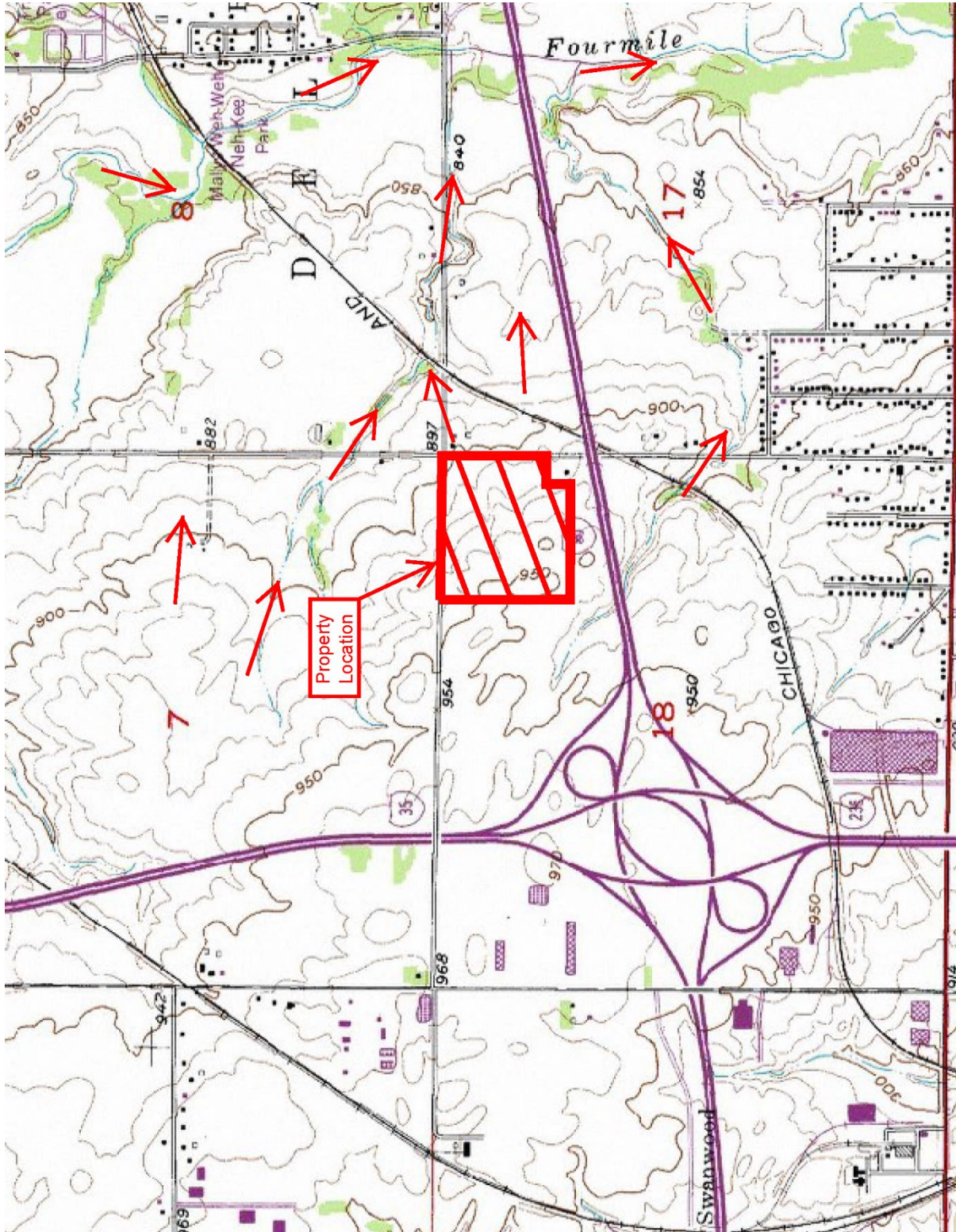
AND

EXCEPT WARRANTY DEED FILED IN BOOK 17366, PAGE 842 OF THE POLK COUNTY RECORDER'S OFFICE.

AND

EXCEPT THE SOUTH 175 FEET OF THE EAST 250 FEET OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18.

# **EXISTING TOPOGRAGHY / DRAINAGE AREAS**



# FIRM MAP

**Map Projection:**  
 NAD 1983 StatePlane Iowa South FIPS 1402 Feet;  
 Western Hemisphere; Vertical Datum: NAVD 88

**1 inch = 1,000 feet**



**NATIONAL FLOOD INSURANCE PROGRAM**  
 FLOOD INSURANCE RATE MAP



**POLK COUNTY, IOWA**  
 AND INCORPORATED AREAS  
 PANEL 215 OF 555

Panel Contains:

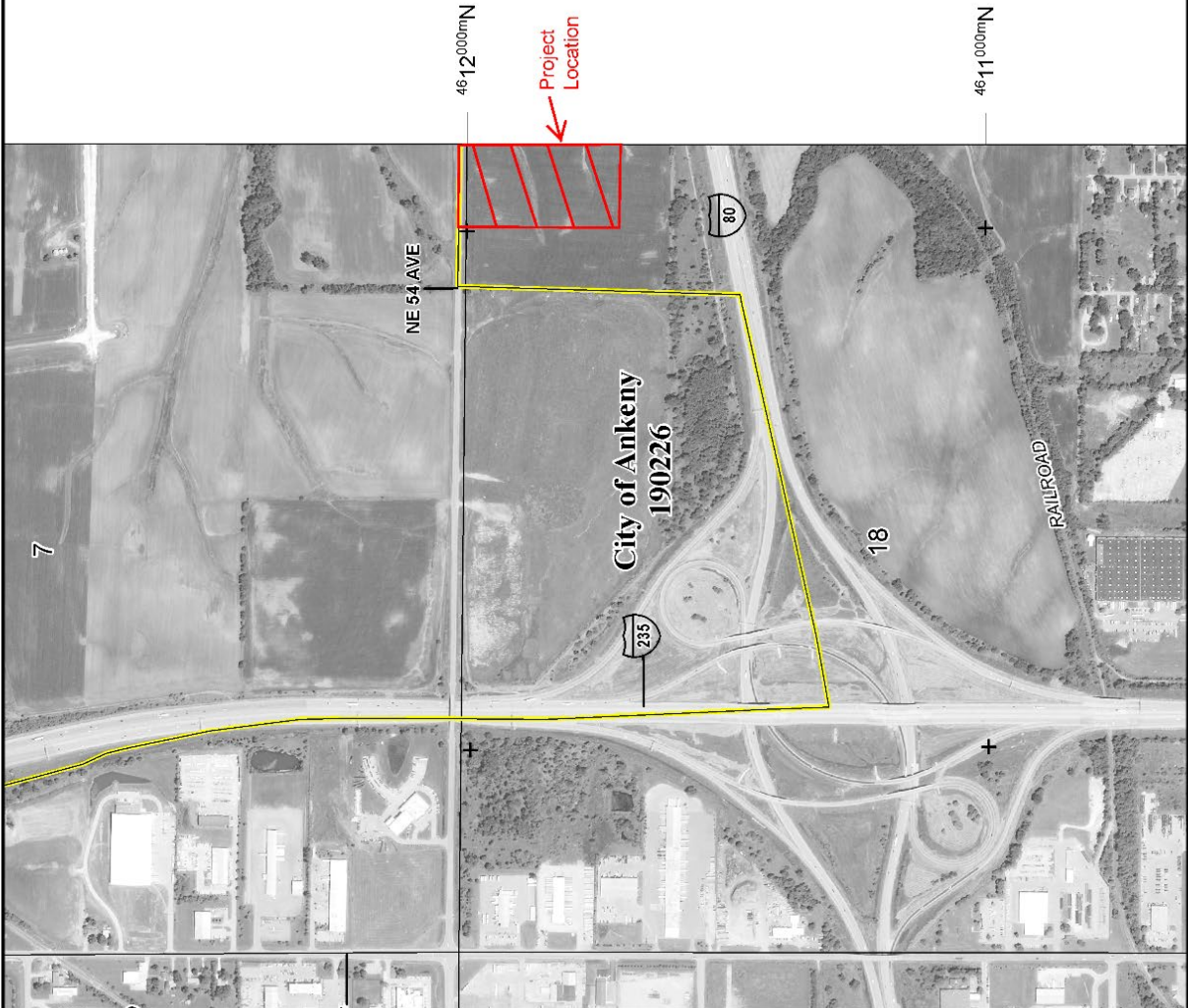
COMMUNITY	NUMBER	PANEL	SUFFIX
ANKENY, CITY OF	190226	0215	F
BES MOINES, CITY OF	190227	0215	F
POLK COUNTY	190901	0215	F

VERSION NUMBER  
 2.2.2.1

MAP NUMBER  
 19153C0215F

EFFECTIVE DATE  
 FEBRUARY 1, 2019

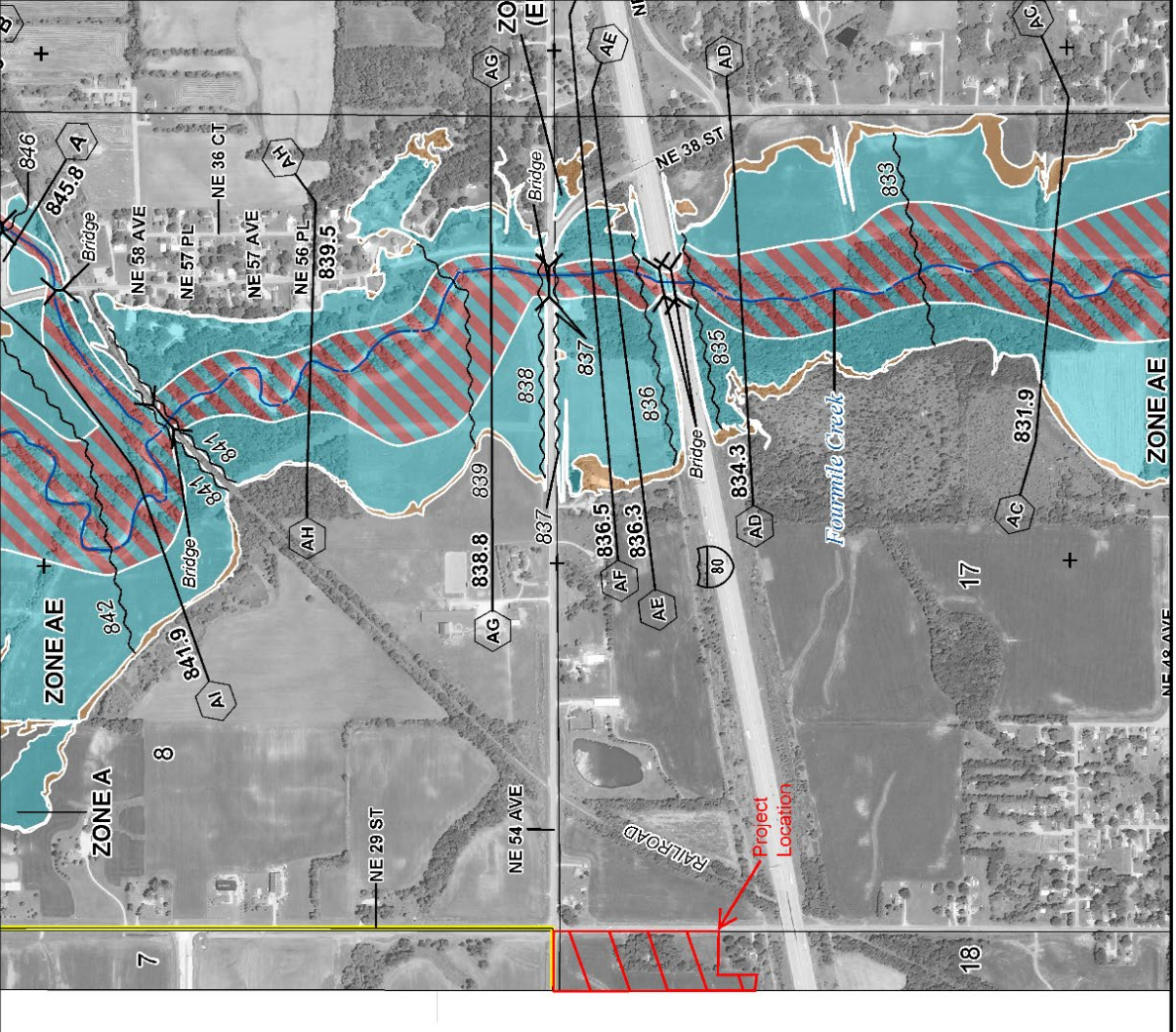
This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest, product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at [www.msc.fema.gov](http://www.msc.fema.gov)





**Map Projection:**  
 NAD 1983 StatePlane Iowa South FIPS 1402 Feet;  
 Western Hemisphere; Vertical Datum: NAVD 88

**1 inch = 1,000 feet**



**NATIONAL FLOOD INSURANCE PROGRAM**  
 FLOOD INSURANCE RATE MAP



**POLK COUNTY, IOWA**  
 UNINCORPORATED AREAS  
 PANEL 220 of 555

Panel Contains:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALTOONA, CITY OF	190546	0220	F
ANKENY, CITY OF	190226	0220	F
DES MOINES, CITY OF	190227	0220	F
POLK COUNTY	190901	0220	F

VERSION NUMBER  
 2.2.2.1  
 MAP NUMBER  
 19153C0220F  
 EFFECTIVE DATE  
 FEBRUARY 1, 2019

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at [www.msc.fema.gov](http://www.msc.fema.gov)

# **WATER USAGE CALCULATIONS**

NAME: I-80 Commerce Center PUD Amended

Commerce Center, LLC

SUBJECT: Water Usage Calculations

NO. 124.0167.01

DATE 03/08/24

BY CDD

PAGE 1 OF 1

**Sanitary Sewer**

35.662 Ac of Light Industrial Development

Per SUDAS Regulations:

For Industrial use 5,000 GPD/Ac (Includes Peaking Factor)

Peak Flow:	35.662 Ac * 5,000	= 178,310 GPD
		= 0.178 MGD
Change to CFS (MGD/0.646)		= 0.276 CFS

8" Main @ 2/3 Full, Factor	= 0.79, Therefore
Full Flow = 0.276/0.79	= 0.35 CFS

Full Flow = 0.35 CFS, Determine Minimum Slope For 8" Main:

$Q = (1.486/n) * A * R^{2/3} * S^{1/2}$ , where n=0.013	A= 0.34907 SF
0.35 CFS = 12.127 * S <sup>1/2</sup>	R= 0.167 FT

S = 0.08 %  
Iowa DNR minimum slope = 0.40 %, Therefore Ok  
City of Ankeny min. slope = 0.60%, Therefore Ok

The existing 15-inch sanitary sewer is located approximately 1,000-feet north of the intersection of SE Four Mile Drive and SE 90<sup>th</sup> Street on the west side of SE Four Mile Drive. A proposed 12-inch sanitary sewer will extend south to the intersection. A proposed 8-inch sanitary sewer will extend west along the south side of SE 90<sup>th</sup> Street. The 6" sanitary sewer services will be routed to each building within the development from 8" Sanitary Main constructed along SE 90<sup>th</sup> Street. 6" pipe slope should be a minimum of 1% (2% Preferred).

**Water Main**

The proposed 12" water main will be extended along the north side of SE 90<sup>th</sup> Street and an 8" water main will be extended along the east side of SE Four Mile Drive from the intersection with SE Four Mile Drive. Service to the proposed development will connect to the proposed 12-inch water main. All new water mains will be public improvements and provide water and fire protection for the interior lots of the development.

## D. Density Table

Table 3B-1.01: Minimum Values

Land Use	Area Density	Unit Density	Rate
Low Density (Single Family) Residential	10 people / AC	3 people / unit	100 gpcd*
Medium Density (Multi-Family) Residential	15 people / AC 6.0 people / duplex	3 people / unit	100 gpcd*
High Density (Multi-Family) Residential	30 people / AC	2.5 people / unit	100 gpcd*
Office and Institutional	5,000 gpd / AC (IDNR)	Special Design Density	N/A
Commercial and Light Industrial	5,000 gpd/AC (IDNR)	Special Design Density	N/A
Industrial	10,000 gpd/AC (IDNR)	Special Design Density	N/A

\* Iowa Department of Natural Resources (DNR) - Dry Weather Flow - One hundred gallons per capita per day (gpcd) should be used in design calculations as the minimum average dry weather flow. This 100 gpcd value may, with adequate justification, include maximum allowable infiltration for proposed sewer lines.

The area densities listed include the peaking factor.

Note: If the Project Engineer uses values different from the above table, approval by the Jurisdictional Engineer is required.

## E. Special Design Densities

Special design densities should be based on specific flow measurements or known flow rates and are subject to approval by the Jurisdiction Engineer based on methodology provided by the Project Engineer prior to submittal to the Iowa DNR.

# TRIP GENERATION MEMORANDUM

## Memorandum

**To:** Brent Culp

**Date:** January 18, 2024

**From:** Tony Boes, P.E., PTOE

**RE:** I-80 Commerce Center  
 Trip Generation  
 Ankeny, Iowa

Trip generation estimates were prepared for the planned development at 5312 NE 29<sup>th</sup> Street in Ankeny. This approximately 36-acre site is located in the southwest quadrant of the SE 90<sup>th</sup> Street (NE 54<sup>th</sup> Avenue) and SE Four Mile Drive (NE 29<sup>th</sup> Street) intersection. The site is planned to have two buildings, Building 1 (approximately 150,000 SF data center) to open initially, and Building 2 (approximately 287,000 SF high-cube warehouse) to be constructed in the future. Access to the site is planned from SE 90<sup>th</sup> Street (two accesses) and from NE 29<sup>th</sup> Street (one access). The current land use for the site is agricultural.

Trip generation estimates for the site were developed based on available *ITE Trip Generation Manual, 11<sup>th</sup> Edition* data. ITE Land Uses 160 (Data Center) and 154 (High-Cube Transload and Short Term Storage Warehouse) were determined to be the applicable land uses. Trip generation estimates for the opening year and design year are shown in Table 1. Previous trip generation estimates for this site (September 2021) were based on high-cube warehouse uses for both buildings and are shown in Table 2. Estimated trip generation for currently proposed buildings and uses is lower than the previous estimate, primarily due to reduced building sizes.

**Table 1: Estimated Opening Year and Design Year Trip Generation**

Land Use	ITE Code	Quantity	Unit	Daily			AM Peak			PM Peak					
				Rate	Total Trips	Entering	Exiting	Rate	Total Trips	Entering	Exiting	Rate	Total Trips	Entering	Exiting
<b>Phase 1 - Opening Year</b>															
Building 1 - Data Center	160	150.0	kSF	0.99	149	75	74	0.11	17	9	8	0.09	14	4	10
<b>Phase 2 - Design Year</b>															
Building 1 - Data Center	160	150.0	kSF	0.99	149	75	74	0.11	17	9	8	0.09	14	4	10
Building 2 - High-Cube Transload and Short Term Storage Warehouse	154	287.0	kSF	1.40	402	201	201	0.08	23	18	5	0.10	29	8	21
Totals		437.0	kSF		551	276	275		40	27	13		43	12	31

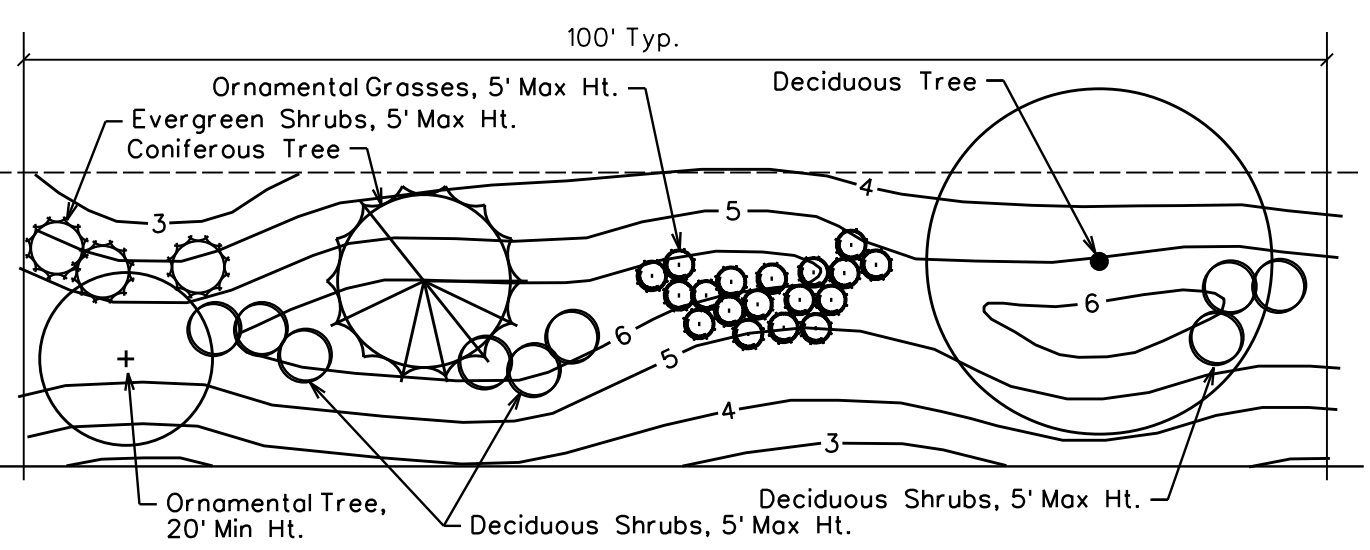
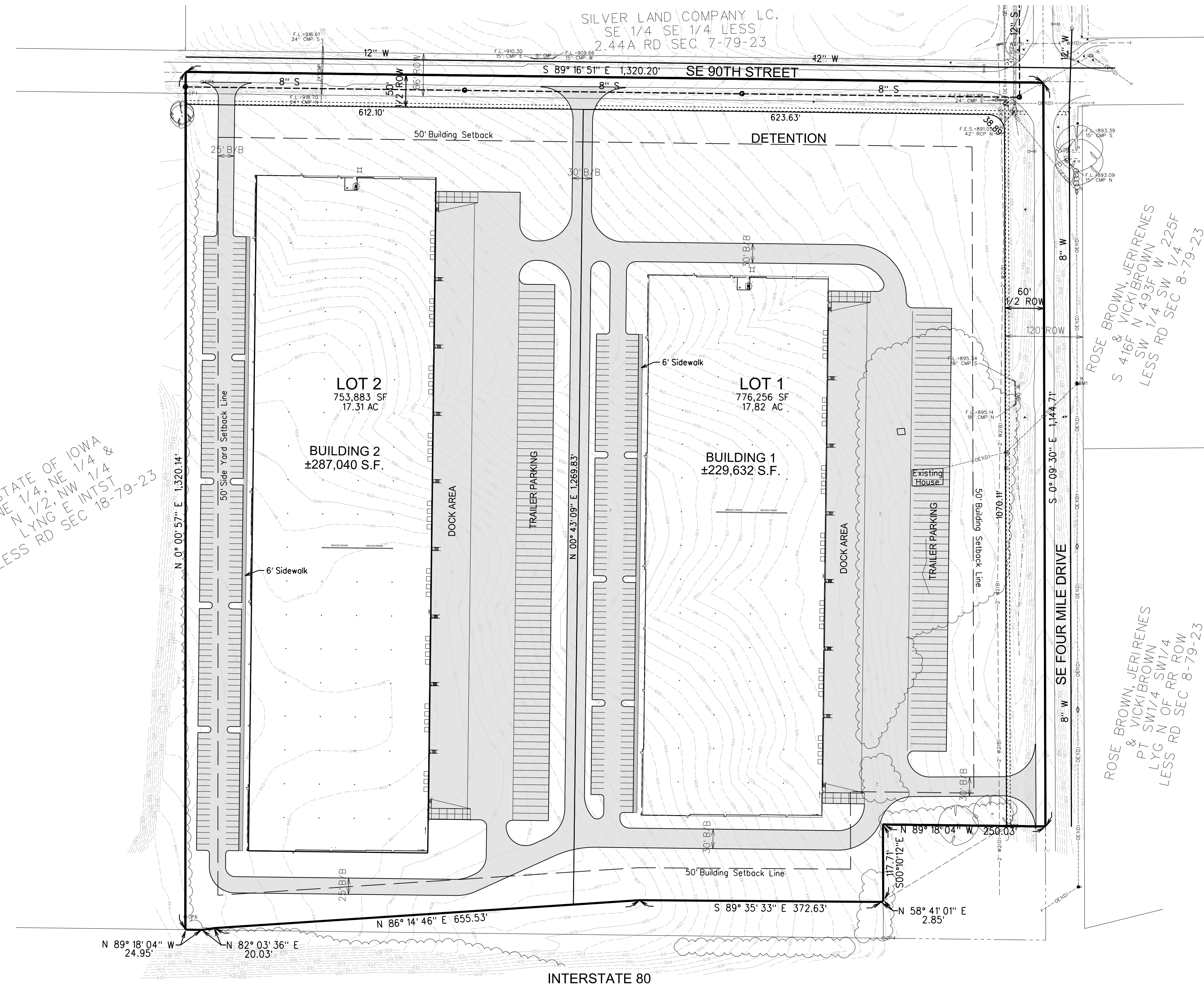
**Table 2: Previous Estimated Opening Year and Design Year Trip Generation**

Land Use	ITE Code	Quantity	Unit	Daily				AM Peak				PM Peak			
				Rate	Total Trips	Entering	Exiting	Rate	Total Trips	Entering	Exiting	Rate	Total Trips	Entering	Exiting
<b>Phase 1 - Opening Year</b>															
Building 1 - High-Cube Transload and Short Term Storage Warehouse	154	258.5	kSF	1.40	362	181	181	0.08	21	16	5	0.10	26	7	19
<b>Phase 2 - Design Year</b>															
Building 1 - High-Cube Transload and Short Term Storage Warehouse	154	258.5	kSF	1.40	362	181	181	0.08	21	16	5	0.10	26	7	19
Building 2 - High-Cube Transload and Short Term Storage Warehouse	154	301.5	kSF	1.40	422	211	211	0.08	24	18	6	0.10	30	8	22
Totals		560.0	kSF		784	392	392		45	34	11		56	15	41





STATE OF IOWA  
NE 1/4, NE 1/4 &  
N 1/2, NW 1/4  
LYNG E INTST  
LESS RD SEC 18-79-23



TYPICAL LANDSCAPE BUFFER  
NTS.

**REZONING DESCRIPTION**  
THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 79 NORTH, RANGE 23 WEST OF THE 5TH P.M., CITY OF ANKENY, POLK COUNTY IOWA.  
AND  
EXCEPT WARRANTY DEED FILED IN BOOK 17366, PAGE 842 OF THE POLK COUNTY RECORDER'S OFFICE.  
AND  
EXCEPT THE SOUTH 175 FEET OF THE EAST 250 FEET OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18.

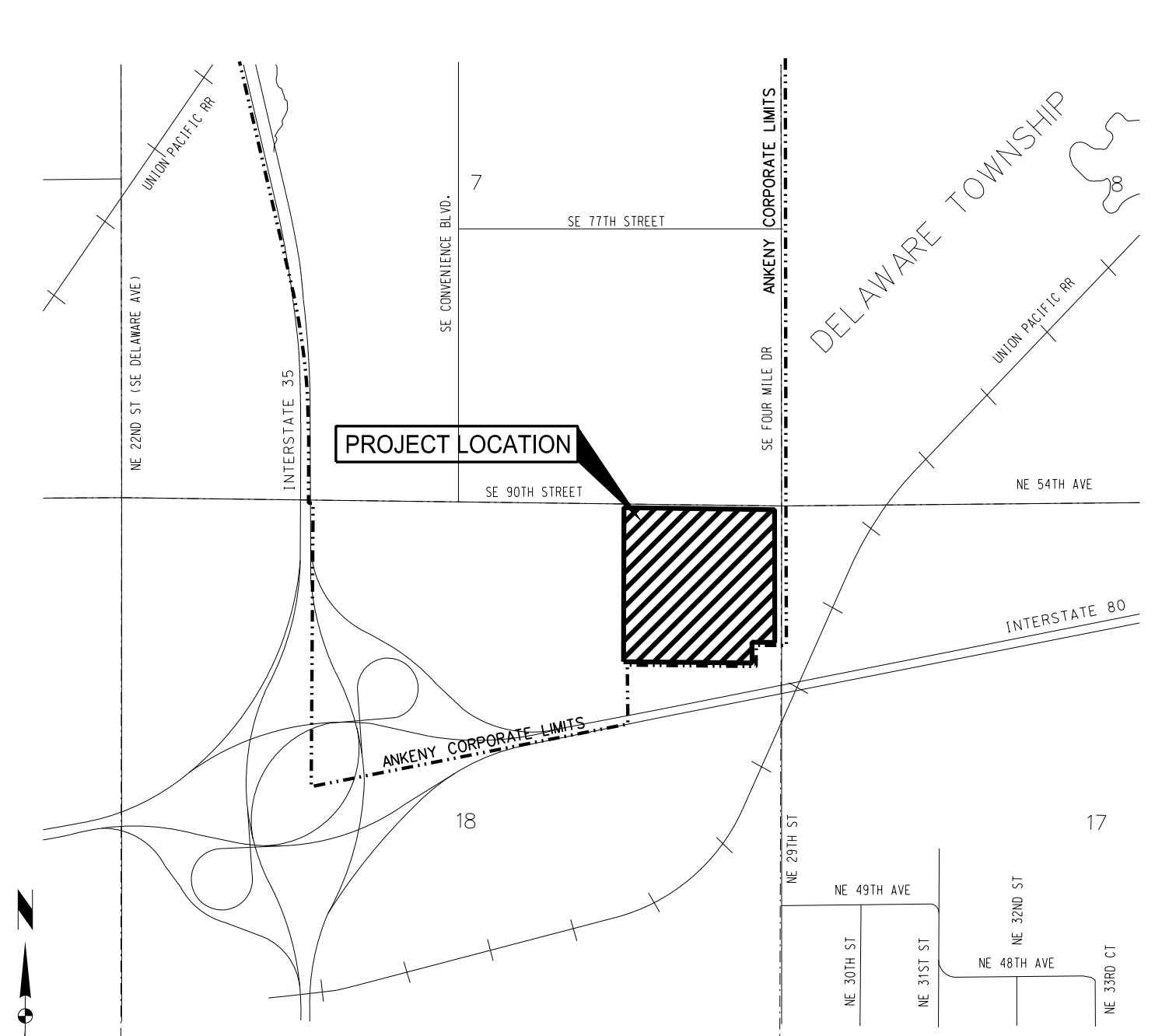
**OWNER/APPLICANT**  
SIGNATURE REAL ESTATE  
COMMERCE CENTER LLC.  
4701 121ST STREET  
URBANDALE, IA 50323  
CONTACT: DAVE HANSEN  
PHONE: (515) 221-9990

**ZONING**  
EXISTING: I-80 COMMERCE CENTER PUD  
PROPOSED: I-80 COMMERCE CENTER PUD AMENDED

**BULK REGULATIONS**  
SEE I-80 COMMERCE CENTER PUD AMENDED SUPPLEMENTAL MANUAL

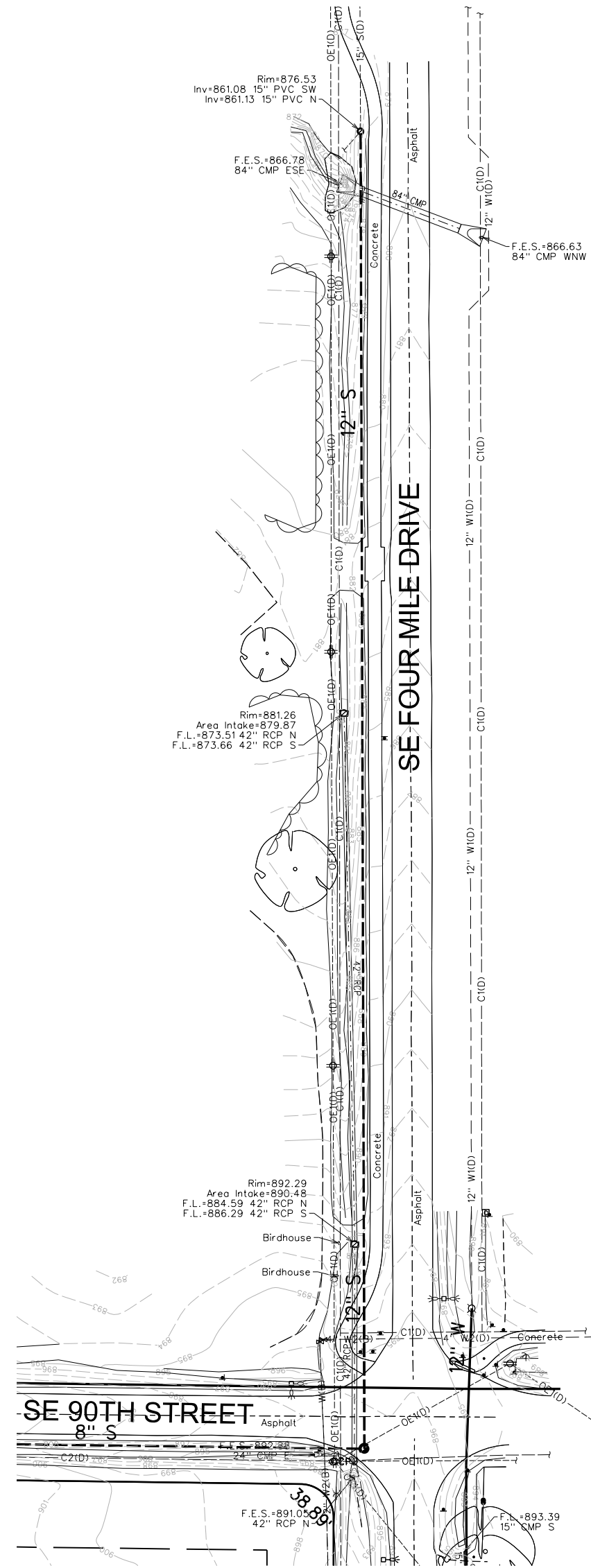
**LAND USE**  
OFFICE/BUSINESS PARK

- NOTES**
- REFER TO THE I-80 COMMERCE CENTER PUD SUPPLEMENTAL MANUAL FOR ADDITIONAL INFORMATION REGARDING THE PUD PLAN.
  - FEATURES AS SHOWN ARE FOR GRAPHIC PRESENTATION PURPOSES ONLY. FINAL DESIGN MAY VARY.
  - THE FINAL DESIGNATION OF ACCESS POINTS WILL OCCUR WITH FUTURE LOT DEVELOPMENT PER CITY POLICY AND SUDAS STANDARDS.
  - SCREENING SHALL BE REQUIRED WHEREVER SERVICE AREAS, LOADING AND UNLOADING DOCKS, DELIVERY AREAS, DUMPSTERS, AND LARGE STORMWATER DETENTION BASINS ARE VISIBLE FROM PUBLIC WAYS AND ADJOINING PROPERTIES IN ACCORDANCE WITH THE CITY OF ANKENY ZONING ORDINANCE.
  - SCREENING WILL MEET THE REQUIREMENT OF CHAPTER 194: PARKING, LOADING AND SCREENING REQUIREMENTS OF THE ANKENY ORDINANCE OR AS NOTED IN THE PUD MANUAL.
  - THE SITE WILL MEET THE OPEN SPACE, LANDSCAPING AND PARKING LOT SHADING REQUIREMENT OF THE ANKENY ZONING ORDINANCE.
  - DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF STREETLIGHTS AND SIDEWALK ALONG SE 90TH STREET AND SE FOUR MILE DRIVE.
  - THE INDIVIDUAL LOT OWNERS, AT THE TIME OF LOT DEVELOPMENT, SHALL BE RESPONSIBLE FOR THEIR RESPECTIVE SITE TRAFFIC STUDY, AS WELL AS, PUBLIC TRAFFIC IMPROVEMENTS REQUIRED FROM THE CITY APPROVED TRAFFIC STUDY. THE TRAFFIC STUDY SCOPE SHALL BE REVIEWED WITH THE CITY TRAFFIC ENGINEERING MANAGER PRIOR TO ANY TRAFFIC STUDY SUBMITTAL TO THE CITY.

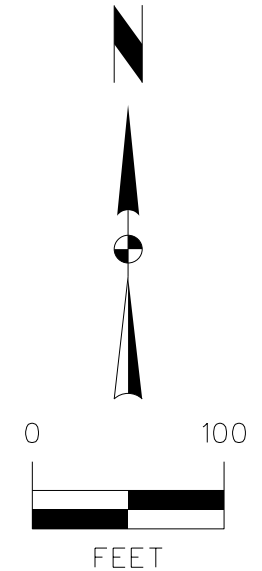


VICINITY MAP  
city of  
**Ankeny**  
bringing it all together

NOT TO SCALE



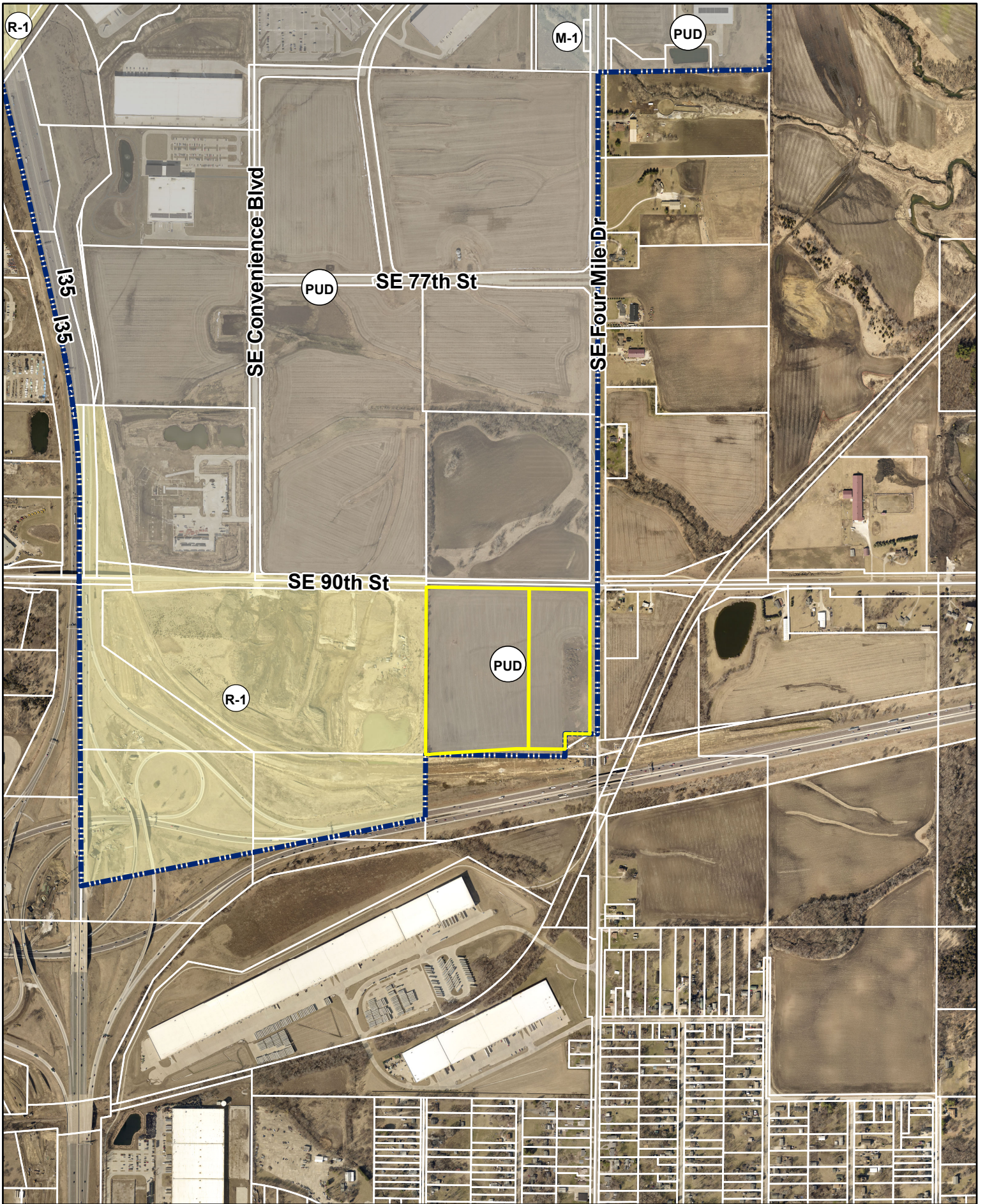
SANITARY SEWER CONNECTION  
100 SCALE  
SE FOUR MILE DRIVE FRONTAGE



MARK	REVISION	DATE	BY
Engineer: JLH	Checked By: BKC	Scale: 1"= 100'	
Technician: AWS	Date: 02/16/24	Field Bk:	
Project No:	124.0167.01	Sheet	1 of 1

**I-80 COMMERCE CENTER PUD AMENDED**  
**PUD MASTER PLAN - ALTERNATE A**  
**SNYDER & ASSOCIATES, INC.**  
ANKENY, IOWA  
2727 S.W. SNYDER BLVD.  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com

Project No: 124.0167.01  
Sheet 1 of 1



N



1 inch = 944 feet

Date: 3/5/2024

### I-80 Commerce Center PUD Amendment Zoning Map



N  
 1 inch = 944 feet  
 Date: 3/5/2024

**I-80 Commerce Center  
 PUD Amendment  
 Future Land Use Plan Map**



PLAN AND ZONING COMMISSION  
March 19, 2024  
6 : 30 PM

Print

ORIGINATING DEPARTMENT:  
Planning and Building

COUNCIL GOAL:

ACTION REQUESTED:  
Motion

LEGAL:

SUBJECT:

Berwick Holdings, LLC request to rezone property from R-1, One-Family Residence District to PUD, Planned Unit Development

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

**Action:** Consider MOTION to close public hearing, and receive and file documents.

ADDITIONAL INFORMATION:

ATTACHMENTS:

**Click to download**

<a href="#">Aerial Map</a>
<a href="#">Staff Report</a>
<a href="#">Applicant Letter</a>
<a href="#">Rezoning Exhibit</a>
<a href="#">PUD Master Plan</a>
<a href="#">PUD Manual</a>
<a href="#">Zoning Map</a>
<a href="#">Future Land Use Map</a>



N



1 inch = 1,096 feet

Date: 3/5/2024

### Berwick Estates PUD Rezoning Aerial Map



*Plan and Zoning Commission  
Staff Report*

*Meeting Date: March 19, 2024*

---

**Agenda Item:** Berwick Estates PUD Rezoning – Public Hearing  
**Report Date:** March 14, 2024  
**Prepared By:** Ryan Kirschman *EJC*  
Planner I

Berwick Holdings, LLC, is requesting a rezoning on a portion of property located east of Northeast Berwick Drive, south of Southeast Oralabor Road and north of Northeast 70<sup>th</sup> Avenue. The subject parcels are approximately 103.98 acres.

Berwick Holdings, LLC, is requesting to rezone the subject parcel to PUD, Planned Unit Development. The property is currently zoned R-1, One-Family Residence District. Property to the west of the subject property is also zoned R-1, One-Family Residence District. Property to the north, south, and east is not currently in the city. Per the Ankeny 2040 Future Land Use Plan Map, the subject property is identified as Open Space along the northern edge of the property and the rest of the property is Low Density Residential. The Zoning Compatibility Matrix identifies PUD as Partially Compatible for both Open Space and Low Density Residential. Property to the north, south, east, and west is similarly identified as Low Density Residential and Open Space. The Future Land Use Plan considers Low Density Residential to be 1 to 5 units per acre which aligns with R-1, One-Family Residence District and R-2, One-Family and Two-Family Residence District. The purpose of a PUD is to promote development by providing a greater level of flexibility than normally allowed. Parcel A would allow minimum lot widths of 70 feet and minimum lot area of 9,000 sq. ft.; Parcel B would allow minimum lot widths of 70 feet and minimum lot area of 8,000 sq. ft.; Parcel C would allow minimum lot widths of 50 feet and minimum lot area of 5,000 sq. ft. for one-family homes and a minimum lot width of 40 feet and 4,000 sq. ft. for two-family homes. Whereas R-1 regulations would require a minimum of 85 feet for lot width and 10,200 sq. ft. lot area and R-2 would require a lot width of 70 feet and minimum lot area of 8,500 sq. ft. for one family homes or, a lot width of 40 feet and lot area of 5,250 sq. ft. for single-family bi-attached lots.

The PUD Master Plan outlines the general plan for development with tentative lot lines, public streets, utilities, parkland area, and storm water detention area; however, final designs will be determined and approved with final platting. The PUD manual discusses bulk regulations, architectural character, landscape screening to be provided along NE Berwick Drive, stormwater management, and utility services. Building elevations are provided to represent one- to two-story houses in addition to attached duplexed, to be constructed with varying building materials, colors, and roof pitches.

Ankeny City Council initiated the rezoning on Monday February 19<sup>th</sup>, 2024. Notification for both the rezoning was mailed to all properties within 250' of the subject area, legal notice was posted in the Des Moines Register, and public notification signage was posted on the property.

A complete staff report will be presented at the next Planning and Zoning Commission meeting on April 2, 2024.



12/8/2023

Honorable Mayor, City Council, and Plan & Zoning Commission  
City of Ankeny  
1250 SW District Drive  
Ankeny, Iowa 50023

> 1360 NW 121st Street  
Clive, IA 50325  
P 515.964.1229  
F 515.964.2370

RE: Berwick Estates PUD – Rezoning

[www.mecresults.com](http://www.mecresults.com)

Dear Honorable Mayor, City Council, and Plan & Zoning Commission Members,

On behalf of Berwick Holdings LLC and ATI Group, we are pleased to submit a rezoning request for approximately 104 acres in the City of Ankeny east of NE Berwick Drive and respectfully request your approval of said rezoning request.

This proposal is to rezone the property from R-1 to Berwick Estates PUD. The development plan as presented is generally consistent with the City’s Comprehensive Land Use Plan and represents strategic and thoughtful residential growth for the City of Ankeny. Additionally, we believe the proposed PUD zoning offers the following advantages to the City of Ankeny and its residents:

- Simultaneously offer flexibility in development yet establish general structure and framework of the planned property
- Provide a variety of housing types and price points that encourages diverse opportunities for a wide range of potential residents
- Provide adequate information for the City, general public, and neighbors who may be living near or interacting with the development to understand the big picture
- Provide adequate information for future Developers, homebuilder partners, homebuyers, and other stakeholders to set expectations of current and future development

This letter of request is included as part of the PUD submittal package that establishes the framework for the next highly sought-after area in the City of Ankeny. We thank you for your consideration of approval of this project.

Sincerely,

McClure Engineering Company

Jake Becker, PE  
Senior Project Engineer

Cc: ATI Group



# Rezoning Exhibit

FOR  
**Berwick Estates PUD**  
Ankeny, Iowa



Vicinity Sketch  
Scale: 1" = 1,000'



building strong communities.

1360 NW 121st Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

NOTICE:  
McClure Engineering Company writes any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering consent they survey, or for problems which arise from failure to obtain and/or follow the engineers guidance with regard to any error, omission, miscommunication, or conflicts which are alleged.  
Copyright  
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### Owner / Developer

Berwick Holdings LLC  
1615 SW Main Street, Ste 207  
Ankeny, Iowa 50023

### Zoning

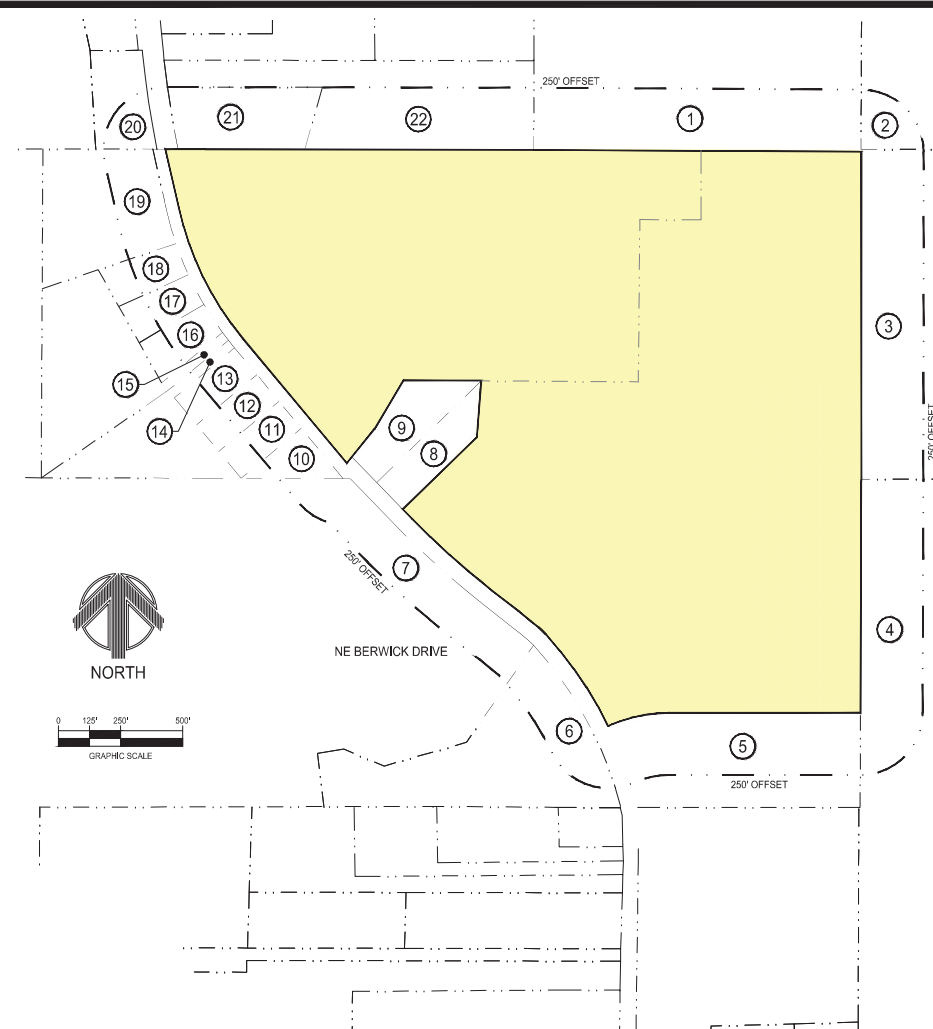
Existing - R-1 (103.98 acres)  
Proposed - Berwick PUD (103.98 acres)

### Rezoning Table

Parcel Number	Name of Property Owner	Legal Description	Parcel Number	Mailing Address	Total Area of Property	Area within 250' of rezoning	% of Area within 250' of rezoning
1	Roy & Florence Bishop	NE 1/4 NE 1/4 LESS 1.58 A RD SEC 32-80-23	8023-32-226-001	3818 NE 78TH AVE ANKENY, IA 50021-9738	1,673,575 sf	329,269 sf	19.6%
2	Roy & Florence Bishop	NW 1/4 NW 1/4 LESS 1.58 A RD SEC 33-80-23	8023-33-100-001	3818 NE 78TH AVE ANKENY, IA 50021-9738	1,673,575 sf	47,153 sf	2.0%
3	Roy & Florence Bishop	W 1/2 S 1/2 HW 1/4 SEC 33-80-23	8023-33-100-004	3818 NE 78TH AVE ANKENY, IA 50021-9738	1,742,400 sf	331,737 sf	13.7%
4	Jerry M Bishop	W 1/2 W 1/2 W 1/2 SW 1/4 LESS .25A RD SEC 33-80-23	8023-33-300-005	ANCKE NE 78TH AVE ANKENY, IA 50021-9382	860,310 sf	284,344 sf	11.8%
5	Berwick Holdings LLC	OUTLOT X DRA ACRES PLAT 1	8023-32-426-001	1615 SW MAIN ST STE 207 ANKENY, IA 50023-2761	3,115,689 sf	242,940 sf	10.0%
6	Wesley Investments INC	ITS S & 6 PARCEL COMPOUND PLAT 1	8023-32-400-023	7252 NE BERWICK DR ANKENY, IA 50021-9258	394,236 sf	101,743 sf	4.2%
7	Third and Collins Properties LLC	EX BEG 1322R H & 955W W OF SE COR OF SEC THN W 1214F HW 221F NE 110.58 SE 175F NELY 828F TO W LN OF HWY SELY 754F TO POB- H 1/2 SE 1/4 W OF RD & LESS RD SEC 32-80-23	8023-32-400-001	2601 SW 35TH ST ANKENY, IA 50023-6203	1,267,596 sf	210,274 sf	8.7%
8	Scott Stephenson Aubrey Jorgsen	LOT 2 DRA ACRES PLAT 1	8023-32-252-002	7393 NE BERWICK DR ANKENY, IA 50021-9239	75,157 sf	75,157 sf	3.1%
9	Richard and Maile Backus	LOT 1 DRA ACRES PLAT 1	8023-32-252-001	7403 NE BERWICK DR ANKENY, IA 50021-9260	88,266 sf	88,266 sf	3.7%
10	Harold Tyler, Thomas Tyler, Bradley Johnson	LOT 1 OAKWOOD HEIGHTS	8023-32-176-010	1211 NE 31ST ST ANKENY, IA 50021-6694	41,599 sf	35,966 sf	1.5%
11	Tyler Thomas	LOT 2 OAKWOOD HEIGHTS	8023-32-176-009	1211 NE 31ST ST ANKENY, IA 50021-6694	44,082 sf	28,059 sf	1.2%
12	Bradley Johnson	LOT 3 OAKWOOD HEIGHTS	8023-32-176-008	7470 NE BERWICK DR ANKENY, IA 50021-9260	44,082 sf	28,000 sf	1.2%
13	Bradley Johnson	LOT 4 OAKWOOD HEIGHTS	8023-32-176-007	7470 NE BERWICK DR ANKENY, IA 50021-9260	44,082 sf	28,000 sf	1.2%
14	Bradley Johnson	LOT 5 OAKWOOD HEIGHTS	8023-32-176-006	7470 NE BERWICK DR ANKENY, IA 50021-9260	154,507 sf	7,820 sf	0.3%
15	Tyler Thomas	LOT 6 OAKWOOD HEIGHTS	8023-32-176-003	1211 NE 31ST ST ANKENY, IA 50021-6694	269,723 sf	8,012 sf	0.3%
16	Tyler Thomas	LOT 7 OAKWOOD HEIGHTS	8023-32-176-005	1211 NE 31ST ST ANKENY, IA 50021-6694	49,092 sf	30,207 sf	1.2%
17	Wayne and Robin Bahl	LOT 8 OAKWOOD HEIGHTS	8023-32-176-004	7514 NE BERWICK DR ANKENY, IA 50021-9230	45,738 sf	29,091 sf	1.2%
18	Elisabeth and Derek Peterson	LOT 9 OAKWOOD HEIGHTS	8023-32-176-003	7534 NE BERWICK DR ANKENY, IA 50021-9230	48,046 sf	29,092 sf	1.2%
19	Andrew and Rhonda Swanson	LOT 10 OAKWOOD HEIGHTS	8023-32-176-001	7560 NE BERWICK DR ANKENY, IA 50021-9230	233,177 sf	84,842 sf	3.5%
20	Jeremy Brandt	BEG SE COR THN W 280.57F H 396.19F E 244.14F SELY 400.08F TO POB PRT E 27.5AN 1/2 HW 1/4 LYG W OF CL NE BERWICK DR LESS .293A RD SEC 32-80-23	8023-32-126-008	7630 NE BERWICK DR ANKENY, IA 50021-9262	89,602 sf	35,185 sf	1.5%
21	Clark and Linda Wale	LOT 1 FOURMILE WOODS PLAT 2	8023-32-201-010	7621 NE BERWICK DR ANKENY, IA 50021-9262	140,873 sf	140,873 sf	5.8%
22	Jeffery and Karen Gluck	LOT 2 FOURMILE WOODS PLAT 2	8023-32-201-014	7645 NE BERWICK DR ANKENY, IA 50021-9262	385,482 sf	221,506 sf	9.2%

### ZONING TABLE NOTES:

- RIGHT-OF-WAY AREA IS NOT INCLUDED
- CITY OF ANKENY OWNED PROPERTY THAT IS NOT ROW IS INCLUDED (IE, PARKLAND, GREENBELTS, ETC.)
- OWNERSHIP INFORMATION PROVIDED VIA POLK COUNTY GIS AS OF 12/12/2023
- AREA WITHIN 250' OF REZONING IS PROVIDED BASED ON GIS PARCEL LINE DATA



### Rezoning Area Description

An irregular tract of land in the Southeast Quarter and Northeast Quarter of Section 32, Township 80 North, Range 23 West of the 5th Principal Meridian, Polk County, Iowa, consisting of Parcel "O" of said Section 32, as shown on the Plat recorded in Book 15089, Page 430 in the Office of the Polk County Recorder, and Outlot "X" in DRA Acres Plat 1, an Official Plat, as shown on the Plat recorded in Book 15393, Pages 121 through 134 in the Office of the Polk County Recorder, more particularly described as follows:  
Beginning at the North Sixteenth Corner between said Section 32 and Section 33, Township 80 North, Range 23 West of the 5th Principal Meridian, Polk County, Iowa; thence S0'02'44"W along the east line of said Section 32, 1322.51 feet to the East Quarter Corner of said Section 32; thence S0'11'23"W continuing along the east line of said Section 32, 936.31 feet; thence departing said east line, S90°00'00"W, 771.86 feet; thence southwesterly 200.44 feet along a 580.01-foot radius curve, said curve having a chord of 199.45 feet bearing S80°05'59"W; thence S70°11'58"W, 33.12 feet; thence S63°47'05"W, 17.00 feet to the easterly right-of-way line of Berwick Drive; thence northwesterly 448.73 feet along a 1594.16-foot radius curve, said curve having a chord of 447.25 feet bearing N34°16'45"W; thence northwesterly 38.55 feet along a 283.00-foot radius curve, said curve having a 38.52-foot chord bearing N46°22'15"W; thence N50°14'05"W, 39.79 feet; thence northwesterly 67.29 feet along a 2033.00-foot radius curve, said curve having a chord of 67.29 feet bearing N51°06'34"W; thence N51°09'32"W, 130.76 feet; thence northwesterly 65.18 feet along a 1947.00-foot radius curve, said curve having a chord of 65.18 feet bearing N51°05'13"W; thence N49°56'53"W, 58.49 feet; thence northwesterly 309.96 feet along a 2967.00-foot radius curve, said curve having a chord of 309.82 feet bearing N47°12'13"W; thence N43°56'07"W, 55.40 feet to the southernmost corner of Lot 2 in said DRA Acres Plat 1; thence departing said east right-of-way line and continuing along the southerly line of said Lot 2, N45°51'34"E, 415.00 feet to the southeasterly corner of said Lot 2; thence N4°38'12"E along the easterly line of said Lot 2, 228.29 feet to the northeast corner of Lot 1 of said DRA Acres Plat 1, also being a point on the southerly line of said Parcel "O"; thence N89°36'54"W along the north line of said Lot 1, 312.53 feet; thence S30°57'41"W along the westerly line of said Lot 1, 228.09 feet; thence S39°09'08"W along said westerly line, 178.08 feet; thence departing said westerly line Lot 1 and continuing along the westerly line of said Parcel "O" N39°43'08"W, 652.19 feet; thence continuing along the westerly line of said Parcel "O", 587.94 feet along a 1246.09-foot radius curve, said curve having a chord of 582.50 feet bearing N26°13'45"W; thence continuing along said westerly line N12°43'06"W, 245.69 feet to the northwest corner of said Parcel "O"; thence S89°55'08"E along the north line of said Parcel "O", 160.30 feet to the Center-North Sixteenth Corner of said Section 32; thence continuing along said north line S89°53'03"E, 1321.27 feet to the Northeast Sixteenth Corner of said Section 32; thence continuing along the north line of said Parcel "O" S89°40'42"E, 1318.73 feet to the point of beginning.  
Described tract of land contains 103.98 acres (4,529,337 square feet), including 1.11 acres of right-of-way (48,545 square feet).  
Subject to any and all easements and restrictions of record.

REZONING EXHIBIT



NORTH

BERWICK ESTATES PUD

ANKENY, IA  
2023000306  
NOVEMBER 3, 2023

REVISED  
12/8/2023  
12/12/2023  
...

ENGINEER: J. BECKER DRAWN BY: J. BECKER

CHECKED BY: J. BECKER FIELD BOOK NO.:

DRAWING NO. SHEET NO.

RZ-01 1 / 1



# BERWICK ESTATES PUD MASTER PLAN

**Owner / Developer**

Berwick Holdings LLC  
1615 SW Main Street, Ste 207  
Ankeny, IA 50023  
Attn: Eric Bohnenkamp  
(712) 540-3756

**Engineer / Designer**

McClure Engineering Company  
1360 NW 121st Street  
Clive, IA 50325  
Attn: Jake Becker, PE  
(515) 964-1229

**Zoning**

Existing - R-1  
Proposed - Berwick Estates PUD

**NOTES**

1. THE INTENT OF THIS MASTER PLAN IS TO PROVIDE SUFFICIENT DETAIL SUCH THAT A TRADITIONAL PRELIMINARY PLAT IS NOT REQUIRED TO DEVELOP PORTIONS OF THIS PROPERTY THAT GENERALLY CONFORM TO THIS MASTER PLAN.
2. AREA DESIGNATED AS "FUTURE DEVELOPMENT" IS NOT A PART OF THIS OFFICIAL REZONING AND PUD DUE TO PORTIONS OF THE AREA NOT BEING ANNEXED INTO THE CITY OF ANKENY AS OF THE TIME OF THIS WRITING. CERTAIN CALCULATIONS INCLUDE THIS AREA IN AN ATTEMPT TO MASTER PLAN THE ENTIRE PROPERTIES OWNED BY THE APPLICANT. IT IS ANTICIPATED THAT THIS FUTURE DEVELOPMENT AREA WILL BE PROCURED SEPARATELY AND WILL REQUIRE SEPARATE APPROVALS, INCLUDING REZONING AND PRELIMINARY PLAT.
3. THE GRAPHICAL RENDERING PROVIDED ON THIS SHEET IS CONCEPTUAL IN NATURE AND INTENDED TO DEMONSTRATE THE GENERAL CHARACTER OF THE DEVELOPMENT. FINAL LAYOUT, CONFIGURATION, AND PRODUCT TYPE MAY REASONABLY DEVIATE FROM THIS PLAN.
4. LAYOUT OF THE CITY PARK DEDICATION IS CONCEPTUAL AND SHOULD NOT BE CONSTRUED AS A PROPOSAL FOR THESE AREAS.
5. THIS DEVELOPMENT WILL REQUIRE CERTAIN ROW DEDICATIONS AS PRESENTED IN THIS PLAN. SAID DEDICATIONS WILL OCCUR WITH RESPECTIVE FINAL PLAT(S) ADJACENT TO THE DEDICATION AREA(S).
6. LOT NUMBERING IS BROKEN OUT BY LAND USE PARCEL FOR SIMPLICITY AND REVIEWABILITY. EACH PLAT SHALL CONTAIN ITS OWN TRADITIONAL NUMBERING NOMENCLATURE AS PART OF ITS FINAL PLAT.
7. BUFFER EASEMENTS SHALL MEET TREE/BUFFER REQUIREMENTS AS DIRECTED BY THE CITY.
8. PROPOSED UTILITY LAYOUTS SHOWN ARE PRELIMINARY AND SUBJECT TO MODIFICATION WITH THE SUBMITTAL OF PUBLIC IMPROVEMENTS CONSTRUCTION DRAWINGS.
9. WATER VALVES ARE TO BE ADDED TO ISOLATE SECTIONS OF WATER MAIN DURING CONSTRUCTION DRAWINGS PHASE(S).
10. AREAS WHERE THERE IS DEFLECTION SHOWN IN WATER MAIN WILL BE ASSESSED DURING CONSTRUCTION DRAWINGS PHASE(S). BENDS MAY BE REQUIRED.
11. UTILITY POLES ALONG NE BERWICK DRIVE MAY NEED RELOCATED. EXACT POLES AND NEW LOCATIONS TO BE DETERMINED DURING CONSTRUCTION DRAWINGS PHASE(S).

SHEET LIST TABLE		
SHEET NO.	SHEET TITLE	SHEET DESCRIPTION
1	MP-01	MASTER PLAN
2	MP-02	PROPOSED LAND USE PLAN
3	EX-01	EXISTING CONDITIONS
4	GN-01	GENERAL LAYOUT NORTHWEST
5	GN-02	GENERAL LAYOUT NORTHEAST
6	GN-03	GENERAL LAYOUT SOUTHWEST
7	GN-04	GENERAL LAYOUT SOUTHEAST
8	GR-01	GRADING PLAN NORTHWEST
9	GR-02	GRADING PLAN NORTHEAST
10	GR-03	GRADING PLAN SOUTHWEST
11	GR-04	GRADING PLAN SOUTHEAST
12	GR-06	GRADING PLAN OVERALL

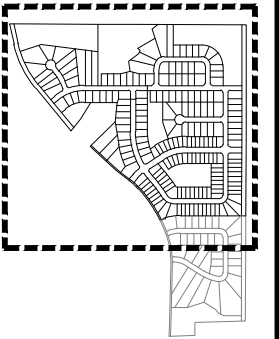


building strong communities.

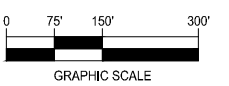
1360 NW 121st Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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**MASTER PLAN**



**BERWICK ESTATES  
MASTER PLAN &  
PRELIMINARY PLAT**

ANKENY, IA  
2023000306

CURRENT ISSUANCE DATE:  
3/4/2024

ENGINEER  
**J. BECKER**

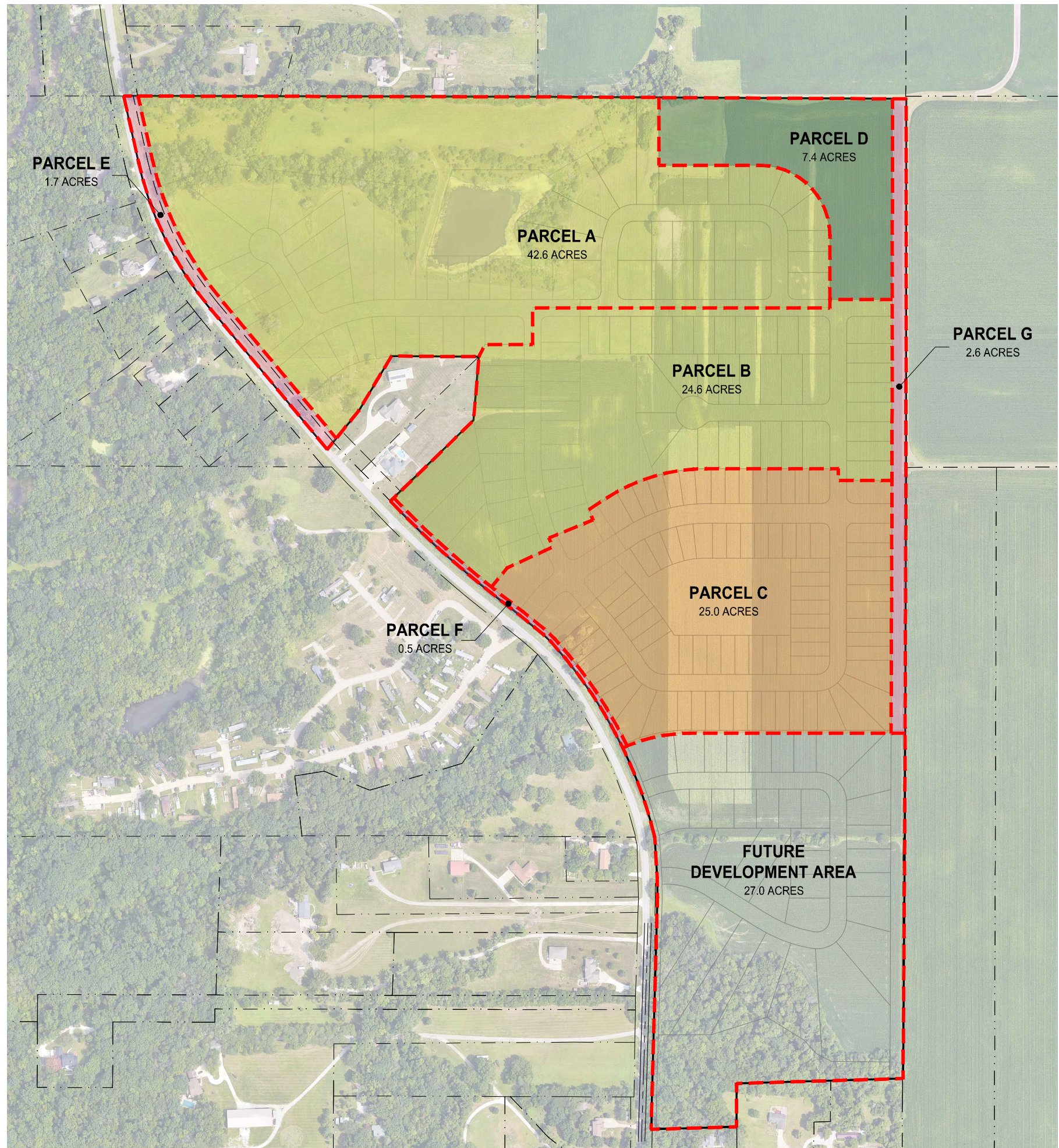
DRAWN BY  
**J. BECKER**

CHECKED BY  
**J. BECKER**

FIELD BOOK NO.

DRAWING NO. **MP-01** SHEET NO. **1 / 12**

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# BERWICK ESTATES PUD LAND USE PLAN

**McCLURE**  
ENGINEERING CO.  
building strong communities.

1360 NW 121ST. Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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## NOTES

1. ANTICIPATED ROW ACQUISITION FOR BERWICK DRIVE IS INCLUDED AS PARCELS E & F.
2. ANTICIPATED ROW ACQUISITION FOR NE 38TH STREET EXTENSION AND CONSTRUCTION IS INCLUDED AS PARCEL G.
3. THE FUTURE DEVELOPMENT AREA ("FDA") IS NOT INTENDED TO BE PART OF THIS REZONING AND PUD DUE TO PORTIONS OF THE FDA NOT BEING ANNEXED INTO THE CITY OF ANKENY AS OF THE TIME OF THIS WRITING. AN ANNEXATION APPLICATION HAS BEEN MADE AND ANNEXATION PROCESSES ARE ONGOING.
4. THE FDA IS INCLUDED IN CALCULATIONS TO ATTEMPT TO MASTER PLAN THE ENTIRE PROPERTIES OWNED BY THE APPLICANT AS OF THE TIME OF THIS PUD AND REZONING PROCESS. IT IS ANTICIPATED THAT THE FDA WILL BE REZONED TO 'STRAIGHT' R-1 OR R-2 ZONING, AND CALCULATIONS HEREIN REFLECT THIS ASSUMPTION. IT IS ACKNOWLEDGED THAT THIS PUD MAY REQUIRE REVISIONS IF THE ZONING REQUEST IS FOR A DIFFERENT CLASSIFICATION THAN R-1 OR R-2.
5. PARKLAND AREA IS GENERAL AND MAY NOT BE THE FINAL ACREAGE DEDICATED TO THE CITY. FINAL ACREAGE WILL BE DETERMINED DURING FINAL PLATTING OF RESPECTIVE AREAS. THE INTENT OF THIS MAP IS TO PROVIDE A GENERAL FRAMEWORK FOR PARKLAND DEDICATION AND/OR PAYMENT.
6. AREA INTERFACE LINES ARE BASED ON THE GRAPHICAL CONCEPT AND MAY REASONABLY ADJUST BASED ON FINAL LAYOUT PROPOSED DURING FINAL PLATTING STAGES.

## BULK REGULATIONS

SEE PUD TEXT FOR BULK REGULATION TABLES AND DISCUSSION

## DENSITY CALCULATIONS:

PARCEL	SIZE (ACRES)	MAXIMUM UNITS (UNITS)	MAXIMUM GROSS DENSITY (DU / ACRE)
A	42.6	128	3
B	24.6	98	4
C	25.0	125	5
D	7.4	0	0
E	1.7	0	0
F	0.5	0	0
G	2.6	0	0
<b>PUD TOTAL</b>	<b>104.4</b>	<b>351</b>	<b>3</b>
FDA*	27.0	54	2
<b>PLANNED TOTAL</b>	<b>131.4</b>	<b>405</b>	<b>3</b>

## LAND USE COMPARISON:

LAND USE TYPE	2040 COMPREHENSIVE LAND USE PLAN		PROPOSED MASTER PLAN	
	(ACRES)	(%)	(ACRES)	(%)
LDR	75.3	72%	67.2	64%
MDR	0	0%	25.0	24%
HDR	0	0%	0.0	0%
COMMERCIAL / MIXED	0	0%	0.0	0%
ROW DEDICATION	0	0%	4.8	5%
OPEN SPACE	29.1	28%	7.4	7%
<b>PUD TOTAL</b>	<b>104.4</b>	<b>100%</b>	<b>104.4</b>	<b>100%</b>

## PARKLAND DEDICATION CALCULATION:

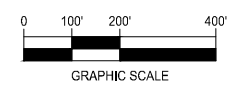
LAND USE PARCEL	LAND USE	AREA (ACRES)	PARKLAND REQUIRED (%)	PARKLAND REQUIRED (ACRES)
A	LDR	42.6	5%	2.1
B	LDR	24.6	5%	1.2
C	MDR	25.0	10%	2.5
D	PARKLAND	7.4	0%	0.0
E	ROW	1.7	0%	0.0
F	ROW	0.5	0%	0.0
G	ROW	2.6	0%	0.0
FDA*	LDR	27.0	5%	1.4
<b>TOTAL PARKLAND REQUIRED:</b>				<b>7.2</b>

\*FDA = FUTURE DEVELOPMENT AREA

## PROPOSED LAND USE PLAN



NORTH



## BERWICK ESTATES MASTER PLAN & PRELIMINARY PLAT

ANKENY, IA  
2023000306

CURRENT ISSUANCE DATE:  
3/4/2024

ENGINEER  
**J. BECKER**

DRAWN BY  
**J. BECKER**

CHECKED BY  
**J. BECKER**

FIELD BOOK NO.

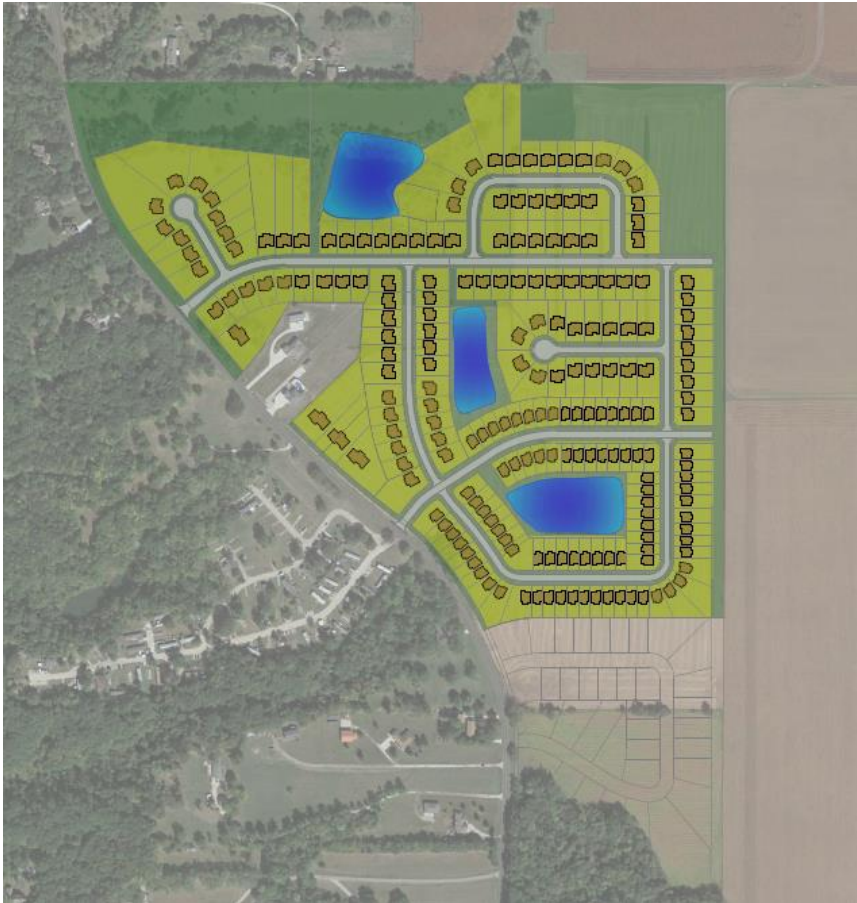
DRAWING NO.  
**MP-02**

SHEET NO.  
**2 / 12**

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# BERWICK ESTATES

PLANNED UNIT DEVELOPMENT  
CITY OF ANKENY



PREPARED BY:



PREPARED ON:  
11/3/2023

REVISIONS:  
12/8/2023  
3/5/2024

**BERWICK ESTATES PUD**

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12/8/2023

Honorable Mayor, City Council, and Plan & Zoning Commission  
City of Ankeny  
1250 SW District Drive  
Ankeny, Iowa 50023

> 1360 NW 121st Street  
Clive, IA 50325  
P 515.964.1229  
F 515.964.2370

RE: Berwick Estates PUD – Rezoning

[www.mecresults.com](http://www.mecresults.com)

Dear Honorable Mayor, City Council, and Plan & Zoning Commission Members,

On behalf of Berwick Holdings LLC and ATI Group, we are pleased to submit a rezoning request for approximately 104 acres in the City of Ankeny east of NE Berwick Drive and respectfully request your approval of said rezoning request.

This proposal is to rezone the property from R-1 to Berwick Estates PUD. The development plan as presented is generally consistent with the City’s Comprehensive Land Use Plan and represents strategic and thoughtful residential growth for the City of Ankeny. Additionally, we believe the proposed PUD zoning offers the following advantages to the City of Ankeny and its residents:

- Simultaneously offer flexibility in development yet establish general structure and framework of the planned property
- Provide a variety of housing types and price points that encourages diverse opportunities for a wide range of potential residents
- Provide adequate information for the City, general public, and neighbors who may be living near or interacting with the development to understand the big picture
- Provide adequate information for future Developers, homebuilder partners, homebuyers, and other stakeholders to set expectations of current and future development

This letter of request is included as part of the PUD submittal package that establishes the framework for the next highly sought-after area in the City of Ankeny. We thank you for your consideration of approval of this project.

Sincerely,

**McClure Engineering Company**

**Jake Becker, PE**  
Senior Project Engineer

Cc: ATI Group

## BERWICK ESTATES PUD

**SECTION 1 - PURPOSE** The primary and technical purpose of this PUD document is to provide the framework and basis to change the official zoning of the parcel of ground as described in Section 2 herein from R-1 to PUD.

Additionally, the following purposes are also considered vital to the intents this PUD document:

- Simultaneously offer flexibility in development yet establish general structure and framework of the planned property
- Provide sufficient and expanded details so that a Preliminary Plat is not necessary for future development proceedings
- Provide adequate information for approving entities (City Council, P&Z, City Staff, etc.) to feel comfortable approving this PUD and future development proceedings
- Provide adequate information for stakeholders, future Developers, homebuilder partners, and homebuyers to set expectations of current and future development
- Provide adequate information for the general public and neighbors who may be living near or interacting with the development to understand the big picture

**SECTION 2 - LEGAL DESCRIPTION** The Official Zoning Map of the City of Ankeny, Iowa, is proposed to be amended from R-1 to PUD, for the property legally described as follows:

AN IRREGULAR TRACT OF LAND IN THE SOUTHEAST QUARTER AND NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH PRINCIPAL MERIDIAN, POLK COUNTY, IOWA, CONSISTING OF PARCEL "O" OF SAID SECTION 32, AS SHOWN ON THE PLAT RECORDED IN BOOK 15089, PAGE 430 IN THE OFFICE OF THE POLK COUNTY RECORDER, AND OUTLOT 'X' IN DRA ACRES PLAT 1, AN OFFICIAL PLAT, AS SHOWN ON THE PLAT RECORDED IN BOOK 15393, PAGES 121 THROUGH 134 IN THE OFFICE OF THE POLK COUNTY RECORDER, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTH SIXTEENTH CORNER BETWEEN SAID SECTION 32 AND SECTION 33, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5<sup>TH</sup> PRINCIPAL MERIDIAN, POLK COUNTY, IOWA; THENCE S0°02'44"W ALONG THE EAST LINE OF SAID SECTION 32, 1322.51 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 32; THENCE S0°11'23"W CONTINUING ALONG THE EAST LINE OF SAID SECTION 32, 936.31 FEET; THENCE DEPARTING SAID EAST LINE, S90°00'00"W, 771.86 FEET; THENCE SOUTHWESTERLY 200.44 FEET ALONG A 580.01-FOOT RADIUS CURVE, SAID CURVE HAVING A CHORD OF 199.45 FEET BEARING S80°05'59"W; THENCE S70°11'58"W, 33.12 FEET; THENCE S63°47'05"W, 17.00 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF BERWICK DRIVE; THENCE NORTHWESTERLY 448.73 FEET ALONG A 1594.16-FOOT RADIUS CURVE, SAID CURVE HAVING A CHORD OF 447.25 FEET BEARING N34°16'45"W; THENCE NORTHWESTERLY 38.55 FEET ALONG A 283.00-FOOT RADIUS CURVE, SAID CURVE HAVING A 38.52-FOOT CHORD BEARING N46°22'15"W; THENCE N50°14'05"W, 39.79 FEET; THENCE NORTHWESTERLY 67.29 FEET ALONG A 2033.00-FOOT RADIUS CURVE, SAID CURVE HAVING A CHORD OF 67.29 FEET BEARING N51°06'34"W; THENCE N51°59'32"W, 130.76 FEET; THENCE NORTHWESTERLY 65.18 FEET ALONG A 1967.00-FOOT RADIUS CURVE, SAID CURVE HAVING A CHORD OF 65.18 FEET BEARING N51°05'13"W; THENCE N49°56'53"W, 58.49 FEET; THENCE NORTHWESTERLY 309.96 FEET ALONG A 2967.00-FOOT RADIUS CURVE, SAID CURVE HAVING A CHORD OF 309.82 FEET BEARING N47°12'13"W; THENCE N43°56'07"W, 55.40 FEET TO THE SOUTHERNMOST CORNER OF LOT 2 IN SAID DRA ACRES PLAT 1; THENCE DEPARTING SAID EAST RIGHT-OF-WAY LINE AND CONTINUING ALONG THE SOUTHERLY LINE OF SAID LOT 2, N45°51'34"E, 415.00 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 2; THENCE N4°38'12"E ALONG THE EASTERLY LINE OF SAID LOT 2, 228.29 FEET TO THE NORTHEAST CORNER OF LOT 1 OF SAID DRA ACRES PLAT 1, ALSO BEING A POINT ON THE SOUTHERLY LINE OF SAID PARCEL "O"; THENCE N89°36'54"W ALONG THE NORTH LINE OF SAID LOT 1, 312.53 FEET; THENCE S30°57'41"W ALONG THE WESTERLY LINE OF SAID LOT 1, 228.09 FEET; THENCE S39°09'08"W ALONG SAID WESTERLY LINE, 178.08 FEET; THENCE DEPARTING SAID WESTERLY LINE LOT 1 AND CONTINUING ALONG THE WESTERLY LINE OF SAID PARCEL "O"

## BERWICK ESTATES PUD

N39°43'08"W, 652.19 FEET; THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID PARCEL "O", 587.94 FEET ALONG A 1246.09-FOOT RADIUS CURVE, SAID CURVE HAVING A CHORD OF 582.50 FEET BEARING N26°13'45"W; THENCE CONTINUING ALONG SAID WESTERLY LINE N12°43'06"W, 245.69 FEET TO THE NORTHWEST CORNER OF SAID PARCEL "O"; THENCE S89°55'08"E ALONG THE NORTH LINE OF SAID PARCEL "O", 160.30 FEET TO THE CENTER-NORTH SIXTEENTH CORNER OF SAID SECTION 32; THENCE CONTINUING ALONG SAID NORTH LINE S89°53'03"E, 1321.27 FEET TO THE NORTHEAST SIXTEENTH CORNER OF SAID SECTION 32; THENCE CONTINUING ALONG THE NORTH LINE OF SAID PARCEL "O" S89°40'42"E, 1318.73 FEET TO THE POINT OF BEGINNING.

DESCRIBED TRACT OF LAND CONTAINS 103.98 ACRES (4,529,337 SQUARE FEET), INCLUDING 1.11 ACRES OF RIGHT-OF-WAY (48,545 SQUARE FEET).

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

**SECTION 3 - MASTER PLAN ADOPTION** Attached hereto and made a part of this rezoning approval, for concept description and delineation is the Berwick Estates Master Plan listed as Appendix B. The Master Plan is adopted to establish the rules, regulations, and development guidelines for the land use and performance standards pursuant to Section 192.15 of the Municipal Code of the City of Ankeny, Iowa, for the development of the Berwick Estates PUD. The Master Plan layout, including the relationship of uses to each other and the relationship of land use to the general plan framework, and development requirements, shall be used as the implementation guide.

Individual parcels within the PUD may be developed independent of other parcels or tracts, provided the minimum requirements are met, unless modified herein, and the development of the parcel allows for the proper development of other parcels or tracts within the PUD.

It is recognized that shifts or modifications to the Master Plan layout and reasonable adjustments to the PUD Land Use Parcel boundaries may be made in order to establish workable street patterns, storm water management systems or facilities, elevations, grades, and/or usable building sites. Any modifications to the Master Plan considered by the Zoning Administrator to be major or significant and any amendments to the PUD text shall be made pursuant to Subsection 192.15 of the Municipal Code of the City of Ankeny, Iowa.

**SECTION 4 - REQUIRED PLANS** The following plans shall be required as a part of the processing of any development application for any property within the Berwick Estates PUD.

1. Preliminary Plat: For a majority of this property, the Master Plan provides sufficient detail that a Preliminary Plat is not necessary and may be excluded from the development review process. This exclusion applies to all land uses Parcels listed in the Master Plan (except the Future Development Area).
2. Construction Drawings or Site Plans: Standard City of Ankeny processes and procedures shall be utilized for preparing, reviewing, and approving drawings to facilitate construction of public or private infrastructure. These are generally referred to Construction Drawings for public subdivision work and Site Plans for private site work. Said Drawings or Plans shall generally conform to the Master Plan and shall be demonstrate that properly sized and located public sanitary sewers, storm sewers, water mains, and streets will be constructed adjacent to or across the respective property in order to fully serve other areas within the PUD.
3. Platting: Prior to, or in conjunction with development of any portion of the PUD, said area shall be platted in accordance with the City of Ankeny subdivision regulations to delineate within a plat the parcel to be developed except as noted in this ordinance.



## BERWICK ESTATES PUD

- a. Final Plats: A Final Plat shall be the mechanism to create a buildable lot on property within this PUD. Final Plats shall conform to City standards including content, review, and approval.
- b. Plats-of-Surveys: In order to facilitate the sale or transfer of ownership of property within the PUD, a Plat-of-Survey may be created in accordance with State Law and submitted to the City of Ankeny for its review and approval following a finding of general compliance within the intent of the PUD. It is understood that the transfer of title of any property in the PUD is an interim measure to facilitate development of the PUD and will ultimately culminate in the Final Platting of the respective property. Parcels created by Plat-of-Survey shall not be buildable and no building permit shall be issued until the parcel is platted as part of a Subdivision Plat is approved and the final plat is recorded. No public or private infrastructure improvements are required to be installed or surety posted for any parcels created by Plat-of-Survey.
- c. Outlots: As part of a Subdivision Plat, Outlot(s) may be created to facilitate the sale or transfer of ownership. Outlots shall not be buildable and no building permit shall be issued until such time that a Subdivision Plat is approved and the final plat is recorded that replats said Outlot(s) into one or more regular Subdivision Lots. No public or private infrastructure improvements are required to be installed or surety posted for any temporary Outlots created for the purpose of ownership transfer. Public or private infrastructure may be required and proposed within permanent Outlots created by the Subdivision Plat (eg, stormwater infrastructure in stormwater Outlots).
- d. Acquisition Plats: Public street rights-of-way may be established by Acquisition Plat following the review and approval by the City.
- e. Postage Stamp Lots: Individual lots created within a common lot or outlot that is owned and controlled by an Owner's Association or condominium regime, commonly referred to as a *Postage Stamp Lot*, are not proposed as part of this PUD and Master Plan and shall not be permitted.

### **SECTION 5 - GENERAL CONDITIONS** The following general site development criteria are applicable to the Berwick Estates PUD:

1. Any regulation, standard, provision or requirement that is not specifically addressed within this document that is regulated elsewhere in the Municipal Code of Ankeny, Iowa, the requirements of the Municipal Code shall be enforced.
2. All subdivisions, public streets, public street rights-of-way, public improvements, and other general development improvements shall adhere to the standards and design criteria set forth in the Ankeny Subdivision Ordinance and the Statewide Urban Design Specifications (SUDAS) as adopted or as amended by the City of Ankeny, pertaining thereto, unless otherwise stated within this Ordinance or approved by City Council. To allow for creative residential community design, alternate public ROW sections may be considered to allow for flexibility in unit design and layout.
3. Applicable in all areas located within a 100-year frequency flood hazard zone, or in adjoining drainageways, detention areas, or other storm water management areas involving potential flood hazards, no building shall be erected which has a lowest floor elevation, including basements, of less than one (1) foot above the determined level of the one hundred (100) year frequency flood event; or the building shall be flood proofed to the same elevation. No building shall be erected within 25-feet of any major drainage (as determined by the storm water management plan), storm water detention basin or pond, unless approved by the City.

## BERWICK ESTATES PUD

4. The Developer, its successors and assigns, if any, shall pay all construction and engineering costs for the development and improvement of its property, including improvements located in all rights-of-way to be dedicated to the City, all in accordance with the current City policies and ordinances in effect at the time of development unless otherwise addressed in an approved Development Agreement.

**SECTION 6 - STREET CIRCULATION AND RIGHT-OF-WAY** Appendix B shows a conceptual roadway circulation system including the classification of each road. The minimum standards of each road classification are as follows:

Residential "Collector" Street:

- 70' Right of Way
- 31' wide paving
- Widened to 37' wide and 3-lanes at intersection with NE Berwick Drive
- Widened to 37' wide and 3-lanes at intersection with future arterial street
- No Parking on either side of street
- 5' sidewalk on both sides

Residential "Local" Street:

- 60' Right of Way
- 27' wide paving
- Widened to 37' wide and 3-lanes at intersection with NE Berwick Drive
- Widened to 37' wide and 3-lanes at intersection with future arterial street
- Parking on south and west sides of streets
- 5' sidewalk on both sides

A Traffic Impact Study is ongoing as part of this PUD approval process and may contain additional infrastructure improvement recommendations that will need negotiated between the Developer and City. Per this writing, the latest arrangement is as follows:

- Developer to construct an eastbound right turn lane at NE 78<sup>th</sup> Ave and NE Berwick Drive, triggered by the second plat of development of Berwick Estates
- Developer to construct an eastbound left turn lane on at NE 62<sup>nd</sup> Ave and NE Berwick Drive, triggered by 50% build-out of Berwick Estates
- Westbound left turn lane at NE 78<sup>th</sup> Ave and NE Berwick Drive discussed in the TIS is not required to be constructed by the Developer
- City and County will monitor the traffic for the NE Berwick Drive offset as development occurs in the area and will coordinate/fund a potential project addressing the intersection if/when a project is needed. The City will not require additional payment or construction of lane modification on NE 78<sup>th</sup> Ave from the Developer of the Berwick Estates development beyond what is stated above

At a minimum, the Developer of each area shall design the street circulation system and shall extend designated roadways across its plat to adjacent areas. Public street right-of-way shall be dedicated to the City at the time of platting consistent with the above standards or as approved by City Council.

Private streets may be utilized if approved in a site-specific Site Plan and shall establish a private street easement. Said easement shall detail the private street ownership, maintenance, private access rights, and the right of use by the general public and city emergency service vehicles for access and circulation. Alternate curb sections may be allowed on private streets if reviewed and approved by City Council at the time of development.

**BERWICK ESTATES PUD**

**SECTION 7 - PEDESTRIAN TRAILS** No trails or oversized sidewalk are proposed within public ROW. Where trails are proposed outside of ROW (rear yards or around ponds), trails shall be contained within either easement or Outlots. If within Outlots, the restrictive covenants shall describe ownership and maintenance provisions of the trail.

**SECTION 8 - OPEN SPACE**

1. Various types of open spaces are proposed in the Master Plan including general open space, City parks, pedestrian trails, and storm water detention.
2. Parcel D is to be dedicated to the City for parkland and shall be maintained by the City upon dedication.
3. All other common open space intended for public use (i.e., pedestrian trails or stormwater detention) shall generally be contained within an Outlot or easement. Outlots shall be owned and maintained by the HOA.

**SECTION 9 - PARKLAND DEDICATION**

1. All development within this PUD shall comply with the City’s parkland dedication requirements. Provisions provided as part of this Section are intended to fully satisfy the parkland dedication requirements for the entire Berwick Estates development.
2. The parkland dedication area required for Berwick Estates is 7.2 acres as of the time of this writing based on the proposed land uses and concept plans.

LAND USE PARCEL	LAND USE	AREA	PARKLAND REQUIRED	PARKLAND REQUIRED
		(ACRES)	(%)	(ACRES)
A	LDR	42.6	5%	2.1
B	LDR	24.6	5%	1.2
C	MDR	25.0	10%	2.5
D	PARKLAND	7.4	0%	0.0
E	ROW	1.7	0%	0.0
F	ROW	0.5	0%	0.0
G	ROW	2.6	0%	0.0
FDA*	LDR	27.0	5%	1.4
<b>TOTAL PARKLAND REQUIRED:</b>				<b>7.2</b>

*\*FDA means Future Development Area*

3. The Master Plan (Appendix B) identifies Parcel D as a conceptual parkland location that is to be dedicated to the City of Ankeny as part of the final platting procedures in that area. Parcel D is 7.3 acres and satisfies the City’s parkland dedication requirements.
4. An area called ‘Future Development Area’ is included in parkland calculations as part of this PUD in an attempt to master plan the entire properties owned by the applicant at the time of this PUD writing. The ‘FDA’ is not intended to be a part of the official PUD and rezoning processes due to portions of the ‘FDA’ not being annexed into the City of Ankeny as of the time of this writing. It is anticipated that the ‘FDA’ will be rezoned to “straight” R-1 or R-2 zoning and calculations herein reflect this assumption. It is acknowledged that this PUD may require revisions or alternate parkland dedication arrangements may be necessary if the future rezoning request for the ‘FDA’ is for a different classification than R-1 or R-2 and a higher threshold of parkland dedication requirements are triggered.
5. Should future PUD modifications occur that would result in an increase in required parkland dedication, the difference in parkland dedication shall be satisfied with an agreed-upon arrangement in the PUD modifications including additional land, payment-in-lieu, or both.

**BERWICK ESTATES PUD**

**SECTION 10 - SANITARY SEWER SERVICE AND STORM WATER DRAINAGE** Each Developer shall extend sanitary and storm sewers across its plat at sufficient capacity and appropriate elevations and locations to serve the respective service areas. The Developer of all areas within the PUD shall submit to the City for its review and approval, as part of the Subdivision Plat and any Site Plan review and approval process, a sanitary sewer service and storm water drainage plan which satisfies the City’s development standards and regulations. Sanitary sewer plan and profile pages in Construction Drawings and/or Site Plans and a site-specific Storm Water Management Plan would generally suffice for the purposes of this Section’s requirements.

Sufficient service is defined herein as sanitary sewer and storm water drainage facilities (pipes, structures, drainageways, detention ponds, and similar facilities) adequately sized and designed, including location and depth/elevation, to accommodate the expected flows generated within the service area. Furthermore, the design shall provide for the extension of the facilities across or through the respective Subdivision Plat and/or Site Plan so that all areas within the service area including those located ‘upstream’ from the Plat and/or Site Plan shall be adequately served.

As previously stated, the Master Plan in Appendix B contains certain pages that are more detailed than necessary in traditional PUD documents. One of the reasons for this is to provide a baseline for utility extensions as it relates to the overall development. The GN-series and GR-series pages function essentially as a Preliminary Plat. As such, Developers shall generally adhere to utility plans depicted in Appendix B in regard to utility extensions to adjacent sites. Since more detail is provided in a traditional PUD Master Plan, special consideration should be made to reasonable modifications and deviations of Construction Drawings, Site Plans, and/or Final Plats from this Master Plan in regard to specific configuration, lot sizing, utility layout, and other provisions.

**SECTION 11 - STORM WATER MANAGEMENT** A Master Storm Water Management Plan (titled “Berwick Estates Master Storm Water Management Plan”) is prepared and approved coincident with this PUD. This Master SWMP provides calculations and discussions in regard to storm water detention requirements for a majority of the site. As a part of the review and approval for each Subdivision Plat or Site Plan, a storm water management plan for the area within the Subdivision Plat and/or Site Plan shall be submitted to the City for its approval. Subsequent, plat/site-specific SWMPs will serve the purpose of establishing compliance with the Master SWMP and to provide specific storm water details (i.e., intake and pipe capacity calculations). All storm water management plans shall generally comply with the Master SWMP or provide calculations justifying changes.

**SECTION 12 - LAND USE DESIGN CRITERIA** The following land use design criteria shall apply to the respective Land Use parcels designated on the Berwick Estates Master Plan. The intent of this section is to establish bulk regulation criteria for each Land Use parcel similar to traditional City of Ankeny zoning criteria. Criteria specifically listed herein shall be the governing standards, however a similar City of Ankeny zoning classification is also listed in an effort to direct users to supplemental data for criteria not explicitly listed herein.

1. **Land Use Parcels A and B:** The intent of this parcel is to develop into detached single-family units. The closest similar City of Ankeny zoning classification is R-2. Land Use Parcel sizes and gross densities are planned as shown below:

<b>Parcel</b>	<b>Size</b>	<b>Maximum Units</b>	<b>Maximum Gross Density</b>
A	42.6 Acres	127 Units	3 DU per Ac.
B	24.6 Acres	98 Units	4 DU per Ac.

- a. Allowed Uses: All permitted principal and accessory uses and special uses as provided in the City Code for the R-1 and R-2 districts with a restriction to detached single-family uses.

**BERWICK ESTATES PUD**

- b. Bulk Regulations: All setbacks shall be in accordance with the Height and Bulk Regulations for the R-1 and R-2 districts, except as modified herein. Setbacks are modified in accordance with the following table for each land use.

Use	Lot Area	Lot Width	Story Height Limit	Front Setback	Side Setback	Sum of Side Setbacks	Rear Setback
Single Family – Parcel A	9,000 sf	70 ft	2	30 ft	7.5 ft	15 ft	30 ft
Single Family – Parcel B	8,000 sf	70 ft	2	30 ft	7.5 ft	15 ft	30 ft

- 2. **Land Use Parcel C**: The intent of these parcels is to develop into primarily smaller or specialty detached single-family or attached duplex units. The closest similar City of Ankeny zoning classification is R-3 with restrictions. Land Use Parcel sizes and gross densities are planned as shown below:

Parcel	Size	Maximum Units	Maximum Gross Density
C	25.0 Acres	125 Units	5 DU per Ac.

- a. Allowed Uses: All permitted principal and accessory uses and special uses as provided in the City Code for the R-1, R-2, and R-3 districts. Setbacks are modified in accordance with the following table for each land use.
- b. Bulk Regulations: All setbacks shall be in accordance with the Height and Bulk Regulations for the R-1, R-2, and R-3 districts, except as modified herein.

Use	Lot Area	Lot Width	Story Height Limit	Front Setback	Side Setback	Sum of Side Setbacks	Rear Setback
Single Family	5,000 sf	50 ft	2	25 ft	5 ft	10 ft	30 ft
Two-Family	4,000 sf	40 ft	2	25 ft	5 ft	10 ft	25 ft

- 3. **Land Use Parcel D**: The intent of this parcel is to provide a conceptual location and scope for open space that is to be dedicated to the City of Ankeny as part of the final platting procedures in the respective areas to wholly or partially satisfy parkland dedication requirements.
- 4. **Land Use Parcels E and F**: The intent of these parcels is to be reserved for NE Berwick Drive right-of-way. This ROW is specifically excluded from the other PUD areas since it is a special acquisition requirement and not a development land use, thus should not be counted towards certain requirements or calculations for this PUD. It is, however, a part of the official rezoning, thus must be acknowledged in the PUD.

## **BERWICK ESTATES PUD**

5. **Land Use Parcel G:** The intent of this parcel is to be reserved for future NE 38<sup>th</sup> Street right-of-way. This ROW is specifically excluded from the other PUD areas since it is a special acquisition requirement and not a development land use, thus should not be counted towards certain requirements or calculations for this PUD. It is, however, a part of the official rezoning, thus must be acknowledged in the PUD.
6. **Future Development Area:** The intent of this designation is to attempt to master plan the entire properties owned by the applicant at the time of this PUD writing. The 'FDA' is not intended to be a part of the official PUD and rezoning processes due to portions of the 'FDA' not being annexed into the City of Ankeny as of the time of this writing. It is anticipated that the 'FDA' will be rezoned to "straight" R-1 or R-2 zoning and calculations herein reflect this assumption. It is acknowledged that this PUD may require revisions (specifically regarding alternate parkland dedication arrangements) if the future rezoning request for the 'FDA' is for a different classification than R-1 or R-2 .

### **SECTION 13 - GENERAL LANDSCAPE STANDARDS**

1. All areas not covered by building or paving shall be landscaped with turf grass, prairie grass, plant beds, shrubs, and/or trees in accordance with open space and landscaping requirements set forth the City Zoning Ordinance.
2. It is anticipated that the Restrictive Covenants will provide specific requirements on individual lots in regard to landscaping requirements. Such requirements would be implemented in an effort to create a canopy of overstory trees decades after development is completed. Specific requirements and species would be specified in the Restrictive Covenants.
3. 25' Buffer Easements are proposed along NE Berwick Drive and future NE 38<sup>th</sup> Street. These easements will be allowed to overlap PUEs and Gas Easements. No fences or sheds are allowed within the Buffer Easements. Tree/buffer requirements per Ankeny City code are to be within the Buffer Easements.

### **SECTION 14 - ARCHITECTURE AND SITE DESIGN REGULATIONS**

1. All structures shall comply with the City's architectural standards set forth in the City Zoning Ordinance.
2. All structures shall comply with the Restrictive Covenants as prepared with each respective phase of development.
3. Exhibit B includes general examples of the expectations of architectural character of the structures within Berwick Estates.
4. Side-by-side usage of the exact same frontage elevation for a single-family home shall be avoided where practical. For the sake of clarity, this requirement will not apply to duplex-style homes.

### **SECTION 15 - SIGNAGE** All signage shall be in compliance with the City Zoning Code regulations.

### **SECTION 16 - DEFINITION** The term "Developer" for the purpose of the Ordinance, shall mean any person, individual, firm, partnership, association, corporation, estate, trust, entity, or agent or same acting or proposing to subdivide land, improve or develop land including grading or installation of utilities, or plat a Land Use Area Parcel (or fractional part therein) within the PUD by improving or grading the parcel, installing utilities, or for the construction of a building or buildings or amenities.

### **SECTION 17 - VIOLATIONS AND PENALTIES** Any person who violates the provision of this Ordinance upon conviction shall be punished as set forth in the Municipal Code of the City of Ankeny, Iowa.

## **BERWICK ESTATES PUD**

**SECTION 18 - OTHER REMEDIES** In addition to the provisions set out in Violation and Penalties Section herein, the City may proceed in law or equity against any person, firm or corporation for violation of any section or subsection of this Ordinance.

**SECTION 19 - REPEALER** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**SECTION 20 - SEVERABILITY CLAUSE** In any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

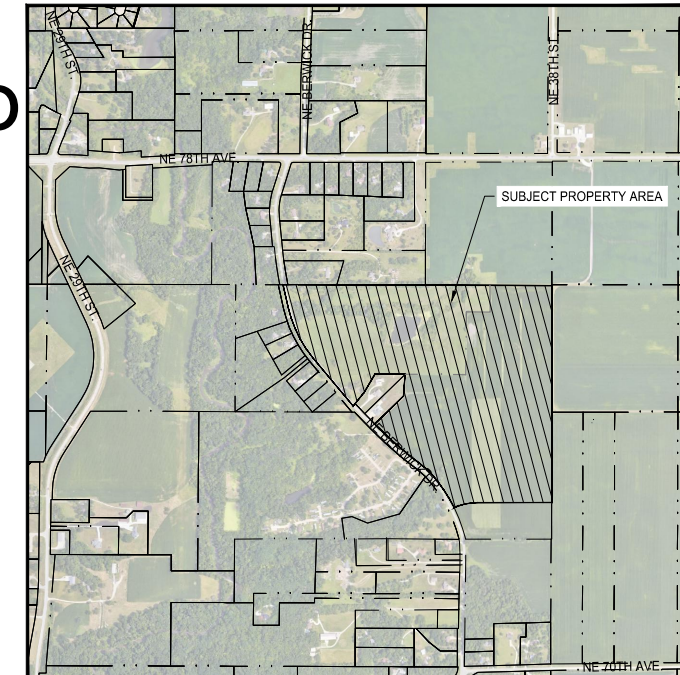
**SECTION 21 - EFFECTIVE DATE** This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

### **APPENDICIES:**

- Appendix A – Rezoning Map Exhibit
- Appendix B – Berwick Estates Master Plan (pgs 1-12)
- Appendix C – Architectural Character

# Rezoning Exhibit

FOR  
**Berwick Estates PUD**  
Ankeny, Iowa



**Vicinity Sketch**  
Scale: 1" = 1,000'

### Owner / Developer

Berwick Holdings LLC  
1615 SW Main Street, Ste 207  
Ankeny, Iowa 50023

### Zoning

Existing - R-1 (103.98 acres)

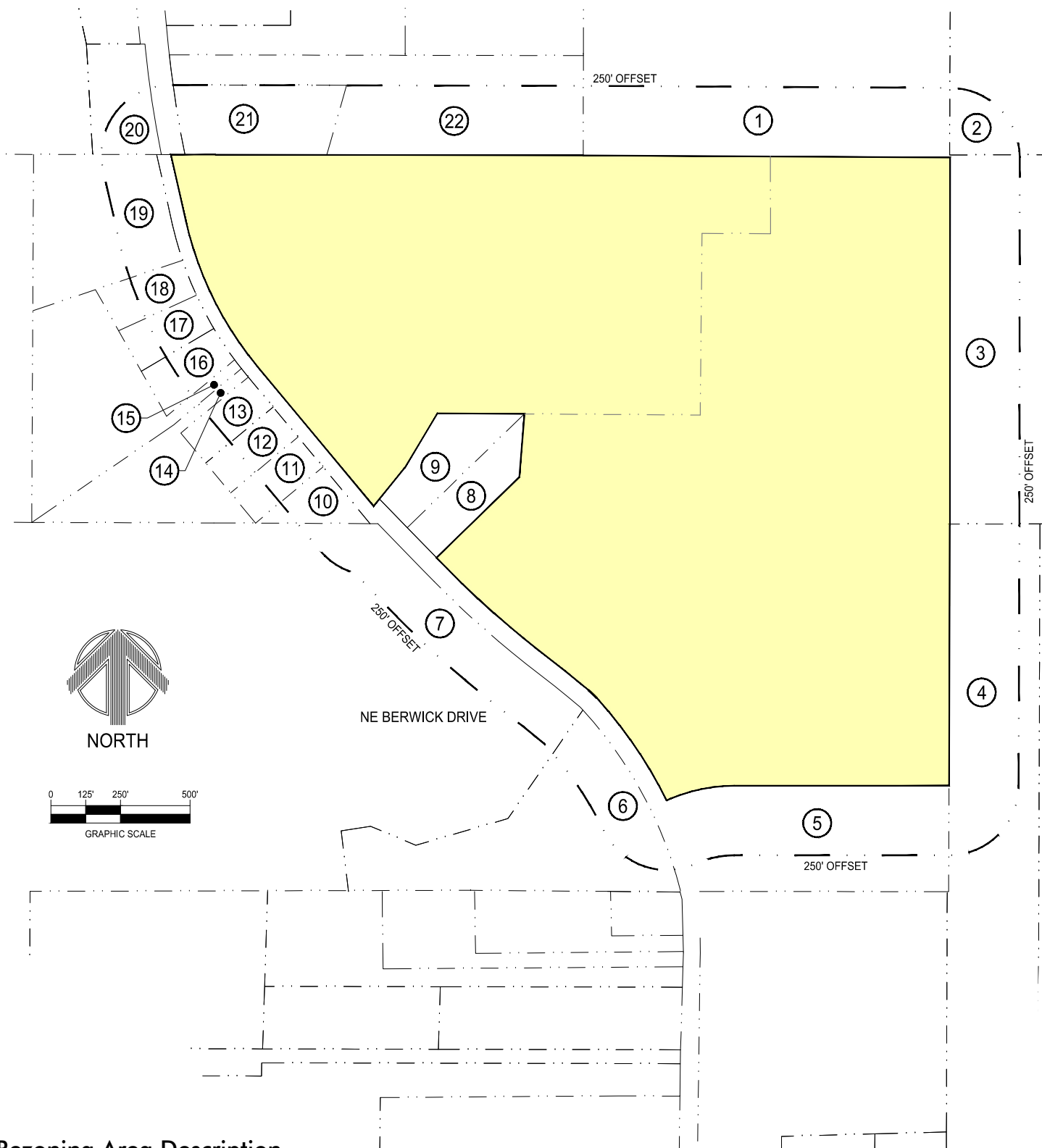
Proposed - Berwick PUD (103.98 acres)

### Rezoning Table

Parcel Number	Name of Property Owner	Legal Description	Parcel Number	Mailing Address	Total Area of Property	Area within 250' of rezoning	% of Area within 250' of rezoning
1	Roy & Florence Bishop	NE 1/4 NE 1/4 LESS 1.58 A RD SEC 32-80-23	8023-32-226-001	3818 NE 78TH AVE ANKENY, IA 50021-9738	1,673,575 sf	329,269 sf	13.6%
2	Roy Bishop	NW 1/4 NW 1/4 LESS 1.58 A RD SEC 33-80-23	8023-33-100-001	3818 NE 78TH AVE ANKENY, IA 50021-9738 DALLAS CENTER, IA 50063-0190	1,673,575 sf	47,153 sf	2.0%
3	Jerry M Bishop	W 1/2 S 1/2 NW 1/4 SEC 33-80-23	8023-33-100-004	3818 NE 78TH AVE ANKENY, IA 50021-9738	1,742,400 sf	331,737 sf	13.7%
4	John Winger & Manta Israni	W 1/2 W 1/2 W 1/2 SW 1/4 LESS .25A RD SEC 33-80-23	8023-33-300-005	4050 NE 78TH AVE ANKENY, IA 50021-9382	860,310 sf	284,344 sf	11.8%
5	Berwick Holdings LLC	OUTLOT X DRA ACRES PLAT 1	8023-32-426-001	1615 SW MAIN ST STE 207 ANKENY, IA 50023-7261	3,115,689 sf	242,940 sf	10.0%
6	Wesley Investments INC	LTS 5 & 6 PAGLWJ COMPOUND PLAT 1	8023-32-400-023	7252 NE BERWICK DR ANKENY, IA 50021-9258	394,236 sf	101,743 sf	4.2%
7	Third and Collins Properties LLC	EX BEG 1332F N & 955F W OF SE COR OF SEC THN W 1214F NW 221F NE 110.5F SE 175F NELY 828F TO W LN OF HWY SELY 754F TO POB- N 1/2 SE 1/4 W OF RD & LESS RD SEC 32-80-23	8023-32-400-001	2601 SW 35TH ST ANKENY, IA 50023-6203	1,267,596 sf	210,274 sf	8.7%
8	Scott Stephenson Aubrey Jungen	LOT 2 DRA ACRES PLAT 1	8023-32-252-002	7393 NE BERWICK DR ANKENY, IA 50021-9259	75,157 sf	75,157 sf	3.1%
9	Richard and Marlis Backus	LOT 1 DRA ACRES PLAT 1	8023-32-252-001	7403 NE BERWICK DR ANKENY, IA 50021-9260	88,266 sf	88,266 sf	3.7%
10	Harold Tyler, Thomas Tyler, Bradley Johnson	LOT 1 OAKWOOD HEIGHTS	8023-32-176-010	1211 NE 31ST ST ANKENY, IA 50021-6694	41,599 sf	35,966 sf	1.5%
11	Tyler Thomas	LOT 2 OAKWOOD HEIGHTS	8023-32-176-009	1211 NE 31ST ST ANKENY, IA 50021-6694	44,082 sf	28,059 sf	1.2%
12	Bradley Johnson	LOT 3 OAKWOOD HEIGHTS	8023-32-176-008	7470 NE BERWICK DR ANKENY, IA 50021-9260	44,082 sf	28,000 sf	1.2%
13	Bradley Johnson	LOT 4 OAKWOOD HEIGHTS	8023-32-176-007	7470 NE BERWICK DR ANKENY, IA 50021-9260	44,082 sf	28,000 sf	1.2%
14	Bradley Johnson	LOT 5 OAKWOOD HEIGHTS	8023-32-176-006	7470 NE BERWICK DR ANKENY, IA 50021-9260	154,507 sf	7,820 sf	0.3%
15	Tyler Thomas	LOT 6 OAKWOOD HEIGHTS	8023-32-176-002	1211 NE 31ST ST ANKENY, IA 50021-6694	269,723 sf	8,012 sf	0.3%
16	Tyler Thomas	LOT 7 OAKWOOD HEIGHTS	8023-32-176-005	1211 NE 31ST ST ANKENY, IA 50021-6694	49,092 sf	30,207 sf	1.2%
17	Wayne and Robyn Biehl	LOT 8 OAKWOOD HEIGHTS	8023-32-176-004	7514 NE BERWICK DR ANKENY, IA 50021-9230	45,738 sf	29,091 sf	1.2%
18	Elizabeth and Derek Peterson	LOT 9 OAKWOOD HEIGHTS	8023-32-176-003	7534 NE BERWICK DR ANKENY, IA 50021-9230	48,046 sf	29,092 sf	1.2%
19	Andrew and Rhonda Swanson	LOT 10 OAKWOOD HEIGHTS	8023-32-176-001	7560 NE BERWICK DR ANKENY, IA 50021-9230	233,177 sf	84,842 sf	3.5%
20	Jeremy Brandt	BEG SE COR THN W 280.67F N 396.19F E 244.16F SELY 400.08F TO POB PRT E 27.5A N 1/2 NW 1/4 LYG W OF CL NE BERWICK DR LESS .293A RD SEC 32-80-23	8023-32-126-008	7630 NE BERWICK DR ANKENY, IA 50021-9262	89,602 sf	35,185 sf	1.5%
21	Curtis and Linda Waite	LOT 1 FOURMILE WOODS PLAT 2	8023-32-201-010	7621 NE BERWICK DR ANKENY, IA 50021-926	140,873 sf	140,873 sf	5.8%
22	Jeffery and Karen Glock	LOT 2 FOURMILE WOODS PLAT 2	8023-32-201-014	7645 NE BERWICK DR ANKENY, IA 50021-9262	385,462 sf	221,506 sf	9.2%

### ZONING TABLE NOTES:

- RIGHT-OF-WAY AREA IS NOT INCLUDED
- CITY OF ANKENY OWNED PROPERTY THAT IS NOT ROW IS INCLUDED (IE, PARKLAND, GREENBELTS, ETC.)
- OWNERSHIP INFORMATION PROVIDED VIA POLK COUNTY GIS AS OF 10/18/2023
- AREA WITHIN 250' OF REZONING IS PROVIDED BASED ON GIS PARCEL LINE DATA



### Rezoning Area Description

An irregular tract of land in the Southeast Quarter and Northeast Quarter of Section 32, Township 80 North, Range 23 West of the 5th Principal Meridian, Polk County, Iowa, consisting of Parcel "O" of said Section 32, as shown on the Plat recorded in Book 15089, Page 430 in the Office of the Polk County Recorder, and Outlot 'X' in DRA Acres Plat 1, an Official Plat, as shown on the Plat recorded in Book 15393, Pages 121 through 134 in the Office of the Polk County Recorder, more particularly described as follows:  
Beginning at the North Sixteenth Corner between said Section 32 and Section 33, Township 80 North, Range 23 West of the 5th/ Principal Meridian, Polk County, Iowa; thence S0°02'44"W along the east line of said Section 32, 1322.51 feet to the East Quarter Corner of said Section 32; thence S0°11'23"W continuing along the east line of said Section 32, 936.31 feet; thence departing said east line, S90°00'00"W, 771.86 feet; thence southwesterly 200.44 feet along a 580.01-foot radius curve, said curve having a chord of 199.45 feet bearing S80°05'59"W; thence S70°11'58"W, 33.12 feet; thence S63°47'05"W, 17.00 feet to the easterly right-of-way line of Berwick Drive; thence northwesterly 448.73 feet along a 1594.16-foot radius curve, said curve having a chord of 447.25 feet bearing N34°16'45"W; thence northwesterly 38.55 feet along a 283.00-foot radius curve, said curve having a 38.52-foot chord bearing N46°22'15"W; thence N50°14'05"W, 39.79 feet; thence northwesterly 67.29 feet along a 2033.00-foot radius curve, said curve having a chord of 67.29 feet bearing N51°06'34"W; thence N51°59'32"W, 130.76 feet; thence northwesterly 65.18 feet along a 1967.00-foot radius curve, said curve having a chord of 65.18 feet bearing N51°05'13"W; thence N49°56'53"W, 58.49 feet; thence northwesterly 309.96 feet along a 2967.00-foot radius curve, said curve having a chord of 309.82 feet bearing N47°12'13"W; thence N43°56'07"W, 55.40 feet to the southernmost corner of Lot 2 in said DRA Acres Plat 1; thence departing said east right-of-way line and continuing along the southerly line of said Lot 2, N45°51'34"E, 415.00 feet to the southeasterly corner of said Lot 2; thence N4°38'12"E along the easterly line of said Lot 2, 228.29 feet to the northeast corner of Lot 1 of said DRA Acres Plat 1, also being a point on the southerly line of said Parcel "O"; thence N89°36'54"W along the north line of said Lot 1, 312.53 feet; thence S30°57'41"W along the westerly line of said Lot 1, 228.09 feet; thence S39°09'08"W along said westerly line, 178.08 feet; thence departing said westerly line Lot 1 and continuing along the westerly line of said Parcel "O" N39°43'08"W, 652.19 feet; thence continuing along the westerly line of said Parcel "O", 587.94 feet along a 1246.09-foot radius curve, said curve having a chord of 582.50 feet bearing N26°13'45"W; thence continuing along said westerly line N12°43'06"W, 245.69 feet to the northwest corner of said Parcel "O"; thence S89°55'08"E along the north line of said Parcel "O", 160.30 feet to the Center-North Sixteenth Corner of said Section 32; thence continuing along said north line S89°53'03"E, 1321.27 feet to the Northeast Sixteenth Corner of said Section 32; thence continuing along the north line of said Parcel "O" S89°40'42"E, 1318.73 feet to the point of beginning.  
Described tract of land contains 103.98 acres (4,529,337 square feet), including 1.11 acres of right-of-way (48,545 square feet).  
Subject to any and all easements and restrictions of record.



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### REZONING EXHIBIT



### BERWICK ESTATES PUD

ANKENY, IA  
2023000306  
NOVEMBER 3, 2023

REVISIONS  
12/8/2023

ENGINEER  
J. BECKER

DRAWN BY  
J. BECKER

CHECKED BY  
J. BECKER

FIELD BOOK NO.

DRAWING NO.

SHEET NO.

RZ-01 1 / 1

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# BERWICK ESTATES PUD MASTER PLAN

**Owner / Developer**

Berwick Holdings LLC  
1615 SW Main Street, Ste 207  
Ankeny, IA 50023  
Attn: Eric Bohnenkamp  
(712) 540-3756

**Engineer / Designer**

McClure Engineering Company  
1360 NW 121st Street  
Clive, IA 50325  
Attn: Jake Becker, PE  
(515) 964-1229

**Zoning**

Existing - R-1  
Proposed - Berwick Estates PUD

**NOTES**

1. THE INTENT OF THIS MASTER PLAN IS TO PROVIDE SUFFICIENT DETAIL SUCH THAT A TRADITIONAL PRELIMINARY PLAT IS NOT REQUIRED TO DEVELOP PORTIONS OF THIS PROPERTY THAT GENERALLY CONFORM TO THIS MASTER PLAN.
2. AREA DESIGNATED AS "FUTURE DEVELOPMENT" IS NOT A PART OF THIS OFFICIAL REZONING AND PUD DUE TO PORTIONS OF THE AREA NOT BEING ANNEXED INTO THE CITY OF ANKENY AS OF THE TIME OF THIS WRITING. CERTAIN CALCULATIONS INCLUDE THIS AREA IN AN ATTEMPT TO MASTER PLAN THE ENTIRE PROPERTIES OWNED BY THE APPLICANT. IT IS ANTICIPATED THAT THIS FUTURE DEVELOPMENT AREA WILL BE PROCURED SEPARATELY AND WILL REQUIRE SEPARATE APPROVALS, INCLUDING REZONING AND PRELIMINARY PLAT.
3. THE GRAPHICAL RENDERING PROVIDED ON THIS SHEET IS CONCEPTUAL IN NATURE AND INTENDED TO DEMONSTRATE THE GENERAL CHARACTER OF THE DEVELOPMENT. FINAL LAYOUT, CONFIGURATION, AND PRODUCT TYPE MAY REASONABLY DEVIATE FROM THIS PLAN.
4. LAYOUT OF THE CITY PARK DEDICATION IS CONCEPTUAL AND SHOULD NOT BE CONSTRUED AS A PROPOSAL FOR THESE AREAS.
5. THIS DEVELOPMENT WILL REQUIRE CERTAIN ROW DEDICATIONS AS PRESENTED IN THIS PLAN. SAID DEDICATIONS WILL OCCUR WITH RESPECTIVE FINAL PLAT(S) ADJACENT TO THE DEDICATION AREA(S).
6. LOT NUMBERING IS BROKEN OUT BY LAND USE PARCEL FOR SIMPLICITY AND REVIEWABILITY. EACH PLAT SHALL CONTAIN ITS OWN TRADITIONAL NUMBERING NOMENCLATURE AS PART OF ITS FINAL PLAT.
7. BUFFER EASEMENTS SHALL MEET TREE/BUFFER REQUIREMENTS AS DIRECTED BY THE CITY.
8. PROPOSED UTILITY LAYOUTS SHOWN ARE PRELIMINARY AND SUBJECT TO MODIFICATION WITH THE SUBMITTAL OF PUBLIC IMPROVEMENTS CONSTRUCTION DRAWINGS.
9. WATER VALVES ARE TO BE ADDED TO ISOLATE SECTIONS OF WATER MAIN DURING CONSTRUCTION DRAWINGS PHASE(S).
10. AREAS WHERE THERE IS DEFLECTION SHOWN IN WATER MAIN WILL BE ASSESSED DURING CONSTRUCTION DRAWINGS PHASE(S). BENDS MAY BE REQUIRED.
11. UTILITY POLES ALONG NE BERWICK DRIVE MAY NEED RELOCATED. EXACT POLES AND NEW LOCATIONS TO BE DETERMINED DURING CONSTRUCTION DRAWINGS PHASE(S).

SHEET LIST TABLE		
SHEET NO.	SHEET TITLE	SHEET DESCRIPTION
1	MP-01	MASTER PLAN
2	MP-02	PROPOSED LAND USE PLAN
3	EX-01	EXISTING CONDITIONS
4	GN-01	GENERAL LAYOUT NORTHWEST
5	GN-02	GENERAL LAYOUT NORTHEAST
6	GN-03	GENERAL LAYOUT SOUTHWEST
7	GN-04	GENERAL LAYOUT SOUTHEAST
8	GR-01	GRADING PLAN NORTHWEST
9	GR-02	GRADING PLAN NORTHEAST
10	GR-03	GRADING PLAN SOUTHWEST
11	GR-04	GRADING PLAN SOUTHEAST
12	GR-06	GRADING PLAN OVERALL

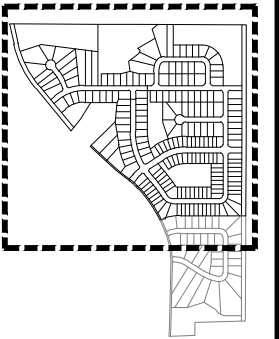


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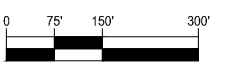
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**MASTER PLAN**



**NORTH**



GRAPHIC SCALE

**BERWICK ESTATES  
MASTER PLAN &  
PRELIMINARY PLAT**

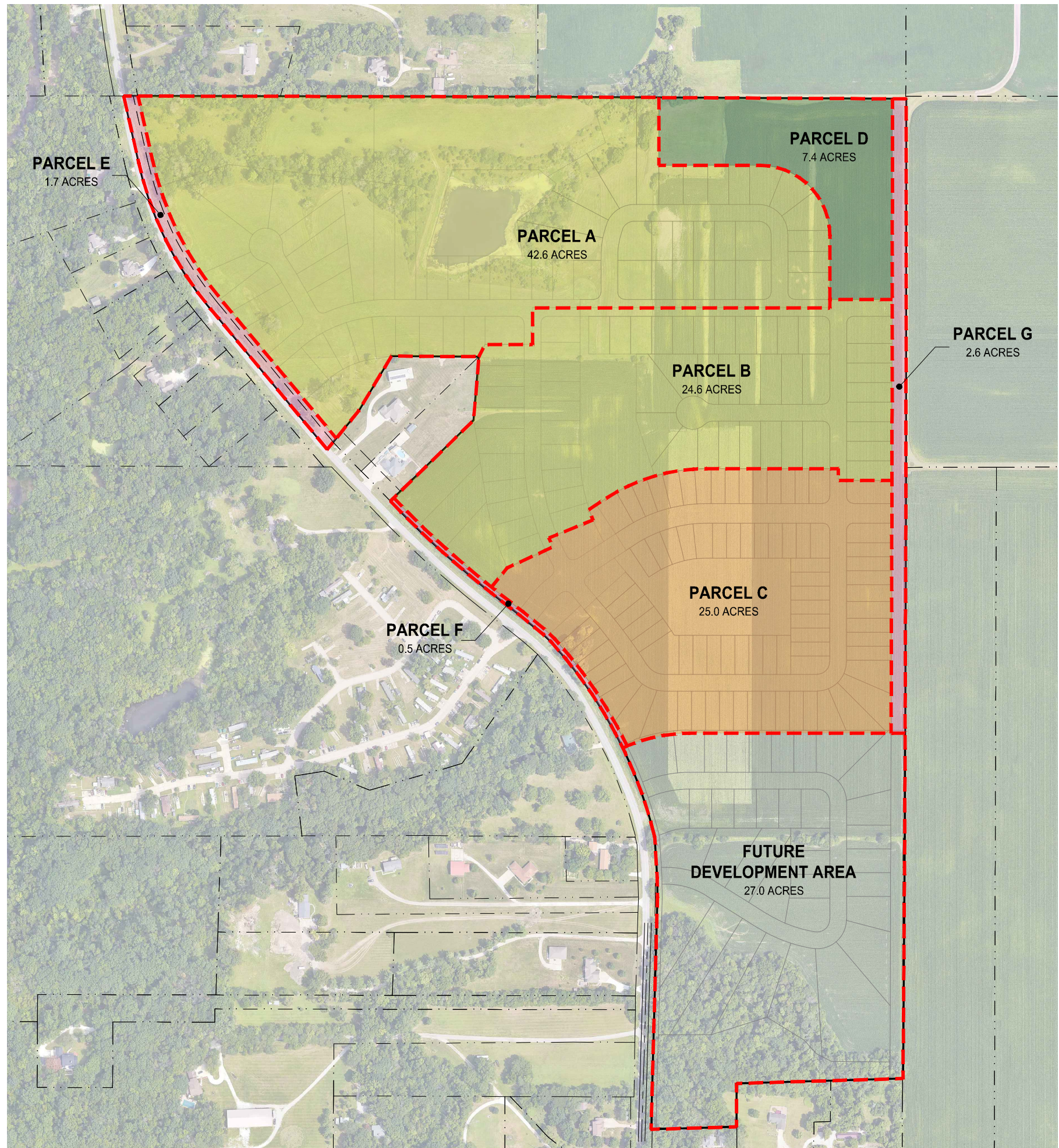
ANKENY, IA  
2023000306

CURRENT ISSUANCE DATE:  
3/4/2024

ENGINEER: J. BECKER  
DRAWN BY: J. BECKER  
CHECKED BY: J. BECKER  
FIELD BOOK NO.

DRAWING NO. MP-01  
SHEET NO. 1 / 12

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# BERWICK ESTATES PUD LAND USE PLAN

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## NOTES

1. ANTICIPATED ROW ACQUISITION FOR BERWICK DRIVE IS INCLUDED AS PARCELS E & F.
2. ANTICIPATED ROW ACQUISITION FOR NE 38TH STREET EXTENSION AND CONSTRUCTION IS INCLUDED AS PARCEL G.
3. THE FUTURE DEVELOPMENT AREA ("FDA") IS NOT INTENDED TO BE PART OF THIS REZONING AND PUD DUE TO PORTIONS OF THE FDA NOT BEING ANNEXED INTO THE CITY OF ANKENY AS OF THE TIME OF THIS WRITING. AN ANNEXATION APPLICATION HAS BEEN MADE AND ANNEXATION PROCESSES ARE ONGOING.
4. THE FDA IS INCLUDED IN CALCULATIONS TO ATTEMPT TO MASTER PLAN THE ENTIRE PROPERTIES OWNED BY THE APPLICANT AS OF THE TIME OF THIS PUD AND REZONING PROCESS. IT IS ANTICIPATED THAT THE FDA WILL BE REZONED TO 'STRAIGHT' R-1 OR R-2 ZONING, AND CALCULATIONS HEREIN REFLECT THIS ASSUMPTION. IT IS ACKNOWLEDGED THAT THIS PUD MAY REQUIRE REVISIONS IF THE ZONING REQUEST IS FOR A DIFFERENT CLASSIFICATION THAN R-1 OR R-2.
5. PARKLAND AREA IS GENERAL AND MAY NOT BE THE FINAL ACREAGE DEDICATED TO THE CITY. FINAL ACREAGE WILL BE DETERMINED DURING FINAL PLATTING OF RESPECTIVE AREAS. THE INTENT OF THIS MAP IS TO PROVIDE A GENERAL FRAMEWORK FOR PARKLAND DEDICATION AND/OR PAYMENT.
6. AREA INTERFACE LINES ARE BASED ON THE GRAPHICAL CONCEPT AND MAY REASONABLY ADJUST BASED ON FINAL LAYOUT PROPOSED DURING FINAL PLATTING STAGES.

## BULK REGULATIONS

SEE PUD TEXT FOR BULK REGULATION TABLES AND DISCUSSION

## DENSITY CALCULATIONS:

PARCEL	SIZE (ACRES)	MAXIMUM UNITS (UNITS)	MAXIMUM GROSS DENSITY (DU / ACRE)
A	42.6	128	3
B	24.6	98	4
C	25.0	125	5
D	7.4	0	0
E	1.7	0	0
F	0.5	0	0
G	2.6	0	0
<b>PUD TOTAL</b>	<b>104.4</b>	<b>351</b>	<b>3</b>
FDA*	27.0	54	2
<b>PLANNED TOTAL</b>	<b>131.4</b>	<b>405</b>	<b>3</b>

## LAND USE COMPARISON:

LAND USE TYPE	2040 COMPREHENSIVE LAND USE PLAN		PROPOSED MASTER PLAN	
	(ACRES)	(%)	(ACRES)	(%)
LDR	75.3	72%	67.2	64%
MDR	0	0%	25.0	24%
HDR	0	0%	0.0	0%
COMMERCIAL / MIXED	0	0%	0.0	0%
ROW DEDICATION	0	0%	4.8	5%
OPEN SPACE	29.1	28%	7.4	7%
<b>PUD TOTAL</b>	<b>104.4</b>	<b>100%</b>	<b>104.4</b>	<b>100%</b>

## PARKLAND DEDICATION CALCULATION:

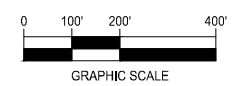
LAND USE PARCEL	LAND USE	AREA (ACRES)	PARKLAND REQUIRED (%)	PARKLAND REQUIRED (ACRES)
A	LDR	42.6	5%	2.1
B	LDR	24.6	5%	1.2
C	MDR	25.0	10%	2.5
D	PARKLAND	7.4	0%	0.0
E	ROW	1.7	0%	0.0
F	ROW	0.5	0%	0.0
G	ROW	2.6	0%	0.0
FDA*	LDR	27.0	5%	1.4
<b>TOTAL PARKLAND REQUIRED:</b>				<b>7.2</b>

\*FDA = FUTURE DEVELOPMENT AREA

PROPOSED  
LAND USE PLAN



NORTH



BERWICK ESTATES  
MASTER PLAN &  
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ANKENY, IA  
2023000306

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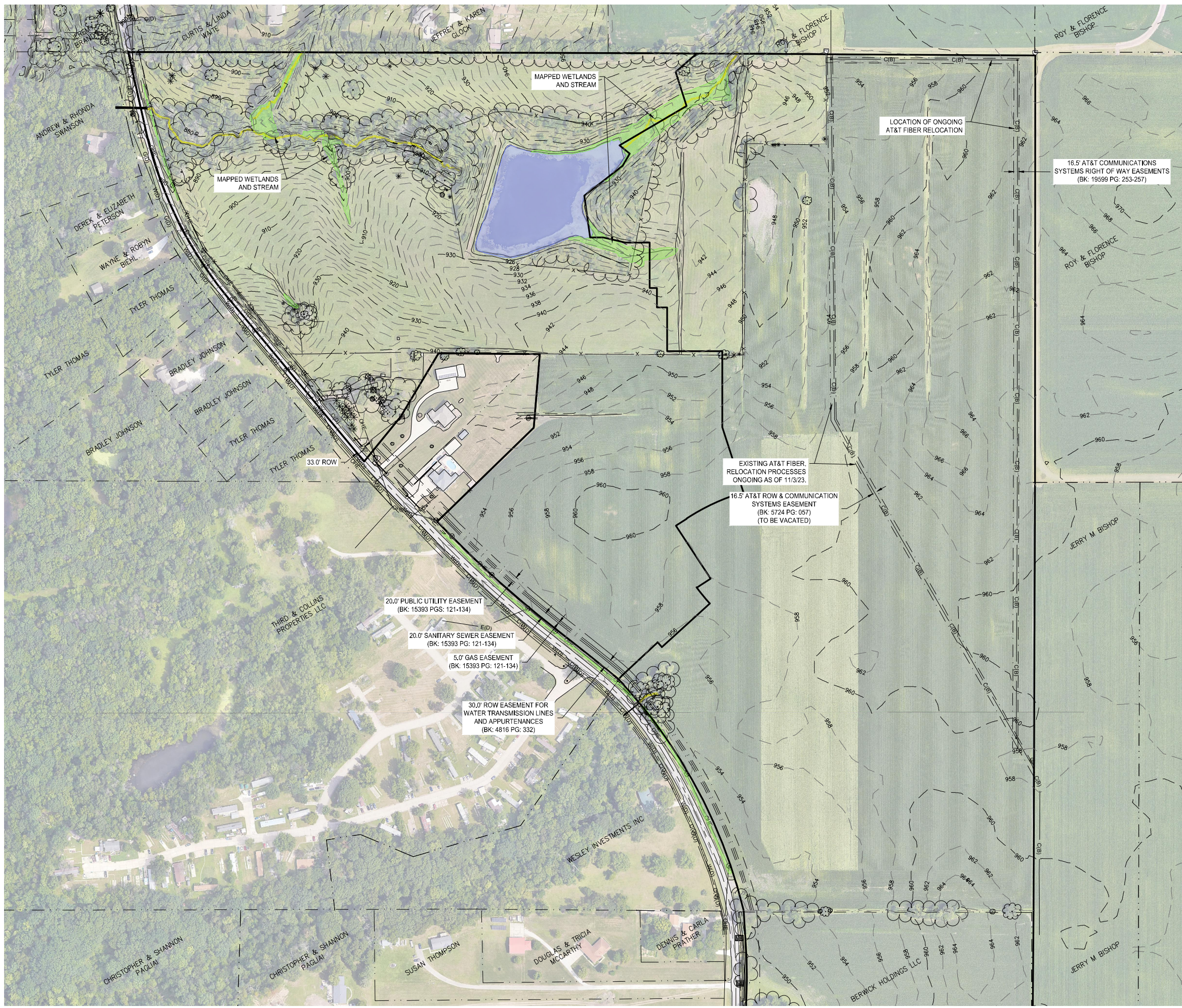
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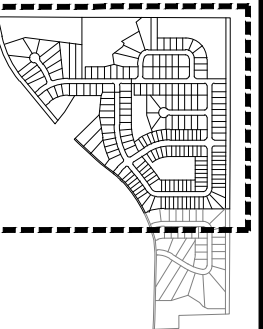
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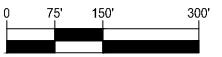
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**EXISTING CONDITIONS**



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GRAPHIC SCALE

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PRELIMINARY PLAT**

ANKENY, IA  
2023000306

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**J. BECKER**

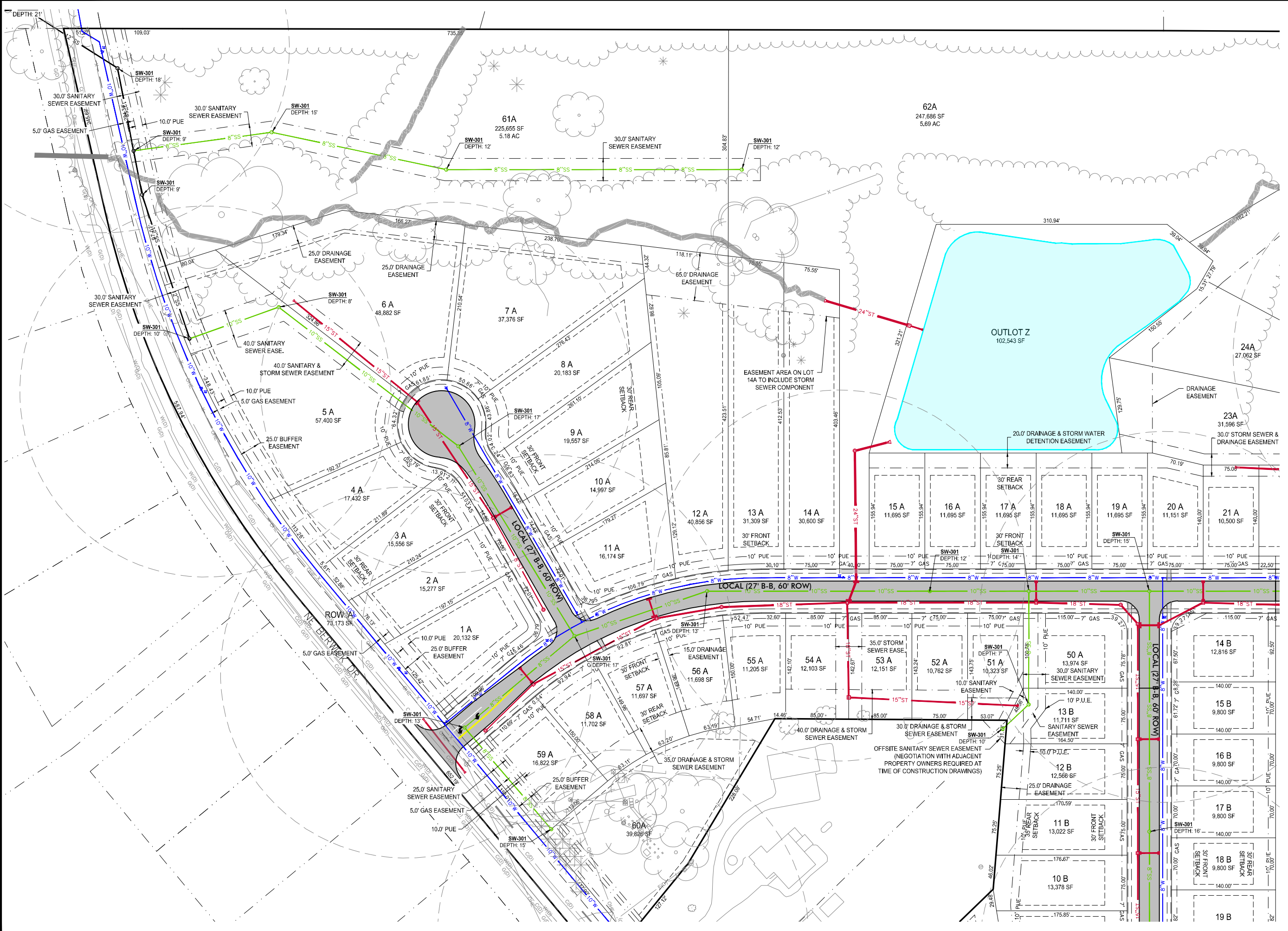
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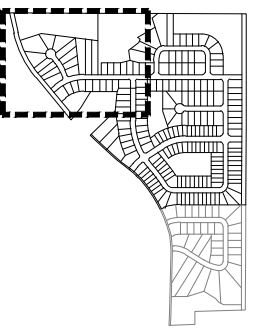
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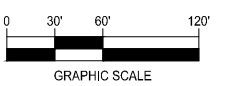
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**GENERAL LAYOUT  
NORTHWEST**



**NORTH**



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MASTER PLAN &  
PRELIMINARY PLAT**

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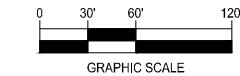
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**GENERAL LAYOUT  
NORTHEAST**



**NORTH**



**BERWICK ESTATES  
MASTER PLAN &  
PRELIMINARY PLAT**

ANKENY, IA  
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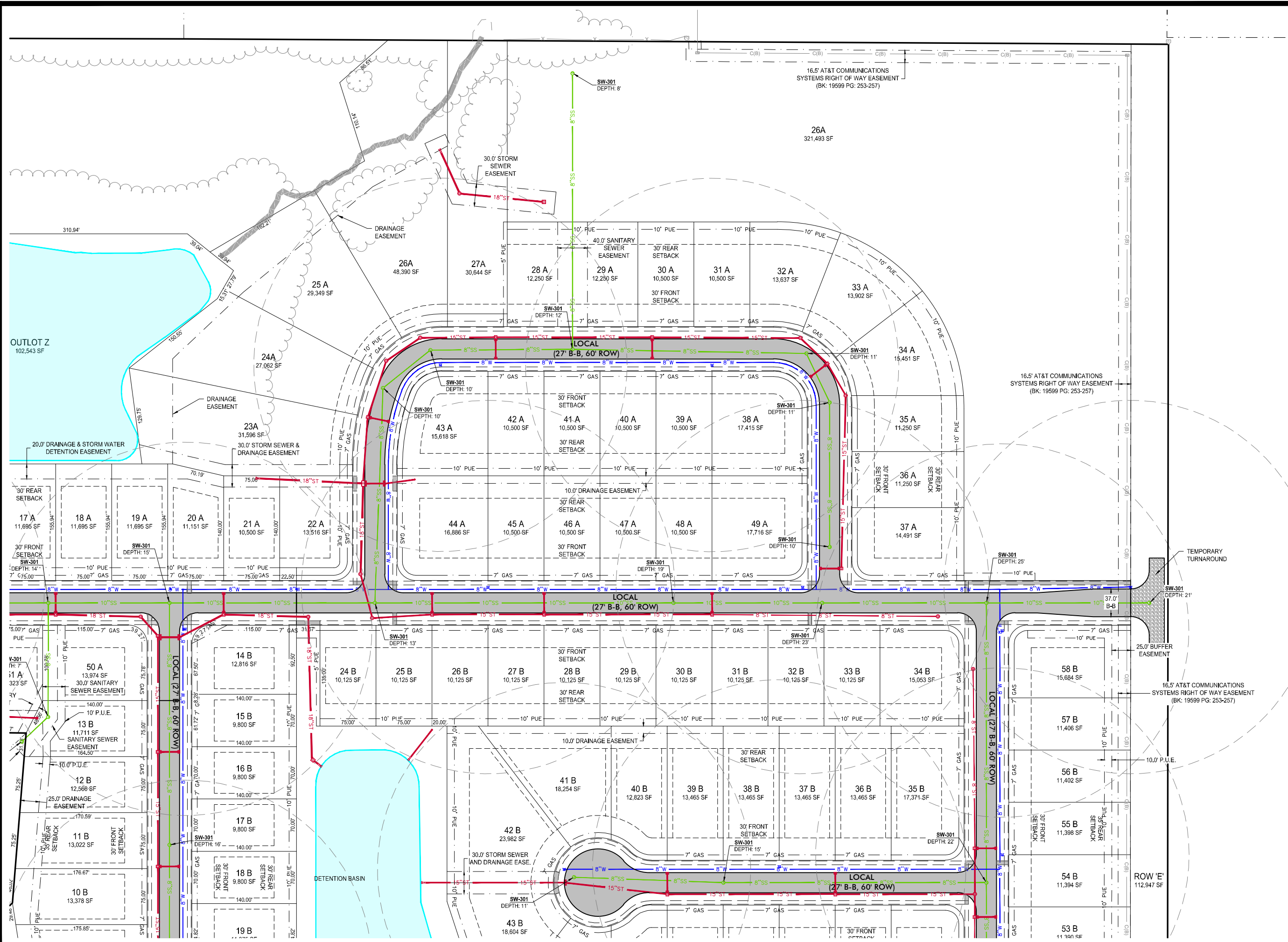
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**J. BECKER**

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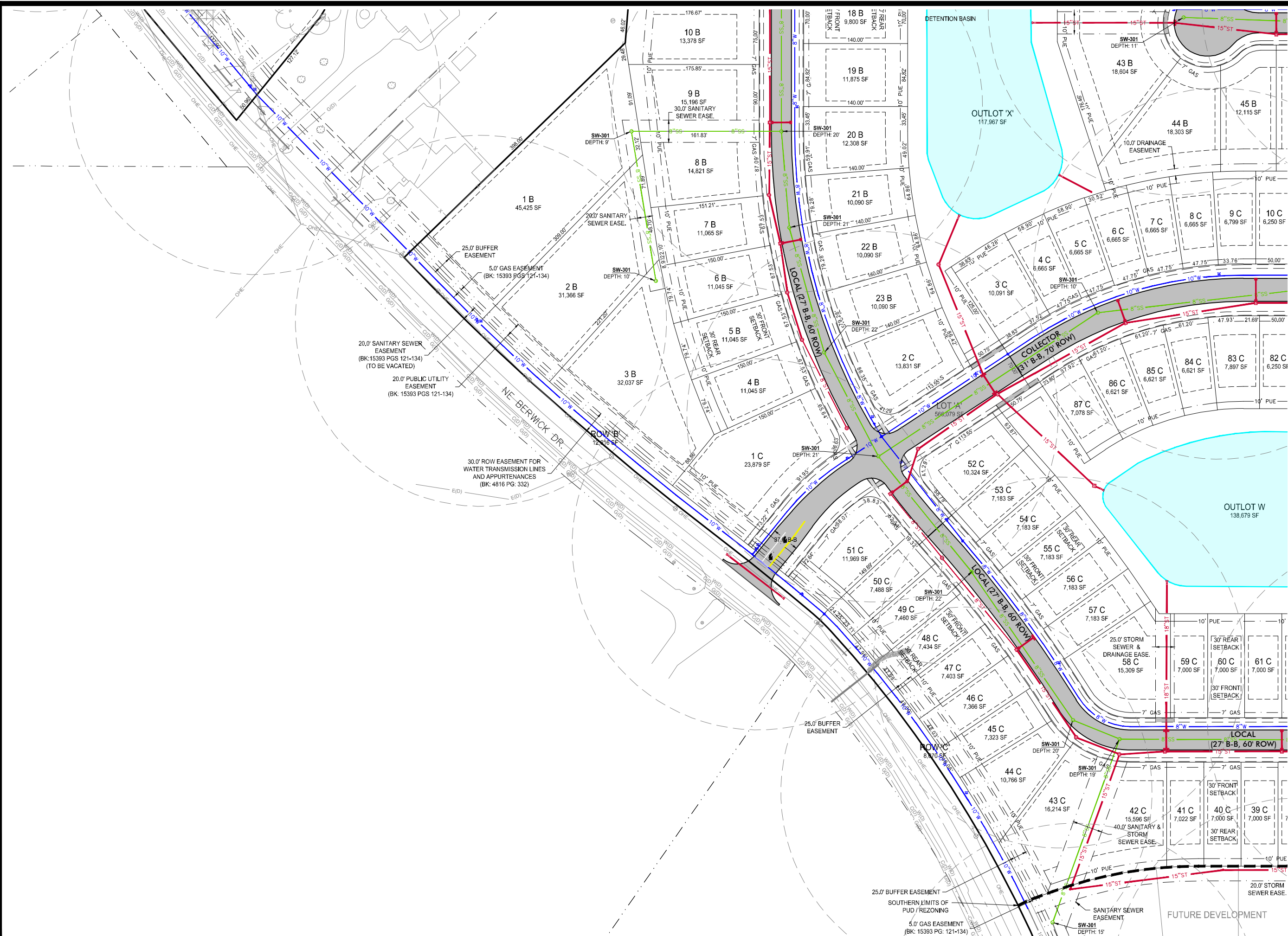
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FIELD BOOK NO.

DRAWING NO. **GN-02** SHEET NO. **5 / 12**



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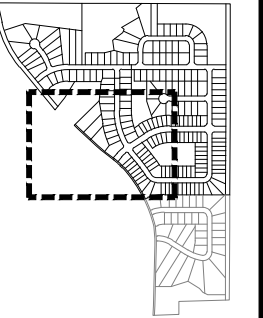


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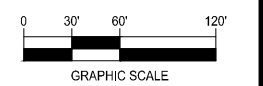
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**GENERAL LAYOUT  
SOUTHWEST**



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MASTER PLAN &  
PRELIMINARY PLAT**

ANKENY, IA  
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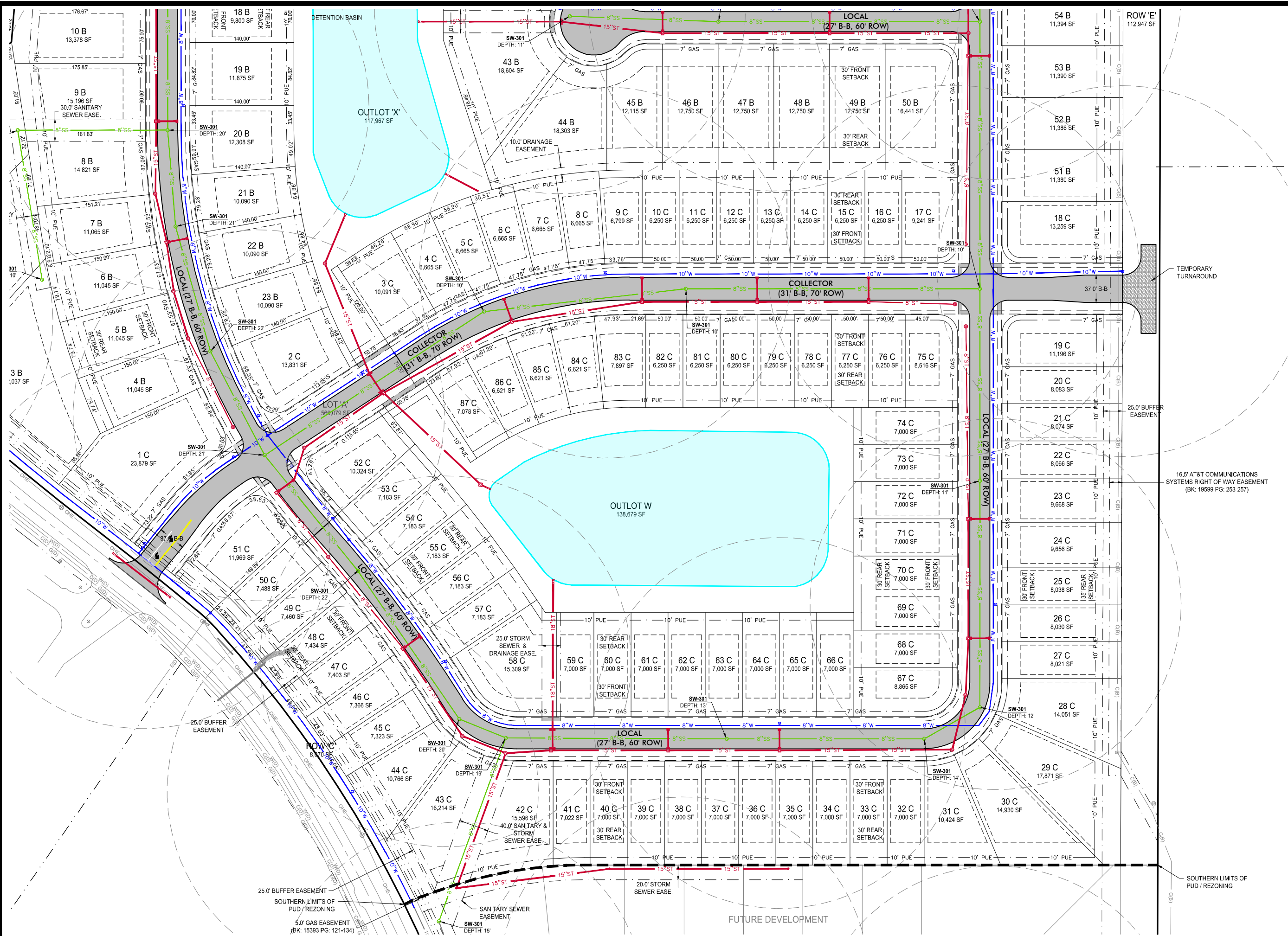
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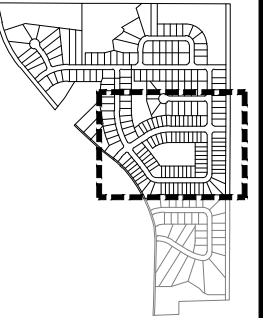


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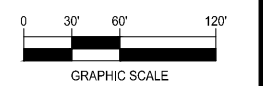
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**GENERAL LAYOUT  
 SOUTHEAST**



**NORTH**



**BERWICK ESTATES  
 MASTER PLAN &  
 PRELIMINARY PLAT**

ANKENY, IA  
 2023000306

CURRENT ISSUANCE DATE:  
 3/4/2024

ENGINEER  
**J. BECKER**

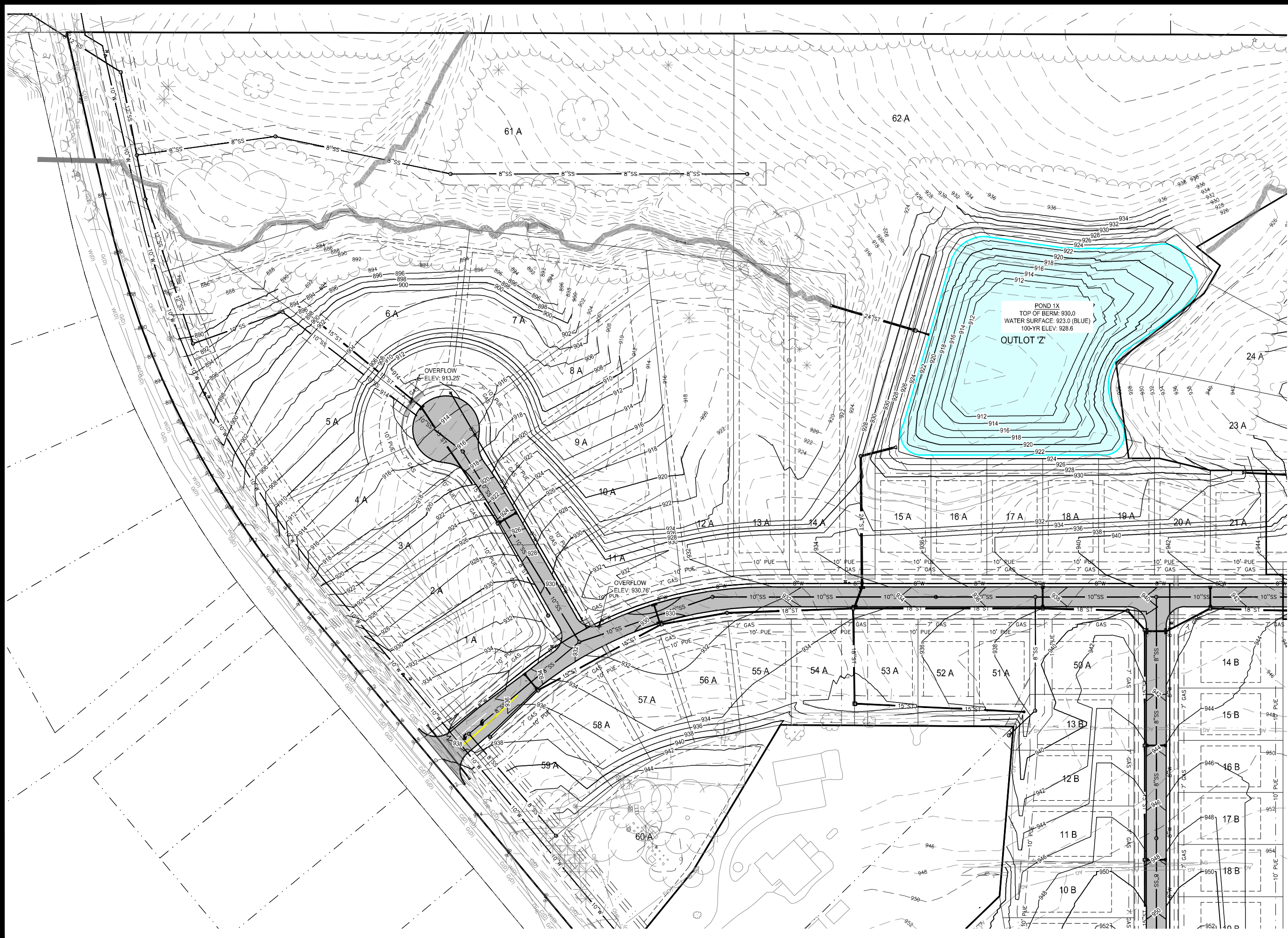
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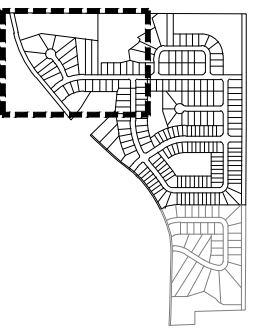
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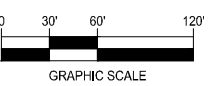
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**GRADING PLAN  
NORTHWEST**



**NORTH**



**BERWICK ESTATES  
MASTER PLAN &  
PRELIMINARY PLAT**

ANKENY, IA  
2023000306

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**GRADING NOTES**

- ELEVATIONS PROVIDED HEREIN ARE PRELIMINARY IN NATURE BASED ON THE GRADING AT THE TIME OF THIS MASTER PLAN AND IS SUBJECT TO CHANGE.
- MPES/MOEs/etc SHALL BE ESTABLISHED WHERE NECESSARY DURING CONSTRUCTION DRAWINGS/SITE PLAN STAGES AND RECORDED AS PART OF THE RESPECTIVE FINAL PLATS
- LOTS THAT DRAIN FROM REAR TO THE FRONT WILL BE REQUIRED TO GRADE SIDE YARDS IN THEIR FINAL CONDITION.

POND 1X  
TOP OF BERM: 930.0  
WATER SURFACE: 923.0 (BLUE)  
100-YR ELEV: 928.6

OUTLOT 'Z'

POND 1Y  
TOP OF BERM: 945.0  
WATER SURFACE: 940.0 (BLUE)  
100-YR ELEV: 943.7

OVERFLOW  
ELEV: 956.17



building strong communities.

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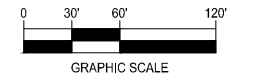
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**GRADING PLAN  
NORTHEAST**



**NORTH**



**BERWICK ESTATES  
MASTER PLAN &  
PRELIMINARY PLAT**

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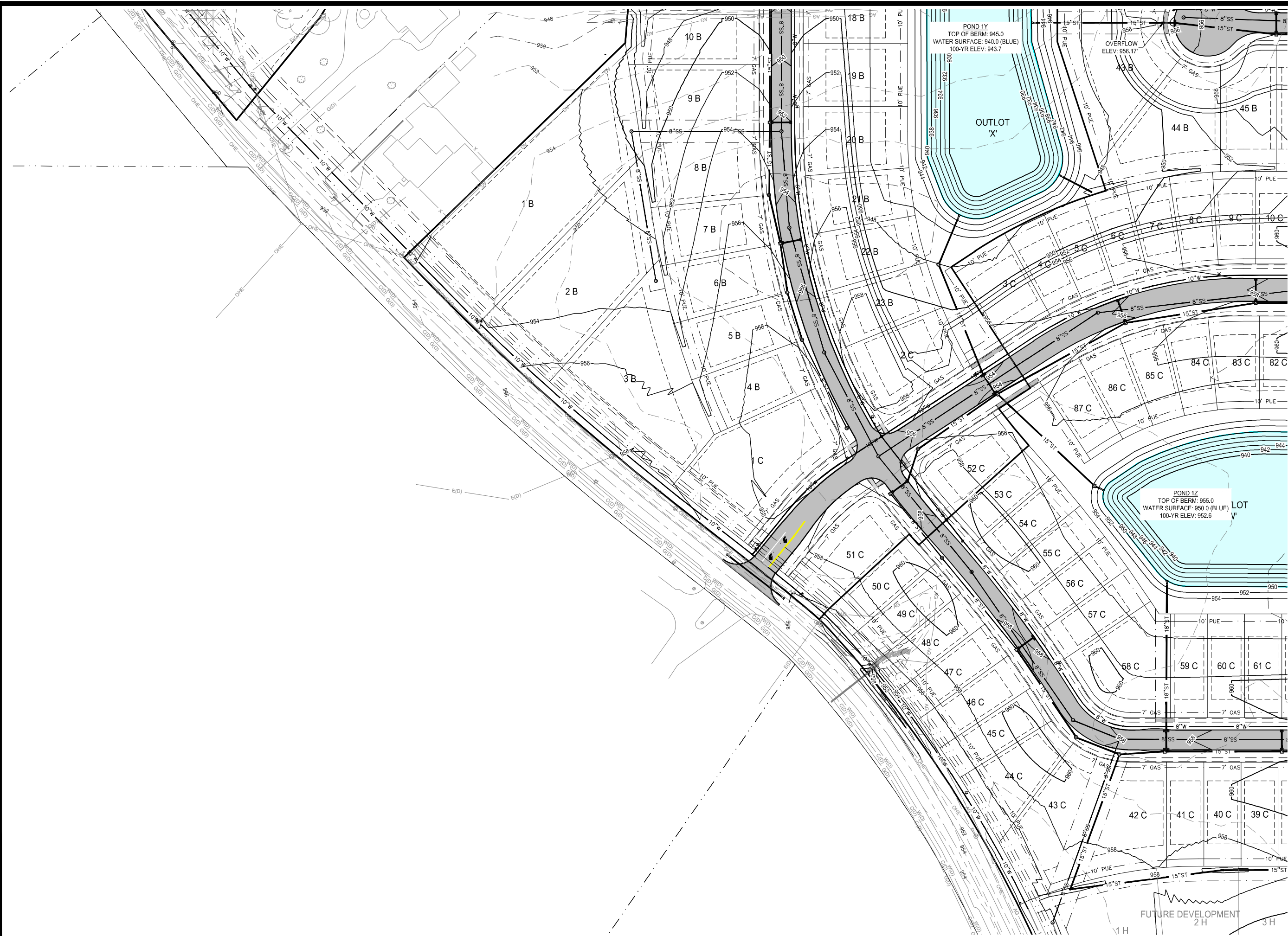
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DRAWING NO.  
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**9 / 12**

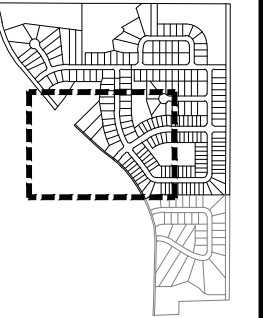


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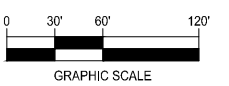
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**GRADING PLAN  
 SOUTHWEST**



**NORTH**



**BERWICK ESTATES  
 MASTER PLAN &  
 PRELIMINARY PLAT**

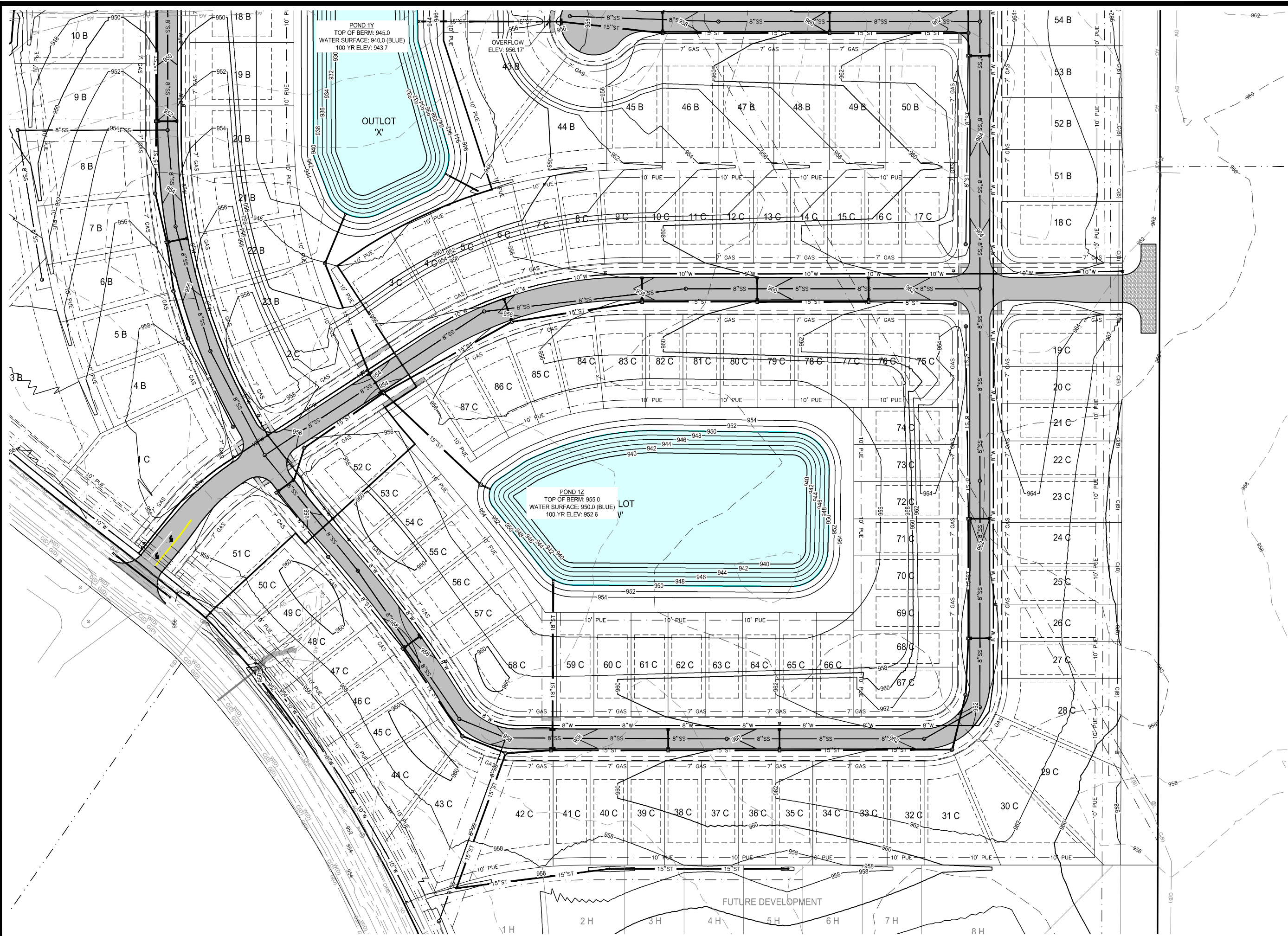
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POND 1Y  
TOP OF BERM: 945.0  
WATER SURFACE: 940.0 (BLUE)  
100-YR ELEV: 943.7

OVERFLOW  
ELEV: 956.17

POND 1Z  
TOP OF BERM: 955.0  
WATER SURFACE: 950.0 (BLUE)  
100-YR ELEV: 952.6

LOT  
V'

FUTURE DEVELOPMENT

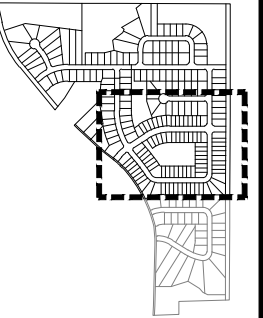


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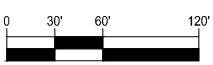
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**GRADING PLAN  
SOUTHEAST**



**NORTH**



GRAPHIC SCALE

**BERWICK ESTATES  
MASTER PLAN &  
PRELIMINARY PLAT**

ANKENY, IA  
2023000306

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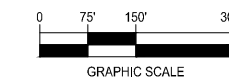
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**GRADING PLAN  
OVERALL**



**NORTH**



**BERWICK ESTATES  
MASTER PLAN &  
PRELIMINARY PLAT**

ANKENY, IA  
2023000306

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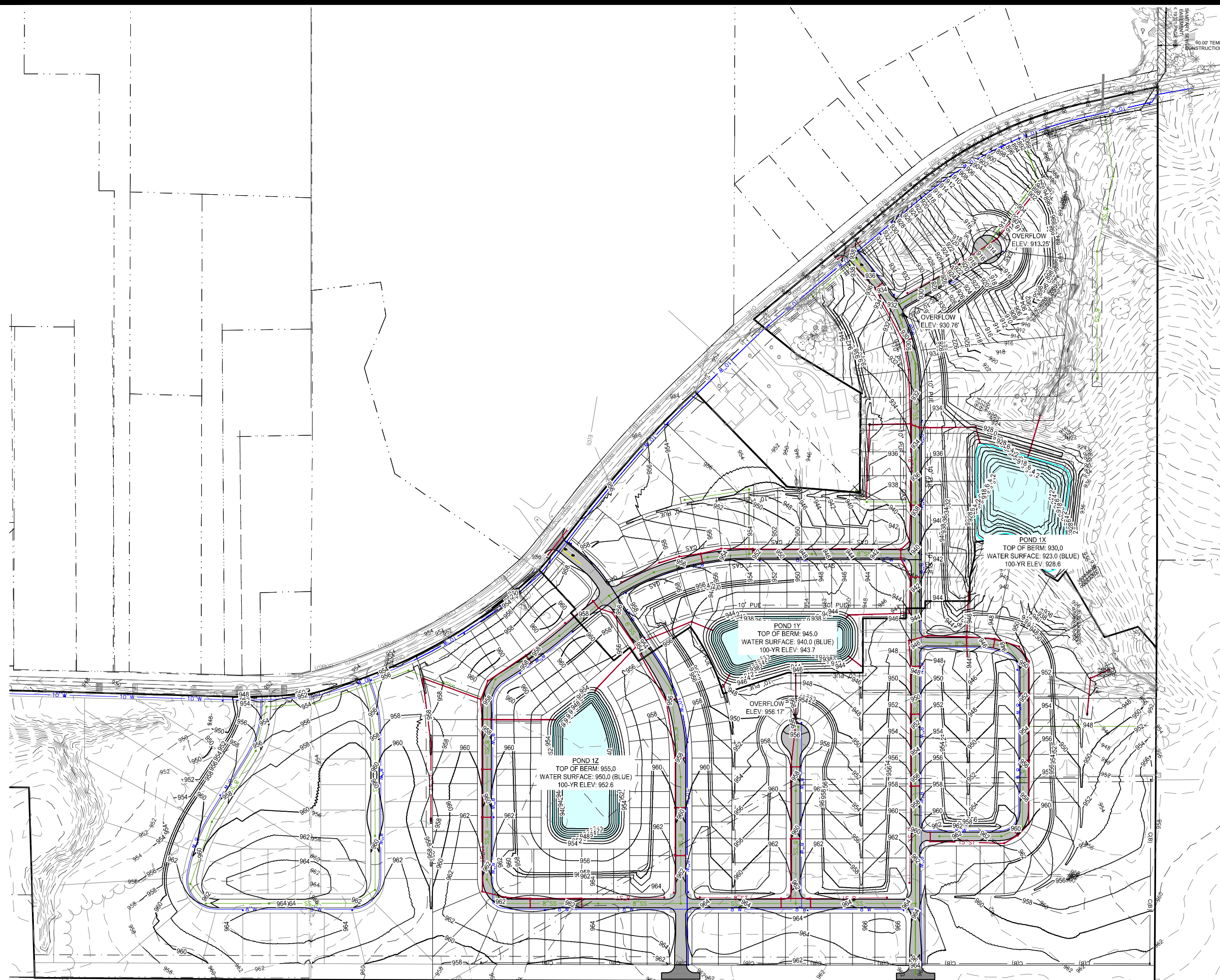
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**SINGLE FAMILY PRODUCT EXAMPLES**

ALLOWED IN ALL LAND USE PARCELS



Figure 1



Figure 2



Figure 3



Figure 4



Figure 5



Figure 6

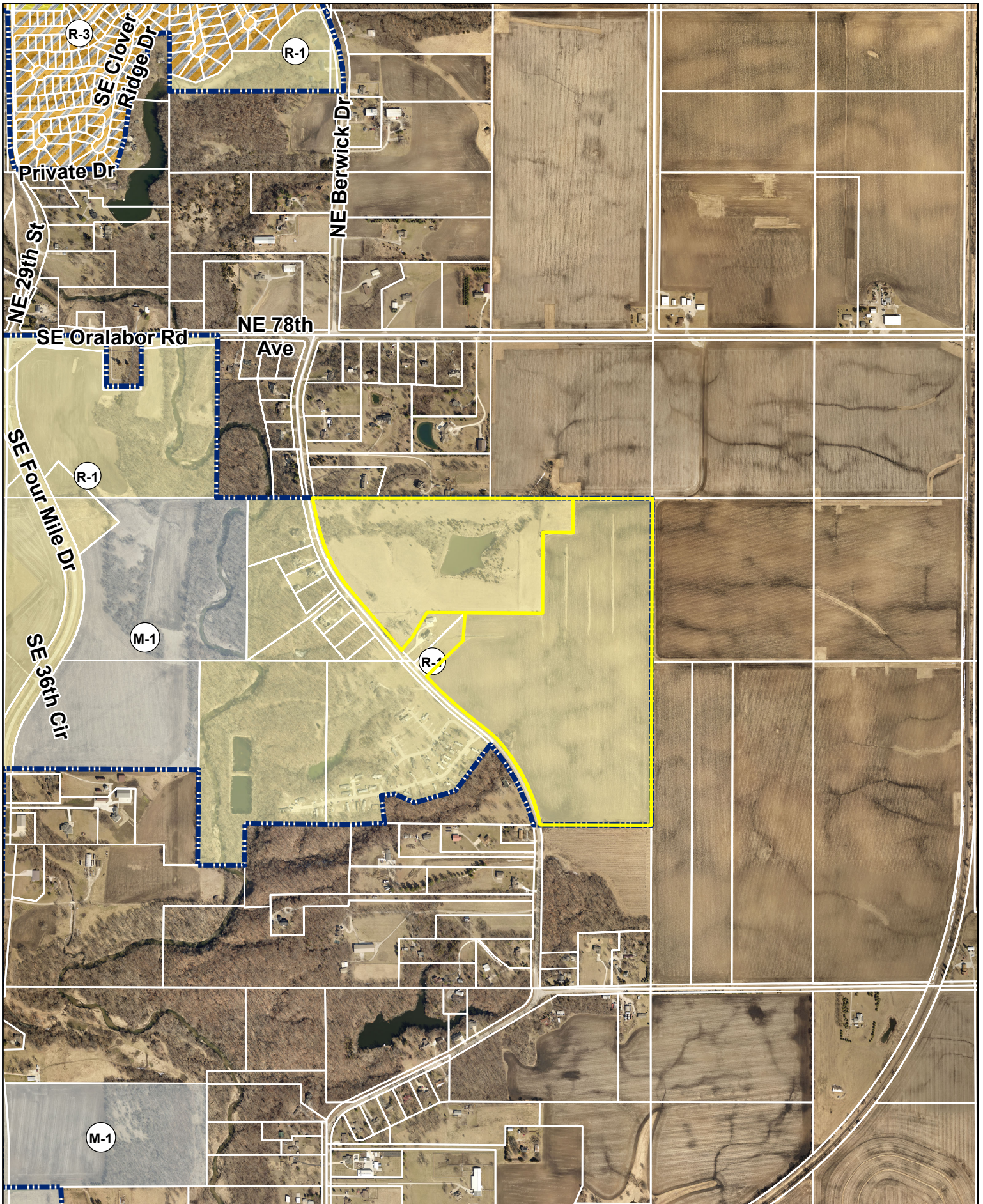
**TWO-FAMILY PRODUCT EXAMPLES**

ALLOWED IN LAND USE PARCEL C



**Figure 7**





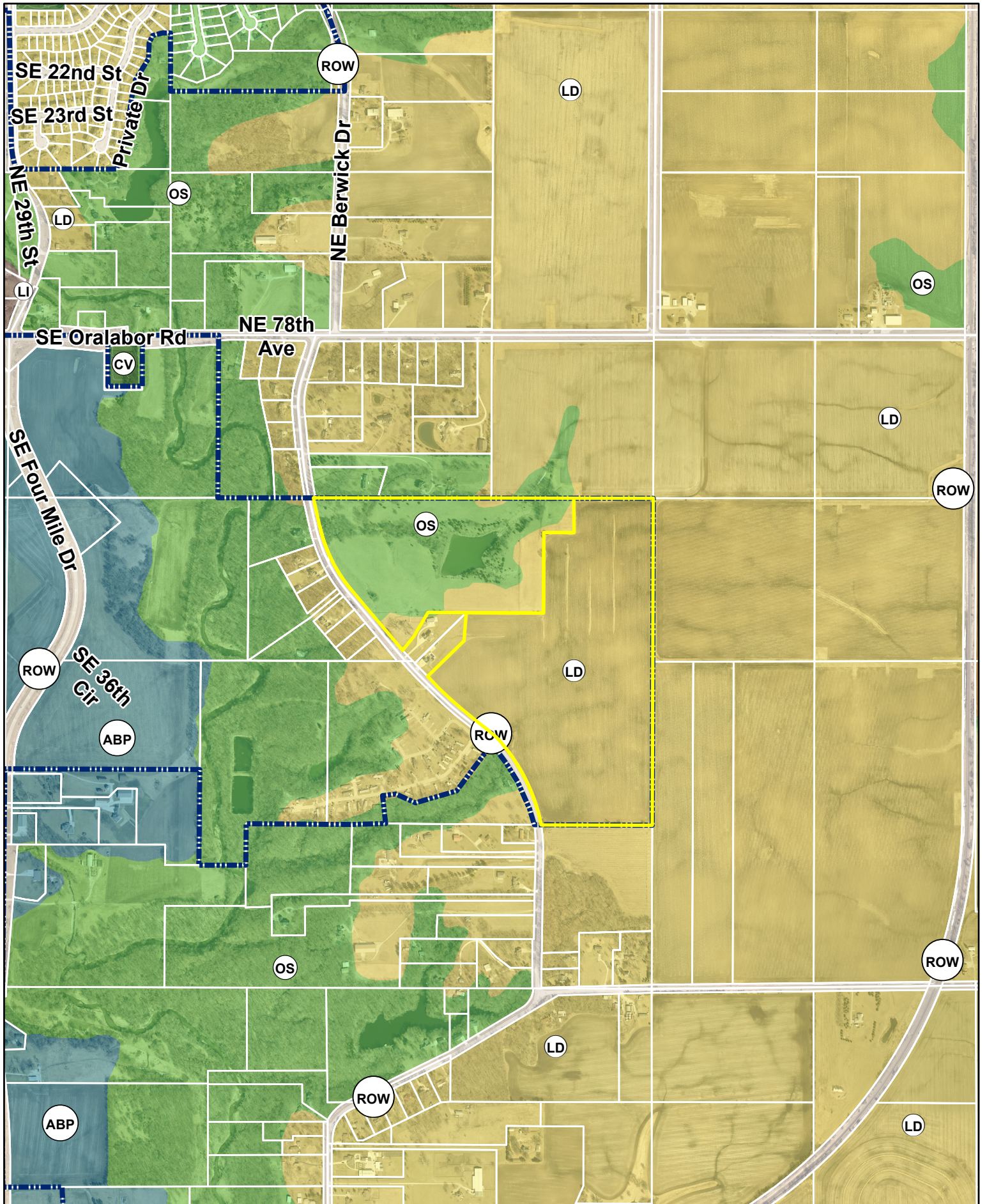
N



1 inch = 998 feet

Date: 3/5/2024

### Berwick Estates PUD Rezoning Zoning Map



N



1 inch = 998 feet

Date: 3/5/2024

**Berwick Estates PUD Rezoning  
Future Land Use Plan Map**



PLAN AND ZONING COMMISSION

March 19, 2024

6 : 30 PM

Print

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Vintage Business Park Neighborhood Plan 6th Amendment

EXECUTIVE SUMMARY:

Staff Report attached

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

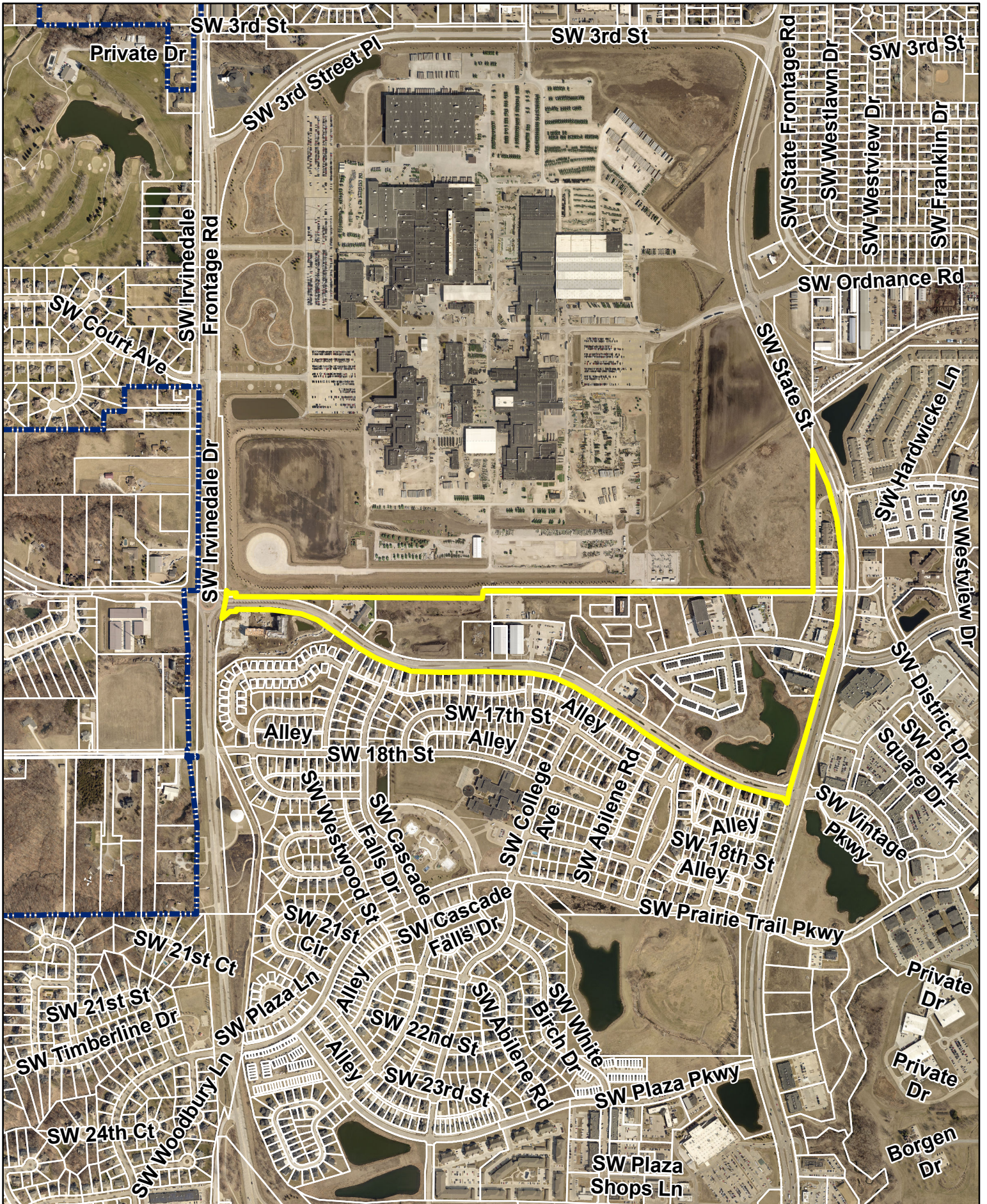
**Action:** Consider MOTION to recommend City Council approval of the 6th Amended Vintage Business Park at Prairie Trail Neighborhood Plan and rescind the previous plan approved March 7, 2022.

ADDITIONAL INFORMATION:

ATTACHMENTS:

**Click to download**

<a href="#">Aerial Map</a>
<a href="#">Staff Report</a>
<a href="#">Applicant Letter</a>
<a href="#">Neighborhood Plan</a>



N



1 inch = 1,000 feet

Date: 3/14/2024

### Vintage Business Park at Prairie Trail



*Plan and Zoning Commission  
Staff Report*

*Meeting Date: March 19, 2024*

---

**Agenda Item:** Vintage Business Park at Prairie Trail Neighborhood Plan 6<sup>th</sup> Amendment  
**Report Date:** March 5, 2024  
**Prepared by:** Deb Gervais, AICP *ETC*  
Senior Planner

**Staff Recommendation:**

That the Plan and Zoning Commission recommend City Council approval of the 6<sup>th</sup> Amended Vintage Business Park at Prairie Trail Neighborhood Plan and rescind the previous plan approved March 7, 2022.

**Project Summary:**

The original Vintage Business Park at Prairie Trail Neighborhood Plan was approved by City Council on January 21, 2008. An amended neighborhood plan was later approved by City Council on August 18, 2008, a second on November 17, 2008, a third on August 3, 2015, a fourth on September 20, 2021 and then a fifth on March 7, 2022.

DRA Properties is now proposing a minor amendment to the plan relating to the development of the 2.62-acre Lot 5. The previous approved neighborhood plan for Lot 5 shows one building with a large parking area.

The proposed plan amendment now shows Lot 5 being subdivided into two lots with two three-story apartment buildings and a parking area to accommodate the use. To the south and west, the buildings will share an existing access with Wags Pet Resort & Luxury Hotel onto SW Magazine Road. To the north and east, the buildings will share an existing access onto SW State Street through an ingress/egress easement and right-of-way easement between 1250 and 1310 SW State Street.

There is a traffic impact study in progress. A note has been added to the neighborhood plan stating that the developer of the lot is responsible for any improvements resulting from an approved traffic impact study.

The typical process for projects to be approved in this area requires compliance with the applicable neighborhood plan and subdivision as needed. Then a site plan is required with building and signage review by the Architectural Review Board and administrative approval by the Director of Community Development.



1933 SW Magazine Road  
Ankeny, IA 50023  
(515) 965-0123 office / (515) 965-3322 fax  
nillesinc.com

February 16, 2024

City of Ankeny  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50023

**RE: Vintage Business Park Neighborhood Plan Amendment  
Approval Letter**

Plan and Zoning Commission, Honorable Mayor and Members of the City Council:

On behalf of DRA Properties and Caliber Iowa, we are pleased to submit for your review and approval of the Amendment to the Vintage Business Park Neighborhood Plan, located in Prairie Trail.

The owner and developer have directed Nilles Associates to amend the previously approved Neighborhood Plan to include multi-family uses on Lot 2, Vintage Business Park at Prairie Trail Plat 5. Lot 2 lies on the north side of SW Magazine Road and the proposed multi-family buildings will reflect the architecture and design of the Vintage Lofts residential building directly across the street.

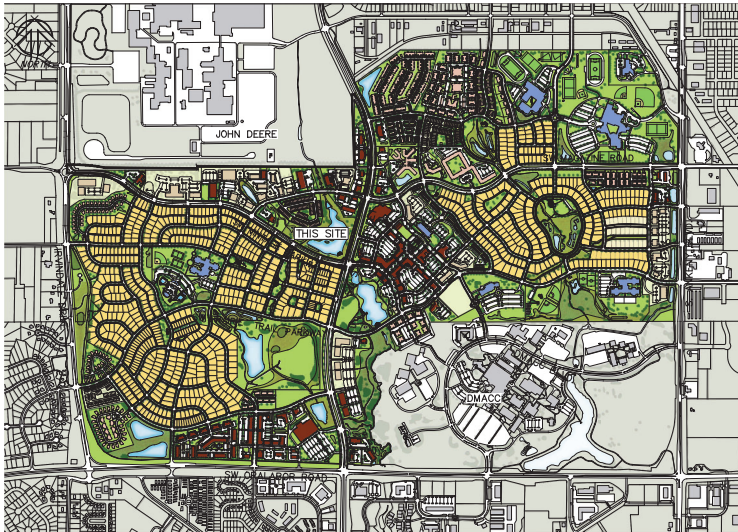
The Neighborhood Plan has been prepared in accordance with the City of Ankeny's standards and Municipal Code. We respectfully request the City's review and approval of this Neighborhood Plan to allow the project to proceed. If you should have any questions or require any additional information, please feel free to contact me to discuss such items further.

Sincerely,

A handwritten signature in blue ink, appearing to read "Adam Schoeppner".

Adam Schoeppner  
***NILLES ASSOCIATES, INC.***

VICINITY MAP  
SCALE: 1" = 1000'



**OWNER:**  
DRA PROPERTIES, LC  
1015 NE 36TH STREET  
ANKENY, IOWA 50021  
PH: (515) 964-9444

**DEVELOPER:**  
DRA PROPERTIES, LC  
1515 NE 36TH STREET  
ANKENY, IOWA 50021  
PH: (515) 964-9444

**ZONING:**  
PRAIRIE TRAIL MIXED USE  
NEIGHBORHOOD PLANNED UNIT  
DEVELOPMENT (P.U.D.)

**STORM WATER DESIGN REQUIREMENTS**

1. ALL SITE IMPROVEMENTS SHALL DEMONSTRATE COMPLIANCE WITH REQUIREMENTS OF THE PRAIRIE TRAIL STORM WATER MANAGEMENT REPORT, PRAIRIE TRAIL STORM WATER GUIDELINES, AND THE IOWA STORMWATER MANAGEMENT MANUAL.
2. HIGHER-DENSITY DEVELOPMENT (SUCH AS COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY USES) ON ALL LOTS WITH VINTAGE BUSINESS PARK SHALL PROVIDE STRUCTURAL AND/OR NON-STRUCTURAL PRACTICES AS PART OF SITE LEVEL CONTROLS WHICH SHALL CAPTURE AND TREAT THE WATER QUALITY VOLUME (WQV) EXPECTED TO BE GENERATED BY A 1.25", 24-HOUR STORM EVENT (AS DEFINED IN THE IOWA STORM WATER MANAGEMENT MANUAL) THAT MEETS WQV TREATMENT REQUIREMENTS PRIOR TO STORM WATER DISCHARGE POINT FROM SITE TO ADJACENT PUBLIC STORM SEWERS OR CONSOLIDATED CONTROL AREAS. WQV REQUIREMENTS FOR ANY SINGLE-FAMILY RESIDENTIAL AREA SHALL BE INCLUDED WITHIN THE CONSOLIDATED CONTROL AREAS THEY ARE TRIBUTARY TO.
3. TO ACHIEVE TREATMENT GOALS, SITE LEVEL PRACTICES SHALL BE SELECTED FROM THE STORM WATER GUIDELINES OR MANAGEMENT MANUAL THAT ARE COMPATIBLE WITH SITE CONDITIONS, SUCH AS SOIL TYPES, GROUND WATER ELEVATIONS, ETC. INDIVIDUAL SITE PLANS SHALL DEMONSTRATE COMPLIANCE WITH REQUIREMENTS WITHIN THE IOWA STORMWATER MANAGEMENT MANUAL FOR THE WQV.
4. REQUIREMENTS FOR MANAGEMENT OF THE CHANNEL PROTECTION VOLUME, OVERBANK FLOOD PROTECTION VOLUME, AND EXTREME FLOOD PROTECTION VOLUME (AS DEFINED IN THE IOWA STORMWATER MANAGEMENT MANUAL) SHALL BE MET WITHIN CONSOLIDATED CONTROLS AS PROPOSED WITHIN THE PRAIRIE TRAIL STORM WATER MANAGEMENT REPORT. STORAGE VOLUMES AND RELEASE RATES FOR THESE PROPOSED CONSOLIDATED CONTROL AREAS HAVE BEEN ESTABLISHED WITH THAT REPORT. UPON DEVELOPMENT OF FINAL PUBLIC AND PRIVATE IMPROVEMENT PLANS, FINAL STORAGE VOLUMES FOR THESE AREAS MAY NEED TO BE ADJUSTED TO ACCOUNT FOR DIFFERENCES IN SITE CHARACTERISTICS FROM THOSE ASSUMED WITHIN THE REPORT, OR BY ACCOUNTING FOR CAPTURE AND TREATMENT OF THE WQV.
5. PROPOSED STORM WATER CONTROLS SHALL BE DESIGNED WITH PROPER ACCESS FOR MAINTENANCE, AND WITH LANDSCAPING APPROPRIATE FOR EXPECTED MOISTURE CONDITIONS (CONFINED TO USE MATERIALS HARMFUL TO THE SOIL) AS WELL AS FOR PEST MANAGEMENT (LISTED WITHIN THE PRAIRIE TRAIL PATTERN BOOK). UPON SUBMITTAL OF CONSTRUCTION PLANS FOR THESE IMPROVEMENTS, PROPER PROCEDURES FOR OPERATION AND MAINTENANCE SHALL BE PROVIDED TO INCLUDE PROGRAMS FOR SEDIMENT AND TRASH REMOVAL, LANDSCAPE ESTABLISHMENT AND MAINTENANCE, AND ELIMINATION OF INVASIVE OR NUISANCE SPECIES, ETC.

**THE ESTIMATED TIMELINE FOR CONSTRUCTION OF THE EASTERN PORTION LOTS IS AS FOLLOWS:**  
(FROM ORIGINAL NEIGHBORHOOD PLAN)

ROUGH GRADING APRIL - JUNE 2008  
UTILITIES MAY - AUGUST 2008  
STREETS JULY - NOV 2008  
FINISHED GRADING & INSTALLATION APRIL 2009  
STREET TREES AND LIGHTING NOV - MAY 2009

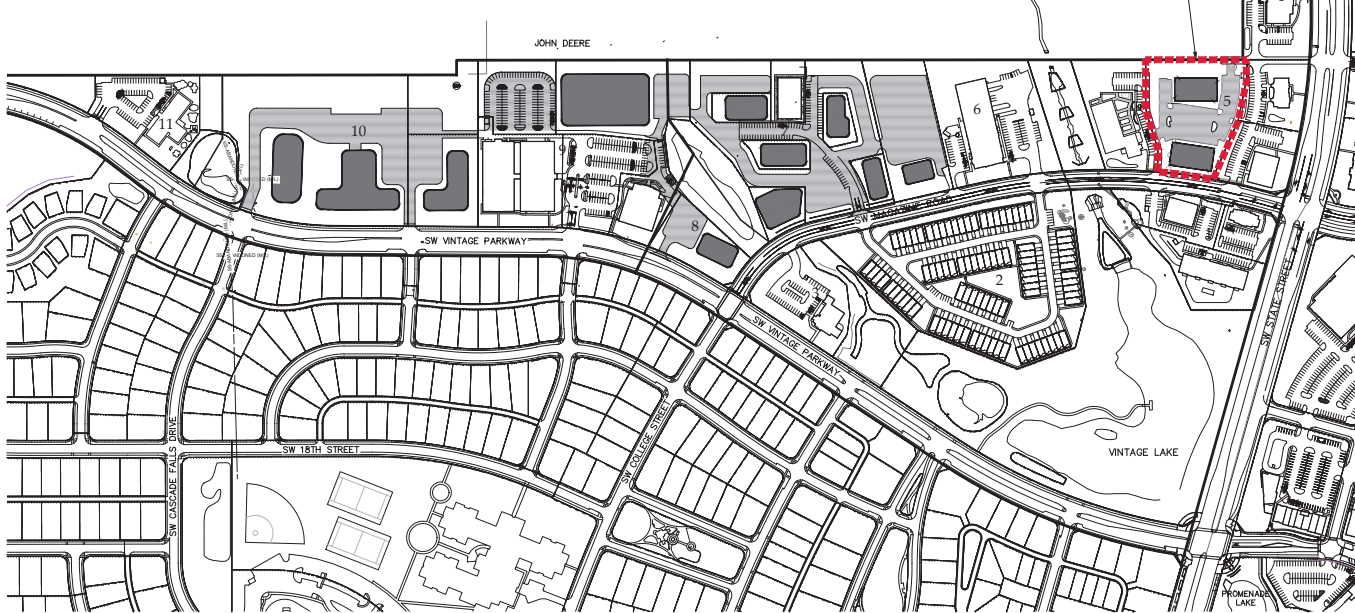
**THE ESTIMATED TIMELINE FOR CONSTRUCTION OF THE WESTERN PORTION IS AS FOLLOWS:**  
(FROM ORIGINAL NEIGHBORHOOD PLAN)

ROUGH GRADING JULY - AUGUST 2008  
UTILITIES JULY - NOV 2008  
STREETS JULY - NOV 2008  
FINISHED GRADING & INSTALLATION OCT - MAY 2009  
STREET TREES AND LIGHTING NOV - MAY 2009

THIS CONCEPTUAL LAYOUT PLAN SHOWS GENERAL LOCATIONS FOR FUTURE BUILDINGS, PARKING AREAS, DRIVES AND STORMWATER CONTROL BASINS. FUTURE SITE PLANS WILL OBTAIN FINAL DESIGN LOCATIONS FOR THESE ELEMENTS BUT THE GENERAL ORIENTATION OF THE BUILDINGS AND PARKING TO THE PUBLIC STREET SHOULD FOLLOW THE PATTERN ESTABLISHED HERE.

**CONCEPTUAL LAYOUT PLAN**

SCALE: 1" = 200'



**PRAIRIE TRAIL**  
**Vintage Business Park**

**AMENDED NEIGHBORHOOD PLAN / PRELIMINARY PLAT**

**BUILDING HEIGHT**  
BUILDING HEIGHT - 45 FEET.

THE HEIGHT OF BUILDINGS WITHIN THE VINTAGE BUSINESS PARK NEIGHBORHOOD MAY EXCEED 45 FEET AT THE DISCRETION OF THE DIRECTOR WHERE IT IS DETERMINED THAT THE SITE LAYOUT, DESIGN ELEMENTS AND ARCHITECTURAL FEATURES HAVE BEEN PROVIDED IN A MANNER CONSISTENT WITH THE DESIGN PHILOSOPHY OF PRAIRIE TRAIL TO OFFSET THE IMPACTS OF THE TALLER BUILDINGS.

**NARRATIVE: AMENDED PORTIONS UNDERLINED**

VINTAGE BUSINESS PARK WILL PROVIDE AMENITIES PRAIRIE TRAIL WITH LARGE PARCELS FOR OFFICES, RESEARCH BUILDINGS, FLEX MANUFACTURE / LIGHT INDUSTRIAL USES, AND MULTI-FAMILY RESIDENTIAL POSSIBILITIES ON LOTS 2 AND 3. THIS AREA LIES WEST OF SW STATE STREET AND THE PRECEDENCE SUBDIVISION TO THE SOUTH AND NEIGHBORING JOHN DEERE DES MOINES WORKS TO THE NORTH. THE BUSINESS PARK WILL INCLUDE 11 LOTS RANGING FROM 2 TO 8 ACRES IN SIZE AND COVERING OVER 64 ACRES. THESE LOTS ARE DIVIDED BY NATURAL DRAINAGE WAYS, EXISTING AND FUTURE CITY STREETS, AND NEARBY AMENITIES REFLECTING THE LAYOUT OF THE PRAIRIE TRAIL MASTER PLAN. LOT "E" IS 15.45 ACRES IN SIZE AND WILL DEFINE THE CITY PARK SURROUNDING THE VINTAGE LAKE. VINTAGE PARK IS OWNED AND MAINTAINED BY THE CITY OF ANKENY.

THE ORIGINAL NEIGHBORHOOD PLAN INCLUDED AN AMENDMENT SHOWING THE PROPOSED BUILDING AND PARKING AREAS IN CONCEPTUAL FORM TO IDENTIFY THE BASIC PATTERN OF DEVELOPMENT AND ESTABLISH THE ORIENTATION GUIDELINE FOR EACH SITE. THESE CONCEPTUAL PLOTS WILL HELP THE CITY, THE OWNER, AND FUTURE DEVELOPERS UNDERSTAND THE EXPECTATION FOR LOCATING THE BUILDINGS AND PARKING AREAS RELATIVE TO EACH LOT. BUILDINGS ARRANGED TO ADDRESS THE STREET WHILE SCREENING SIDE AND REAR PARKING AREAS ARE COMMON TO THE LOTS FRONTING SW VINTAGE PARKWAY, SW STATE, AND THE NORTH SIDE OF PROPOSED SW MAGAZINE ROAD. LOTS 1-3 REVERSE THIS ORIENTATION TO PROTECT THE PARK, THE TOWN CENTER, AND THE LOTS IN PRECEDENCE. THE BUILDINGS ON THESE LOTS WILL SERVE AS THE BACK DROP FOR THE NORTH LAKE AND IT MAKES SENSE FOR THE FUTURE OCCUPANTS AS WELL AS THE SURROUNDING NEIGHBORHOOD NOT TO CLUTTER THE VIEWS WITH LARGE PARKING AREAS. THE LOTS ALONG SW MAGAZINE ROAD WILL HAVE A 15 FOOT FRONT YARD SETBACK. LOTS 1-3 WILL HAVE A 35 FOOT SETBACK FOR PARKING FROM SW MAGAZINE ROAD. DEVELOPED AS AN OFFICE USE, ALL OFFICE-ORIENTED PARKING FIELDS WILL BE EFFECTIVELY SCREENED FROM THE PERIMETER STREETS AND THE SOUTH SIDE OF SW MAGAZINE ROAD WITH A 4 FOOT HIGH EARTH BERM AND LANDSCAPING AS DETAILED ON SHEET 6. THE USE OF 50 FOOT FRONT YARD SETBACKS ALONG SW STATE STREET AND SW VINTAGE PARKWAY COMBINED WITH SCREENING AND LANDSCAPING AROUND THE PERIMETER WILL SOFTEN THE NOISE AND VISUAL IMPACT ON THE NEIGHBORS IN PRECEDENCE WHILE ENHANCING VIEWS FROM THE OFFICES. THE BUILDING ORIENTATION, LANDSCAPING AND ARCHITECTURE COMBINE TO CREATE A PLEASANT WORK ENVIRONMENT FOR THE FUTURE EMPLOYEES WHO CAN ALSO ENJOY THE PROXIMITY TO THE PARKS, LAKES, THE DISTRICT AND ADDITIONAL AMENITIES PLANNED.

LOT 1 WILL INCLUDE A MIXED USE OF MULTI FAMILY AND OFFICE SPACE. PROTECTED RESIDENTIAL USES WILL INCLUDE FOR SALE CONDOMINIUMS OVERLOOKING VINTAGE LAKE AS WELL AS FOR RENT APARTMENTS IN A SEPARATE BUILDING. THE EXISTING BUILDINGS WILL BE LOCATED TO THE SOUTH AND WESTERN PORTIONS OF THE LOT AND THE TOPOGRAPHY MAY ALLOW FOR THE CONSIDERATION OF COVERED PARKING. THE OFFICE USE WILL BE 1-2 STORES LOCATED IN THE NORTHEAST CORNER NEAR THE INTERSECTION OF MAGAZINE AND STATE, ACCESS FROM THE OFFICE BUILDING TO THE NORTH. THIS 3.08 ACRE LOT MAY EITHER BE PLATTED INTO SEPARATE PARCELS OR BECOME PART OF A CONDOMINIUM REGIME.

LOT 2 WILL HAVE THE FLEXIBILITY OF BEING EITHER A MULTI-BUILDING OFFICE CAMPUS OR A TOWNHOME-LIKE RESIDENTIAL NEIGHBORHOOD WITH BUILDINGS LIMITED TO 6 UNITS IN EACH. IF DEVELOPED AS A MULTI-FAMILY NEIGHBORHOOD, THIS 8 ACRE LOT WILL SERVE AS A TRANSITION FROM THE SINGLE-FAMILY PRECEDENCE NEIGHBORHOOD TO THE SOUTH AND THE MULTI-USE LOTS TO THE NORTH AND WILL OVERLOOK VINTAGE LAKE.

LOT 3 WILL HAVE A SIMILAR FLEXIBILITY AT A MUCH SMALLER SCALE, DUE TO THE EXISTING WETLAND AND WATER CONVEYANCE CORRIDORS ALONG THE NORTH AND EAST BOUNDARIES OF THE LOT.

LOT 5 HAS BEEN SUBDIVIDED AND THE REMAINING UNDEVELOPED LOT IS PROPOSED AS MULTI-FAMILY RESIDENTIAL. TWO 42 UNIT APARTMENT BUILDINGS ARE PROPOSED SIMILAR TO THE RESIDENTIAL BUILDING DIRECTLY ACROSS THE STREET THAT WILL REFLECT THE PRAIRIE TRAIL STANDARDS.

THE ORIGINAL LOT 7 IS NOW PROPOSED TO BE DIVIDED INTO SMALLER LOTS. 6 NEW LOTS ARE PROPOSED TO CREATE AN OFFICE CAMPUS WITH PARKING IN AN OUTLOT THAT WILL BE MANAGED BY AN ASSOCIATION TO ALLOW FOR SHARED USE AND MAINTENANCE. THE NEL BASIN WILL ALSO BE OWNED AND MAINTAINED BY THE ASSOCIATION. A TRAIL SYSTEM AROUND THE NEL BASIN IS PLANNED TO CONNECT THE OFFICE PARK AND THE MULTI-SPORT FACILITY PLANNED TO THE WEST. STREET ACCESS TO THE OFFICE CAMPUS WILL ALIGN WITH EXISTING VERA CRUZ LAKE ALONG SW MAGAZINE DRIVE AND INGRESS AND EGRESS WILL BE PROVIDED THROUGH THE SITE WITH ADJACENT PROPERTIES ON EACH SIDE. THE POSSIBILITY FOR AN ACCESS OFF A PUBLIC STREET FOR LOT 7 SHALL BE DETERMINED ONCE THE TRAFFIC STUDY HAS BEEN ACCEPTED BY THE CITY. CURRENT ACCESS SHOWN FOR REFERENCE ONLY.

THE PREVAILING ARCHITECTURE FOR VINTAGE BUSINESS PARK WILL INCORPORATE SINGLE AND MULTIPLE-STORY STRUCTURES THAT RELATE TO THE HUMAN SCALE FOR THOSE WHO WORK IN OR TRAVEL THROUGH THE AREA. A MIXTURE OF CLASSIC OFFICE DESIGN WITH RESTORATIVE EXTERIOR TREATMENT WILL CREATE AN ENVIRONMENT THAT WILL AUGMENT THE PARK AREA AROUND VINTAGE LAKE AND PROVIDE A CLASSIC AND PROMINENT BUFFER BETWEEN THE RESIDENTIAL AREAS TO THE SOUTH AND THE EXISTING MANUFACTURING CAMPUS TO THE NORTH. THE BUILDING DESIGN SHOULD INCORPORATE DISTINCT DESIGN DIFFERENCES FOR THE LOWER, MIDDLE AND UPPER REACHES OF THE EXTERIOR PRESENCE USING VARIATIONS OF MATERIALS AND HORIZONTAL ORIENTATIONS. DETAILED CORNER WORK, PROMINENT WINDOW TREATMENT AND MULTIPLE MASONRY DESIGN AND ORNAMENT SHOULD BE IMPLEMENTED. SUGGESTED STYLES TO DRAW FROM WOULD INCLUDE THE LARSON BUILDING IN BUFFALO, NY (FRANK LLOYD WRIGHT), THE AUDITORIUM BUILDING IN CHICAGO (ADLER AND SULLIVAN), THE CHICAGO NORTHERN OFFICE BUILDING IN CHICAGO (FROST AND ORANGER), THE ALBERT E. KENT BUILDING IN CHICAGO (GEORGE H. EMBROOK) OR THE YOUNG, QUINLAN BUILDING IN MINNEAPOLIS (MAGNEY AND TUSLER).

THE ARCHITECTURAL DESIGN FOR MULTI-FAMILY ON LOTS 2 AND 3 WILL FOLLOW THE GUIDELINES SET FORTH IN THE PRAIRIE TRAIL PATTERN BOOK ADOPTED IN 2007. FIVE FOOT SIDEWALKS ARE PROPOSED ALONG PUBLIC STREETS WITH AN 8' TRAIL ON THE NORTH SIDE OF SW VINTAGE PARKWAY. THE CITY OF ANKENY OWNS AND MAINTAINS STREETS AND PUBLIC UTILITIES AS TYPICAL IN OTHER DEVELOPMENTS. LOTS 1-3 AND 5-8 WILL ACCESS SW MAGAZINE ROAD STREET. LOT 4 WILL ACCESS SW STATE STREET. LOTS 6-11 WILL ACCESS SW VINTAGE PARKWAY. POTENTIAL LOCATIONS FOR FULL ACCESS WITH MEDIAN BREAKS AS WELL AS RIGHT-IN / RIGHT-OUT ACCESS FOR LOTS 4, 9, 10, & 11 HAVE BEEN SHOWN ON EXISTING STREETS RELATIVE TO FUTURE STREET LOCATIONS SHOWN ON THE MASTER PLAN. PORTIONS OF SEVERAL LOTS WILL INCLUDE EASMENTS CREATED TO PROTECT EXISTING AND OR NEWLY CREATED DRAINAGE WAYS. THESE DRAINAGE WAYS CONVEY STORM WATER ALONG AND THROUGH A SERIES OF WATER QUALITY IMPROVEMENTS DEVELOPED AS PART OF THE SAILOR CREEK PLANS INCLUDING WETLANDS LEADING TO VINTAGE LAKE WITHIN LOT "E". THE STORM WATER DETENTION FOR THE MAJORITY OF THE BUSINESS PARK WILL BE HANDLED BY VINTAGE LAKE AND PROMINENCE LAKE. INDIVIDUAL SITES WITHIN THE BUSINESS PARK WILL BE RESPONSIBLE FOR CREATING A STORM WATER MANAGEMENT PLAN THAT FOCUSES ON WATER QUALITY. A DETAILED DESCRIPTION OF THE STORM WATER DESIGN REQUIREMENT FOR THIS PROJECT IS INCLUDED.

AT THIS POINT IN TIME SW MAGAZINE ROAD AND SW VINTAGE PARKWAY ARE CONSTRUCTED.

**CERTIFICATIONS**

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Iowa.

ADAM D. SCHOEPFNER  
2006  
IOWA

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Name: Adam D. Schoepfner, P.L.S. No. 26306  
My license renewal date is December 31, 2025 Date of survey: 02/08/24  
Pages or sheets covered by this seal: Sheets 1-8

of Iowa.

JACOB T. NILLES  
26389  
IOWA

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Name: Jacob T. Nilles, P.E. No. 26389  
My license renewal date is December 31, 2025  
Pages or sheets covered by this seal: Sheets 1-8

**AMENDMENT #6**

VINTAGE BUSINESS PARK AT PRAIRIE TRAIL  
AMENITY AREA

NEIGHBORHOOD PLAN

NO. 500 2017 PROJECTS 20170402023ay@neighborhoodPlan02002.NP.dwg

DATE: 03/08/2024  
SHEET: 1/8  
PROJECT: NP-1



# VINTAGE BUSINESS PARK AT PRAIRIE TRAIL

AMENDMENT #6

1802 SW 40TH STREET, SUITE 200  
ANNETT, IOWA 52003  
PHONE: (515) 965-3322 FAX  
(515) 965-0233  
www.nillesassociates.com  
Civil Engineering - Land Surveying  
Landscape Architecture



**REVISIONS:**

NO.	DATE	DESCRIPTION
1	12/10/2019	PRELIMINARY PLAN
2	03/05/2024	REVISIONS TO PRELIMINARY PLAN
3	03/05/2024	REVISIONS TO PRELIMINARY PLAN
4	03/05/2024	REVISIONS TO PRELIMINARY PLAN
5	03/05/2024	REVISIONS TO PRELIMINARY PLAN
6	03/05/2024	REVISIONS TO PRELIMINARY PLAN
7	03/05/2024	REVISIONS TO PRELIMINARY PLAN
8	03/05/2024	REVISIONS TO PRELIMINARY PLAN
9	03/05/2024	REVISIONS TO PRELIMINARY PLAN
10	03/05/2024	REVISIONS TO PRELIMINARY PLAN

**NOTES:**

- ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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- ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

**NEIGHBORHOOD PLAN & PRELIMINARY PLAN - OVERVIEW**

**VINTAGE BUSINESS PARK AT PRAIRIE TRAIL**  
ANNETT, IOWA

DATE: 03/05/2024  
DRAWN BY: JHP  
CHECKED BY: ADS  
SCALE: 24" X 36"  
SHEET NO: NP-2  
SHEET TOTAL: 2/8

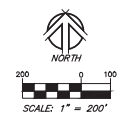
**LEGAL DESCRIPTION - VINTAGE BUSINESS PARK AT PRAIRIE TRAIL**  
A TRACT OF LAND LOCATED IN THAT PART OF LOT 11 OF JOHN DEERE PLACE, BEING AN OFFICIAL PLAT IN THE CITY OF ANNETT, POLK COUNTY, IOWA; THAT PART OF PARCEL "7", AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 11295, PAGES 669-674; THAT PART OF PARCEL "5", AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 11295, PAGES 669-674; THAT PART OF PARCEL "7", AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 11295, PAGES 669-674; ALL OF WHICH IS LOCATED IN SECTION 27, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY OF ANNETT, POLK COUNTY, IOWA; PARCELS "7", "5", AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 11943, PAGE 396, WHICH IS LOCATED IN SECTION 22, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY OF ANNETT, POLK COUNTY, IOWA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTH QUARTER CORNER OF SAID SECTION 27; THENCE NORTH 89°57'40" EAST, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 27, A DISTANCE OF 2362.29 FEET, TO THE EAST LINE OF LOT 1 OF JOHN DEERE ACRES, AN OFFICIAL PLAT IN THE CITY OF ANNETT, POLK COUNTY, IOWA; THENCE NORTH 0°02'27" EAST, ALONG SAID EAST LINE OF LOT 1 OF JOHN DEERE ACRES, A DISTANCE OF 1146.29 FEET, TO THE WESTERN RIGHT-OF-WAY LINE OF SW STATE STREET; THENCE SOUTH 23°32'25" EAST, ALONG SAID WESTERN RIGHT-OF-WAY LINE OF SW STATE STREET, A DISTANCE OF 34.40 FEET, THENCE SOUTHWESTERLY 198.63 FEET, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED LINE, CONTINUING ALONG SAID WESTERN RIGHT-OF-WAY LINE OF SW STATE STREET, HAVING A RADIUS OF 2221.83 FEET, A DELTA ANGLE OF 41°44'52" AND A CHORD DISTANCE OF 1565.20 FEET WHICH BEARS SOUTH 04°54'50" EAST, THENCE SOUTH 15°42'27" WEST, TANGENT TO THE LAST DESCRIBED CURVE, CONTINUING ALONG SAID WESTERN RIGHT-OF-WAY LINE OF SW STATE STREET, A DISTANCE OF 1528.24 FEET, TO THE NORTH LINE OF PRECEDENCE AT PRAIRIE TRAIL PLAT 1; THENCE NORTH 32°02'4" WEST, ALONG SAID NORTH LINE OF PRECEDENCE AT PRAIRIE TRAIL PLAT 1, A DISTANCE OF 44.74 FEET, THENCE NORTHWESTERLY 862.48 FEET, ALONG A CURVE TO THE RIGHT, NOT-TANGENT TO THE LAST DESCRIBED LINE, CONTINUING ALONG SAID NORTH LINE OF PRECEDENCE AT PRAIRIE TRAIL PLAT 1, HAVING A RADIUS OF 2050.00 FEET, A DELTA ANGLE OF 24°06'20" AND A CHORD DISTANCE OF 854.13 FEET WHICH BEARS NORTH 88°42'28" WEST, THENCE NORTH 50°17'4" WEST, TANGENT TO THE LAST DESCRIBED CURVE, CONTINUING ALONG SAID NORTH LINE OF PRECEDENCE AT PRAIRIE TRAIL PLAT 1, A DISTANCE OF 852.38 FEET, THENCE NORTHWESTERLY 221.07 FEET, ALONG A CURVE TO THE LEFT, TANGENT TO THE LAST DESCRIBED LINE, CONTINUING ALONG SAID NORTH LINE OF PRECEDENCE AT PRAIRIE TRAIL PLAT 1, HAVING A RADIUS OF 2950.00 FEET, A DELTA ANGLE OF 48°73'4" AND A CHORD DISTANCE OF 221.02 FEET WHICH BEARS NORTH 58°46'07" WEST, THENCE NORTHWESTERLY 474.89 FEET, ALONG A CURVE TO THE LEFT, TANGENT TO THE LAST DESCRIBED CURVE, HAVING A RADIUS OF 948.00 FEET, A DELTA ANGLE OF 28°42'09" AND A CHORD DISTANCE OF 469.94 FEET WHICH BEARS NORTH 70°15'23" WEST, THENCE NORTH 80°56'4" WEST, TANGENT TO THE LAST DESCRIBED CURVE, A DISTANCE OF 715.45 FEET, THENCE NORTHWESTERLY 681.56 FEET, ALONG A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED LINE, HAVING A RADIUS OF 1052.00 FEET, A DELTA ANGLE OF 37°07'4" AND A CHORD DISTANCE OF 669.71 FEET WHICH BEARS NORTH 71°03'11" WEST, THENCE NORTH 52°29'42" WEST, TANGENT TO THE LAST DESCRIBED CURVE, HAVING A RADIUS OF 948.00 FEET, A DELTA ANGLE OF 37°33'09" AND A CHORD DISTANCE OF 615.77 FEET WHICH BEARS NORTH 71°01'17" WEST, THENCE SOUTH 86°57'08" WEST, TANGENT TO THE LAST DESCRIBED CURVE, A DISTANCE OF 354.51 FEET, TO THE EASTERN RIGHT-OF-WAY LINE OF SW RINWALLE DRIVE; THENCE NORTH 09°30'41" EAST, ALONG SAID EASTERN RIGHT-OF-WAY LINE OF SW RINWALLE DRIVE, A DISTANCE OF 101.41 FEET, TO THE SOUTH LINE OF LOT 1 OF SAID JOHN DEERE ACRES; THENCE NORTH 89°07'08" EAST, ALONG SAID SOUTH LINE OF LOT 1 OF JOHN DEERE ACRES, A DISTANCE OF 2100.20 FEET, TO THE WEST LINE OF SAID LOT 11 OF JOHN DEERE PLACE; THENCE NORTH 02°02'50" WEST, ALONG SAID WEST LINE OF LOT 11 OF JOHN DEERE PLACE, A DISTANCE OF 50.00 FEET, TO THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27; THENCE NORTH 89°57'08" EAST, ALONG SAID NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 27, A DISTANCE OF 317.92 FEET TO THE POINT OF BEGINNING, CONTAINING 95.33 ACRES MORE OR LESS.

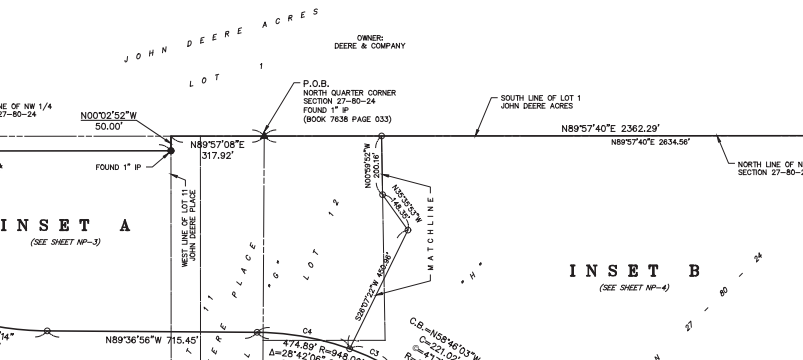
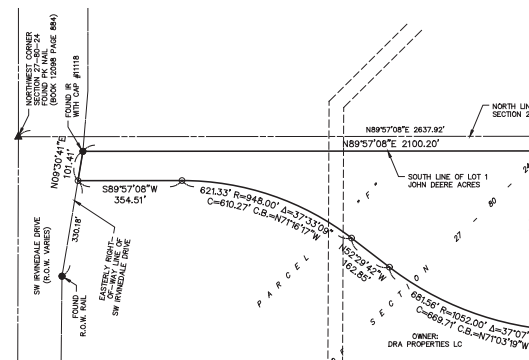
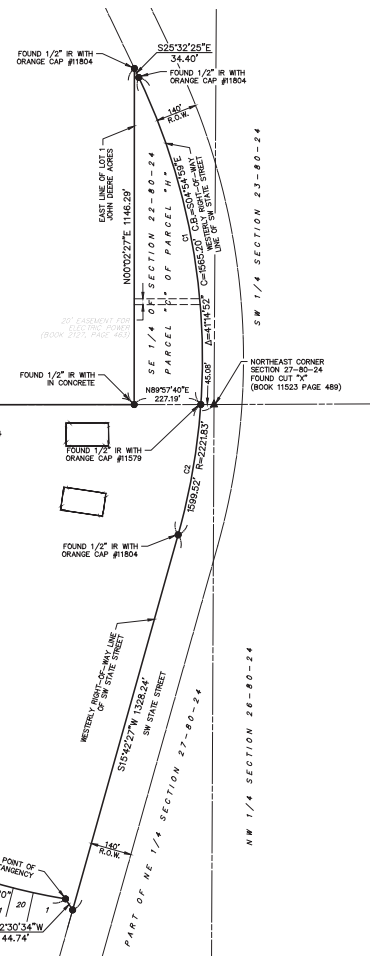
SAID TRACT SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

**LEGEND**

- ▲ FOUND SECTION CORNER
- FOUND 5/8" IR WITH YELLOW CAP #2106 UNLESS OTHERWISE NOTED
- SET MONUMENT USING 5/8" IR WITH RED CAP #8530
- RIGHT-OF-WAY
- ROUND IRON REBAR
- ROUND IRON PIPE
- RECORDED
- PROPOSED ADDRESS
- SUBJECT PROPERTY BOUNDARY LINE
- SECTION LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- 15' BUILDING SETBACK LINE UNLESS OTHERWISE NOTED



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD DISTANCE	CHORD BEARING
C1	1147.70	2221.83	29°35'47"	586.96	N134.98
C2	481.82	2221.83	11°39'08"	226.69	N095°24'25"
C3	152.75	248.00	13°15'58"	75.95	N65°01'09"
C4	322.13	248.00	19°28'08"	162.63	N79°52'52"

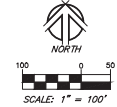


# VINTAGE BUSINESS PARK AT PRAIRIE TRAIL

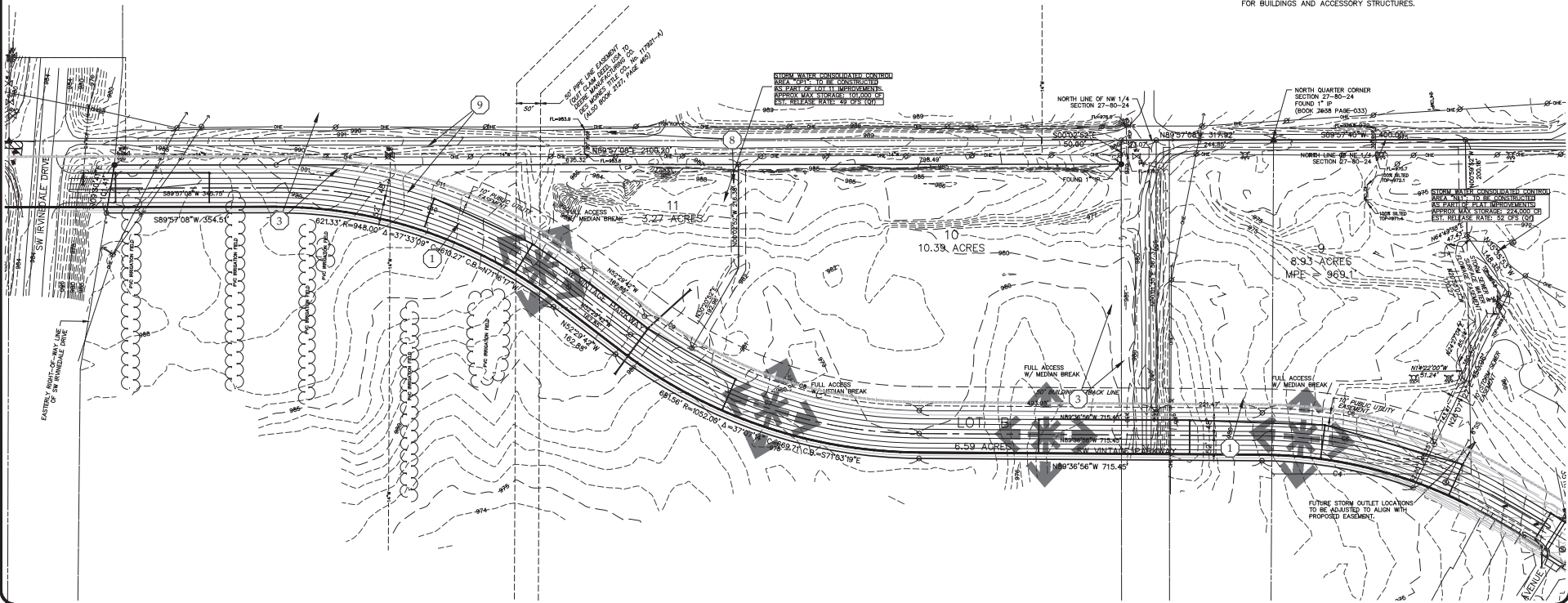
## I N S E T A

**LEGEND**

▲	FOUND SECTION CORNER
●	FOUND 5/8" IR WITH YELLOW CAP #2106 UNLESS OTHERWISE NOTED
○	SET MONUMENT USING 5/8" IR WITH RED CAP #1850
R.O.W.	RIGHT-OF-WAY
IR	ROUND IRON REBAR
IP	ROUND IRON PIPE
(R)	RECORDED
[133]	PROPOSED ADDRESS
---	SECTION LINE
---	SUBJECT PROPERTY BOUNDARY LINE
---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	15' BUILDING SETBACK LINE UNLESS OTHERWISE NOTED



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD DISTANCE	CHORD BEARING
C1	1147.70	2221.83	29°35'47"	586.96	1134.98	N10°44'31"W
C2	481.82	2221.83	11°39'06"	226.69	481.04	N09°26'25"E
C3	152.75	348.00'	12°13'58"	78.95'	152.60'	N85°01'00"W
C4	322.13	348.00'	19°28'08"	162.63'	320.58'	N79°52'52"W
C5	348.01	1000.00'	19°13'46"	174.48'	348.79'	N79°43'24"W
C6	367.08	1048.00'	20°24'09"	185.44'	365.21'	N79°14'52"W
C7	847.87	1000.00'	37°07'14"	335.76'	836.60'	S71°03'19"E
C8	491.86	852.00'	32°37'48"	254.75'	492.00'	S74°38'52"E
C9	118.92	852.00'	7°09'22"	59.54'	118.84'	S86°14'25"E
C10	658.42	1000.00'	37°33'09"	339.87'	658.75'	N71°16'17"W
C11	686.88	1048.00'	37°33'09"	356.28'	674.69'	N71°16'17"W



### PUBLIC/ PRIVATE IMPROVEMENT NOTES

- FUTURE IMPROVEMENTS SHOWN FOR VINTAGE PARKWAY ARE TAKEN FROM PRELIMINARY STREET PLANS PREPARED BY SWIGER AND ASSOCIATES. DEVELOPMENT WITHIN VINTAGE BUSINESS PARK AND FUTURE PLANNED RESIDENTIAL DEVELOPMENT TO THE SOUTH MAY REQUIRE AMENDMENTS TO THE PLANS PROVIDED TO ACCOMMODATE ACCESS LOCATIONS AND UTILITY SERVICES.
- AS PART OF FINAL CONSTRUCTION DOCUMENTS, EACH DEVELOPED LOT SHALL BE PROVIDED AN 8" WATER SERVICE AND 8" SANITARY SERVICE TO ALLOW FOR EACH BUILDING TO BE PROVIDED WITH SEPARATE SERVICES AS SITE PLANS ARE PREPARED. FOR LOTS ON THE SAME SIDE OF THE STREET AS A WATER MAIN, THE REQUIREMENT FOR AN 8" WATER SERVICE SHALL BE WAIVED, AND CONNECTION POINTS ESTABLISHED AS INDIVIDUAL SITE PLANS ARE DEVELOPED.
- A 12" WATER MAIN IS CURRENTLY PROPOSED ON THE SOUTH SIDE OF VINTAGE PARKWAY. FUTURE WATER TOWER IMPROVEMENTS IN THE AREA MAY REQUIRE INSTALLATION OF AN ADDITIONAL 14" WATER MAIN ON THE NORTH SIDE OF VINTAGE PARKWAY, WHICH WOULD REDUCE THE MAIN SIZE REQUIREMENT ON THE SOUTH SIDE TO 8". THIS SHALL BE DETERMINED PRIOR TO CONSTRUCTION OF THE REMAINING SECTIONS OF VINTAGE PARKWAY.
- A 8" WATER MAIN IS CURRENTLY PROPOSED ON THE SOUTH SIDE OF MAGAZINE ROAD. FUTURE WATER TOWER IMPROVEMENTS IN THE AREA MAY REQUIRE THIS MAIN TO BE INCREASED TO 16". THIS SHALL BE DETERMINED PRIOR TO CONSTRUCTION OF MAGAZINE ROAD.
- THERE IS A POTENTIAL TO INTERFERE AND RESOLVE PORTIONS OF EXISTING SANITARY SEWER MAINS ACROSS LOTS 3, 4, AND 7. IF NECESSARY TO FACILITATE DEVELOPMENT, EASEMENTS SHALL BE PROVIDED AT THE TIME OF FINAL PLAT PREPARATION FOR EXISTING AND PROPOSED MAINS WHICH ARE TO REMAIN IN SERVICE. REALIGNMENTS THAT MAY AFFECT SEWER SIZE UNDER PUBLIC STREETS WILL NEED TO BE DETERMINED PRIOR TO APPROVAL OF CONSTRUCTION DRAWINGS FOR THESE SEGMENTS. THE EXTENT OF WHICH ABANDONED UTILITIES (WATER AND SANITARY SEWER) WILL BE REMOVED OR ABANDONED IN PLACE WILL BE DETERMINED AT TIME OF SITE PLAN REVIEW.
- SANITARY SEWER DEPTH MAY INFLUENCE FINAL FINISHED FLOOR ELEVATIONS ON LOT 2, DEPENDING ON FINAL SITE PLAN LAYOUT.
- PRIOR TO, OR AS PART OF THIS DEVELOPMENT, SANITARY SEWER SHALL BE EXTENDED AS SHOWN TO PROVIDE SERVICE TO LOTS 1, 4, AND 5.
- UPON DEVELOPMENT OF A SITE PLAN FOR LOTS 9 AND 11, A DRAINAGE EASEMENT SHALL BE PROVIDED ACROSS THE SITE TO ENCOMPASS THE ULTIMATE STORM WATER FLOW PATH FOR OFF-SITE DRAINAGE AND STORM WATER MANAGEMENT IMPROVEMENTS RELATED TO CONSOLIDATED CONTROLS.
- PROVIDE CONNECTION AT APPROPRIATE LOCATION TO EXISTING 14" WATER MAIN SERVING JOHN DEERE, AS PART OF WATER MAIN IMPROVEMENTS TO RUN PARALLEL TO SW VINTAGE PARKWAY. EXISTING 14" MAIN TO BE ABANDONED SOUTH OF VINTAGE PARKWAY.

### MINIMUM SETBACKS:

- FRONT YARD:  
 50' ALONG SW STATE STREET & SW VINTAGE PARKWAY  
 15' ALONG SW MAGAZINE ROAD  
 LOTS 1-3: 30' PARKING SETBACK FOR OFFICE USES  
 SIDE YARD - 15'  
 REAR YARD - 15'

NOTE: REFER TO P.U.D. GUIDELINES FOR ADDITIONAL SETBACK RESTRICTIONS FOR BUILDINGS AND ACCESSORY STRUCTURES.

**AMENDMENT #6**

1102 SW MAGAZINE ROAD  
 ANNE ARBOR, MI 48106  
 P: (313) 963-1233 phone | (313) 965-3322 fax  
 Civil Engineering - Land Surveying  
 Landscape Architecture

**NILLES ASSOCIATES**

REVISIONS:  
 1. 03/08/2018: PERMANENT REVISIONS/ADDITIONS  
 2. 03/08/2018: PERMANENT REVISIONS/ADDITIONS  
 3. 03/08/2018: PERMANENT REVISIONS/ADDITIONS  
 4. 03/08/2018: PERMANENT REVISIONS/ADDITIONS  
 5. 03/08/2018: PERMANENT REVISIONS/ADDITIONS  
 6. 03/08/2018: PERMANENT REVISIONS/ADDITIONS  
 7. 03/08/2018: PERMANENT REVISIONS/ADDITIONS  
 8. 03/08/2018: PERMANENT REVISIONS/ADDITIONS  
 9. 03/08/2018: PERMANENT REVISIONS/ADDITIONS  
 10. 03/08/2018: PERMANENT REVISIONS/ADDITIONS

**VINTAGE BUSINESS PARK AT PRAIRIE TRAIL**  
 NEIGHBORHOOD PLAN & PRELIMINARY PLAN - WEST 1/2

DATE: 03/08/2018  
 DRAWN: JHP  
 CHECKED: ADS  
 FILE: 24' X 36'  
 SHEET: NP-3  
 TITLE: 3/8

**LEGEND**

- ▲ FOUND SECTION CORNER
- FOUND 5/8" R WITH YELLOW CAP #12106 UNLESS OTHERWISE NOTED
- SET MONUMENT USING 5/8" R WITH YELLOW CAP #12106
- RIGHT-OF-WAY
- ROUND IRON ROD
- ROUND IRON PIPE
- RECORDED
- PROPOSED ADDRESS
- SUBJECT PROPERTY BOUNDARY LINE
- SECTION LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- 15' BUILDING SETBACK LINE UNLESS OTHERWISE NOTED

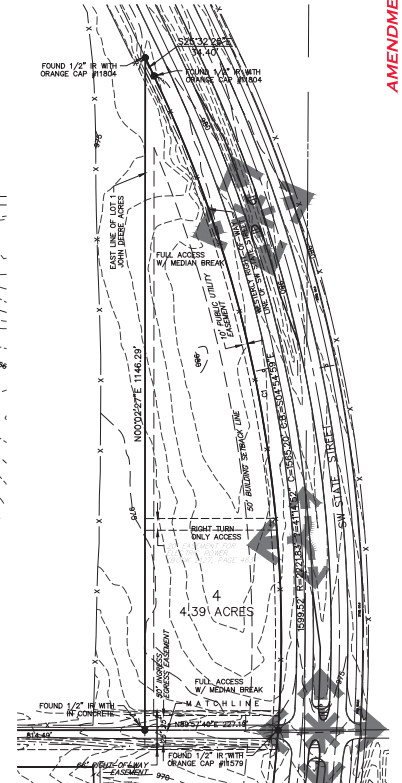
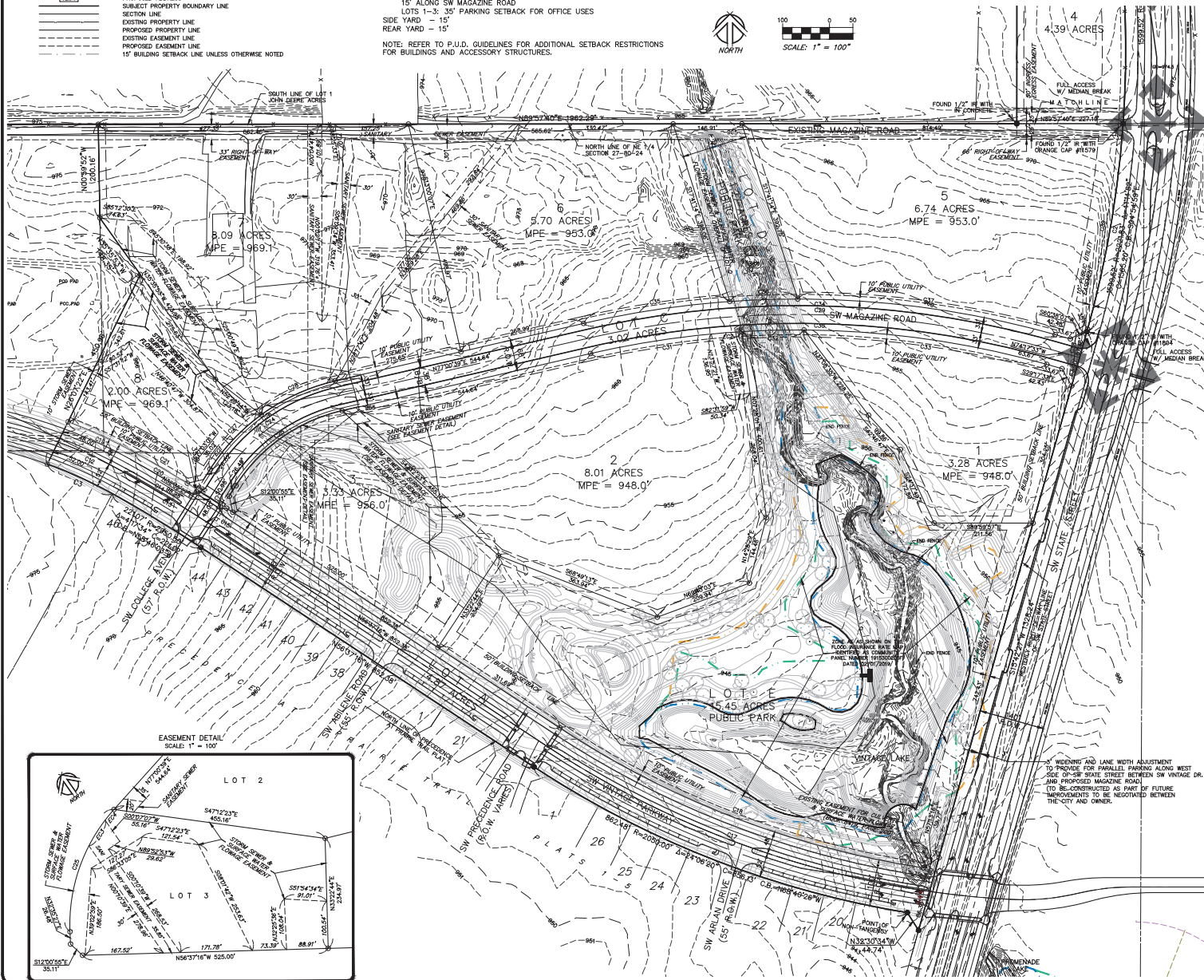
# VINTAGE BUSINESS PARK AT PRAIRIE TRAIL

**MINIMUM SETBACKS:**

- FRONT YARD: 50' ALONG SW STATE STREET & SW VINTAGE PARKWAY
- 15' ALONG SW MAGAZINE ROAD
- LOTS 1-3: 35' PARKING SETBACK FOR OFFICE USES
- SIDE YARD - 15'
- REAR YARD - 15'

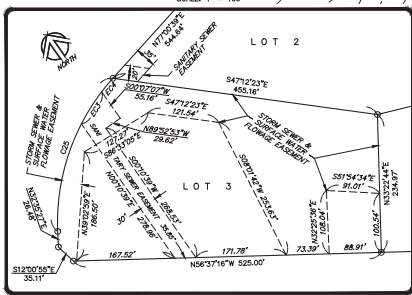
NOTE: REFER TO P.U.D. GUIDELINES FOR ADDITIONAL SETBACK RESTRICTIONS FOR BUILDINGS AND ACCESSORY STRUCTURES.

**I N S E T B**



**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD DISTANCE	CHORD BEARING
C01	1147.70	2221.83	29.3247°	586.36	1134.98	N104°43'21"W
C02	429.82	2221.83	11.3905°	228.69	421.58	N00°28'55"W
C03	150.78	848.00	9°13'58"	76.52	152.60	N85°31'49"W
C04	323.13	848.00	19.2808°	165.85	320.88	N73°25'52"W
C05	345.61	1000.00	19.4748°	174.49	343.79	N73°24'53"W
C06	267.68	1048.00	20.7409°	185.44	265.21	N72°26'32"W
C07	374.87	1000.00	37.0714°	335.70	636.65	N73°10'14"W
C08	497.86	952.00	29.0748°	254.70	492.00	S74°30'02"W
C09	118.87	952.00	7.9272°	59.14	118.84	S84°04'35"W
C10	656.42	1000.00	37.3309°	339.97	643.70	N71°14'17"W
C11	486.68	1048.00	37.3309°	336.69	473.65	N71°14'17"W
C12	156.43	1000.00	8.5450°	77.87	156.27	N85°22'00"W
C13	224.96	3002.50	4°17'34"	112.53	224.91	N88°46'03"W
C14	183.92	3002.50	3.5017°	91.86	183.67	N89°44'42"W
C15	41.31	3002.50	0.7478°	20.64	41.31	N97°00'55"W
C16	880.08	1988.00	25.4718°	447.30	879.89	S80°14'24"W
C17	838.74	1988.00	24.3839°	425.98	832.29	S88°24'35"E
C18	157.80	1048.00	8°07'21"	79.10	157.78	N80°14'49"W
C19	428.06	3002.50	4°17'34"	114.83	428.01	N88°46'03"W
C20	129.08	3002.50	1.2922°	64.84	129.08	N89°42'07"W
C21	129.08	3002.50	1.2922°	64.84	129.08	N00°44'02"W
C22	57.53	3002.50	1.3450°	28.77	57.53	N07°34'39"W
C23	42.87	1000.00	0.7478°	20.64	42.87	N07°34'39"W
C24	310.11	400.00	44.7051°	163.32	302.40	N07°26'08"W
C25	284.53	367.00	44.2913°	149.85	277.45	S84°48'03"W
C26	335.70	433.00	44.2913°	176.79	335.70	N00°44'02"W
C27	160.38	433.00	21.1318°	81.12	159.46	S43°13'06"W
C28	175.33	433.00	23.1118°	88.88	174.72	S62°44'22"W
C29	1000.70	2000.00	28.8148°	511.59	991.26	N88°58'22"W
C30	985.17	1967.00	28.8148°	503.15	974.91	N88°28'22"W
C31	327.36	1967.00	8.9207°	164.06	326.69	N89°44'53"W
C32	132.83	1967.00	3.9148°	66.34	132.60	S88°28'41"W
C33	625.18	1967.00	11.7705°	284.16	623.63	N87°18'29"W
C34	1018.23	2033.00	28.8148°	520.03	1007.62	N88°58'22"W
C35	316.23	2033.00	8.9207°	158.32	315.69	S87°27'30"W
C36	145.42	2033.00	4.4604°	72.74	145.42	N89°27'08"W
C37	558.80	2033.00	15.4132°	280.15	555.00	N87°08'18"W
C38	8.87	2221.83	0.0044°	2.81	8.87	N89°27'08"W
C39	446.40	2221.83	11.3924°	223.85	445.45	N08°48'34"E
E01	81.00	433.00	10.8140°	40.86	80.97	S73°24'00"W
E02	81.00	1988.00	6.8514°	32.80	80.97	S87°08'11"W
E03	84.73	367.00	10.0819°	32.45	84.64	S87°18'32"W
E04	28.78	367.00	4.2838°	14.90	28.77	S74°24'10"W



AMENDMENT #6

100 SW VINTAGE PARKWAY  
 VINTAGE BUSINESS PARK  
 AMENDMENT #6  
 100 SW VINTAGE PARKWAY  
 #1519601013 phone: (518) 965-3322 fax  
 Civil Engineering - Land Surveying  
 Landscape Architecture

**NILLES ASSOCIATES**

REGULATORY  
 100 SW VINTAGE PARKWAY  
 VINTAGE BUSINESS PARK  
 AMENDMENT #6  
 100 SW VINTAGE PARKWAY  
 #1519601013 phone: (518) 965-3322 fax  
 Civil Engineering - Land Surveying  
 Landscape Architecture

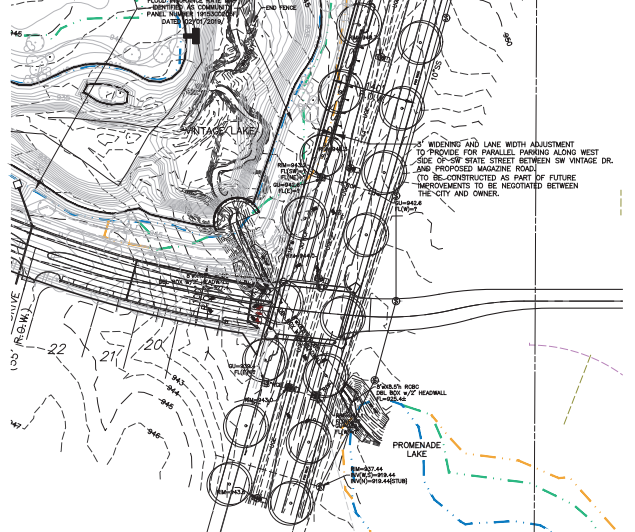
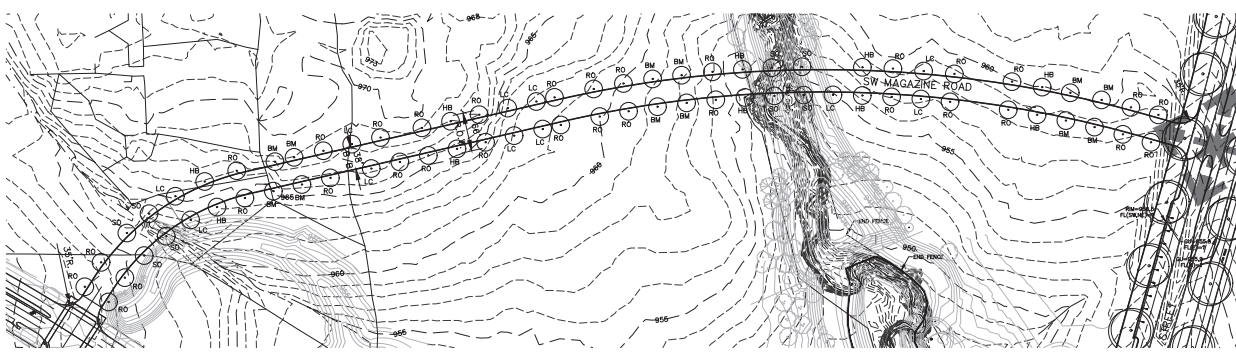
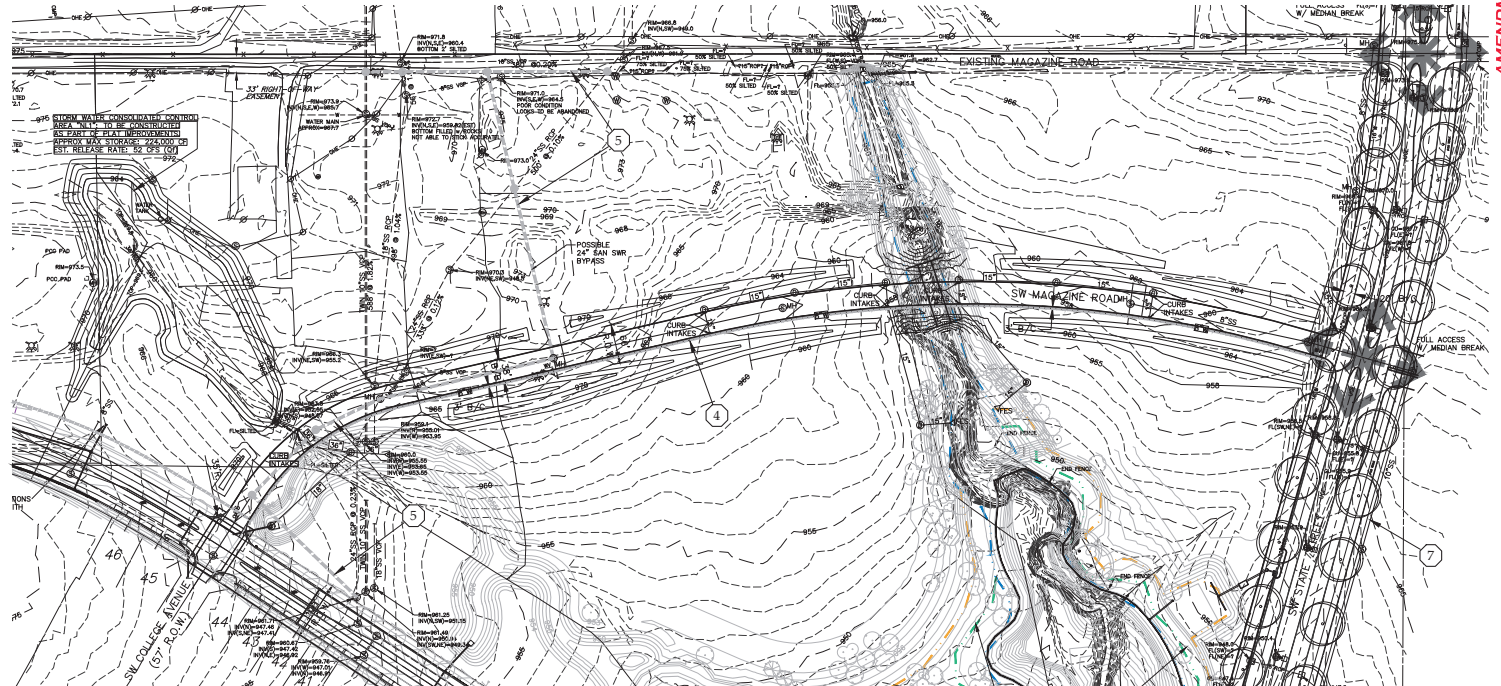
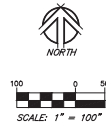
VINTAGE BUSINESS PARK AT PRAIRIE TRAIL  
 AMENDMENT #6  
 NEIGHBORHOOD PLAN & PRELIMINARY PLAT - EAST 1/2

DATE: 03/09/2014  
 SHEET: 24" X 36"  
 SHEET: 4/8

# VINTAGE BUSINESS PARK AT PRAIRIE TRAIL

## PUBLIC / PRIVATE IMPROVEMENT NOTES

1. FUTURE IMPROVEMENTS SHOWN FOR VINTAGE PARKWAY ARE TAKEN FROM PRELIMINARY STREET PLANS PREPARED BY SIVONER AND ASSOCIATES. DEVELOPMENT WITHIN VINTAGE BUSINESS PARK AND FUTURE PLANNED RESIDENTIAL DEVELOPMENT TO THE SOUTH MAY REQUIRE AMENDMENTS TO THE PLANS PROVIDED TO ACCOMMODATE ACCESS LOCATIONS AND UTILITY SERVICES.
2. AS PART OF FINAL CONSTRUCTION DOCUMENTS, EACH DEVELOPED LOT SHALL BE PROVIDED AN 8" WATER SERVICE AND 8" SANITARY SERVICE TO ALLOW FOR EACH BUILDING TO BE PROVIDED WITH SEPARATE SERVICES AS SITE PLANS ARE PREPARED. FOR LOTS ON THE SAME SIDE OF THE STREET AS A WATER MAIN, THE REQUIREMENT FOR AN 8" WATER SERVICE SHALL BE WAIVED, AND CONNECTION POINTS ESTABLISHED AS INDIVIDUAL SITE PLANS ARE DEVELOPED.
3. A 12" WATER MAIN IS CURRENTLY PROPOSED ON THE SOUTH SIDE OF VINTAGE PARKWAY. FUTURE WATER TOWER IMPROVEMENTS IN THE AREA MAY REQUIRE INSTALLATION OF AN ADDITIONAL 14" WATER MAIN ON THE NORTH SIDE OF VINTAGE PARKWAY, WHICH WOULD REDUCE THE MAIN SIZE REQUIREMENT ON THE SOUTH SIDE TO 8". THIS SHALL BE DETERMINED PRIOR TO CONSTRUCTION OF THE REMAINING SECTIONS OF VINTAGE PARKWAY.
4. A 6" WATER MAIN IS CURRENTLY PROPOSED ON THE SOUTH SIDE OF MAGAZINE ROAD. FUTURE WATER TOWER IMPROVEMENTS IN THE AREA MAY REQUIRE THIS MAIN TO BE INCREASED TO 16". THIS SHALL BE DETERMINED PRIOR TO CONSTRUCTION OF MAGAZINE ROAD.
5. THERE IS A POTENTIAL TO INTERCEPT AND REROUTE PORTIONS OF EXISTING SANITARY SEWER MAINS ACROSS LOTS 3, 6, AND 7; IF NECESSARY TO FACILITATE DEVELOPMENT. EASEMENTS SHALL BE PROVIDED AT THE TIME OF FINAL PLAN PREPARATION FOR EXISTING AND PROPOSED MAINS WHICH ARE TO REMAIN IN SERVICE. REQUIREMENTS THAT MAY VARY SEWER SIZE UNDER PUBLIC STREETS WILL NEED TO BE DETERMINED PRIOR TO APPROVAL OF CONSTRUCTION DRAWINGS FOR THESE SEWERS. THE EXTENT OF WHICH ABANDONED UTILITIES (WATER AND SANITARY SEWER) WILL BE REMOVED OR ABANDONED IN PLACE WILL BE DETERMINED AT TIME OF SITE PLAN REVIEW.
6. SANITARY SEWER DEPTH MAY INFLUENCE FINAL FINISHED FLOOR ELEVATIONS ON LOT 2, DEPENDING ON FINAL SITE PLAN LAYOUT.
7. PRIOR TO, OR AS PART OF THIS DEVELOPMENT, SANITARY SEWER SHALL BE EXTENDED AS SHOWN TO PROVIDE SERVICE TO LOTS 1, 4, AND 5.
8. UPON DEVELOPMENT OF A SITE PLANS FOR LOTS 9 AND 11, A DRAINAGE EASEMENT SHALL BE PROVIDED ACROSS THE SITE TO ENCOMPASS THE ULTIMATE STORM WATER FLOW PATHS FOR ON-SITE DRAINAGE AND STORM WATER MANAGEMENT IMPROVEMENTS RELATED TO CONSOLIDATED CONTROLS.
9. PROVIDE CONNECTION AT APPROPRIATE LOCATION TO EXISTING 14" WATER MAIN SERVING IRON ZONE; AS PART OF WATER MAIN IMPROVEMENTS TO RUN PARALLEL TO SW VINTAGE PARKWAY. EXISTING 14" MAIN TO BE ABANDONED SOUTH OF VINTAGE PARKWAY.



**LEGEND**

- ▲ FOUND SECTION CORNER
- FOUND 5/8" IR WITH YELLOW CAP #2106 UNLESS OTHERWISE NOTED
- SET MONUMENT USING 5/8" IR WITH YELLOW CAP #2106
- RIGHT-OF-WAY
- IR ROUND IRON ROD
- IP ROUND IRON PIPE
- RECORDED
- PROPOSED ADDRESS
- SUBJECT PROPERTY BOUNDARY LINE
- SECTION LINE
- EXISTING PROPERTY LINE
- EXISTING CASSEMENT LINE
- PROPOSED EASEMENT LINE
- BUILDING SETBACK LINE

**TREE & SHRUB PLANTING SCHEDULE**

Key	Common / Scientific name	Minimum Size	No.	Root/Comment	Acceptable Cultivars
HB	Hobbsberry	2-2 1/4" cal.	10	B & B or CONT.	
LC	Thornless Honeylocust	2-2 1/4" cal.	11	B & B or SPADE	'Sylvine' 'Sunburst' 'Shademaster'
BM	Aufurim Blaze Maple	2-2 1/4" cal.	12	B & B or SPADE	
SD	Swamp White Oak	2-2 1/4" cal.	10	B & B or SPADE	
RO	Red Oak	2-2 1/4" cal.	32	B & B or SPADE	

AMENDMENT #6

800 SW WASHINGTON ST. SUITE 200  
ANN ARBOR, MI 48106  
P: (313) 965-0123 F: (313) 965-3322 fax  
www.nilles.com  
Civil Engineering - Land Surveying  
Landscape Architecture

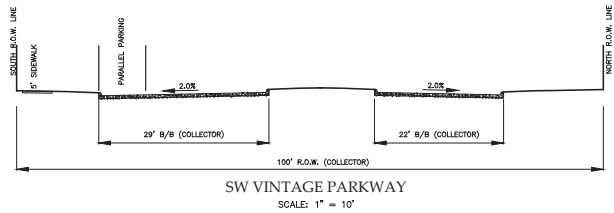
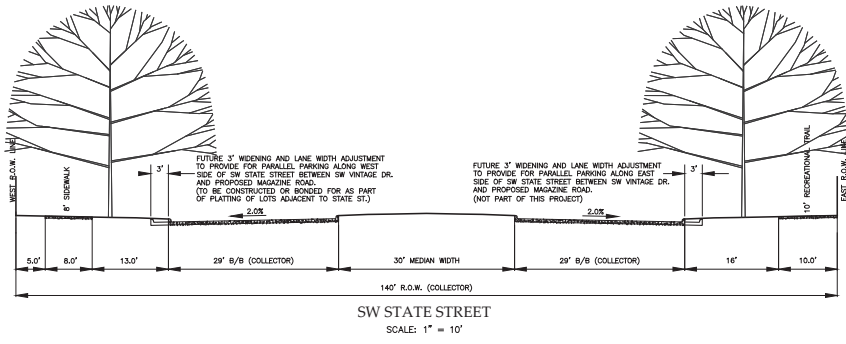
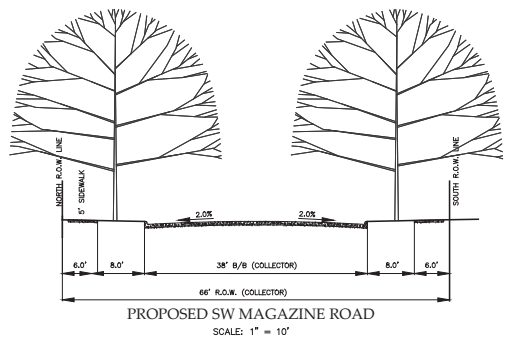
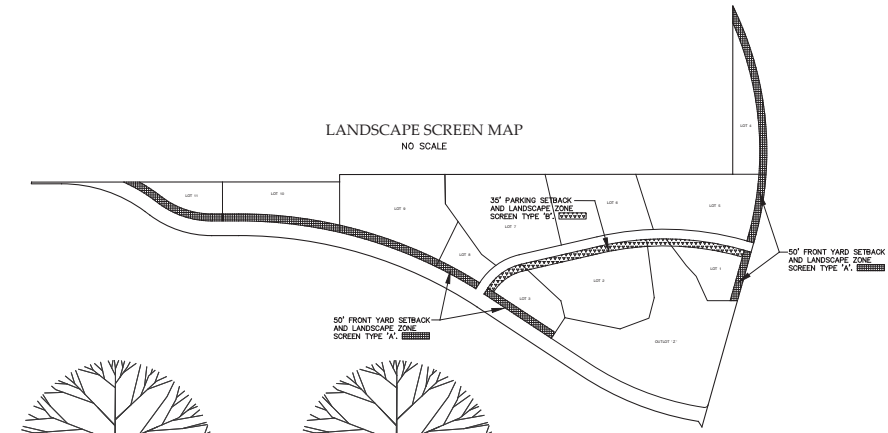
**NILLES ASSOCIATES**

REGISTRATION:  
1. LICENSED PROFESSIONAL LANDSCAPE ARCHITECT - MICHIGAN  
2. LICENSED PROFESSIONAL CIVIL ENGINEER - MICHIGAN  
3. LICENSED PROFESSIONAL SURVEYOR - MICHIGAN  
4. LICENSED PROFESSIONAL ARCHITECT - MICHIGAN  
5. LICENSED PROFESSIONAL ELECTRICAL ENGINEER - MICHIGAN  
6. LICENSED PROFESSIONAL MECHANICAL ENGINEER - MICHIGAN  
7. LICENSED PROFESSIONAL CHEMICAL ENGINEER - MICHIGAN  
8. LICENSED PROFESSIONAL INDUSTRIAL ENGINEER - MICHIGAN  
9. LICENSED PROFESSIONAL METALLURGICAL ENGINEER - MICHIGAN  
10. LICENSED PROFESSIONAL NUCLEAR ENGINEER - MICHIGAN  
11. LICENSED PROFESSIONAL AERONAUTICAL ENGINEER - MICHIGAN  
12. LICENSED PROFESSIONAL AEROSPACE ENGINEER - MICHIGAN  
13. LICENSED PROFESSIONAL AGRICULTURAL ENGINEER - MICHIGAN  
14. LICENSED PROFESSIONAL BIOMEDICAL ENGINEER - MICHIGAN  
15. LICENSED PROFESSIONAL CIVIL ENGINEER - MICHIGAN  
16. LICENSED PROFESSIONAL CHEMICAL ENGINEER - MICHIGAN  
17. LICENSED PROFESSIONAL ELECTRICAL ENGINEER - MICHIGAN  
18. LICENSED PROFESSIONAL INDUSTRIAL ENGINEER - MICHIGAN  
19. LICENSED PROFESSIONAL MECHANICAL ENGINEER - MICHIGAN  
20. LICENSED PROFESSIONAL METALLURGICAL ENGINEER - MICHIGAN  
21. LICENSED PROFESSIONAL NUCLEAR ENGINEER - MICHIGAN  
22. LICENSED PROFESSIONAL AERONAUTICAL ENGINEER - MICHIGAN  
23. LICENSED PROFESSIONAL AEROSPACE ENGINEER - MICHIGAN  
24. LICENSED PROFESSIONAL AGRICULTURAL ENGINEER - MICHIGAN  
25. LICENSED PROFESSIONAL BIOMEDICAL ENGINEER - MICHIGAN

VINTAGE BUSINESS PARK AT PRAIRIE TRAIL  
NEIGHBORHOOD PLAN & PRELIMINARY PLAN - SW MAGAZINE ROAD

PROJECT NO: 24002  
DATE: 03/05/2014  
DESIGNER: JHP  
CHECKED BY: ADS  
SCALE: 24" x 36"  
SHEET NO: NP-5  
TOTAL SHEETS: 5/8

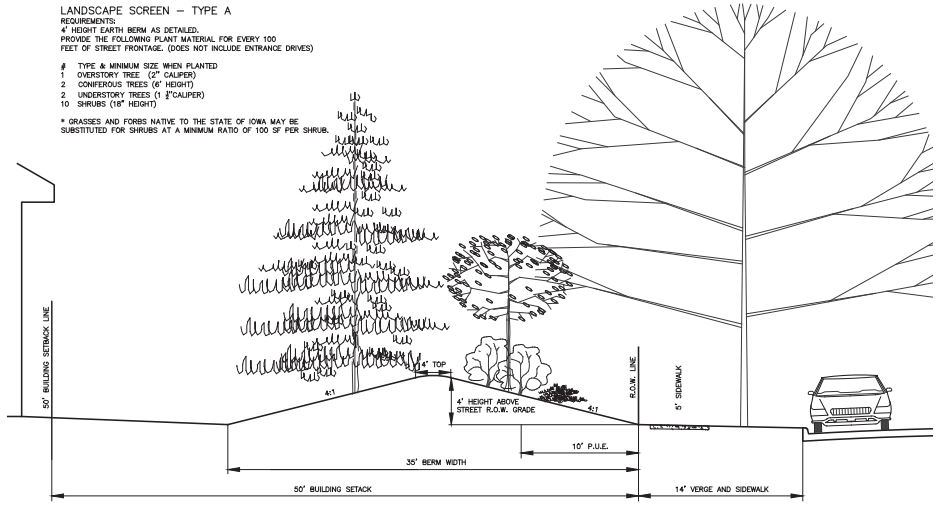
LANDSCAPE SCREEN MAP  
NO SCALE



LANDSCAPE SCREEN - TYPE A  
REQUIREMENTS:  
4' HEIGHT EARTH BERM AS DETAILED.  
PROVIDE THE FOLLOWING PLANT MATERIAL FOR EVERY 100 FEET OF STREET FRONTAGE. (DOES NOT INCLUDE ENTRANCE DRIVES)

# TYPE & MINIMUM SIZE WHEN PLANTED  
1. DECIDUOUS TREE (2" CALIPER)  
2. CONIFEROUS TREES (6' HEIGHT)  
3. UNDERSTORY TREES (1 1/2" CALIPER)  
10. SHRUBS (18" HEIGHT)

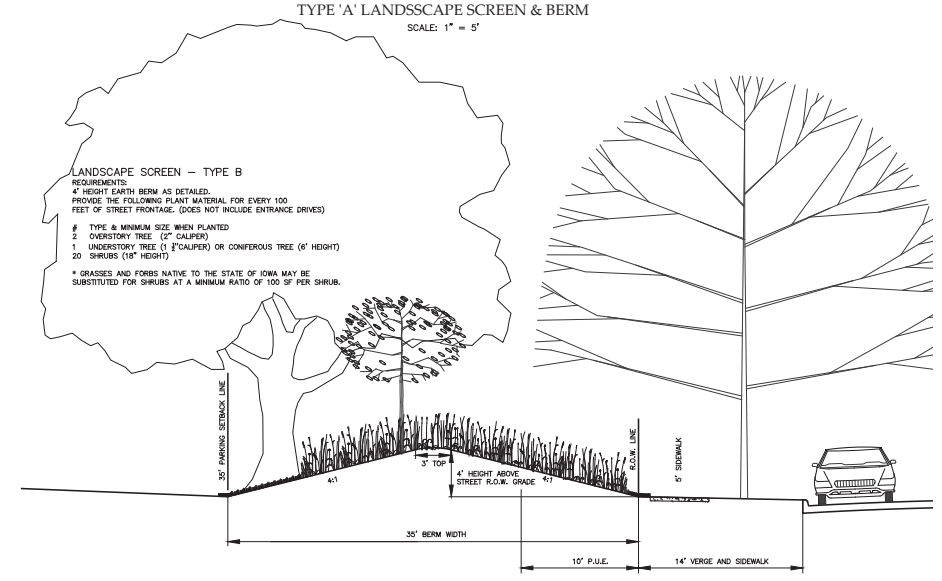
\* GRASSES AND FORBS NATIVE TO THE STATE OF IOWA MAY BE SUBSTITUTED FOR SHRUBS AT A MINIMUM RATIO OF 100 SF PER SHRUB.



LANDSCAPE SCREEN - TYPE B  
REQUIREMENTS:  
4' HEIGHT EARTH BERM AS DETAILED.  
PROVIDE THE FOLLOWING PLANT MATERIAL FOR EVERY 100 FEET OF STREET FRONTAGE. (DOES NOT INCLUDE ENTRANCE DRIVES)

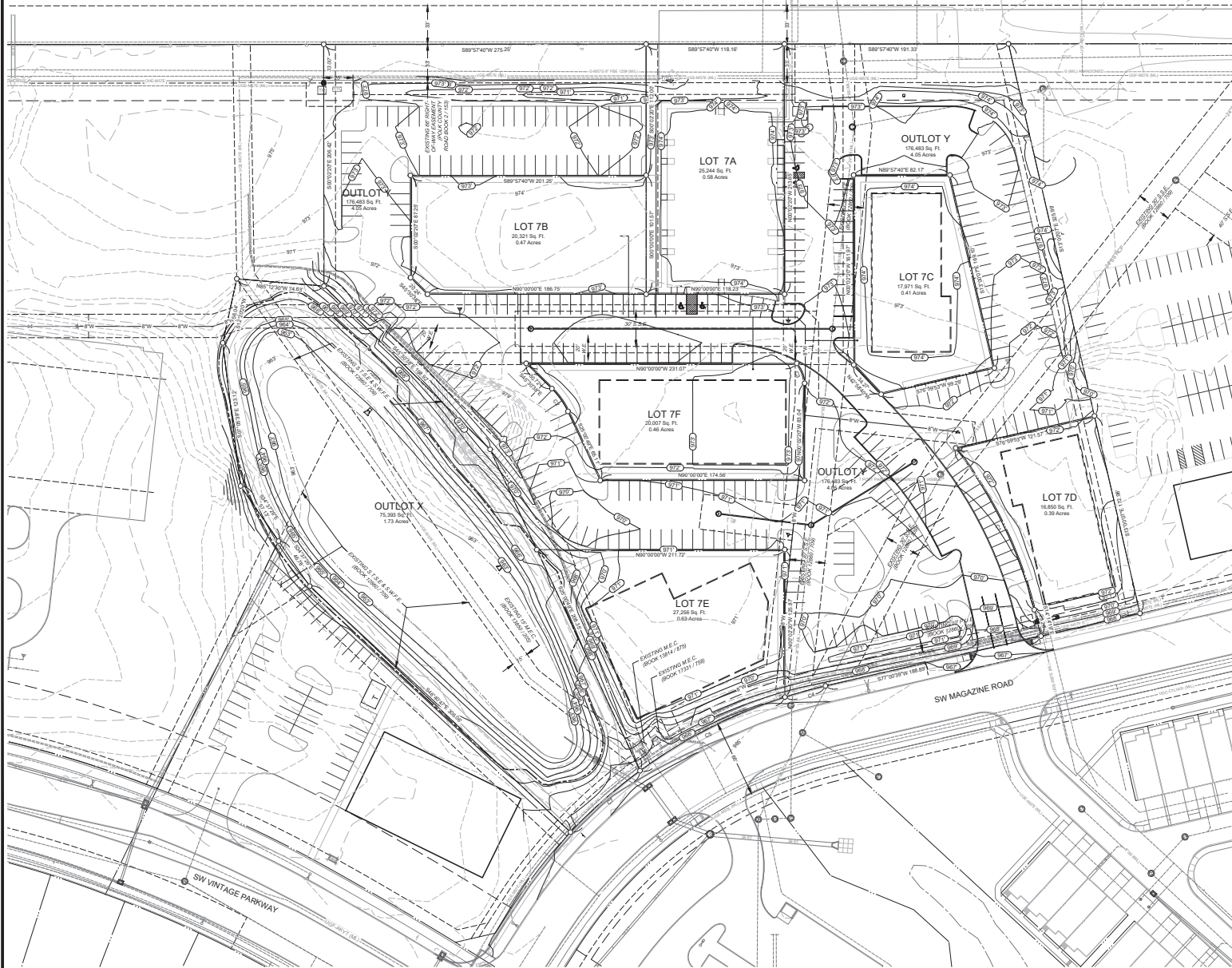
# TYPE & MINIMUM SIZE WHEN PLANTED  
1. UNDERSTORY TREE (1 1/2" CALIPER) OR CONIFEROUS TREE (6' HEIGHT)  
20. SHRUBS (18" HEIGHT)

\* GRASSES AND FORBS NATIVE TO THE STATE OF IOWA MAY BE SUBSTITUTED FOR SHRUBS AT A MINIMUM RATIO OF 100 SF PER SHRUB.



# VINTAGE BUSINESS PARK AT PRAIRIE TRAIL

## I N S E T C



CURVE TABLE					
Curve #	Length	Radius	Delta	Chord Distance	Chord Bearing
C1	154.83	378.50'	23°20'44"	153.56'	N35°54'41"W
C2	23.97'	67.00'	20°29'40"	23.84'	N35°15'44"W
C3	18.84'	25.00'	42°43'40"	18.21'	N21°24'10"W
C4	35.91'	433.00'	4°45'08"	35.90'	S74°38'03"W
C5	139.42'	433.00'	18°28'43"	138.80'	S63°02'08"W
C7	78.20'	433.00'	10°29'52"	78.18'	S48°33'59"W

- LEGEND**
- ▲ FOUND SECTION CORNER
  - FOUND 5/8" IR WITH YELLOW CAP #12106 UNLESS OTHERWISE NOTED
  - SET MONUMENT USING 5/8" IR WITH YELLOW CAP #12106
  - RIGHT-OF-WAY
  - ROUND IRON ROD
  - ROUND IRON PIPE
  - RECORDED
  - PROPOSED ADDRESS
  - SUBJECT PROPERTY BOUNDARY LINE
  - SECTION LINE
  - EXISTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - EXISTING EASEMENT LINE
  - PROPOSED EASEMENT LINE
  - 15' BUILDING SETBACK LINE UNLESS OTHERWISE NOTED
- MINIMUM SETBACKS:**
- FRONT YARD:
    - 50' ALONG SW STATE STREET & SW VINTAGE PARKWAY
    - 15' ALONG SW MAGAZINE ROAD
  - LOTS 1-3: 35' PARKING SETBACK FOR OFFICE USES
  - SIDE YARD - 15'
  - REAR YARD - 15'
- NOTE:** REFER TO P.U.D. GUIDELINES FOR ADDITIONAL SETBACK RESTRICTIONS FOR BUILDINGS AND ACCESSORY STRUCTURES.
- UTILITY NOTE:** FINAL UTILITY LOCATIONS SHALL BE DETERMINED WHEN LOTS ARE DEVELOPED.

AMENDMENT #6

1150 SW MAGAZINE ROAD  
ANN ARBOR, MI 48106  
PHONE: (313) 965-3322 FAX:  
(313) 965-0123  
Civil Engineering - Land Surveying  
Landscape Architecture



REVISIONS:  
1. 03/08/2024: PER SW MAGAZINE ROAD  
2. 03/08/2024: PER SW VINTAGE PARKWAY  
3. 03/08/2024: PER SW MAGAZINE ROAD  
4. 03/08/2024: PER SW VINTAGE PARKWAY  
5. 03/08/2024: PER SW MAGAZINE ROAD  
6. 03/08/2024: PER SW VINTAGE PARKWAY  
7. 03/08/2024: PER SW MAGAZINE ROAD  
8. 03/08/2024: PER SW VINTAGE PARKWAY  
9. 03/08/2024: PER SW MAGAZINE ROAD  
10. 03/08/2024: PER SW VINTAGE PARKWAY  
11. 03/08/2024: PER SW MAGAZINE ROAD  
12. 03/08/2024: PER SW VINTAGE PARKWAY  
13. 03/08/2024: PER SW MAGAZINE ROAD  
14. 03/08/2024: PER SW VINTAGE PARKWAY  
15. 03/08/2024: PER SW MAGAZINE ROAD

VINTAGE BUSINESS PARK AT PRAIRIE TRAIL  
ANN ARBOR, MI 48106  
NEIGHBORHOOD PLAN & PRELIMINARY PLAT - INSET C

PROJECT NO. 24002  
DATE: 03/08/2024  
DESIGNED BY: JHP  
CHECKED BY: ADS  
SCALE: 3/4" = 30'  
SHEET NO.: NP-7  
SHEET TOTAL: 7/8

# VINTAGE BUSINESS PARK AT PRAIRIE TRAIL

## I N S E T D



### MINIMUM SETBACKS:

FRONT YARD:  
50' ALONG SW STATE STREET & SW VINTAGE PARKWAY  
15' ALONG SW MAGAZINE ROAD  
LOTS 1-3: 35' PARKING SETBACK FOR OFFICE USES  
SIDE YARD - 15'  
REAR YARD - 15'

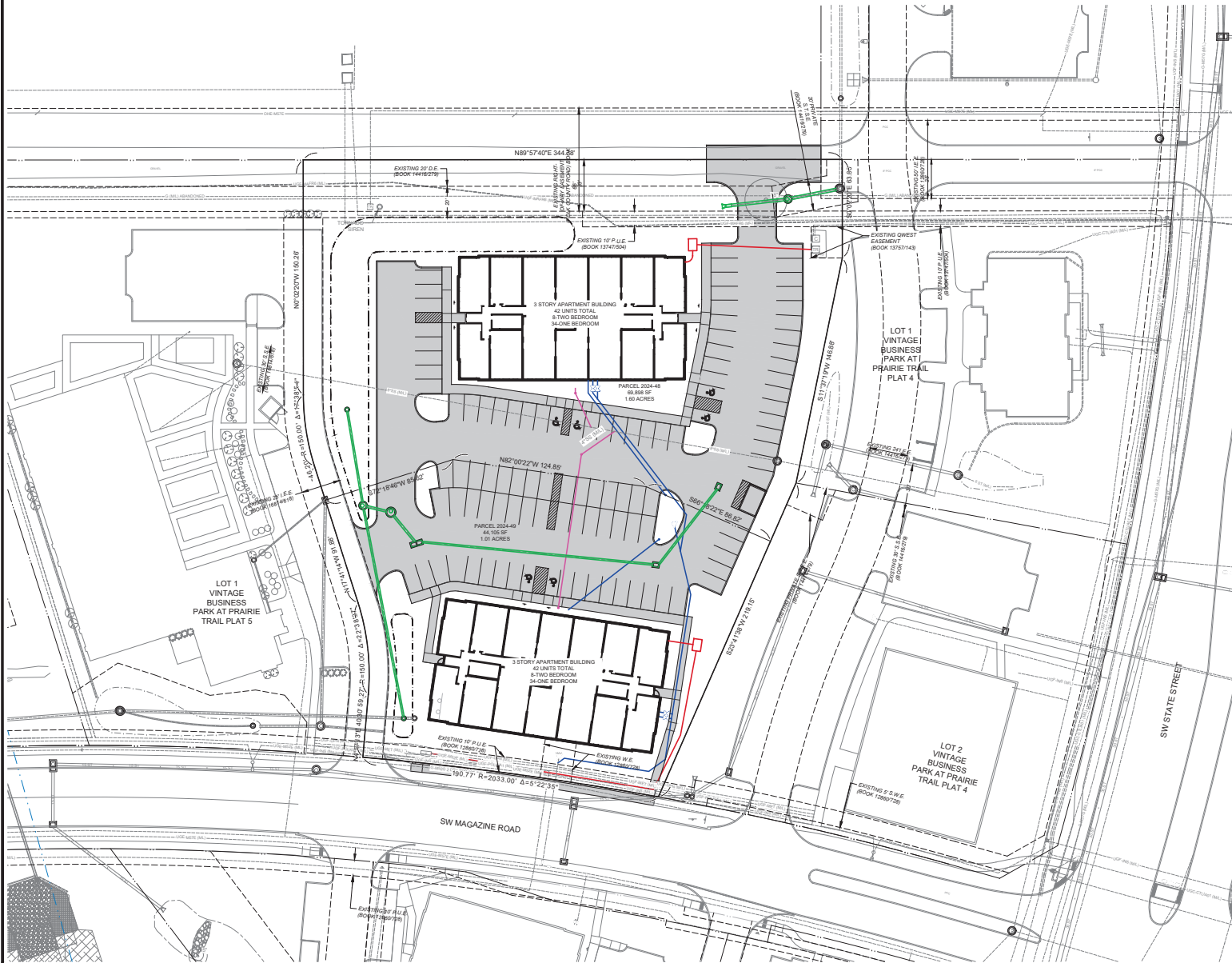
NOTE: REFER TO P.U.D. GUIDELINES FOR ADDITIONAL SETBACK RESTRICTIONS FOR BUILDINGS AND ACCESSORY STRUCTURES.

### UTILITY NOTE:

FINAL UTILITY LOCATIONS SHALL BE DETERMINED WHEN LOTS ARE DEVELOPED AND SITE PLANS APPROVED.

### TRAFFIC NOTE:

THE DEVELOPER OF THE LOT WILL BE RESPONSIBLE FOR IMPROVEMENTS FROM THE APPROVED TRAFFIC IMPACT STUDY.



AMENDMENT #6

1100 SW 40TH AVENUE SUITE 200  
ANN ARBOR, MI 48106  
TEL: (313) 965-3200  
FAX: (313) 965-3202  
WWW.NILLESASSOCIATES.COM  
Civil Engineering - Land Surveying  
Landscape Architecture



REVISIONS:  
1. 11/20/2017 ORIGINAL P.U.D. SUBMITTED TO THE BOARD OF ZONING AND PLANNING  
2. 12/15/2017 AMENDMENT #6 SUBMITTED TO THE BOARD OF ZONING AND PLANNING  
3. 02/02/2018 AMENDMENT #6 SET 1 - THE COLLIER  
4. 02/02/2018 AMENDMENT #6 SET 2 - THE COLLIER  
5. 02/02/2018 AMENDMENT #6 SET 3 - THE COLLIER

DATE: 03/08/2024  
SCALE: AS SHOWN  
PROJECT: VINTAGE BUSINESS PARK AT PRAIRIE TRAIL  
DRAWN BY: JHP  
CHECKED BY: ADS  
DATE: 03/08/2024  
SCALE: 24" X 36"  
SHEET TITLE: NP-8  
SHEET NO.: 8/8

VINTAGE BUSINESS PARK AT PRAIRIE TRAIL  
ANN ARBOR, MI  
NEIGHBORHOOD PLAN & PRELIMINARY PLAT - INSET D

PROJECT NO.: 24002  
DATE: 03/08/2024  
DRAWN BY: JHP  
CHECKED BY: ADS  
DATE: 03/08/2024  
SCALE: 24" X 36"  
SHEET TITLE: NP-8  
SHEET NO.: 8/8