



Meeting Agenda

Plan and Zoning Commission

Tuesday, May 3, 2022

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Glenn Hunter, Chair

Ted Rapp, Vice Chair

Trina Flack
Randall Weisheit

Lisa West

Annette Renaud
Todd Ripper

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER:

A. ROLL CALL:

B. AMENDMENTS TO AGENDA:

Consider MOTION to approve and accept the May 3, 2022 agenda with/without amendments.

C. COMMUNICATIONS:

D. CITIZEN'S REQUEST:

E. CONSENT AGENDA ITEMS:

1. Minutes

Consider MOTION to approve and accept the April 19, 2022 minutes of the Plan and Zoning Commission meeting.

2. 1075 SW Oralabor Road - Heartland Dental Clinic Site Plan

Consider MOTION to approve the site plan for 1075 SW Oralabor Road, Heartland Dental Clinic.

3. Canyon Landing Townhomes Plat 1 Final Plat and Canyon Landing Townhomes Site Plan

Consider MOTION to recommend City Council approval of Canyon Landing Townhomes Plat 1 Final Plat, and recommend City Council authorization of cost-participation request for upsizing public water mains to 12-inch and 16-inch mains and sidewalk oversizing along NE 18th Street in the amount estimated to be \$40,759.00.

Consider MOTION to approve Canyon Landing Townhomes Site Plan, subject to recordation of the final plat; and acceptance of the private street names NE Mongoose Lane and NE Spear Lane.

4. Canyon Landing Duplexes Plat 1 Final Plat

Consider MOTION to recommend City Council approval of the Canyon Landing Duplexes Plat 1 Final Plat; and recommend City Council authorization of cost-participation for extensions and upsizing of public sanitary sewer and public water mains in the amount estimated to be \$519,914.55.

5. Canyon Landing Plat 2 Final Plat

Consider MOTION to recommend City Council approval of the Canyon Landing Plat 2 Final Plat.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #5.

F. REMOVED CONSENT AGENDA ITEMS:

G. PUBLIC HEARINGS:

H. BUSINESS ITEMS:

6. Request by ATI Industrial, LLC, Tyler Investment Company, Inc, Polk County Aviation Authority, and Lloyd D. Linn for voluntary annexation of property into the City of Ankeny

Consider MOTION to recommend City Council approval of the Ankeny RMJ Annexation.

7. Request by Hope Kimberley LLC for the voluntary annexation of property into the City of Ankeny

Consider MOTION to recommend City Council approval of the request by Hope Kimberley LLC for voluntary annexation of property into the City of Ankeny.

I. OLD BUSINESS:

J. REPORTS:

1. May 2, 2022 City Council Report - Staff

2. Director's Report

Tentative agenda items for May 17, 2022

- **Public Hearing(s): Set hearing for May 17, 2022 at 6:30 p.m.**

Request by J Larson Homes, LLC to rezone property from R-1 to PUD.

3. Commissioner's Reports

K. MISCELLANEOUS ITEMS:

May 16, 2022 - 5:30 p.m. City Council Representative: Staff

L. ADJOURNMENT:

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

May 3, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to approve and accept the April 19, 2022 minutes of the Plan and Zoning Commission meeting.

ADDITIONAL INFORMATION:

ATTACHMENTS:

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Meeting Minutes

Plan & Zoning Commission Meeting

Tuesday, April 19, 2022

Ankeny City Council Chambers, Second Floor
1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER

Chair G.Hunter called the April 19, 2022 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL

Members present: Trina Flack, Glenn Hunter, Ted Rapp, Todd Ripper, Annette Renaud, Randy Weisheit and Lisa West. Staff present: E.Jensen, E.Carstens, D.Silverthorn, J.Heil, B.Morrissey, L.Hutzell, B.Fuglsang

AMENDMENTS TO THE AGENDA

Motion by T.Flack to approve the April 19, 2022 agenda without amendments. Second by L.West. All voted aye. Motion carried 7 – 0.

COMMUNICATIONS

There were no communications.

CITIZEN'S REQUEST

There were no requests.

CONSENT AGENDA ITEMS

Item #1. Minutes

Motion to approve and accept the April 5, 2022 minutes of the Plan and Zoning Commission meeting.

Item #2. The Reserve at the Grove Plat 1 Final Plat

Motion to recommend City Council approval of The Reserve at the Grove Plat 1 Final Plat; and recommend City Council authorization of cost-participation for 8-foot sidewalk and removal and replacement of ramps in the amount estimated to be at \$9,713.50.

Item #3. 320 NW College Avenue - Faith Baptist Storage Building Site Plan

Motion to approve the site plan for 320 NW College Avenue, Faith Baptist Storage Building.

Item #4. 1020 E 1st Street - 7 Brew Drive-Thru Coffee Site Plan

Motion to approve the site plan for 1020 E 1st Street, 7 Brew Drive-Thru Coffee.

Item #5. 5000 NE Bellagio Drive - Bellagio Park Improvements Site Plan

Motion to approve the site plan for 5000 NE Bellagio Drive, Bellagio Park Improvements.

Motion by T.Flack to approve the recommendations for Consent Agenda Items #1 - #5. Second by T.Rapp. All voted aye. Motion carried 7 – 0.

PUBLIC HEARINGS

Item #6. ATI Ankeny Industrial LLC request for voluntary annexation into the City of Ankeny

D.Silverthorn reported ATI Ankeny Industrial LLC and three other property owners are requesting annexation into the City of Ankeny. He presented an exhibit showing the annexation area. He said the land totals approximately 159 acres, and is generally located west of NE Berwick Drive, east of SE Four Mile Drive and the Ankeny Regional Airport. He noted that the property is identified on the Future Land Use Map as Airport Business Park, Open Space or Low Density. He stated that upon annexation, the area will be initially zoned R-1, One-Family Residence District, consistent with all property newly annexed into the City of Ankeny. D.Silverthorn said that based on the most recent FEMA Flood Insurance Rate Maps, floodway exists within a portion of the proposed annexation area adjacent to Four Mile Creek. Staff will present a complete staff report at the next Plan and Zoning Commission meeting on May 3, 2022.

G.Hunter asked if there is a set timeframe for providing utilities on a voluntary annexation. E.Jensen said that there is no requirement with a 100% voluntary annexation. He commented that there are existing utilities in the area and staff will provide the information in their report at the next meeting.

Eric Bohnenkamp, 1615 SW Main Street, Ankeny on behalf of ATI Group, said he would answer any questions the Commission may have. There were no questions from the Commission.

Robert Stephenson, 7393 NE Berwick Drive, said he lives across the street from the proposed annexation area, specifically area 7 and 8 as shown on the exhibit. His concern is with the housing that currently exists across from his property. He stated if the plan is to clean up that particular area and place better housing on the property, it would be a win for the City of Ankeny and the residents who live along NE Berwick Drive.

Andy Swanson, 7516 NE Berwick Drive, said that they own about six acres of land that backs up to Four Mile Creek and asked if there are more details on the Airport Business Park and how it will affect property values in the area.

G.Hunter explained that at the next meeting on May 3, 2022, Staff will come back with a staff report to address the questions raised at this meeting.

E.Carstens said that this request is only for the annexation of the property. If the property is annexed into the City, there will be multiple steps before the land is developed, such as rezoning of the property, since it would come in zoned as R-1, not Business Park. During the rezoning process, the developer may present a conceptual plan but that is not something that is available at the annexation phase.

Andy Swanson inquired whether the Airport Business Park land use designation is located behind his property. D.Silverthorn responded sharing that the future land use designation directly behind Mr. Swanson's property is Open Space, which is to protect the Four Mile Creek. To the west of the Open Space it is designated as Airport Business Park land use and is generally no different than Office Business Park. The only real limitation is height due to the proximity of the airport. Andy Swanson said his only other objection to the annexation is that there is a lot of wildlife in the area and informed the Commission that his property around Four Mile Creek is all considered forest preserve.

The Commission had no further questions.

Motion by T.Rapp to close the public hearing, and receive and file documents. Second by A.Renaud. All voted aye. Motion carried 7 – 0.

BUSINESS ITEMS

Item #7. Request to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map for property owned by Hardship Land LLC from Low Density Residential to Medium Density Residential use classification

Item #8. Request to rezone property owned by Hardship Land LLC from R-1, One-Family Residence District, to R-3 Multiple Family Residence District

L.Hutzell reported the request by Hardship Land, LLC is for a Land Use Plan Amendment and to rezone property from R-1, One-Family Residence District, to R-3 Multiple-Family Residence District with restrictions. She stated the 80.8-acre parcel of land is generally located South of NW 36th Street and east of NW Weigel Drive.

L.Hutzell said the applicant is proposing a Land Use Plan Map amendment that consists of 17.6 acres on the northern portion of the property. She said that the current future land use designation for this area is Low Density and the property owner is proposing to modify this to Medium Density Residential. The properties surrounding the amendment area are designated as High Density and Medium Density Residential to the east; Mixed Use to the west, and Low Density to the north and south.

L.Hutzell further reported that the applicant, Hardship Land, LLC, is requesting to rezone a total of 80.8 acres comprised of Area A and Area B, which are both currently zoned R-1. She said that neighboring properties to the west and south are zoned R-1, properties to the east are zoned R-3, Multiple Family Residence District and R-3, Multiple Family Residence District, restricted to single family residential. L.Hutzell stated that Area A consists of 17.6 acres and is proposed to be rezoned from R-1 One Family Residential District to R-3 Multiple-Family

Residence District, restricted to 10 units per acre. The proposed rezoning for Area A does not currently align with the Ankeny Plan 2040 Future Land Use Map as this area is currently identified as Low Density Residential and is the reason the applicant has proposed a Land Use Map Amendment. L.Hutzell further stated that the applicant is requesting the remaining 63.2 acres, Area B, which consists of two parcels be rezoned from R-1 One Family Residential District to R-3 Multiple Family Residence District, restricted to single family residential. She stated the proposed rezoning for Area B aligns with the Ankeny Plan 2040 Future Land Use Map. L.Hutzell proceeded to provide information to the Commission answering the questions that were raised from the Commission, and the public, during the public hearing on April 5, 2022. Information was presented on the 75-acre designation of Low Density, potential uses in the R-3 zoning restricted to 10 units per acre, drainage issues, traffic flow impacts and future development of the Trestle Ridge Estates park and streets. Staff recommends that the Plan and Zoning Commission recommend City Council approval of the request by Hardship Land LLC to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by Hardship Land LLC from Low Density to Medium Density Residential; to rezone Area A from R-1, One Family Residence District to R-3, Multiple Family Residence District, restricted to 10 units per acre; and to rezone Area B from R-1, One Family Residential District to R-3, Multiple Family Residence District, restricted to single family.

The applicant had nothing further to report.

Motion by L.West to recommend City Council approval of the request by Hardship Land LLC to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by Hardship Land LLC from Low Density Residential to Medium Density Residential. Second by T.Ripper. All voted aye. Motion carried 7 – 0.

Motion by A.Renaud to recommend City Council approval of the request by Hardship Land LLC to rezone Area A from R-1, One Family Residential District to R-3 Multiple-Family Residence District, restricted to 10 units per acre. Second by T.Rapp. All voted aye. Motion carried 7 – 0.

Motion by T.Flack to recommend City Council approval of the request by Hardship Land LLC to rezone Area B from R-1, One Family Residential District to R-3 Multiple Family Residence District, restricted to single family. Second by L.West. All voted aye. Motion carried 7 – 0.

REPORTS

City Council Meeting

E.Jensen reported on his attendance at the April 18, 2022 City Council meeting.

Director's Report

E.Jensen presented the tentative agenda items for the May 3, 2022 Plan and Zoning Commission meeting.

Commissioner's Reports

There were no reports.

MISCELLANEOUS ITEMS

May 2, 2022 – 5:30 p.m. City Council Meeting Representative: Staff

ADJOURNMENT

There being no further business, motion by T.Rapp to adjourn the meeting. Second by T.Flack. Meeting adjourned at 7:00 p.m.



Submitted by Brenda Fuglsang, Secretary
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

May 3, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

1075 SW Oralabor Road - Heartland Dental Clinic Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:






ACTION REQUESTED:

Action: Consider MOTION to approve the site plan for 1075 SW Oralabor Road, Heartland Dental Clinic.

ADDITIONAL INFORMATION:

ATTACHMENTS:

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 Map
 Staff Report
 Applicant Letter
 Site Plan
 Elevations - Color





*Plan and Zoning Commission
Staff Report*

Meeting Date: May 3, 2022

Agenda Item: 1075 SW Oralabor Road – Heartland Dental Clinic – Site Plan
Report Date: April 28, 2022
Prepared by: Bryan Morrissey *ETC*
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission approve the site plan for 1075 SW Oralabor Road, Heartland Dental Clinic.

Project Summary:

The subject property is generally located south of SW Oralabor Road and west of SW Highpoint Drive on the same parcel that contains a UnityPoint Clinic. The subject property is approximately 1.78 acres (+/-) in size and is zoned PUD, as this property is a part of the Highpointe North Planned Unit Development. The underlying zoning for the subject property within the PUD is C-2, General Retail and Highway Oriented Commercial District. Surrounding properties to the east, west, and south are all zoned PUD, while the DMACC Campus is located on the northern side of SW Oralabor Road. In addition to the existing UnityPoint Clinic on the site, the applicant is proposing to construct an approximate 4,270 square-foot dental clinic on the western portion of the same parcel.

The proposed dental clinic will be located on the west side of the subject site, opposite of where the existing UnityPoint building and associated access drives currently exist. At the moment, only the eastern portion of the site has been developed as it was anticipated that a second building would be constructed on the parcel at a later date. Currently, 26 parking stalls associated with the UnityPoint building exist on the site, while 27 additional parking stalls are proposed with the dental clinic development. In total, 53 parking stalls will exist on the site, meeting the minimum parking requirements for both the UnityPoint Clinic and the proposed Heartland Dental Clinic. Vehicular access will utilize the two-existing ingress/egress easements that are present on the Northwestern Bank site to access the development from Highpointe Drive. There will not be direct access from SW Oralabor Road.

The landscaping shown on the plans generally satisfy the open space, pavement shading, and screening requirements of the Code. Bushes and shrubs are shown along the northern property line to screen the parking area from SW Oralabor Road, while a combination of existing and proposed landscaping features are utilized to satisfy the remaining requirements. The proposed building will connect to the existing water main that runs along SW Oralabor Road to provide 4-inch water service, while 6-inch sanitary service will be provided by connecting to a sanitary line that was installed with the UnityPoint development. Storm water will be detained via the existing storm water management area on the south end of the site before ultimately conveying into Saylor Creek.

The exterior of the proposed building will be constructed primarily of E.I.F.S, concrete masonry units (CMU), siding, and glass. A base of CMU is present around the perimeter of the building, satisfying that particular requirement of the Code. Although the Code does not recognize all of the proposed materials as

being primary materials, the Highpointe North PUD architectural design standards do allow for these secondary materials in larger quantities. Additionally, the proposed materials were utilized in a similar fashion for the existing UnityPoint Clinic. In short, the proposed building satisfies the design standards of the PUD and will look notably similar to the existing UnityPoint Clinic on the site.

Site Plan Worksheet
1075 SW Oralabor Road – Heartland Dental Clinic – Site Plan

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The proposed building sits on the western half of the subject lot and runs north to south. The primary building façade faces north towards SW Oralabor Road and will be positioned similarly to the existing UnityPoint building on the site.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan generally complies with the landscaping and parking requirements of the Code. Both proposed and existing parking and landscaping features were used to fulfill said requirements.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides adequate parking and circulation for both buildings on the site. Code requires 26 parking stalls for the existing UnityPoint Clinic and 27 stalls for the proposed dental clinic. 26 stalls exist on the site currently and 27 will be installed with this development, meeting the minimum parking requirements of the Code.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The City's Traffic Engineering Division has deemed the size and use of the development to be appropriate for the surrounding streets. No further traffic analysis is needed as this second building had been anticipated previously.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

Parking stalls will be located on the north and south ends of the proposed building, similar to the layout of the existing UnityPoint Clinic. The parking stalls that face SW Oralabor Road will be screened with bushes and shrubs to provide headlight screening. Pavement shading requirements have been satisfied through the use of existing and proposed landscaping units.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

An existing trash enclosure was installed on the south end site with the construction of the UnityPoint Clinic. Both buildings on the site will utilize the lone trash enclosure.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

- 8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Lighting on the site will be directed away from adjoining properties and downward.

- 9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm water on the site will be collected from one of the multiple storm water intakes on the site before draining to the existing storm water management area on the south side of the proposed building.

- 10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The applicant is proposing to connect to the existing 12" water main that runs along the south side of SW Oralabor Road to provide the proposed building with 4" water service. 6" sanitary service will be provided by connecting to the existing sanitary line on the east side of the site that was installed with the UnityPoint building.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The proposed plans meet the open space requirements of the Code with the majority of the open space being provided on the south side of the proposed building.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The existing and proposed landscaping conforms and generally meets the requirements of the Code.

B. Building Design

- 1. Buildings shall have good scale and maintain or enhance the established scale of neighboring buildings and sites.**

The proposed 4,270 square-foot building is similar in size and scale to the existing commercial properties along SW Oralabor Road; including the existing building on the site. The building materials and design of the proposed structure generally align with the architectural design standards of the HighPointe North PUD. The proposed building elevations are very similar to the UnityPoint building on the site.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The materials utilized for the proposed building consist primarily of EIFS, concrete masonry units, and glass. These are allowable materials per the Highpoint North PUD.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There is one existing trash enclosure on the site that was previously installed with the UnityPoint building. The existing trash enclosure utilizes materials similar to what's shown on the building elevations for the proposed dental clinic. No additional trash enclosures or outdoor storage areas are associated with this development.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

This will be the second building on the site. Both buildings are similar in scale and utilize the same materials in similar quantities.

C. Signs

Final design and allowances of signage will be determined with future sign permits.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

- 1. Conformance to Design Standards and other applicable code requirements**

The plans submitted generally conform to the written regulations of the City.

2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.

The site layout is compatible with setbacks required by Code and the other sites in the neighboring area.

3. Layout and utilization of building, parking, drive-ways, and open spaces.

The layout and circulation system for traffic on the site is appropriate. A second building on the site was anticipated when plans for the first building were approved, and generally, these plans align with what was reviewed previously.

4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.

The proposed 4,270 square-foot building is comparable in style and size to the existing buildings within the HighPointe North PUD and along SW Oralabor Road.

5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.

It appears that the impact on these utility systems can be accommodated adequately.



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,
PLANNERS & SURVEYORS

April 22, 2022

City of Ankeny
Plan and Zoning Commission and City Council
410 West 1st Street
Ankeny, Iowa 50023

RE: Heartland Dental Clinic

Dear Plan and Zoning Commissioners and City Council Members:

On behalf of Hurd Ankeny, LLC, we respectfully submit herewith the Heartland Dental Clinic Site Plan in request for approval. This property consists of 1.78 acres and is located at 1075 SW Oralabor Road. This site plan was prepared in accordance with Ankeny's standards and meets the requirements of the Highpointe North Planned Unit Development. This project features the construction of a 4,270 SF dental clinic, 27 new parking spaces, site utility improvements, and landscaping throughout.

Please accept this submittal for the next available Planning & Zoning meeting. Please let us know if you have any questions or require any further information to complete your review

Sincerely,

CIVIL DESIGN ADVANTAGE

Keith Weggen, ASLA

Copy: Richard Hurd, Hurd Ankeny, LLC
Clark Snyder, Simonson & Associates Architects
File

SITE PLAN FOR: HEARTLAND DENTAL CLINIC

1075 SW ORALABOR ROAD

ANKENY, IOWA

INDEX OF SHEETS

NO.	DESCRIPTION
CO.1	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.1	DIMENSION PLAN
C3.1	GRADING PLAN
C4.1	UTILITY PLAN
C5.1	TRAIL DETOUR PLAN
L1.1	LANDSCAPE PLAN

LEGAL DESCRIPTION

LOT 2, HIGHPOINT NORTH PLAT 2, AN OFFICIAL PLAT OF THE CITY OF ANKENY, POLK COUNTY, IOWA.

ZONING

HIGHPOINT NORTH PUD - PLANNED UNIT DEVELOPMENT

PROJECT SITE ADDRESS

1075 SW ORALABOR ROAD

EXISTING/PROPOSED USE

EXISTING: DEVELOPED TO THE EAST, UNDEVELOPED TO THE WEST
PROPOSED: DENTAL CLINIC

DEVELOPMENT SUMMARY

AREA: 1.78 ACRES (77,532 SF)

BUILDING AREAS	
EXISTING BUILDING	
FOOTPRINT:	4,094 SF
GROSS FLOOR AREA (GFA):	5,983 SF
PROPOSED BUILDING	
FOOTPRINT:	4,270 SF
GROSS FLOOR AREA (GFA):	4,083 SF

SETBACKS	
FRONT:	35'
SIDE:	25'
REAR:	35'

IMPERVIOUS	
PROPOSED BUILDING:	4,270 SF
EXISTING BUILDING:	4,094 SF
PROPOSED PARKING AREAS:	4,990 SF
EXISTING PARKING AREAS:	4,443 SF
PROPOSED DRIVEWAYS:	4,047 SF
EXISTING DRIVEWAYS:	3,791 SF
PROPOSED SIDEWALK:	1,620 SF
EXISTING SIDEWALK:	1,314 SF
EXISTING TRASH ENCLOSURE:	215 SF
	28,784 SF (38%)

ERU CALCULATIONS	
IMPERVIOUS AREA:	28,784/4,000 SF
ERU:	8

PARKING	
REQUIRED	
CLINIC 1/150 SF OF GFA	26 SPACES
EXISTING CLINIC BUILDING:	22 SPACES
PROPOSED DENTAL CLINIC:	53 SPACES

PROVIDED	
EXISTING STANDARD:	24 SPACES
EXISTING ACCESSIBLE:	2 SPACES
PROPOSED STANDARD:	25 SPACES
PROPOSED ACCESSIBLE:	3 SPACES

DATE OF SURVEY

MARCH 28, 2022

BENCHMARKS

ANKENY BENCHMARK #536, CUT TRIANGLE ON EAST END OF HEADWALL @ DWAGG LAKE ON NORTH SIDE OF ORALABOR ROAD. ELEVATION = 928.628

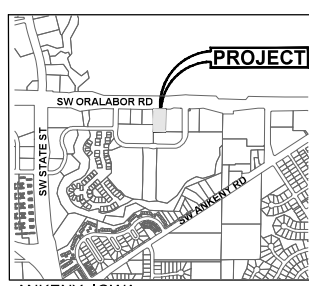
CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = MAY 2022
ANTICIPATED FINISH DATE = DECEMBER 2022

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

VICINITY MAP



OWNER/APPLICANT

HURD ANKENY LLC
2000 FULLER ROAD
WEST DES MOINES, IOWA 50265-5601
CONTACT: RICHARD HURD
EMAIL: RICHARD.HURD@HURDREALTY.COM
PH: (515) 225-1102

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
CONTACT: KEITH WEGGEN
EMAIL: KEITHW@CDA-ENG.COM
PH: (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
CONTACT: CHARLIE MCLOTHLEN
EMAIL: CHARLEM@CDA-ENG.COM
PH: (515) 369-4400

ARCHITECT

SIMONSON & ASSOCIATES ARCHITECTS, LLC
1717 INGERSOLL AVENUE #17
DES MOINES, IOWA 50308
CONTACT: CLARK SNYDER
EMAIL: CSNYDER@SIMONSONASSOC.COM
PH: (515) 440-5626

SUBMITTAL DATAS

SITE PLAN SUBMITTAL #1: 04/01/2022
SITE PLAN SUBMITTAL #2: 04/22/2022



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE, URBANDALE, IOWA 50322

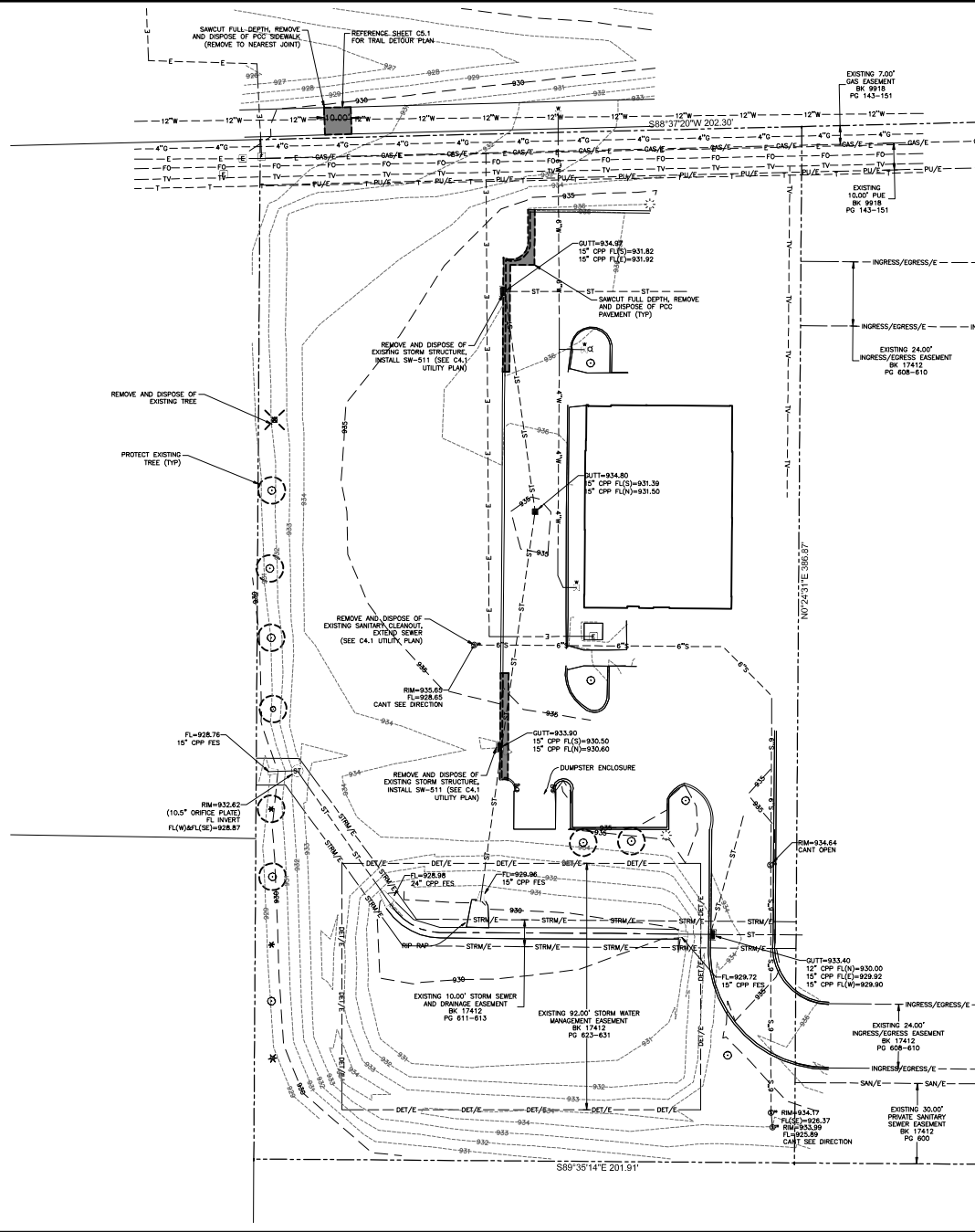
PH: (515) 369-4400

PROJECT NO. 2203.169

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2022 EDITION OF THE SDGAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

	<p>I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE. I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE PROVISIONS OF THE IOWA PROFESSIONAL ENGINEERING ACT.</p> <p>DATE: 04/22/2022</p> <p>ALL SHEETS</p>
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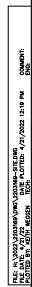


DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILING, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY E.O.M. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSURE SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERN MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPPING WILL NEED TO COMPLY WITH MUTCD, MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.



1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE JOBS DESIGNER SHALL PROVIDE SURVEY DATA, ELEVATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT STANDARD SPECIFICATIONS FOR PLANTING.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, YOGS AND DEFECTS, AND WITH THE FOLLOWING SPECIFICATIONS:
 - a. SPECIES AND VARIETY
 - b. BACKGIRT TO TOP OF SOIL (MINUS 1 1/2" FOR SOIL, 6" REG.)
 - c. HEIGHT TO TOP OF CURB (MINUS 1 1/2" FOR SOIL, 6" REG.)
5. ALL TREES AND SHRUBS SHALL BE PLANTED IMMEDIATELY AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
6. ALL TREES AND SHRUBS SHALL BE PLACED AGAINST ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A MINIMUM DEPTH OF 3".
7. TREES AND SHRUBS SHALL BE PLANTED AS FOLLOWS:
 - a. PLANTING QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF THERE IS A DISCREPANCY.
 - b. ALL TREES SHALL BE PLANTED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF THE PROJECT.
8. CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION.
9. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

SITE AREA: 77,532 SF TOTAL (1.8 ACRES)

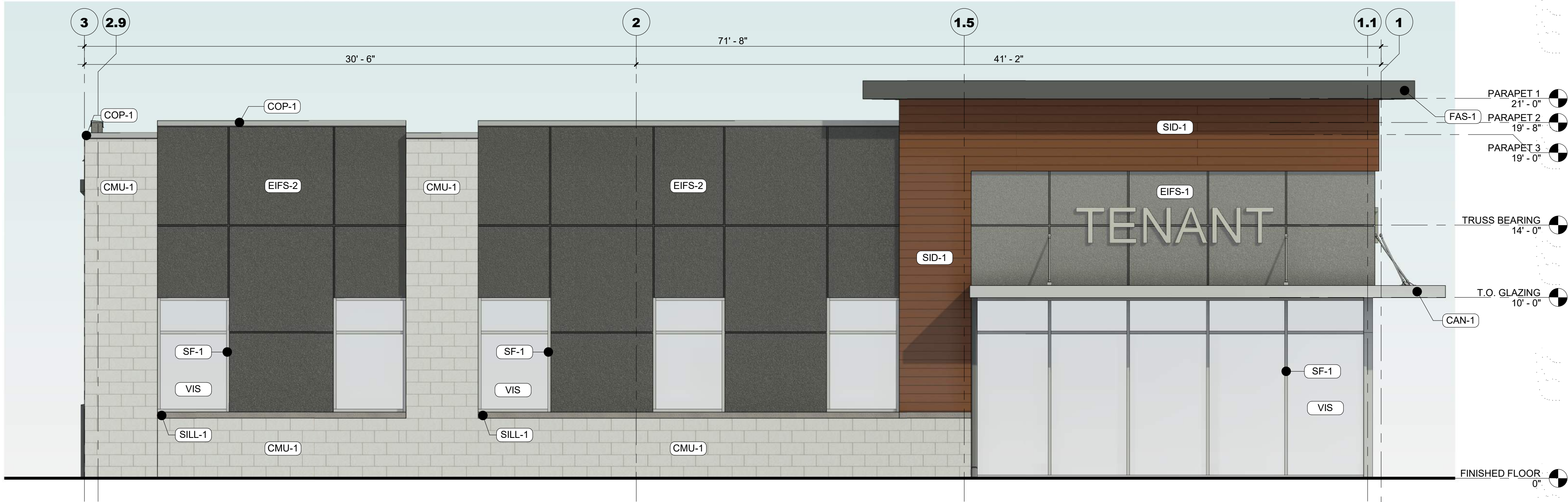
<u>OPEN SPACE REQUIREMENTS</u>	
OPEN SPACE REQUIRED	15,606 SF (20%)
OPEN SPACE PROVIDED	48,042 SF (62%)
<u>OPEN SPACE PLANTING REQUIREMENTS</u>	
(2 TREES & 3 SHRUBS PER 1,000 SF OF REQUIRED OPEN SPACE)	
<u>REQUIRED:</u>	
TREES:	11 TREES
SHRUBS:	16 SHRUBS
<u>EXISTING:</u>	
TREES:	10 TREES
SHRUBS:	16 SHRUBS
<u>PROPOSED:</u>	
TREES:	1 TREES
SHRUBS:	32 SHRUBS
<u>TOTAL PROVIDED:</u>	
TREES:	11 TREES
SHRUBS:	32 SHRUBS

20% OF ALL PARKING AREA MUST BE SHADED

TOTAL PAVEMENT:	17,271 SF
20% OF PAVEMENT:	3,454 SF
3,454 SF / 707 (30" DIA. TREE):	5 TREES
TREES EXISTING:	5 TREES
TREES PROPOSED:	<u>3 TREES</u>
TOTAL:	<u>8 TREES</u>

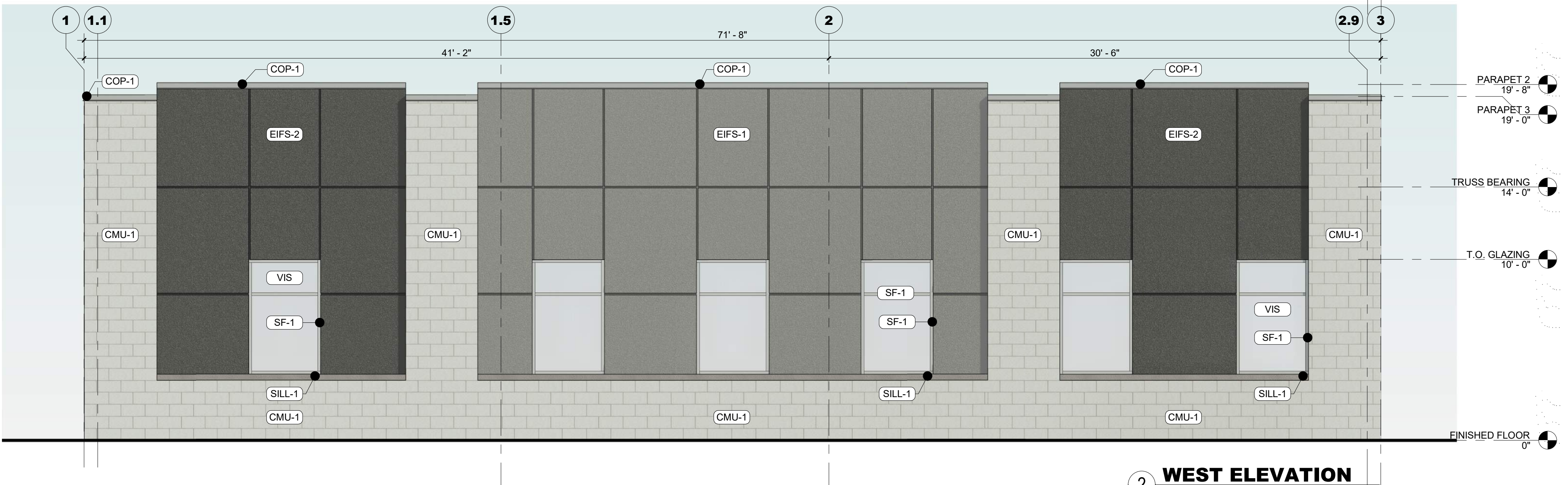
PLANT SCHEDULE				
TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AC	3	Ormsen Street Norway Maple	<i>Acer platanoides 'Ormsen Sentry'</i>	BAB, 2' CALIPER
TG	1	Greenspire Littleleaf Linden	<i>Tilia cordata 'Greenspire'</i>	
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
TD	10	Compact Burning Bush	<i>Eurospora alata 'Compaqua'</i>	CONT, 3 GAL
FLB	6	Flne Line Aler Buckthorn	<i>Rhamnus frangula 'Tom Williams'</i>	CONT, 3 GAL
GS	4	Goldflame Spirea	<i>Spiraea japonica 'Goldflame'</i>	CONT, 3 GAL
JF	6	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	CONT, 3 GAL
WRE	5	Wine & Roses Weigela	<i>Weigela florida 'Alexandra T'</i>	CONT, 3 GAL





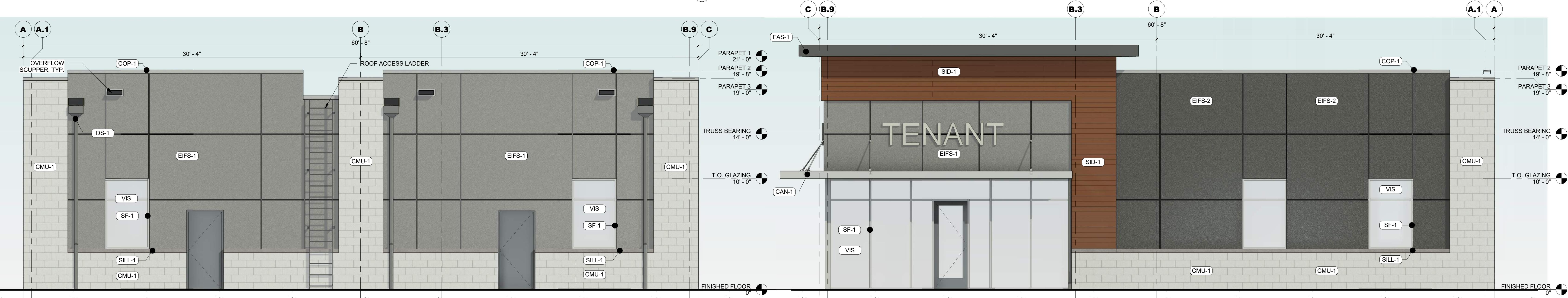
1 EAST ELEVATION

SCALE: 1/4" = 1'-0"



2 WEST ELEVATION

SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

4 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND	
MAT. LABEL	MATERIAL DESCRIPTION
CAN-1	PRE-ENGINEERED METAL CANOPY (INSTALLED PER MFR.); MAPES OR APPROVED EQUIV.; COLOR: CLEAR ANODIZED
CMU-1	8"x4"x16 CONCRETE MANSORY UNIT: ANCHOR BURNISH BLOCK; COLOR: WINTER WHITE; NATURAL MORTAR
COP-1	PREFINISHED METAL COPING; COLOR: SW7024 FUNCTIONAL GREY
DS-1	PREFINISHED METAL DOWNSPOUT AND SCUPPER; COLOR: SW7024 FUNTIONAL GREY
EIFS-1	EXTERIOR INSULATION FINISHED SYSTEM; FINE FINISH; COLOR: SW7024 FUNCTIONAL GREY
EIFS-2	EXTERIOR INSULATION FINISHED SYSTEM; FINE FINISH; COLOR: SW7026 GRIFFIN
FAS-1	PREFINISHED METAL FASCIA; COLOR: SW7024 FUNCTIONAL GRAY
SF-1	T.B. ALUMINUM STOREFRONT FRAMING: CLEAR ANODIZED FINISH
SID-1	SIDING: 5/4"x6" TREX DECKING W/ RAIN SCREEN W/ BUTT JOINT; COLOR: TIKI TORCH
SILL-1	CAST STONE SILL W/ DRIP EDGE
VIS	1" INSULATED VISION GLASS: CLEAR W/ LOW E COATING

MISC EXTERIOR MATERIAL FINISHES

TYPICAL U.O.N.

- EXPOSED CONCRETE: GRIND SMOOTH & RUB/COAT WITH CEMENT SLURRY.
- BOLLARDS: CONCRETE FILLED STEEL BOLLARDS PAINTED SAFETY YELLOW.
- EXPOSED LINTELS: GALVANIZED & PAINTED TO MATCH ADJACENT MATERIAL ABOVE.
- FASCIA & SOFFIT: METAL PREFINISHED SW7024 FUNCTIONAL GRAY.
- SCUPPERS, GUTTERS & DOWNSPOUTS: METAL PREFINISHED SW7024 FUNCTIONAL GREY.
- CAULKS & SEALANTS: COLOR MATCHED TO ADJACENT MATERIAL.
- HOLLOW METAL MAN DOORS & FRAMES: PAINTED TO MATCH ADJACENT MATERIAL.
- LIGHT FIXTURES: METAL PRE-FINISHED HOUSINGS TO MATCH ADJ. OPENING FRAMING.
- MECHANICAL EQUIPMENT: IF NOT SCREENED, COLOR TO MATCH ADJACENT MATERIAL.
- EXTERIOR UTILITY EQUIPMENT: IF ALLOWED, PAINTED TO MATCH ADJACENT MATERIAL.

MATERIAL CALCULATIONS (CITY OF ANKENY HIGHPOINTE NORTH PUD)		
NORTH ELEVATION (FRONT)		1,217 SF TOTAL
GLASS =	272 SF	22.0%
CMU =	201 SF	17.0%
E.I.F.S. =	585 SF	48.0%
COMPOSITE =	159 SF	13.0%
BUILDINGS WITHIN HIGHPOINTE NORTH SHALL BE CONSTRUCTED OF PERMANENT MATERIALS SUCH AS BRICK, ARCHITECTURAL PRECAST PANELS, STONE, STUCCO/E.I.F.S., AND GLASS.		
EAST ELEVATION		1,466 SF TOTAL
GLASS =	383 SF	26.0%
CMU =	302 SF	21.0%
E.I.F.S. =	621 SF	42.0%
COMPOSITE =	159 SF	11.0%
BUILDINGS WITHIN HIGHPOINTE NORTH SHALL BE CONSTRUCTED OF PERMANENT MATERIALS SUCH AS BRICK, ARCHITECTURAL PRECAST PANELS, STONE, STUCCO/E.I.F.S., AND GLASS.		
SOUTH ELEVATION		1,178 SF TOTAL
FENESTRATION =	98 SF	08.0%
CMU =	382 SF	33.0%
E.I.F.S. =	697 SF	59.0%
COMPOSITE =	0 SF	00.0%
BUILDINGS WITHIN HIGHPOINTE NORTH SHALL BE CONSTRUCTED OF PERMANENT MATERIALS SUCH AS BRICK, ARCHITECTURAL PRECAST PANELS, STONE, STUCCO/E.I.F.S., AND GLASS.		
WEST ELEVATION		1,399 SF TOTAL
GLASS =	152 SF	36.0%
CMU =	508 SF	11.0%
E.I.F.S. =	739 SF	53.0%
COMPOSITE =	0 SF	00.0%
BUILDINGS WITHIN HIGHPOINTE NORTH SHALL BE CONSTRUCTED OF PERMANENT MATERIALS SUCH AS BRICK, ARCHITECTURAL PRECAST PANELS, STONE, STUCCO/E.I.F.S., AND GLASS.		

HURD

This drawing has been prepared by the Architect, or under the Architect's direct supervision. This drawing is provided as an instrument of service by the Designer / Architect and is intended for use on this project only. Any reproduction, use, or disclosure of information contained herein without the prior written consent of the Architect is strictly prohibited. (C) Copyright 2021 by Simonson & Associates Architects, L.L.C.

HEARTLAND DENTAL

1075 SW ORALABOR RD

ANKENY, IA

04/20/2022

simonson

simonson & associates architects LLC

1717 ingersoll avenue suite 117 des moines ia 50309

phn 515 440 5626 www.simonsonassoc.com

24"x36" SHEET (FULL SIZE)
SCALE IS AS NOTED
12"x18" SHEET (HALF SIZE)
SCALE IS ONE-HALF OF WHAT IS NOTED
OTHER SHEET SIZES NOT TO SCALE

SAA JOB #: 20045A



PLAN AND ZONING COMMISSION

May 3, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Canyon Landing Townhomes Plat 1 Final Plat and Canyon Landing Townhomes Site Plan

EXECUTIVE SUMMARY:

Staff report attached.

FISCAL IMPACT: **Yes**

Cost-participation request for upsizing public water mains to 12-inch and 16-inch mains and sidewalk oversizing along NE 18th Street in the amount estimated to be \$40,759.00.

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:







ACTION REQUESTED:

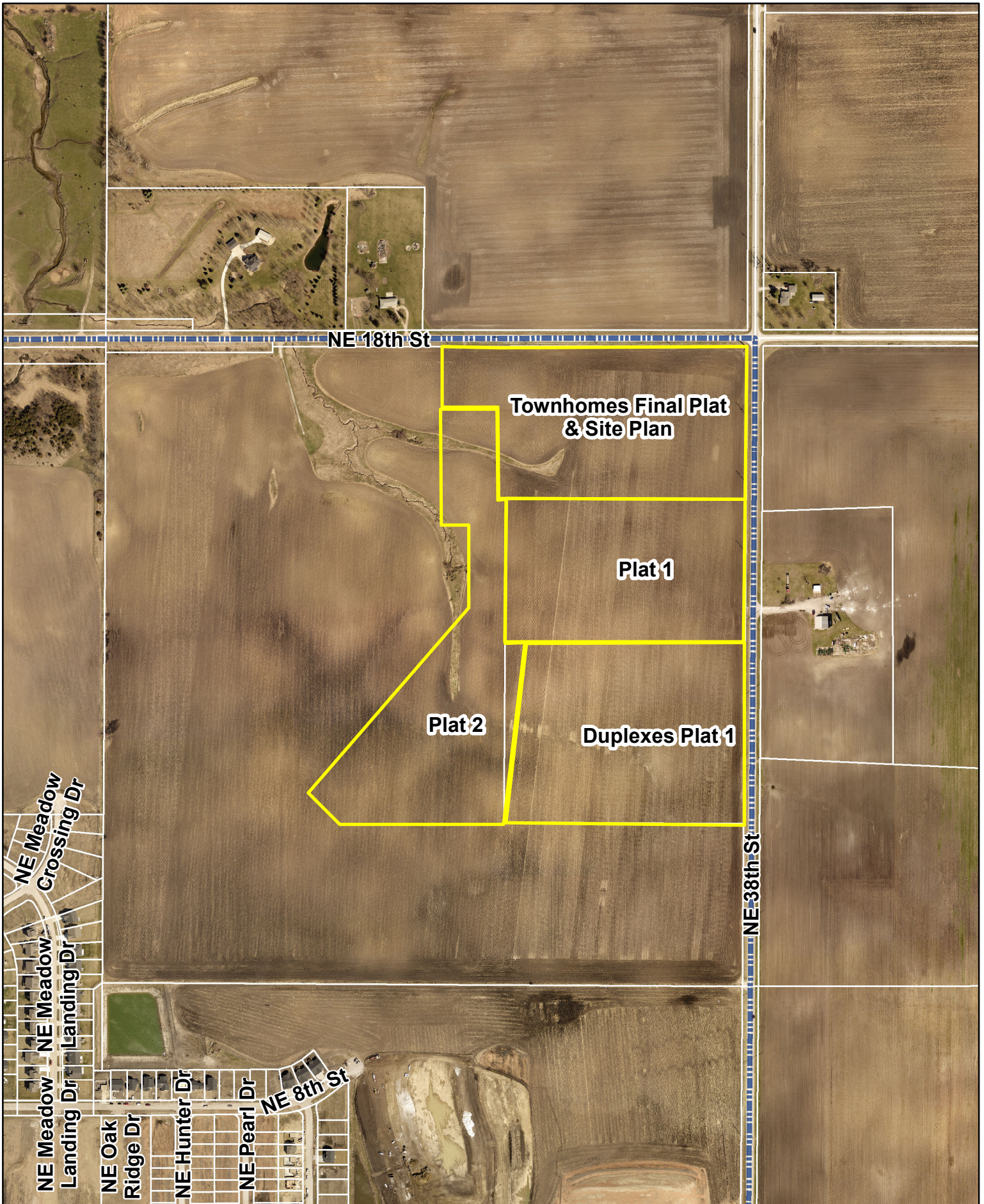
Action: Consider MOTION to recommend City Council approval of Canyon Landing Townhomes Plat 1 Final Plat, and recommend City Council authorization of cost-participation request for upsizing public water mains to 12-inch and 16-inch mains and sidewalk oversizing along NE 18th Street in the amount estimated to be \$40,759.00.

Action: Consider MOTION to approve Canyon Landing Townhomes Site Plan, subject to recordation of the final plat; and acceptance of the private street names NE Mongoose Lane and NE Spear Lane.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download
 Aerial Map
 Staff Report
 Applicant Letter
 Final Plat
 Site Plan
 Elevations



1 inch = 500 feet
Date: 4/28/2022

Canyon Landing Plat Map



*Plan and Zoning Commission
Staff Report*

Meeting Date: April 19, 2022

Agenda Item: Canyon Landing Townhomes Final Plat and Site Plan

Report Date: April 14, 2022

Prepared by: Jake Heil, EJC
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of Canyon Landing Townhomes Plat 1 Final Plat; and recommend City Council authorization of cost-participation for upsizing of public water mains to 12-inch and 16-inch mains and sidewalk oversizing along NE 18th Street in the amount estimated to be \$40,759.00.

That the Plan and Zoning Commission approve Canyon Landing Townhomes Site Plan subject to recordation of the final plat; and acceptance of the private street names NE Mongoose Lane and NE Spear Lane.

Project Summary:

Stubbs Development Inc. has proposed Canyon Landing Townhomes, a 16.76-acre final plat and site plan located south of NE 18th Street and west of NE 38th Street. Canyon Landing Townhomes Plat 1 includes 143 lots that range from 4-plexes to 6-plexes townhomes, two outlots, three street lots and associated utility easements and improvements. Outlot Y contains the open space and private streets of Plat 1, while Outlot Z will be developed at a later date as Canyon Landing Townhomes Plat 2. The subject property is considered to be a portion of the Townhome bulk regulations within the Canyon Landing PUD, and is in general conformance with the Canyon Landing PUD that was approved by the City Council February 7, 2022.

Project Report:

The general layout of the project site shows 143 attached townhomes in 4-plex to 6-plex layouts. Each attached townhome building will be separated at least 15-feet from any other attached townhome building. Additionally, there is a 35-foot perimeter setback around the entire perimeter of the townhome area, which will include a buffer easement with landscaping. The project also includes the development of three private streets; NE 17th Lane, NE Mongoose Lane and NE Crossing Oaks Lane. Access to the proposed development is provided by NE 17th Lane and NE Mongoose Lane off of NE Deerfield Drive.

Eight-inch water and eight-inch sanitary service will be provided throughout the proposed development and will connect to the existing services off of NE Deerfield Drive. 16-inch water main will be extended north along NE 38th Street, and a 12-inch water main will be extended east along NE 18th Street. Storm sewer pipes will run throughout the entirety of the development leading to a stormwater management area west of the plat area. Storm water will then flow west via a drainage ditch before ultimately conveying into Four Mile Creek.

A landscaping plan has been included as part of the site plan. Screening has been provided along all of the site's boundaries. This screening is in conformance with the landscaping guidelines laid out in the Canyon Landing PUD. Headlight screening adjacent to the open parking stalls has also been included. All other open space and landscaping requirements have been met. Additionally, the applicant has deferred park site dedication until a future phase of the Development. A total of 387 parking stalls are required for a development of this kind. The site proposes 398 parking stalls in total. 344 parking stalls are provided at each unit in the form of garages and driveways, and an additional 54 parking stalls are provided throughout the site, meeting the minimum parking requirements.

Elevations for the townhomes have been included with the site plan. Elevations for the townhomes include the use of stone, board and batten siding, and lap siding. The developer is proposing four different elevation types, two elevation types for the 20-foot wide units and two for the 26-foot wide units. Each unit type has an interior lot elevation that meets the 10% required building materials and 3-foot base, and an exterior unit type, for units along NE 18th Street, NE 38th Street and NE Deerfield Drive, that meets the 40% required building materials and 3-foot base. Variety between the unit types is further provided with the use of different materials on an elevation type, by utilizing a board and batten siding option or a lap siding option. Additionally, the developer has stated that the same color package will not be built next to each other. Examples of colors options have been provided in the renderings provided, showing brown, white and navy blue.

**CITY OF ANKENY
SUBDIVISION DATA**

NAME OF PLAT: Canyon Landing Townhomes Plat 1
NAME OF OWNER/DEVELOPER: Stubbs Development, Inc.

GENERAL INFORMATION:

PLAT LOCATION: South of NE 18th Street, west of NE 38th Street
SIZE OF PLAT: 16.76 acres
ZONING: Canyon Landing PUD

LOTS:

NUMBER: 143 townhome lots
SIZE/DENSITY: 8.53 units per acre
USE: Residential
BUILDING LINES: R-3: Multiple Family Residence District
Front: 30 feet from internal ROW
Rear: 35 feet (with a minimum 35-foot buffer around the property)
Building separation: 15 feet

PARK SITE DEDICATION: Parkland dedication requirement for Townhomes Plat 1 is 0.92 acres, but parkland is not proposed with this plat. The developer will be dedicating 13.16 acres of parkland with a future Canyon Landing Plat. The total park dedication for the Canyon Landing PUD is estimated at 13.20 acres. Any additional parksite dedication required would be by payment in lieu of land dedication.

ADJACENT LANDS:

NORTH: Cropland zoned AG, Agricultural
SOUTH: Canyon Landing PUD – Plat 1
EAST: Canyon Landing PUD – Plat 2 and future plat
WEST: Cropland zoned AG, Agricultural

STREET DEVELOPMENT:

All proposed streets in the development will be private.

WASTE WATER:

PROJECTED FLOWS: 16.76 acres of developable land X 990 gal. per day/pers.= 16,592.4 GPD

TREATMENT PLANT CAPACITY: Design: 47 MGD; current daily avg. 18 MGD.

STORM WATER:

BASIN FLOWS: This plat lies in the Four Mile Creek Drainage Basin

WATER SYSTEM:

USAGE: 143 units X 3 pers. per house X 100 gal. per day/person = 42,900 GPD

SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD

FINAL PLAT DRAWING: Staff recommends approval.

CONSTRUCTION PLANS: To be approved by staff.



STUBBS ENGINEERING

431 NE 72nd St. Pleasant Hill, IA 50327

04/22/22

City Council & Planning and Zoning Commission

City of Ankeny

Canyon Landing Townhomes Plat 1 and Canyon Landing Townhomes Site Plan Approval Request and Cost Participation

Stubbs Engineering, on behalf of Stubbs Development, requests approval for Canyon Landing Townhomes Plat 1 Construction Plans and Canyon Landing Townhomes Site Plan— a townhome development within the Canyon Landing development. It is located southwest of the intersection of NE 18th ST and NE 38th ST, approximately 5.2 acres, containing 143 units of Townhomes. Listed below are the cost shares for cost participation based on comments from the city staff:

- \$25.00/LF on all 16" water main
- \$13.75/LF on all 12" water main
- \$10.50/LF on 8' sidewalk

The developer would like to request the following cost share participation from the city of Ankeny per city staff's comments:

- 16" water main: 654LF * \$25.00/LF = **\$16,350**
- 12" water main: 981LF * \$13.75/LF = **\$13,489**
- 8' sidewalk: 1040LF * \$10.50/LF = **\$10,920**

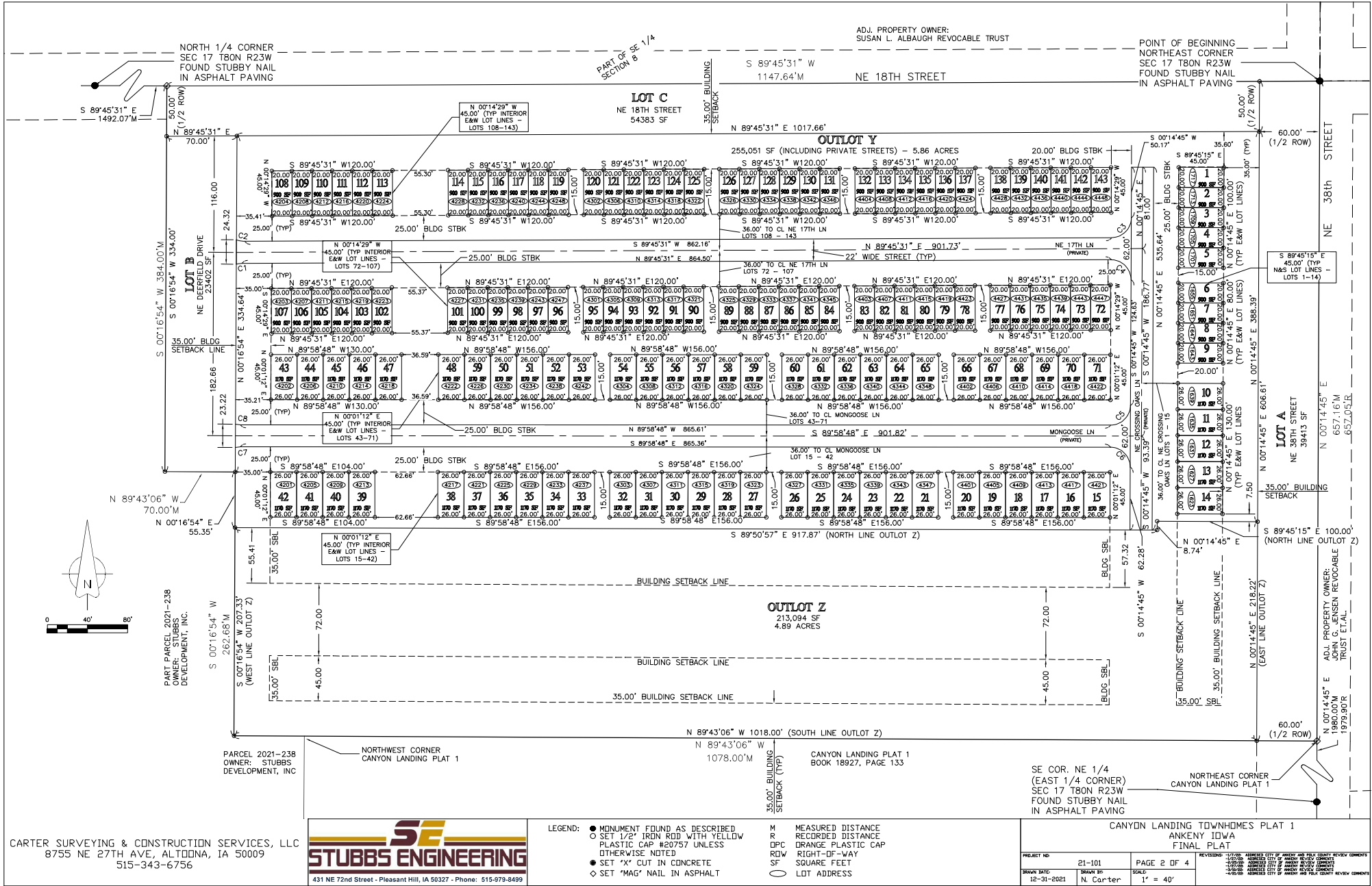
Total Cost Share Requested: **\$40,759**

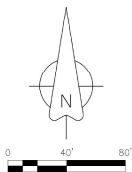
Sincerely,

Stubbs Engineering

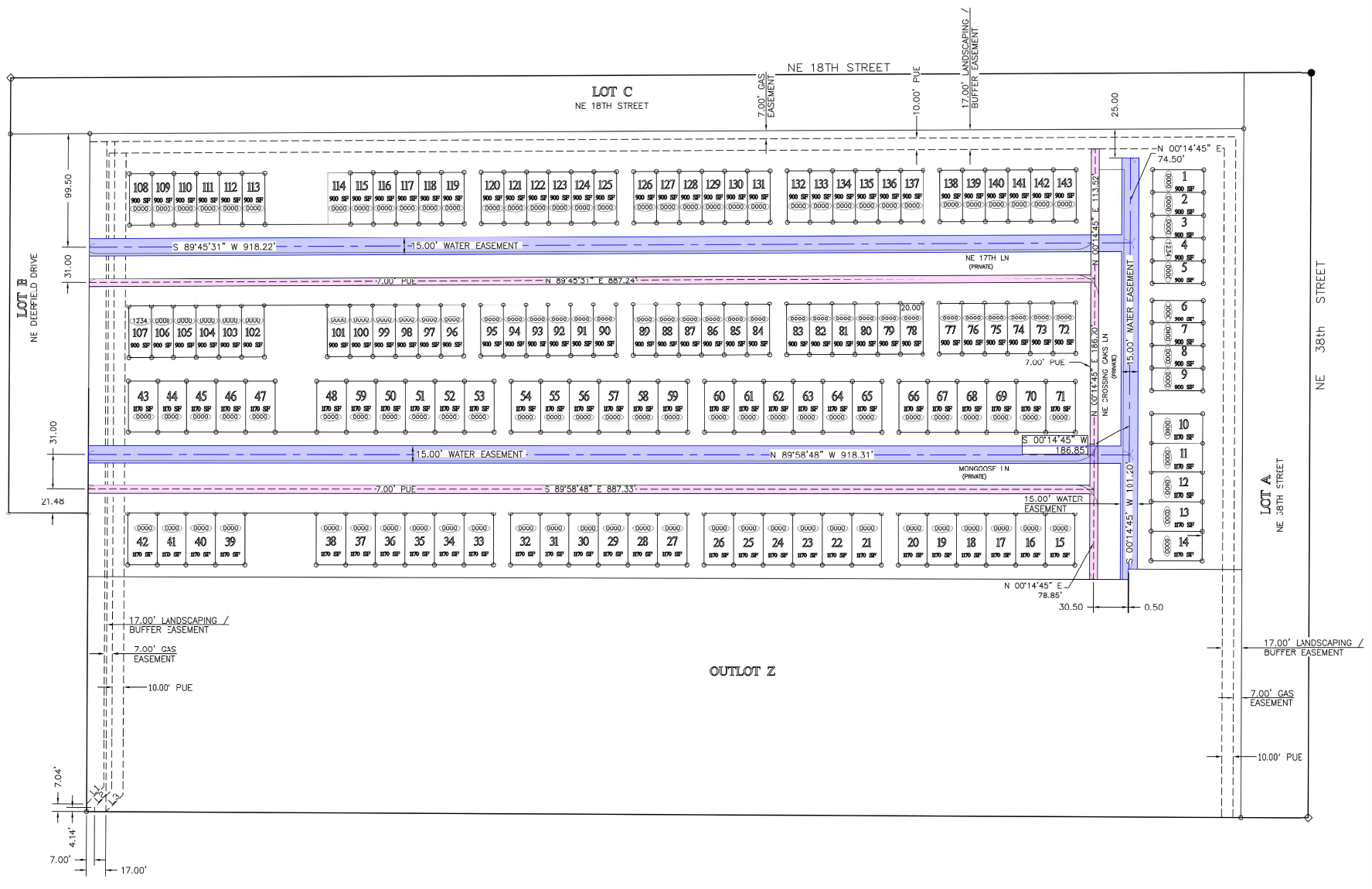
Branden Stubbs

Branden Stubbs, P.E.





PROJECT NO	21-101	PAGE 3 OF 4	REVISIONS
DRAWN DATE	DRAWN BY	SCALE	
12-31-2021	N. Carter	1' = 40'	-1/2/2019 ADDRESS CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS -1/27/2019 ADDRESS CITY OF ANKENY REVIEW COMMENTS -2/25/2019 ADDRESS CITY OF ANKENY REVIEW COMMENTS -3/13/2019 ADDRESS CITY OF ANKENY REVIEW COMMENTS -3/31/2019 ADDRESS CITY OF ANKENY REVIEW COMMENTS -4/25/2019 ADDRESS CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS



CARTER SURVEYING & CONSTRUCTION SERVICES, LLC
8755 NE 27TH AVE, ALTOONA, IA 50009
515-343-6756



LEGEND: ● MONUMENT FOUND AS DESCRIBED
○ SET 1/2" IRON ROD WITH YELLOW PLASTIC CAP #20757 UNLESS OTHERWISE NOTED
◆ SET "X" CUT IN CONCRETE
◇ SET "MAG" NAIL IN ASPHALT

M R DPC ROW SF
MEASURED DISTANCE
RECORDED DISTANCE
ORANGE PLASTIC CAP
RIGHT-OF-WAY
SQUARE FEET
LOT ADDRESS

CANYON LANDING TOWNHOMES PLAT 1- EASEMENTS 2 ANKENY IOWA FINAL PLAT

PROJECT NO.	21-101	PAGE 4 OF 4	REVISIONS:
DRAWN DATE	12-31-2021	SCALE 1" = 40'	<1/27/2021> AMENDED CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS <2/2/2021> AMENDED CITY OF ANKENY REVIEW COMMENTS <2/2/2021> AMENDED CITY OF ANKENY REVIEW COMMENTS <2/2/2021> AMENDED CITY OF ANKENY REVIEW COMMENTS <2/2/2021> AMENDED CITY OF ANKENY REVIEW COMMENTS

ZONING:

FUD (R-3 ZONING REGULATIONS)

BULK REGULATIONS (R-3):

LOT AREA:

ONE-FAMILY DETACHED DWELLING - 8,000 SF
ONE-FAMILY ATTACHED DWELLING - 5,000 SF
TWO-FAMILY DWELLING - 10,000 SF
MULTIPLE-FAMILY DWELLING OR OTHER PERMITTED USE CONTAINING THREE DWELLING UNITS - 12,500 SF, AND AN ADDITIONAL 1,500 SF FOR EACH DWELLING UNIT THEREAFTER

LOT WIDTH:

ONE-FAMILY DETACHED DWELLING - 85 FEET
ONE-FAMILY ATTACHED DWELLING - 40 FEET
TWO-FAMILY DWELLING - 75 FEET
MULTIPLE-FAMILY DWELLING AND OTHER PERMITTED USES - 100 FEET
ROW DWELLING - 85 FEET MINIMUM FOR UP TO THREE UNITS, AND 25 FEET FOR EACH ADDITIONAL UNIT

FRONT YARD:

30 FEET

SIDE YARD:

ONE AND TWO-FAMILY DWELLING UNITS:
ONE STORY:
TOTAL SIDE YARD - 15 FEET
MINIMUM ON ONE SIDE - 7 FEET
MINIMUM FOR AN ATTACHED DWELLING OPEN SIDE YARD - 7 FEET
MORE THAN ONE STORY:
TOTAL SIDE YARD - 17 FEET
MINIMUM ON ONE SIDE - 8 FEET
MINIMUM FOR AN ATTACHED DWELLING OPEN SIDE YARD - 8 FEET

REAR YARD:

35 FEET PLUS ONE FOOT FOR EACH FOOT OF BUILDING ABOVE 35 FEET

MAXIMUM HEIGHT:

PRINCIPAL BUILDING - 45 FEET (SEE CODE FOR EXCEPTIONS)
GARAGE - 14 FEET
ACCESSORY BUILDING, OTHER THAN GARAGE - 12 FEET

SITE AREA:

14.07 ACRES (612,685 SF)

OWNER/DEVELOPER:

STUBBS DEVELOPMENT
1235 34TH ST SE
ALTOONA, IA 50009
CONTACT: DAVE STUBBS
PHONE: (515) 979-8983

ENGINEER:

STUBBS ENGINEERING
431 NE 72ND ST
PLEASANT HILL, IA 50327
CONTACT: BRANDEN STUBBS
PHONE: (515) 979-8499

ERU CALCULATIONS:

IMPERVIOUS SURFACE:
TOWNHOMES =214,067 SF
DRIVEWAYS =69,676 SF
PAVE =80,929 SF
SIDEWALKS =29,011 SF
TOTAL IMPERVIOUS SURFACE =393,683 SF

1 ERU / UNIT = 99

BENCHMARK:

CITY BENCHMARK #700:
SOUTHEAST UPPER FLANGE BOLT ON THE HYDRANT AT THE WEST SIDE OF NORTHWEST IRVINEDALE DRIVE AT WATERFRONT AT BOULDER BROOK
ELEVATION=949.573

PROPERTY DESCRIPTION:

AN IRREGULAR SHAPED PORTION OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 17, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., BEING A PART OF PARCEL 2020-153 AS RECORDED IN BOOK 18157, PAGE 321, ANKENY, POLK COUNTY, IOWA DESCRIBED AS FOLLOWS:
BEGINNING AT THE NEW CORNER OF SAID SECTION 17, THENCE S00°14'34"W ALONG THE EAST LINE OF SAID NE 1/4 SECTION 17 857.28 FEET TO THE NE CORNER OF PARCEL 2020-154 AS RECORDED IN BOOK 18157, PAGE 321;
THENCE N89°43'06"W, ALONG THE NORTH LINE, AND LINE EXTENDED, OF SAID PARCEL 2020-154 1078.05 FEET; THENCE N00°16'54"E 647.37 FEET TO THE NORTH LINE OF SAID NE 1/4 SECTION 17; THENCE N89°45'17"E ALONG THE NORTH LINE OF THE NE 1/4 OF SAID SECTION 17 1077.65 FEET TO THE POINT OF BEGINNING BEING THE NE CORNER OF SAID SECTION 17.

SAID TRACT CONTAINS 18.14 ACRES MORE OR LESS

AND

AN IRREGULAR SHAPED PORTION OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 17, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., BEING A PART OF PARCEL 2021-238 AS RECORDED IN BOOK 18903, PAGE 797, ANKENY, POLK COUNTY, IOWA DESCRIBED AS FOLLOWS:
BEGINNING AT THE NE CORNER OF SAID SECTION 17, THENCE S00°14'45"W ALONG THE EAST LINE OF SAID NE 1/4 SECTION 17, 657.16 FEET TO THE NE CORNER OF PARCEL 2020-154 AS RECORDED IN BOOK 18157, PAGE 321, SAID POINT ALSO BEING THE SOUTHEASTERLY CORNER OF SAID PARCEL 2021-238;
THENCE N89°43'06"W, ALONG THE NORTH LINE, AND LINE EXTENDED, OF SAID PARCEL 2020-154 1078.00 FEET; THENCE N00°16'54"E 262.68 FEET; THENCE S89°50'57"E 917.87 FEET; THENCE N00°14'45"E 8.74 FEET; THENCE S89°45'15"E 160.00 FEET TO THE EAST LINE OF THE NE 1/4 OF SAID SECTION 17; THENCE S00°14'45"W ALONG THE EAST LINE OF THE NE 1/4 OF SAID SECTION 17 218.25 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINS 5.19 ACRES MORE OR LESS

SITE PLAN

FOR

CANYON LANDING TOWNHOMES

ANKENY, IA

PREPARED BY

STUBBS ENGINEERING

NOTE:
SITE PLAN SHALL GOVERN ANY
DISCREPANCY BETWEEN ESTIMATED
QUANTITIES AND SITE PLAN.

VICINITY MAP



PROJECTED QUANTITIES

NUMBER	ITEM	UNIT	TOTAL
	STORM SEWER		
1	STORM SEWER, TRENCHED, PVC, 12" DIA	LF	1775
2	STORM SEWER, TRENCHED, PVC, 15" DIA	LF	833
3	STORM SEWER, TRENCHED, PVC, 18" DIA	LF	956
4	STORM SEWER, TRENCHED, PVC, 24" DIA	LF	213
5	STORM SEWER, TRENCHED, PVC, 30" DIA	LF	216
6	STORM SEWER, TRENCHED, PVC, 36" DIA	LF	30
7	NYLOPLAST INTAKE WITH GRATE, 15"	EA	14
8	NYLOPLAST INTAKE WITH GRATE, 18"	EA	7
9	NYLOPLAST INTAKE WITH GRATE, 24"	EA	7
10	NYLOPLAST INTAKE WITH GRATE, 30"	EA	2
11	NYLOPLAST INTAKE WITH GRATE, 36"	EA	1
12	NYLOPLAST INTAKE WITH GRATE, 42"	EA	1
13	INTAKE, SW-501	EA	3
14	INTAKE, SW-503	EA	3
15	INTAKE, SW-511	EA	37
16	MANHOLE, SW-401, 48"	EA	2
	PAVEMENT		
1	SUBGRADE PREPARATION	SY	9857
2	PAVEMENT, 6" PCC	SY	9036
3	SIDEWALK, 4" PCC	SY	3224
4	SIDEWALK RAMP, 4" PCC	EA	6
5	CAST IRON DETECTABLE WARNING, 2' X 4'	EA	6

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- 15 - LANDSCAPING

LEGEND:

-E W- EXISTING WATER
-E ST- EXISTING STORM
-E SS- EXISTING SANITARY
-P W- PROPOSED WATER
-P ST- PROPOSED STORM
-P SS- PROPOSED SANITARY
-F O- FIBER OPTIC
⚡ FIRE HYDRANT
⛑ WATER MAIN VALVE
⛑ STORM INTAKE
⛑ STORM FLARED END
⊙ STORM MANHOLE
⊙ SANITARY MANHOLE
— STREET LIGHT



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

BRANDEN W. STUBBS, P.E.

DATE

LICENSE NUMBER: 25335

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022

PAGES OR SHEETS COVERED BY THIS SEAL:

DATE:

04-22-22

DRAWN BY:

DJS

ENGINEER:

BWS

PROJECT NUMBER:

21-395

PAGE NUMBER:

1

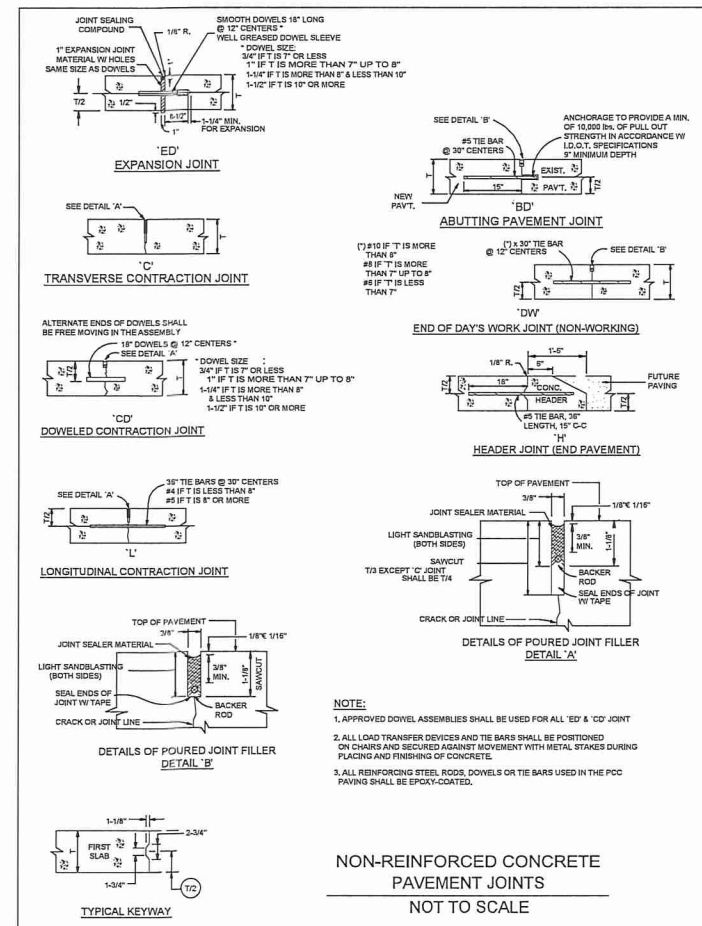
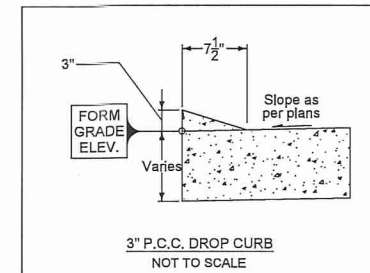
CANYON LANDING TOWNHOMES
ANKENY, IA

STUBBS ENGINEERING

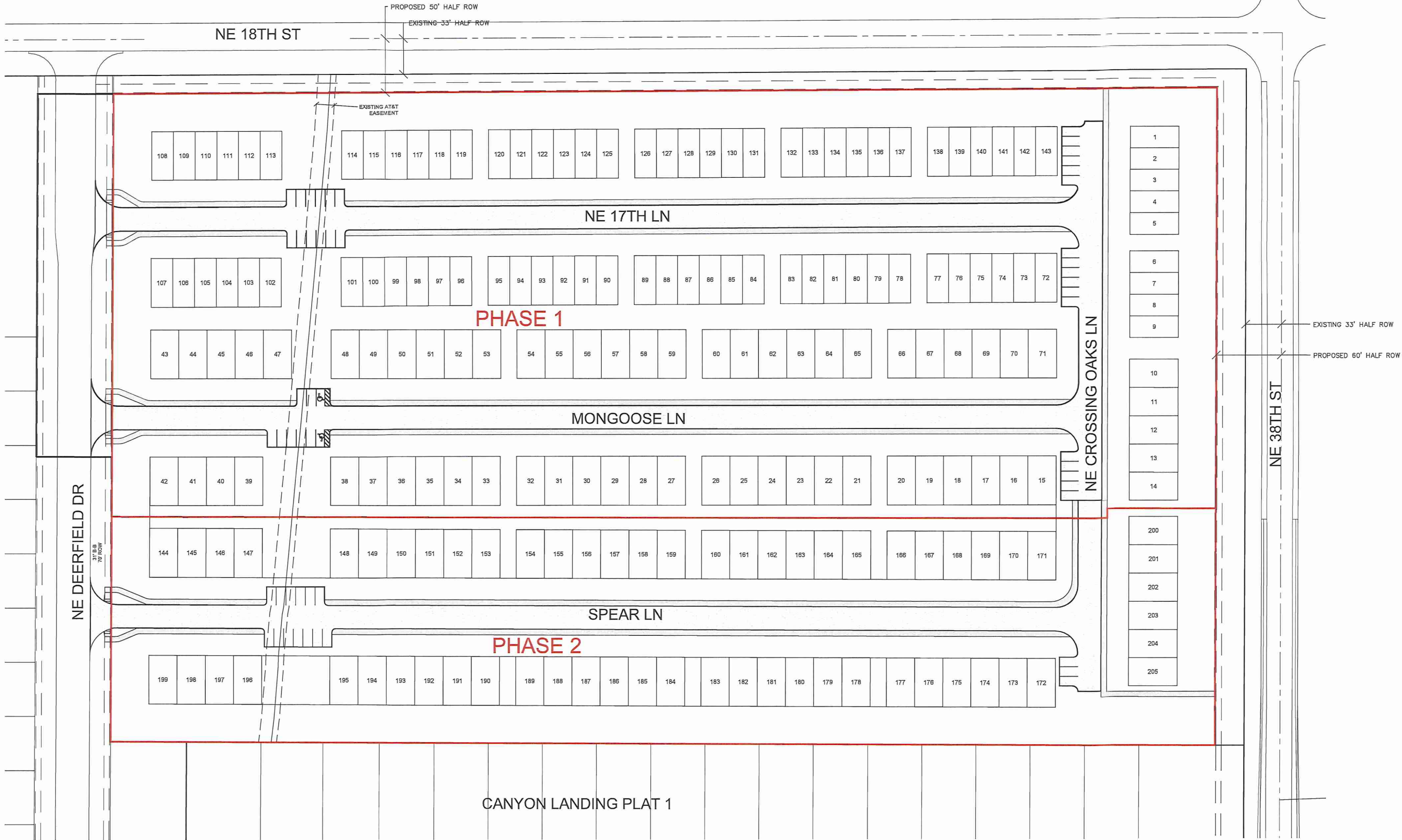


COVER SHEET

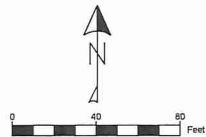
431 NE 72ND ST, PLEASANT HILL, IA 50327
(515) 979-8499



<div><div>GENERAL NOTES:</div><div><div><div><div><div>1.</div><div>ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY, AND STATE CODES, ORDINANCES, REGULATIONS, AND RULES, INCLUDING THE CITY STANDARD/SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS. WHERE NOT OTHERWISE COVERED BY THE ABOVE, IN THE NOTES BELOW, OR WITHIN THIS PLAN SET, AND THE 2022 EDITION OF THE IOWA SUDAS STANDARDS AND SPECIFICATIONS SHALL GOVERN. CONSTRUCTION IS TO COMPLY WITH THE STATEWIDE URBAN STANDARD SPECIFICATIONS, THE 2022 EDITION IS USED FOR CONSTRUCTION IMPROVEMENTS.</div></div><div><div>2.</div><div>THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS, THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.</div></div><div><div>3.</div><div>ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR</div></div><div><div>4.</div><div>ALL CONSTRUCTION PROCEDURES AND MATERIALS TO MEET OR EXCEED MINIMUM REQUIREMENTS OF THE CITY.</div></div><div><div>5.</div><div>ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.</div></div><div><div>6.</div><div>THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL REQUIRED WORK ZONE TRAFFIC CONTROL (VEHICULAR, BICYCLE, AND/OR PEDESTRIAN) REQUIRED DURING ANY AND ALL OPERATIONS. THESE SHALL BE INSTALLED PRIOR TO BEGINNING WORK ON THE SITE. LANE CLOSURES MUST BE APPROVED BY CITY OF ANKENY.</div></div><div><div>7.</div><div>THE CONTRACTOR(S) SHALL FURNISH AND PLACE ALL NECESSARY TEMPORARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS. ALL ROADS SHALL BE BARRICADED UNTIL ACCEPTANCE BY CITY. COORDINATE WITH CITY ON REMOVAL OF ANY CONFLICTING SIGNAGE. REMOVE ALL TEMPORARY BARRICADES, SIGNAGE.</div></div><div><div>8.</div><div>THE CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE CITY AND OTHER INSPECTION AGENCIES PROPER NOTICE OF 24 TO 48 HOURS FOR THEIR REQUIRED INSPECTIONS.</div></div><div><div>9.</div><div>THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK.</div></div><div><div>10.</div><div>ALL PERMITS FROM IDNR, IDOT, COUNTY, CITY, AND/OR OTHER PERMITTING AGENCIES SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR(S) SHALL HAVE PAPER COPY ON SITE BEFORE COMMENCING CONSTRUCTION.</div></div><div><div>11.</div><div>ANY DAMAGE DONE TO THE EXISTING AND/OR PROPOSED FENCES, YARDS, OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.</div></div><div><div>12.</div><div>THE CONTRACTOR SHALL PROVIDE SUBMITTALS OF CONSTRUCTION MATERIALS PRIOR TO CONSTRUCTION.</div></div><div><div>13.</div><div>ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING. ANY EXISTING ESTABLISHED LAWNS SHALL BE REPLACED WITH SOD. SOD MAINTENANCE PERIOD SHALL BE WHEN SOD IS DEEMED ESTABLISHED BY THE CITY, BUT SHALL NOT EXTEND BEYOND ONE (1) YEAR.</div></div><div><div>14.</div><div>ALL CONSTRUCTION STAKING TO BE DONE UNDER THE DIRECTIONS OF A LICENSED ENGINEER OR LAND SURVEYOR.</div></div><div><div>15.</div><div>NPDES NOI GENERAL PERMIT HOLDER IDENTIFIED IN CURRENT SWPPP SHALL PROVIDE WRITTEN VERIFICATION TO THE CITY ON COMPLIANCE WITH THE GENERAL PERMIT #2 TOPSOIL REQUIREMENTS UPON COMPLETION OF THE PROJECT.</div></div><div><div>16.</div><div>ANY CHANGES TO THE PROPOSED PLAN SHALL BE SUBMITTED TO THE CITY PUBLIC WORKS IN WRITING PRIOR TO IMPLEMENTATION, CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH CHANGES MADE WITHOUT CITY APPROVAL.</div></div><div><div>17.</div><div>ADDITIONAL CLASS E RIP RAP MAY BE REQUIRED BY CITY OF ANKENY.</div></div><div><div>18.</div><div>ALL PAVEMENT REMOVAL WILL BE FROM JOINT TO JOINT.</div></div><div><div>19.</div><div>THE CITY WILL NOT BE RESPONSIBLE FOR PAVEMENT REPAIR DURING REPAIR/ REPLACEMENT PROCEDURES TO THE PUBLIC INFRASTRUCTURE.</div></div><div><div>20.</div><div>DIRECTIONAL SIGNAGE SHALL BE PROVIDED.</div></div></div><div><div>PCC PAVING NOTES:</div><div><div><div>1.</div><div>ALL SUBGRADE UNDER SLAB TO BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY FOR A MINIMUM OF 12 INCHES. MOISTURE CONTENT RANGE 0% TO +4% OF OPTIMUM.</div></div><div><div>2.</div><div>MOISTEN SUBGRADE PRIOR TO PLACING CONCRETE.</div></div><div><div>3.</div><div>ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.</div></div><div><div>4.</div><div>AGGREGATE SHALL BE CLASS 4.</div></div><div><div>5.</div><div>CONCRETE SURFACES SHALL BE BURLAP FINISH. CHECK SURFACE WITH TEMPLATE. NO DEVIATION OVER 1/8" IN 10' IS PERMITTED. ALL CONCRETE SHALL SLOPE TO DRAIN.</div></div><div><div>6.</div><div>ALL CONCRETE SHALL BE CURED WITH AN ASTM C309 TYPE 2, WATER BASED WHITE PIGMENTED CURING COMPOUND PERIDOT SEC. 4105.</div></div><div><div>7.</div><div>SAW CUT JOINTS AS SOON AS CONCRETE HAS SET ENOUGH TO PREVENT RAVELING AND PRIOR TO ANY CRACKING.</div></div><div><div>8.</div><div>SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.</div></div><div><div>9.</div><div>LONGITUDINAL JOINT SPACING SHALL NOT BE GREATER THAN 12' JOINT LAYOUT SHALL BE PER SUDAS, OR AS APPROVED BY THE ENGINEER AND CITY. ADDITIONALLY, TRANSVERSE SPACING SHALL NOT BE GREATER THAN 15'.</div></div><div><div>10.</div><div>BARS AT LONGITUDINAL JOINTS TO BE 5/8" (#5) X 30" DEFORMED AT 30" O.C. ALL BARS SHALL BE EPOXY COATED.</div></div><div><div>11.</div><div>ALL JOINTS SHALL BE FILLED PER 2022 SUDAS AND CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS</div></div><div><div>12.</div><div>THE CONTRACTOR TO BARRICADE SLAB FOR AT LEAST 14 DAYS AFTER PLACING CONCRETE.</div></div><div><div>13.</div><div>PAVING THICKNESS SHALL BE PER THE TYPICAL SECTIONS, OR AS NOTED.</div></div><div><div>13.1.</div><div>ALL ROADWAYS SHALL INCLUDE 12 INCHES OF SUBGRADE PREPARATION.</div></div><div><div>13.2.</div><div>ANY AND ALL PATCHES MATCH EXISTING PAVEMENT SECTION.</div></div><div><div>13.3.</div><div>ALL STREET PAVEMENTS SHALL BE SIX (6") INCHES NON-REINFORCED PCC PAVEMENT, UNLESS OTHERWISE NOTED.</div></div><div><div>13.4.</div><div>SIDEWALKS SHALL BE FOUR (4") INCHES PCC AND FIVE (5) FEET WIDE, UNLESS OTHERWISE NOTED. SIDEWALKS SHALL AT LEAST MATCH DEPTH OF DRIVEWAY/ENTRY WHEN SHOWN IN DRIVEWAY/ENTRY.</div></div><div><div>14.</div><div>THE CONTRACTOR(S) SHALL SUBMIT DESIGN MIX AS DESIGNED BY INDEPENDENT TESTING LABORATORY PRIOR TO PLACING ANY CONCRETE.</div></div><div><div>15.</div><div>ALL WORK TO COMPLY WITH CURRENT ACI STANDARDS.</div></div><div><div>16.</div><div>FULL DEPTH SAW CUT (TO SQUARE ENDS) AND TIE INTO EXISTING PAVEMENT, AS REQUIRED.</div></div></div><div><div>DEMOLITION:</div><div><div><div>1.</div><div>THE CONTRACTOR IS RESPONSIBLE FOR CLEARING & GRUBBING THE SITE; AND THE REMOVAL & DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIALS LEGALLY FROM THE SITE.</div></div><div><div>2.</div><div>ALL MATERIALS SHALL BE LEGALLY DISPOSED OF AT A CONTRACTOR SUPPLIED DISPOSAL SITE THAT IS APPROVED TO ACCEPT REMOVED MATERIALS.</div></div><div><div>3.</div><div>CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES, CHARGES, TESTING, AND TRANSPORTATION ASSOCIATED WITH THE REMOVED MATERIALS. ALL LOADS SHALL BE COVERED.</div></div><div><div>4.</div><div>ONLY FULL DEPTH SAW CUTS TO NEAREST JOINT LINES(S) SHALL BE USED PRIOR TO REMOVAL OF PAVEMENT, DRIVEWAYS, AND SIDEWALKS.</div></div></div><div><div>H.C. STALLS, RAMPS, AND SIDEWALK NOTES:</div><div><div><div>1.</div><div>ALL INTERSECTION SIDEWALK RAMPS AND RELATED TURNING SPACE/CONNECTIONS SHALL BE INSTALLED AS PART OF THE PLAT/ROADWAY IMPROVEMENTS.</div></div><div><div>2.</div><div>GENERAL SIDEWALK CONSTRUCTION IS THE RESPONSIBILITY OF INDIVIDUAL LOT OWNERS. SEE 'PCC PAVING NOTES' FOR DEPTHS.</div></div><div><div>3.</div><div>ANY SIDEWALKS AND/OR TRAIL FRONTING OPEN AND/OR PUBLIC SPACES WHICH WILL NOT BE DEVELOPED INTO BUILDABLE LOTS IN THE FUTURE WILL HAVE SIDEWALK AND/OR TRAIL INSTALLED BY THE DEVELOPER WITH THE PUBLIC IMPROVEMENTS. SEE 'PCC PAVING NOTES' FOR DEPTHS.</div></div><div><div>4.</div><div>THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING THE PROPOSED SPOT ELEVATIONS.</div></div><div><div>5.</div><div>ALL PEDESTRIAN FACILITIES - INCLUDING, BUT NOT LIMITED TO: SIDEWALK SLOPES, DROP CURBS, GRADING, STRIPING, SIGNAGE, AND RAMP DETAILS - SHALL BE CONSTRUCTED TO MEET THE CURRENT REQUIREMENTS/STANDARDS/GUIDELINES OF SUDAS, MUTCD, DOJ, ADAAG, AND PROWAG.</div></div><div><div>6.</div><div>THE CONTRACTOR SHALL VERIFY WITH THE ENGINEER THAT THE RAMP, SIDEWALK, AND PARKING AREAS ARE CONSTRUCTED PROPERLY TO MEET STANDARDS.</div></div><div><div>7.</div><div>SHOULD DISCREPANCIES OCCUR ON THE PLAN OR WHAT IS REQUIRED BY THE INSPECTOR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.</div></div><div><div>8.</div><div>THE TRAIL/PATH INSTALLATION IS REQUIRED THROUGH THE ADJOINING OPEN SPACE AS IDENTIFIED BY THE PLANS, AND SIDEWALK SHALL BE INSTALLED ADJACENT TO OUTLOTS.</div></div></div></div><div><div>UTILITIES, GENERAL:</div><div><div><div>1.</div><div>WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES AND ANY AND ALL FITTINGS, CLEANOUT AND APPURTENANCES REQUIRED BY CODES.</div></div><div><div>2.</div><div>ALL UTILITY STATIONS IN PLAN VIEW ARE TIES TO CENTERLINE STREET STATIONS, UNLESS OTHERWISE NOTED.</div></div><div><div>3.</div><div>STORM AND SANITARY SEWER LENGTHS AND LINEWORK ARE SHOWN FROM THE SUDAS REFERENCE POINT LOCATIONS. CONTRACTOR SHALL MODIFY THE PIPE LENGTHS DUE TO OPEN AREA INSIDE OF STRUCTURE AND CONNECTION LOCATIONS.</div></div><div><div>4.</div><div>ALL TRENCHES SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR.</div></div><div><div>5.</div><div>ALL TERMINI OF MAINS AND SERVICES SHOULD BE MARKED WITH A PAINTED STEEL POST. (WATER=BLUE, STORM=WHITE, SANITARY=GREEN). POSTS SHOULD BE AT LEAST SIX (6) FOOT POST WITH FOUR (4) FEET EXPOSED ABOVE GROUND.</div></div><div><div>6.</div><div>MAINTAIN A MINIMUM OF VERTICAL SEPARATION OF 18-INCHES AND A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET BETWEEN SANITARY AND STORM SEWERS WITH WATERMANS.</div></div><div><div>7.</div><div>MAINTAIN A MINIMUM VERTICAL SEPARATION OF 18-INCHES BETWEEN STORM SEWER AND WATERMAIN.</div></div><div><div>8.</div><div>FULL DEPTH COMPACTION REQUIRED AT ALL STREET CROSSINGS. NOTE THAT DENSITY TEST REPORTS FROM TESTING LAB WILL BE BY DEVELOPER.</div></div><div><div>9.</div><div>THE UTILITY CONTRACTOR SHALL PROVIDE TO THE DEVELOPER THE MEASUREMENTS OF ALL SANITARY AND STORM SEWER AND WATER FROM LOT CORNERS.</div></div><div><div>10.</div><div>ENGINEER SHALL BE RESPONSIBLE TO PROVIDE THE CITY WITH "AS-BUILT" DRAWINGS OF ALL IMPROVEMENTS.</div></div><div><div>11.</div><div>ALL SERVICES LINES TO THE BUILDING AND ALL UTILITY LINES IN THE ADJOINING RIGHT-OF-WAY SHALL BE LOCATED UNDERGROUND.</div></div><div><div>12.</div><div>ALL CASTING(S) ARE PER THE RESPECTIVE SUDAS DETAIL, UNLESS OTHERWISE NOTED.</div></div><div><div>13.</div><div>ALL SERVICES LAYS TO COMPLY WITH ANKENY TYPICAL SERVICE LAYOUT.</div></div><div><div>14.</div><div>ALL MANHOLES WILL BE ROTATED AWAY FROM SIDEWALKS.</div></div><div><div>15.</div><div>ALL UTILITIES SHALL BE TESTED ACCORDING TO 2022 SUDAS & ANKENY SUPPLEMENTAL SPECIFICATIONS AND THE CITY SHALL WITNESS ALL TESTING.</div></div></div></div><div><div>GRADING NOTES:</div><div><div><div>1.</div><div>PUBLIC RIGHTS-OF-WAYS SHALL MEET THE 2022 SUDAS REQUIREMENTS FOR TOPSOIL.</div></div><div><div>2.</div><div>PROOF ROLL THE EXPOSED SUBGRADE AND REPLACE WITH COMPACTED FILL TO BOTTOM OF CONCRETE DRIVES, CURBS, WALKS AND BUILDING FLOOR ELEVATION.</div></div><div><div>3.</div><div>NATIVE OR EXISTING ON-SITE SOILS MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS, AND OTHE RUBBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. SEE DEMOLITION PLAN NOTES FOR DETAILS ON REMOVAL AND LEGAL DISPOSAL OF MATERIALS.</div></div><div><div>4.</div><div>ANY SOFT SPOTS DISCOVERED DURING PROOF ROLLING SHALL BE REMOVED AND RECOMPACTED AND RETESTED.</div></div><div><div>5.</div><div>ALL PAVEMENTS SHALL HAVE A MINIMUM OF 12 INCHES OF SELECT, COMPACTED MATERIAL OF CL OR ML CLASSIFICATION DIRECTLY BELOW THE BOTTOM OF SLAB; OR OTHER ACCEPTED MATERIAL BY THE ENGINEER.</div></div><div><div>6.</div><div>FILL SHALL BE PLACED IN UNIFORM LIFTS HAVING A MAXIMUM LOOSE THICKNESS OF NINE (9") INCHES. COMPACTION BELOW SLABS AND PAVING AND WALKS SHALL BE AT LEAST 95% OF STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY. COMPACT TO AT LEAST 90% AT ALL OTHER LOCATIONS. MAINTAIN MOISTURE CONTENT OF CONTROLLED FILL ABOVE OPTIMUM DURING PLACEMENT AND COMPACTION.</div></div><div><div>7.</div><div>THE ENTIRE SITE SHALL BE FINE GRADED WITH ELEVATION TOLERANCE OF ONE-TENTH (0.1) FOOT.</div></div><div><div>8.</div><div>ALL CONTRACTORS SHALL ADHERE TO ALL RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEERING REPORT.</div></div><div><div>9.</div><div>EXISTING ONSITE FILL SHALL BE FREE OF CONCRETE, GRAVEL, BRICK, CINDERS, GLASS, ORGANICS, AND OTHER LOW DENSITY/DEGRADABLE MATERIAL.</div></div><div><div>10.</div><div>ALL SPOT ELEVATIONS ARE TO THE TOP OF THE FINISHED SURFACE, UNLESS OTHERWISE SPECIFIED.</div></div><div><div>10.1.</div><div>SPOT ELEVATIONS GOVERN OVER CONTOURS.</div></div><div><div>11.</div><div>STRIP AND STOCKPILE ALL TOPSOIL FOR REUSE ON SITE. ALL AREAS NOT COVERED BY POND, PAVEMENT, OR BUILDINGS SHALL BE GRASS. SEEDED AREAS SHALL BE PREPARED AS SPECIFIED IN SUDAS.</div></div><div><div>12.</div><div>PROVIDE POSITIVE DRAINAGE FOR ALL LOCATIONS.</div></div><div><div>13.</div><div>ADJUST TRAIL, SIDEWALK, AND SHARED USE PATH ELEVATIONS TO PROVIDE LABELED STORMWATER BASIN EMERGENCY OVERFLOW ROUTE AND WEIR ELEVATIONS.</div></div><div><div>14.</div><div>PERMANENT SMF'S SHALL BE USED AS TEMPORARY SILT BASINS. SEE SWPPP AND DETAIL SHEETS FOR MORE INFORMATION.</div></div><div><div>15.</div><div>ALL RIPRAP SHALL BE PLACED OVER ENGINEERING FABRIC. AS HATCHED IN CONSTRUCTION PLANS, ALL AREAS OF THE EXISTING DITCH BOTTOM AROUND END SECTIONS, AND EXISTING END SECTIONS DISCHARGING INTO DITCH SHALL BE COVERED WITH RIPRAP.</div></div><div><div>16.</div><div>SUDAS SHALL APPLY TO PRIVATE GRADING, EROSION, AND ASSOCIATED WORK FOR THE PROJECT. THE CONTRACTOR SHALL ESPECIALLY OBSERVE THE REQUIREMENTS OF THE SPECIFICATIONS (ALONG WITH THE EROSION CONTROL PLAN PREPARED FOR THE PROJECT) IN CONDUCTING GRADING AND SURFACE RESTORATION WORK.</div></div><div><div>16.A.</div><div>THE STORMWATER POLLUTION PREVENTION PLAN IS THE RESPONSIBILITY OF THE OWNER WHOM SHALL MAKE ALL CONSTRUCTION WORKERS AWARE OF THE MAJOR PROVISIONS OF SAID PLAN.</div></div><div><div>16.B.</div><div>ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED REGULARLY, ESPECIALLY AFTER EACH SIGNIFICANT STORM, TO LOCATE DAMAGE AND CONDUCT MAINTENANCE OPERATIONS.</div></div><div><div>17.</div><div>PROVIDE TESTING REPORTS TO ENGINEERING SERVICES.</div></div></div></div><div><div>STORM SEWER:</div><div><div><div>1.</div><div>THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE CITY. ALL EROSION/SEDIMENTATION CONTROL SHALL BE SET UP PRIOR TO CONSTRUCTION.</div></div><div><div>2.</div><div>ANY STORM PIPE LOCATED UNDER PAVEMENT WITH LESS THAN TWO (2) FEET OF COVER SHALL PROVIDE 24" X 24" REINFORCEMENT ABOVE AND USE CLASS V RCP.</div></div><div><div>3.</div><div>ALL PROPOSED STORM SEWER LINES SHALL BE AS NOTED FOR SIZE.</div></div><div><div>4.</div><div>ANY FIELD TILE DISCOVERED OR DAMAGED DURING CONSTRUCTION SHALL BE TIED INTO THE STORM SEWER SYSTEM OR REPAIRED/REPLACED; AND NOTIFY CITY OF ANKENY AND ENGINEER AND BE RECORDED ON AS-BUILTS. COORDINATE WITH FARM TO THE EAST.</div></div><div><div>5.</div><div>THE LAST THREE (3) PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.</div></div><div><div>6.</div><div>CONTRACTOR WILL LAY SEWER PIPE AT THE BACK OF CURB IN ACCORDANCE WITH SUDAS DETAILS.</div></div><div><div>7.</div><div>FOR CROSSING OF WATER MAIN UNDER STORM SEWER, ONE FULL LENGTH OF RCP STORM SEWER SHALL BE CENTERED OVER WATER MAIN. JOINTS ON EITHER SIDE, 18" MINIMUM SEPARATION. STORM SEWER LOCATED OVER THE WATER MAIN SHALL BE EITHER GASKETED OR CONSTRUCTED OF WATER MAIN MATERIAL.</div></div></div></div></div></div></div></div></div>	<div>CANYON LANDING TOWNHOMES ANKENY, IA</div>
<div>STUBBS ENGINEERING</div> <div>431 NE 72ND ST. PLEASANT HILL, IA 50327 (515) 973 - 6469</div>	
<div>SE</div>	
<div>NOTES</div>	
<div>DATE: 04-22-22</div>	
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<div>ENGINEER: BWS</div>	
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CANYON LANDING TOWNHOMES
ANKENY, IA

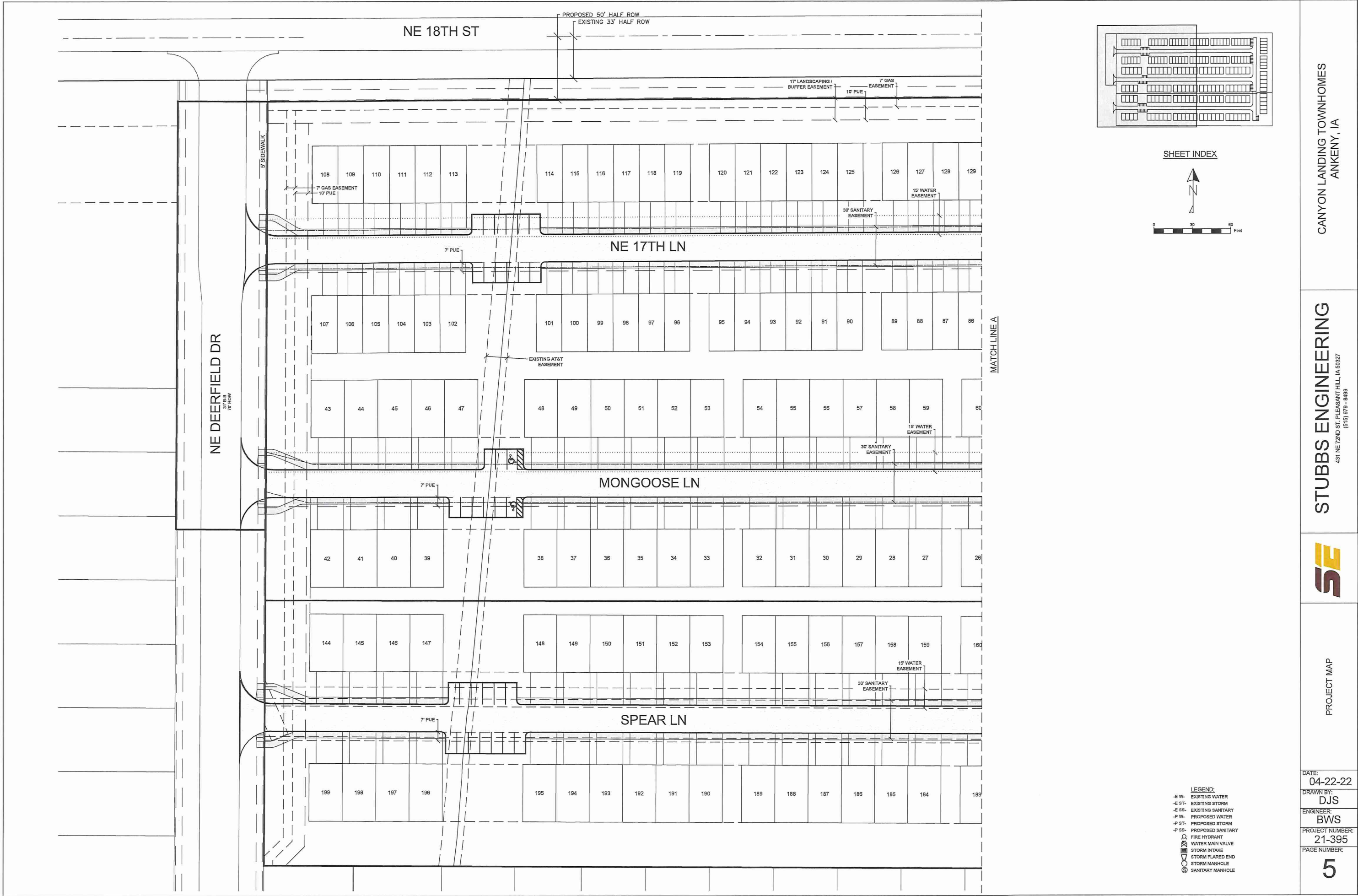
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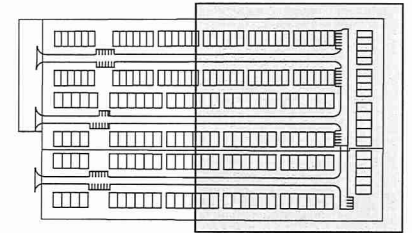
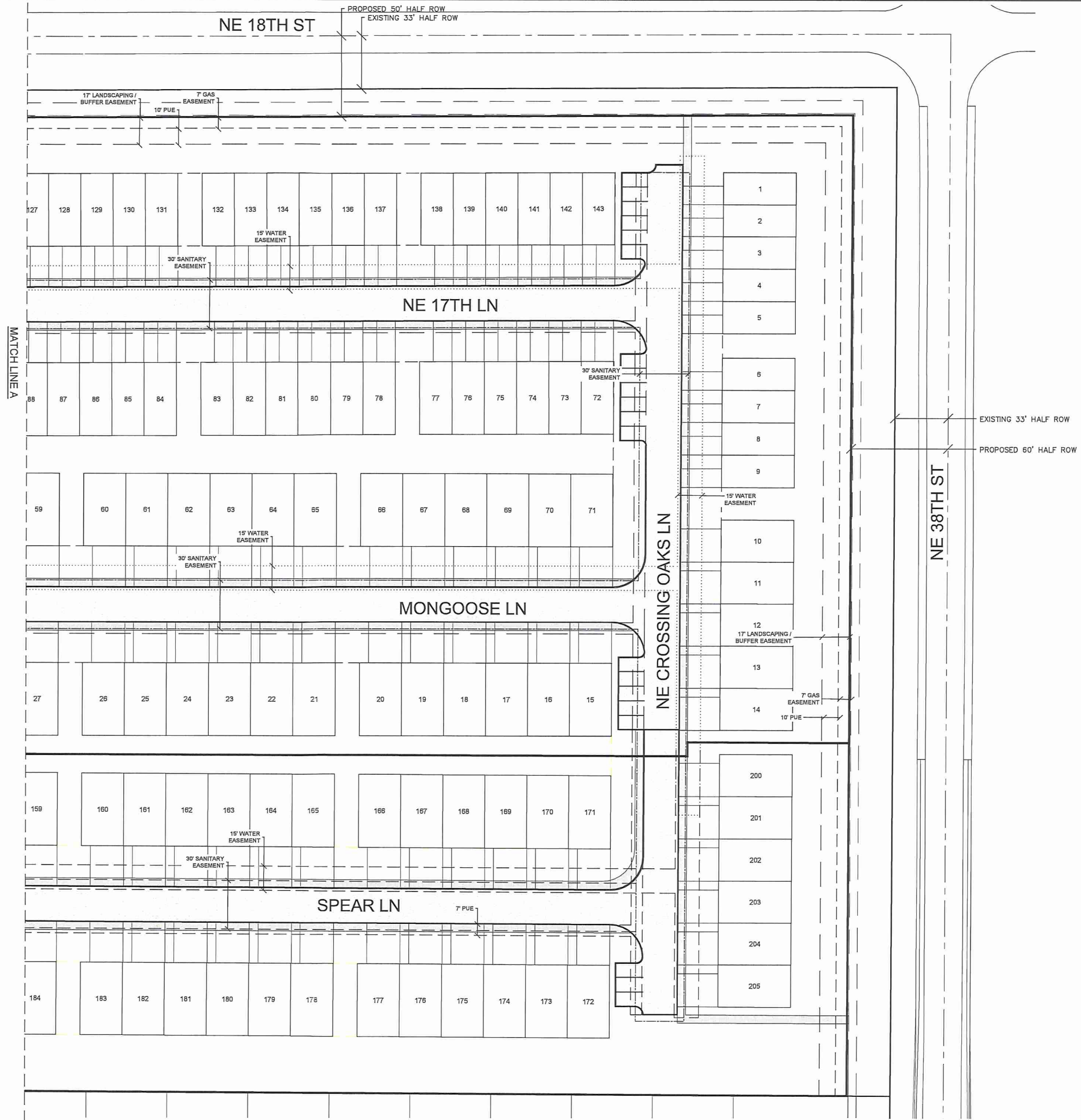
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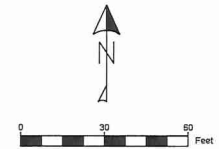


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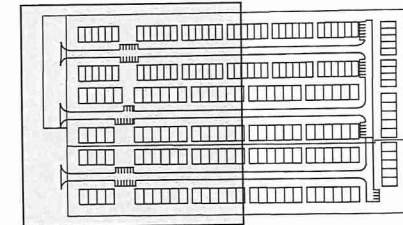
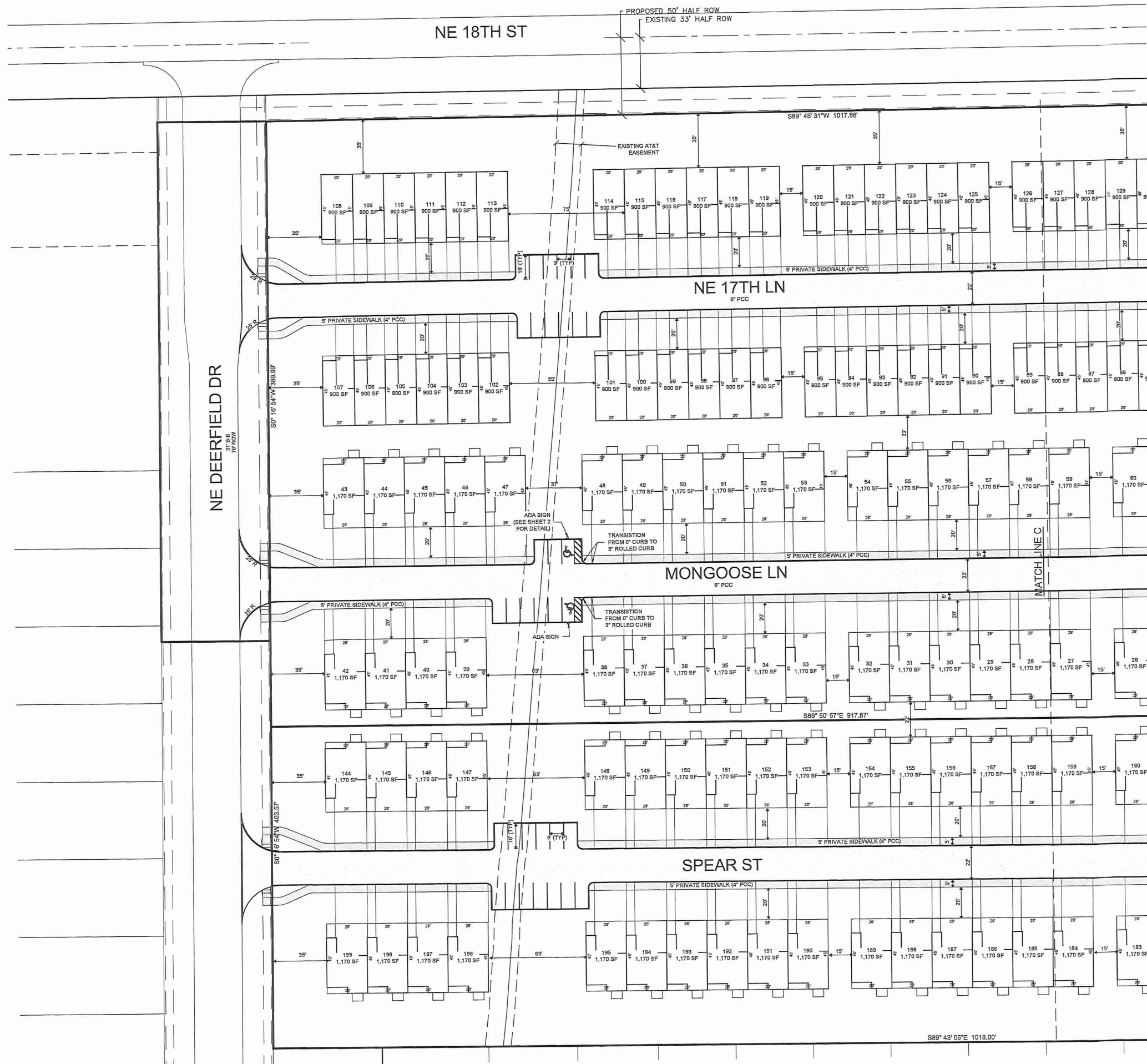
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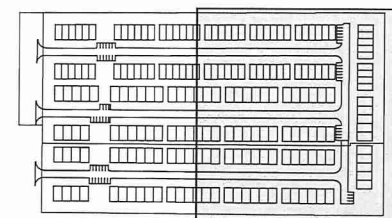
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DIMENSION PLAN



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CANYON LANDING TOWNHOMES
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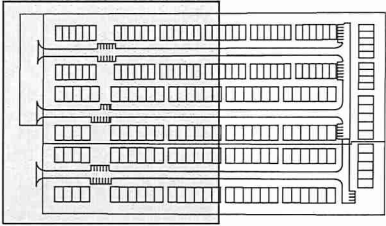
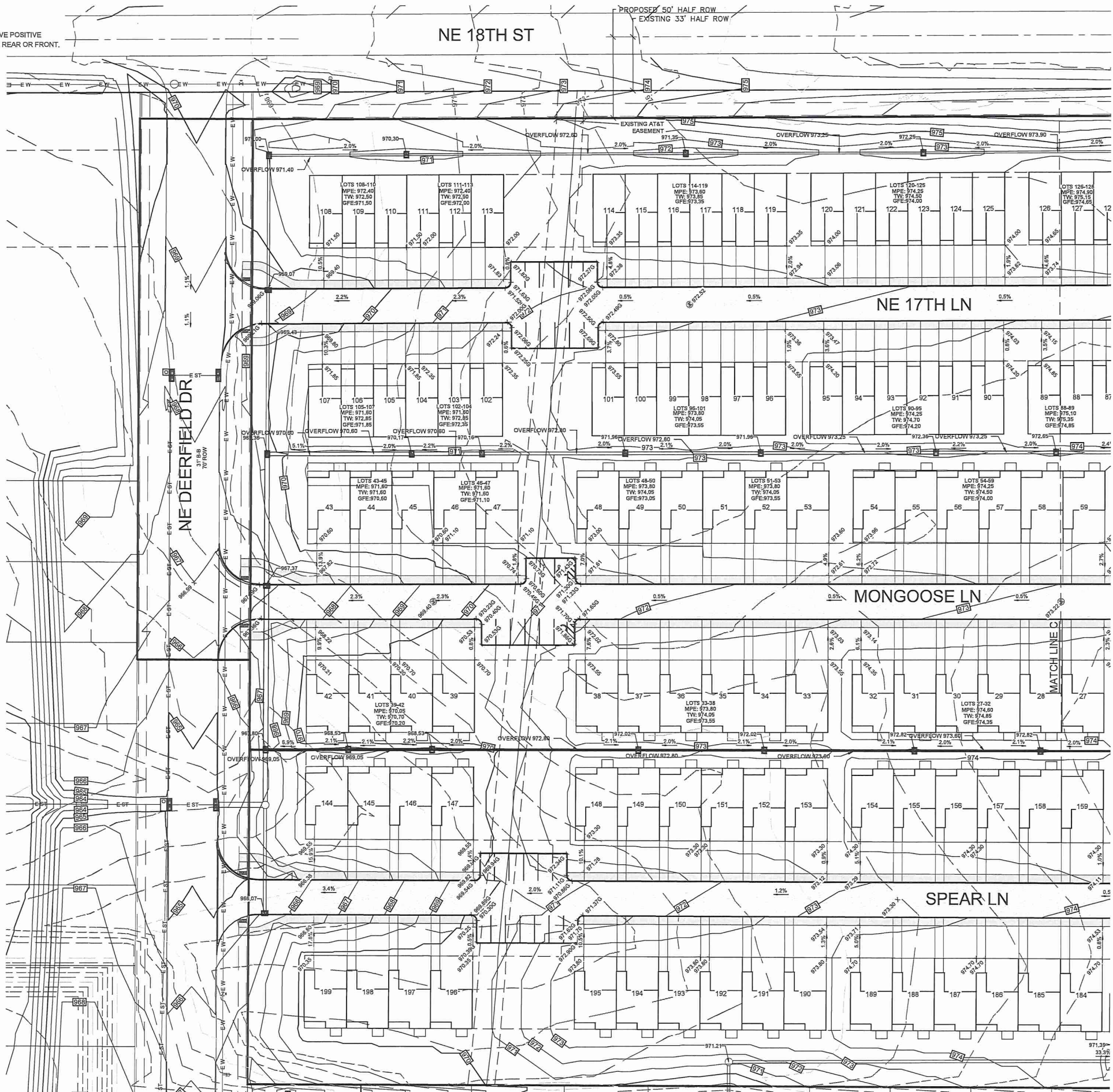


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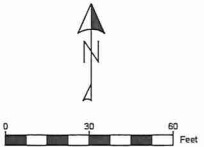
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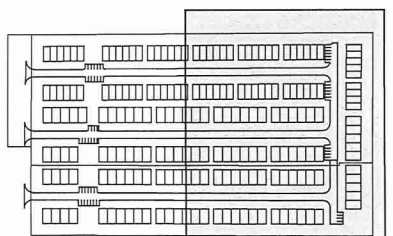
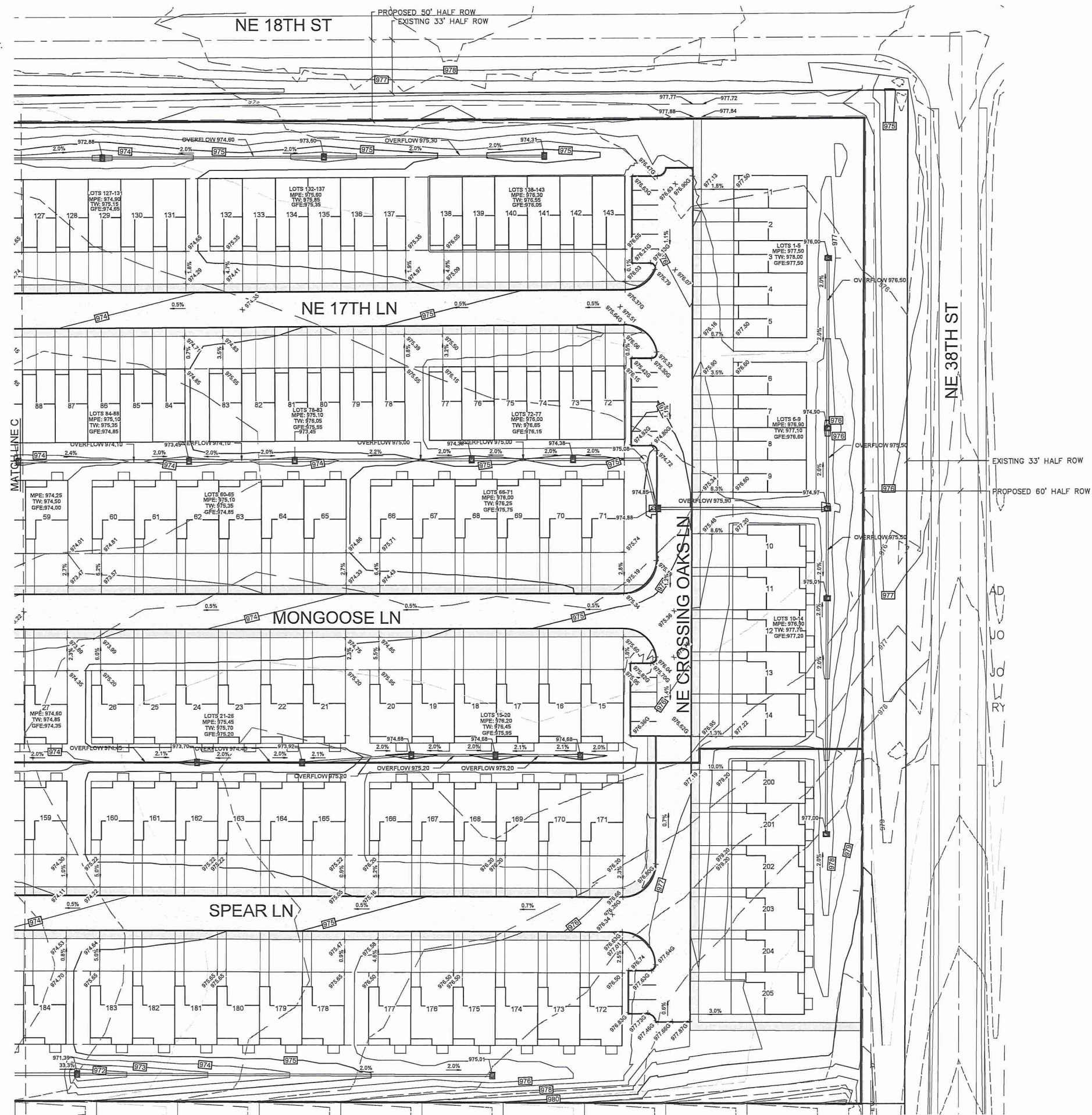


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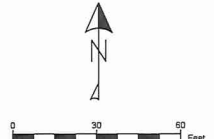


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BUILDINGS WILL BE GRADED TO HAVE POSITIVE
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GRADING PLAN

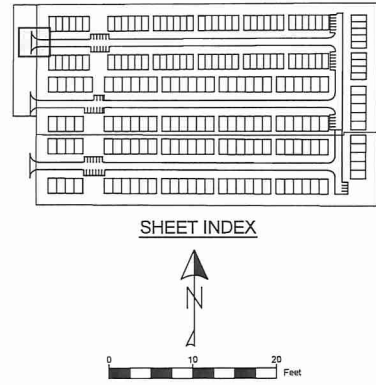
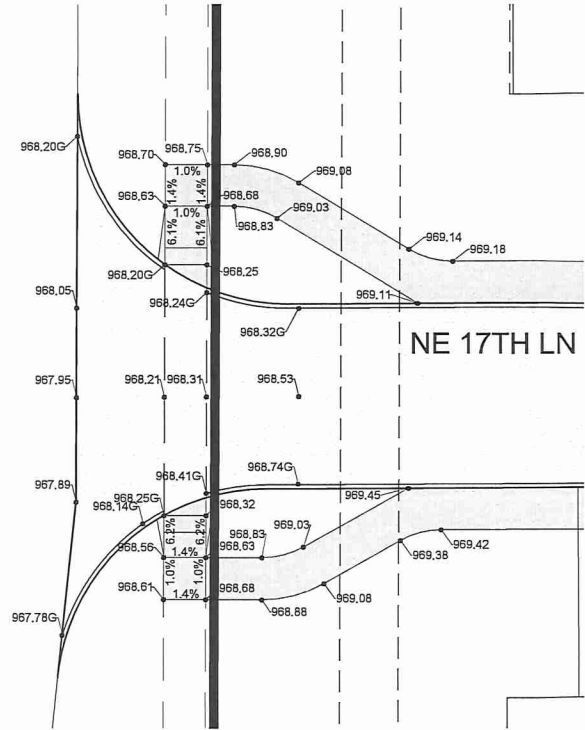


STUBBS ENGINEERING

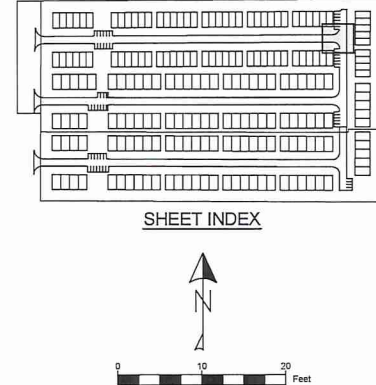
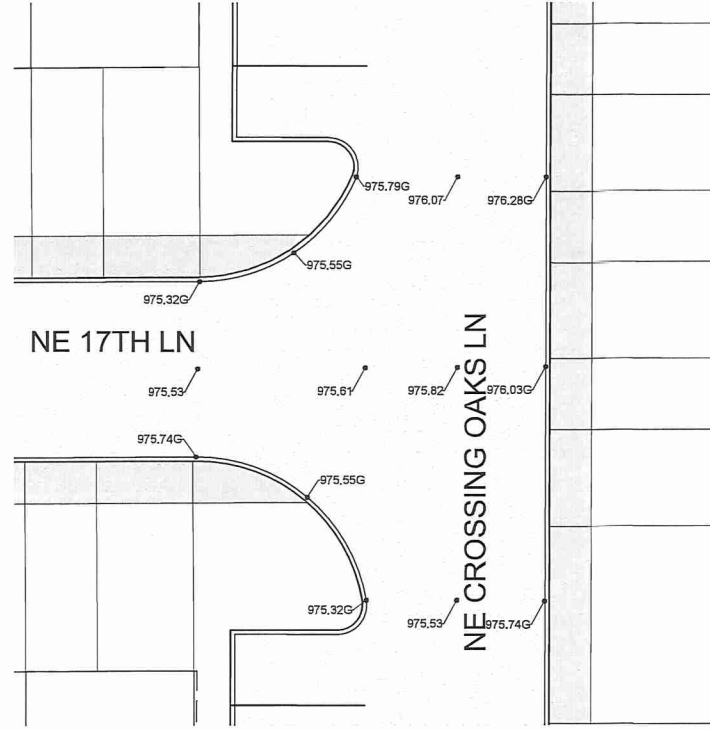
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ANKENY, IA

NE DEERFIELD DR

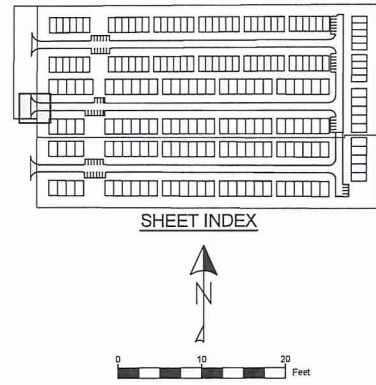
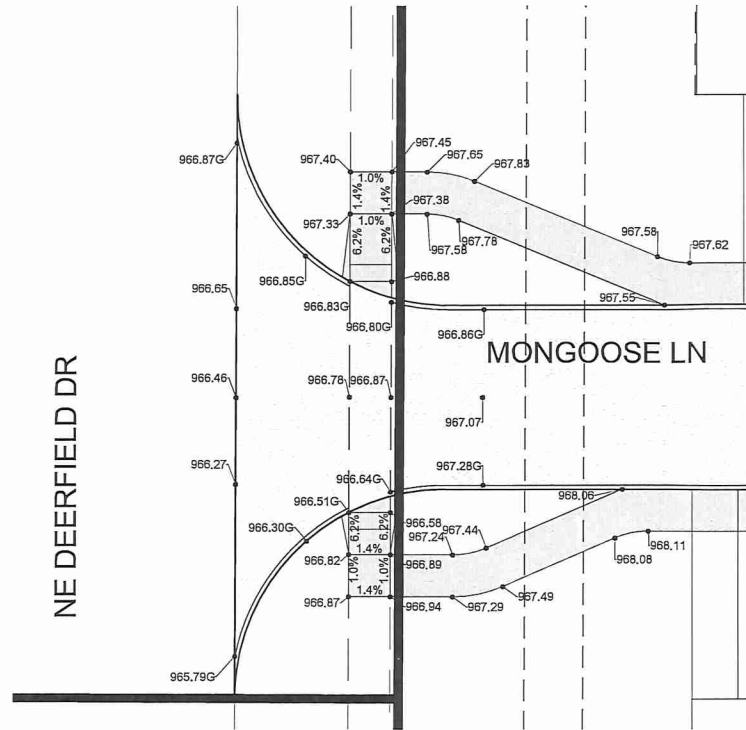


NE 17TH LN

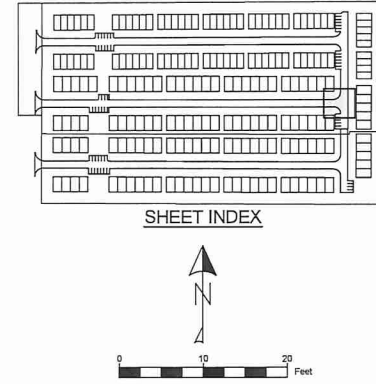
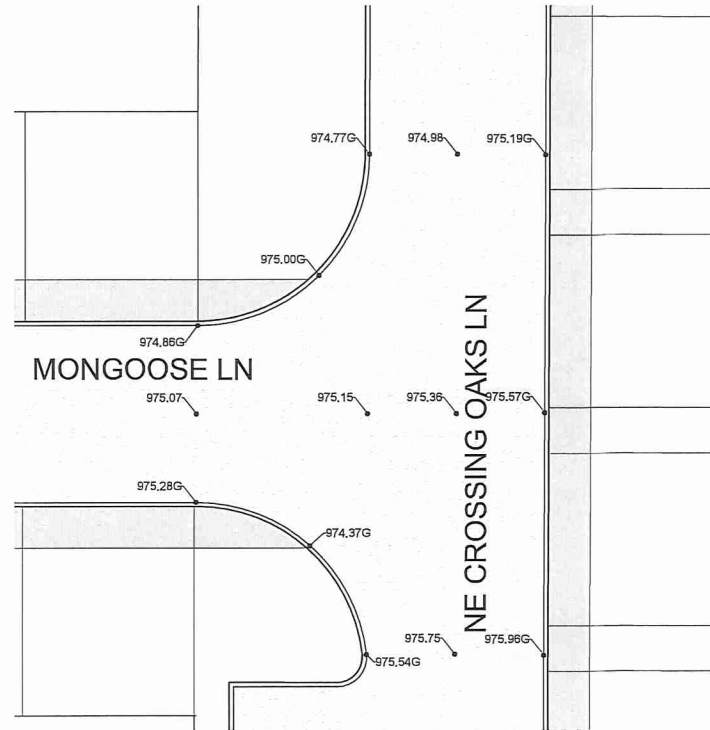


NE CROSSING OAKS LN

NE DEERFIELD DR



MONGOOSE LN



NE CROSSING OAKS LN

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ANKENY, IA

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GRADING PLAN

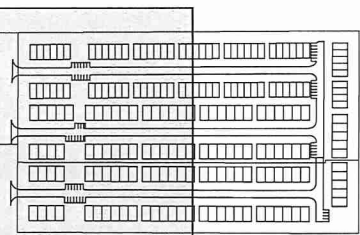
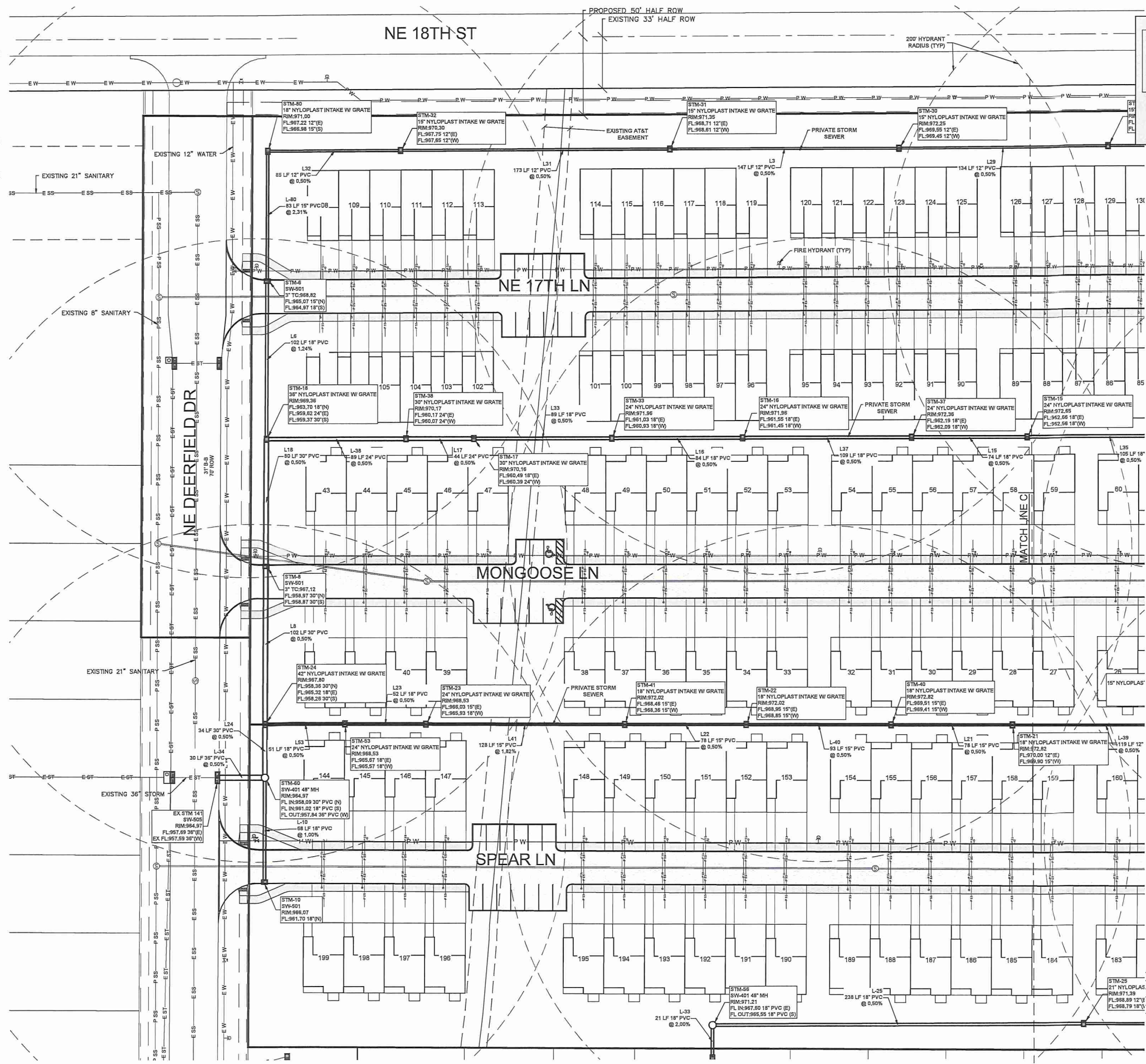
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CURB STOPS FOR LONG SIDE WATER SERVICES SHALL BE LOCATED WITHIN THE SIDEWALK. SHORT SIDE SERVICES SHALL BE LOCATED AS CLOSE AS PRACTICABLE TO THE WATER MAIN AND MUST BE CAST IN CONCRETE

CANYON LANDING TOWNHOMES PLAT 1
STORM SEWER SHALL BE PRIVATE.

PUBLIC IMPROVEMENT PLANS FOR WATER AND SANITARY SEWER WILL BE REQUIRED FOR FUTURE PLAT 2 AT THE TIME OF PLATTING.



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CANYON LANDING TOWNHOMES
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BS ENGINEER
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UTILITY PLAN

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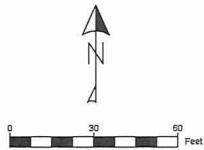
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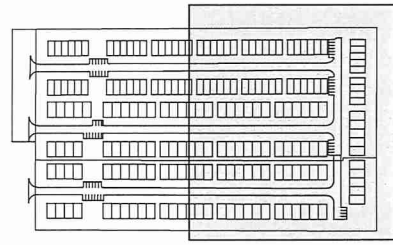
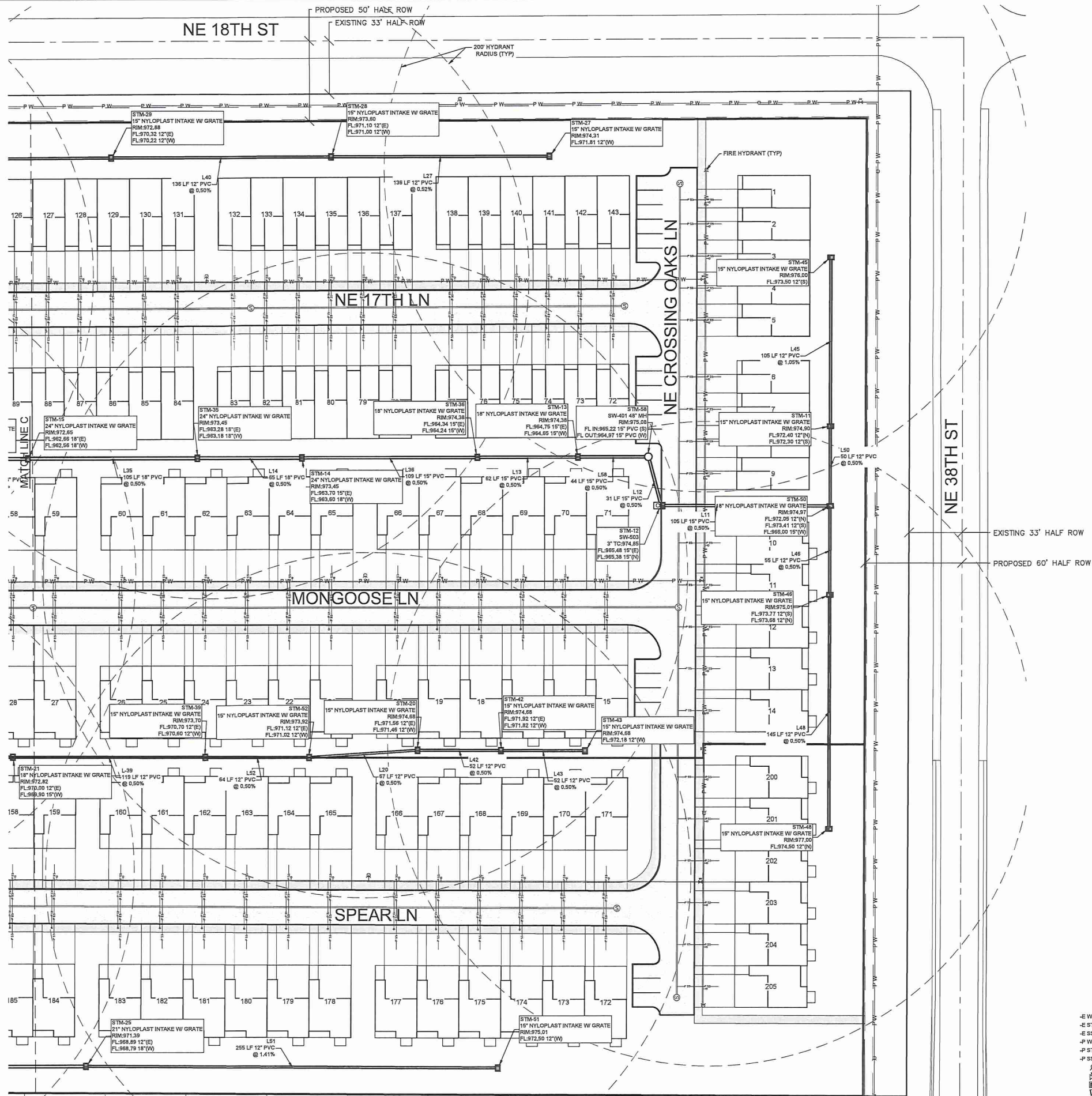


NOTE:

CURB STOPS FOR LONG SIDE WATER SERVICES SHALL BE LOCATED WITHIN THE SIDEWALK. SHORT SIDE SERVICES SHALL BE LOCATED AS CLOSE AS PRACTICABLE TO THE WATER MAIN AND MUST BE CAST IN CONCRETE

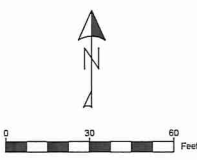
REFER TO THE PUBLIC IMPROVEMENT PLANS FOR CANYON LANDING TOWNHOMES PLAT 1 FOR PUBLIC WATER AND SEWER DESIGN.

CANYON LANDING TOWNHOMES PLAT 1 STORM SEWER SHALL BE PRIVATE



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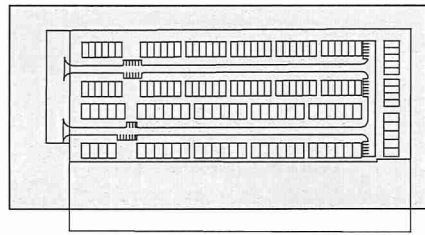
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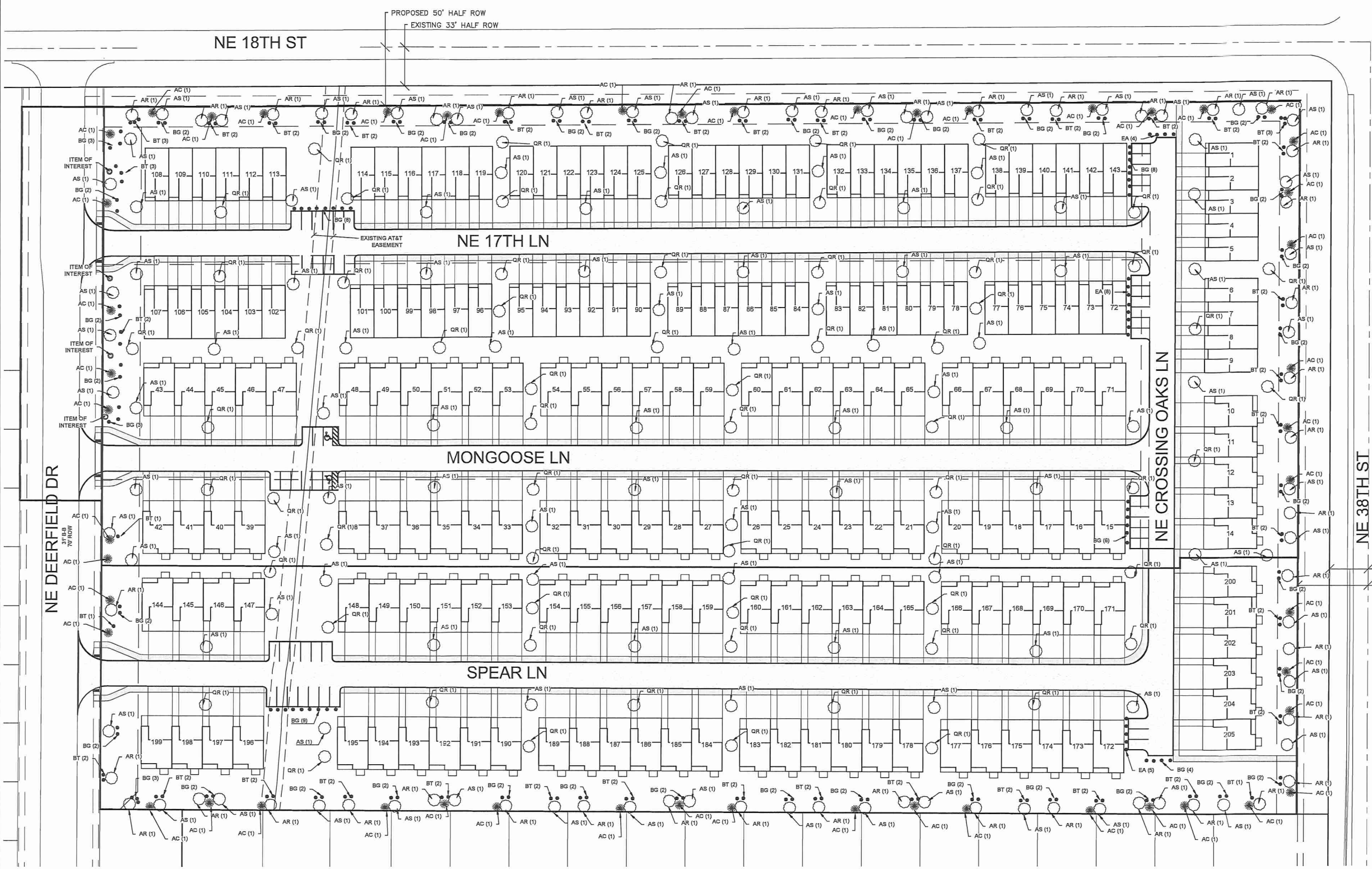


UTILITY PLAN

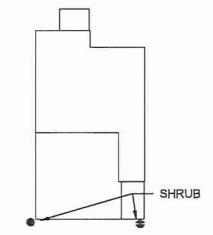
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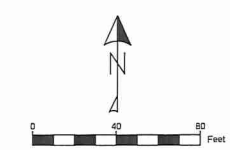


TOWNHOME SHRUB DETAIL
2 SHRUBS PER TOWNHOME UNIT TO BE INSTALLED WITH BUILDING CONSTRUCTION.



- NOTE:
SHRUBS WITH TOWNHOME UNITS WILL BE EITHER ROSE GLOW BARBERRY OR GREEN MOUNTAIN BOXWOOD.
- NOTE:
ALL PLANTINGS TO BE INSTALLED WITH BUILDING CONSTRUCTION.
- NOTE:
NO FENCES OR SHEDS WILL BE ALLOWED WITHIN THE LANDSCAPING BUFFER EASEMENT.

EXISTING 33' HALF ROW
PROPOSED 60' HALF ROW



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LANDSCAPING

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LANDSCAPING QUANTITIES

OPEN SPACE LANDSCAPE REQUIREMENTS

SITE AREA =612,925 SF
OPEN SPACE REQUIRED =122,585 SF

REQUIRED PLANTINGS:
TREES: 2 / 3,000 SF = 82 TREES
SHRUBS: 6 / 3,000 SF = 246 SHRUBS
PROVIDED PLANTINGS:
TREES: 82
SHRUBS: 246

SHADING TREE REQUIREMENTS:
GROSS PAVED AREA =179,616 SF
TREES REQUIRED =51 TREES (179,616 * 20% / 706 SF)

TOTAL REQUIREMENTS:
TREES =133 TREES
SHRUBS =246 SHRUBS
TOTAL PROVIDED:
TREES =133 TREES
SHRUBS =410 SHRUBS

BUFFER PLANTINGS (SOUTH)

REQUIRED (PER 200'):
OVERSTORY TREES =6"5, 12=31
EVERGREEN TREES =3"5, 12=16
SHRUBS =10"5, 12=52

PROVIDED (1024 LF):
OVERSTORY TREES =31
EVERGREEN TREES =16
SHRUBS =52

BUFFER PLANTINGS (NORTH)

REQUIRED (PER 200'):
OVERSTORY TREES =6"5, 09=31
EVERGREEN TREES =3"5, 09=16
SHRUBS =10"5, 09=51

PROVIDED (1018 LF):
OVERSTORY TREES =31
EVERGREEN TREES =16
SHRUBS =51

BUFFER PLANTINGS (EAST)

REQUIRED (PER 200'):
OVERSTORY TREES =6"3, 02=19
EVERGREEN TREES =3"3, 02=10
SHRUBS =10"3, 02=31

PROVIDED (604 LF):
OVERSTORY TREES =19
EVERGREEN TREES =10
SHRUBS =31

BUFFER PLANTINGS (WEST)

REQUIRED (PER 240'):
OVERSTORY TREES =3"2, 5=8
EVERGREEN TREES =3"2, 5=8
SHRUBS =10"2, 5=25

PROVIDED (600 LF):
OVERSTORY TREES =8
EVERGREEN TREES =9
SHRUBS =25

Open Space Plant Schedule

Code	Quantity	Botanical Name	Common Name	Size	Cond	Remarks
		Overstory Trees				
AS	67	Acer saccharum "Ballista"	Fall Fiesta Sugar Maple	1.5" CAL	B&B	Specimen - Single Straight Leader
QR	66	Quercus rubra	Red Oak	1.5" CAL	B&B	Specimen - Single Straight Leader
		Shrubs				
410		Varies	Varies	#2	CONT.	2" Min. Height at planting

Buffer Plant Schedule

Code	Quantity	Botanical Name	Common Name	Size	Cond	Remarks
		Overstory Trees				
AR	44	Acer rubrum "Red Sunset"	Red Sunset Maple	1.5" CAL	B&B	Specimen - Single Straight Leader
AS	45	Acer saccharum "Ballista"	Fall Fiesta Sugar Maple	1.5" CAL	B&B	Specimen - Single Straight Leader
		Evergreen Trees				
AC	51	Abies Concolor	Concolor Fir	5' HT	Bb&b	Specimen - Single Straight Leader
		Shrubs				
BT	78	Berberis thunbergii "Rose Glow"	Rose Glow Barberry	#2	CONT.	2" Min. Height at planting
BG	81	Buxus "Green Mountain"	Green Mountain Boxwood	#3	CONT.	2" Min. Height at planting



North Region TH's

Iowa Division

20'x45' Wide Model

Model XT05 - 'Pearson'

Canyon Landing

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XT05	
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A-1.0.1	STEM WALL PLAN 'A'
A-1.0.2	CRAWL SPACE PLAN 'A'
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A-1.4	SECTIONS
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A-1.5.4	OPTIONAL ENHANCED REAR ELEVATIONS
A-1.5.5	ROOF PLAN 'A'
A-1.5.6	ROOF PLAN 'A'
E-1.0	UTILITY PLANS
FP-1	FIRE PROTECTION DETAILS
FP-2	FIRE PROTECTION DETAILS
FP-3	FIRE PROTECTION DETAILS
FP-4	FIRE PROTECTION DETAILS
FP-5	FIRE PROTECTION DETAILS
FP-6	FIRE PROTECTION DETAILS
23	TOTAL SHEETS
<small>ALL CONSULTANT DRAWINGS ACCOMPANYING THESE DESIGN DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GHD DESIGN GROUP OF GEORGIA, INC. GHD DESIGN GROUP OF GA, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS THAT ARE PREPARED BY OTHER CONSULTANTS.</small>	

XT05 SQUARE FOOTAGES		
AREA	BLV' A'	
1st FLOOR	603 SF	
2nd FLOOR	605 SF	
TOTAL LIVING	1408 SF	
GARAGE	291 SF	
PORCH	26 SF	
REAR PATIO	52 SF	
REAR COVERED PATIO	52 SF	

PLAN CHANGES:	
DATE	DESCRIPTION
04/06/22	INITIAL PLAN RELEASE

NO.	DATE	REVISION
1	04/06/22	

PROFESSIONAL SEAL:

PROJECT TITLE:

Townhome
Series
Canyon Landing
(Iowa)

FOR
CONSTRUCTION

CLIENT'S NAME:

D.R. HORTON
America's Builder

PROJECT NO. GMD21001A

SHEET TITLE:

TITLE SHEET

PRINT DATE:

April 06, 2022

SHEET NO.:

T-1

RECEIVED

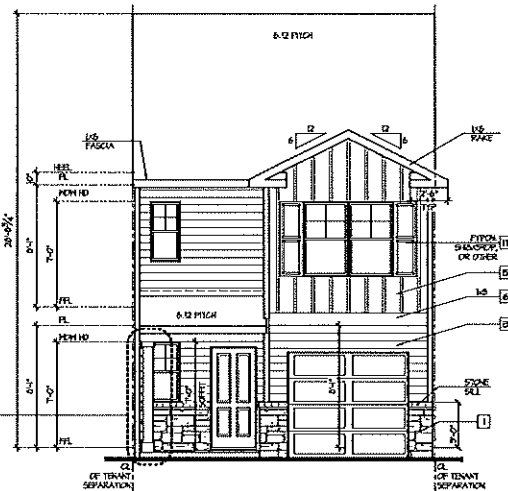
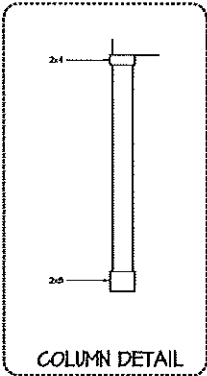
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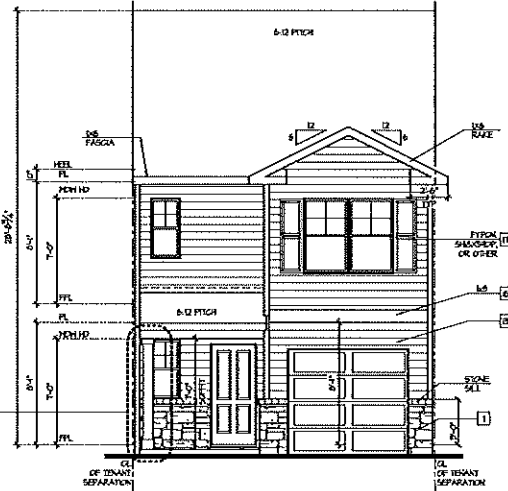
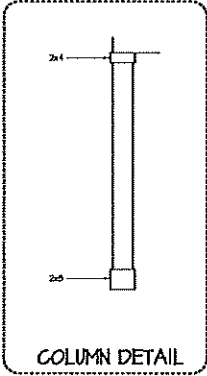




NOTES:	
<ul style="list-style-type: none"> GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITES FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS. FINISH HEAD HEIGHTS: 1ST FLOOR = 8'-0" UNLESS OTHERWISE NOTED; 2ND FLOOR = 7'-0" UNLESS OTHERWISE NOTED. ROOFING: COMPOSITE PITCHED SHINGLE ROOFING SYSTEM PER DEVELOPER. WINDOWS: MANUFACTURER PER DEVELOPER, FINISH LITES AS SHOWN ON THE EXTERIOR ELEVATIONS. ENTRY DOOR: AS SELECTED BY DEVELOPER. GARAGE DOORS: AS SELECTED BY DEVELOPER, RASSED PANEL AS SHOWN. CHIMNEY: AS SHOWN, TOP OF CHIMNEY TO BE A MINIMUM OF 24" ABOVE ANY ROOF PITCH OR CHIMNEY. ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS. PROTECTION AGAINST DECAY: ALL PORTIONS OF A FORMER SCREEN PORCH OR DECK FROM THE BOTTOM OF THE RAILING DOWN, INCLUDING POSTS, RAILS, FLOORS, STEPS AND FLOOR STRUCTURE. 	
KEY NOTES:	
<p>BASEMENTS:</p> <p>1) ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.</p> <p>2) MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.</p> <p>3) MASONRY FULL STONE AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.</p> <p>4) 8" SOLID COURSE.</p> <p>5) RAILING COURSE.</p> <p>6) NA.</p> <p>ITEMS:</p> <p>1) DECORATIVE LAMINATED VINYL SIZE AS NOTED.</p> <p>2) CODE APPROVED TERRAZZO CHIMNEY CAP.</p> <p>3) CORROSION RESISTANT ROOF TO RAIL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.</p> <p>4) STANDING SEAM METAL ROOF, 24" HALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.</p> <p>5) DECORATIVE MASONRY BRICK SEE DETAILS.</p> <p>SKINS:</p> <p>6) VINYL SHAKE SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p> <p>7) PER CENT SHAKE SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p> <p>8) VINYL LAP SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p> <p>9) PER CENT LAP SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p> <p>10) VINYL SHAKE SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p> <p>11) PER CENT SHAKE SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p> <p>12) VINYL SHAKE SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p> <p>13) PER CENT SHAKE SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p> <p>14) VINYL SHAKE SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p> <p>15) PER CENT SHAKE SIDING PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER (AT SPECIFIED LOCATIONS).</p>	



Opt. Board & Batten
Front Elevation 'A-3'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 17'X17" LAYOUT



Opt. Board & Batten
Front Elevation 'A-3'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 17'X17" LAYOUT

NO.	DATE	REVISION
1	04/06/22	

PROFESSOR: [Signature]

PROJECT TITLE:
Townhome
Series
Canyon Landing
(Iowa)

CLIENT NAME:

D. R. HORTON
America's Builder

PROJECT NO.: 64021001.4

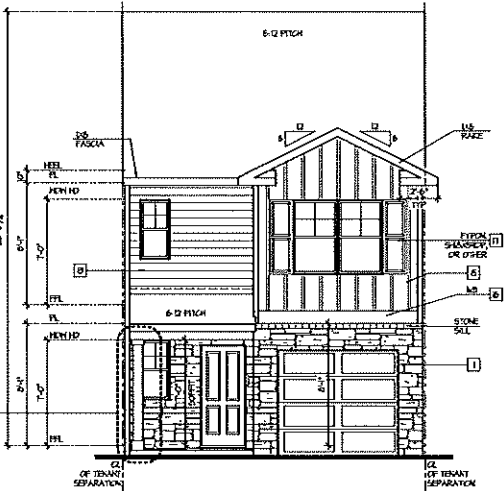
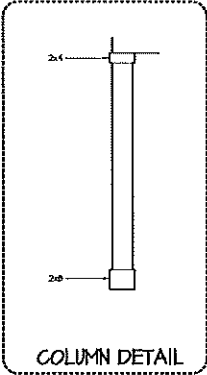
SHEET TITLE:
XT05
EXTERIOR
ELEVATIONS 'A'

PRINT DATE:
April 06, 2022

SHEET NO.:
A1.5

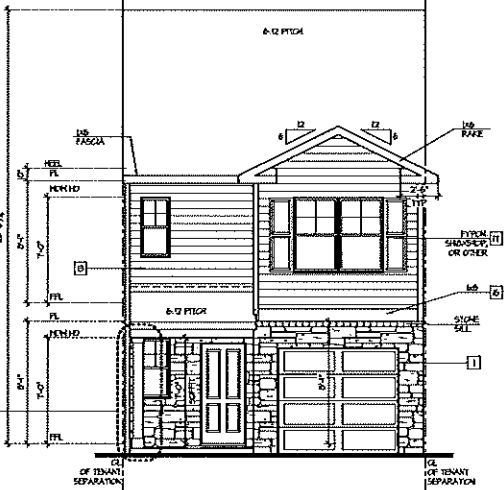
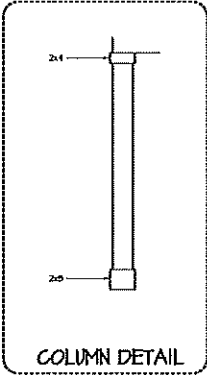
FOR
CONSTRUCTION

NOTES:	
<ul style="list-style-type: none"> GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS. FINISH HEAD HEIGHTS: 1ST FLOOR = 8'-0" EXO. ON ELEVATIONS 2ND FLOOR = 7'-0" EXO. ON ELEVATIONS ROOFING: COMPOSITE PITCHED SHINGLE ROOFING SYSTEM PER DEVELOPER. HIDDEN: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS. ENTRY DOOR: AS SELECTED BY DEVELOPER. GARAGE DOORS: AS SELECTED BY DEVELOPER. RAISED PANEL AS SHOWN. CHIMNEY: AS OCCURS. TOP OF CHIMNEYS TO BE A MINIMUM OF 34" ABOVE ANY ROOF. MINIMUM 6" OF CHIMNEY. ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS. PROTECTION AGAINST DECAY: FULL PORTIONS OF A FLOOR SCREEN PORCH OR DECK FROM THE BOTTOM OF THE RAILING DOWN INCLUDING POST, RAILS, FASCIA, STEPS AND FLOOR STRUCTURE. 	
KEY NOTES:	
<p>MASONRY</p> <p>1) ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.</p> <p>2) MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.</p> <p>3) MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.</p> <p>4) 0" SOLID COURSE.</p> <p>5) RAINLOCK COURSE.</p> <p>6) NA.</p> <p>TYPICALS</p> <p>1) DECORATIVE LOWERED VENTS, SIZE AS NOTED.</p> <p>2) CODE APPROVED TERMINATION CHIMNEY CAP.</p> <p>3) CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.</p> <p>4) STANDING SEAM METAL ROOF, H-VAL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.</p> <p>5) DECORATIVE MOUNTING RAIL SEE DETAILS.</p> <p>SCONS</p> <p>1) VINYL SHAKE SCONS PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. (AT SPECIFIED LOCATIONS) PER CONVENT SHAKE SCONS PER DEVELOPER IN 1/4" CORNER TRIM BOARD.</p> <p>2) VINYL LAP SCONS PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. (AT SPECIFIED LOCATIONS) PER CONVENT LAP SCONS PER DEVELOPER IN 1/4" CORNER TRIM BOARD.</p> <p>3) VINYL NAVY SCONS PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. (AT SPECIFIED LOCATIONS) PER CONVENT NAVY SCONS PER DEVELOPER IN 1/4" CORNER TRIM BOARD.</p> <p>4) VINYL BOARD AND BATT SCONS PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. (AT SPECIFIED LOCATIONS) PER CONVENT BOARD AND BATT SCONS IN 1/4" CORNER TRIM BOARD.</p> <p>5) VINYL YEAR SIZE AS NOTED.</p> <p>6) VINYL YEAR SIZE AS NOTED.</p> <p>7) VINYL YEAR SIZE AS NOTED.</p> <p>8) VINYL YEAR SIZE AS NOTED.</p> <p>9) VINYL YEAR SIZE AS NOTED.</p> <p>10) VINYL YEAR SIZE AS NOTED.</p>	



MATERIAL CALLOUTS	
TYPE	FINISH
1	STONE
2	BRICK
3	BRICK
4	BRICK
5	BRICK
6	BRICK
7	BRICK
8	BRICK
9	BRICK
10	BRICK
11	BRICK
12	BRICK
13	BRICK
14	BRICK
15	BRICK
16	BRICK
17	BRICK
18	BRICK
19	BRICK
20	BRICK
21	BRICK
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97	BRICK
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99	BRICK
100	BRICK

Opt. Board & Batten
Front Elevation 'A-5'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 10'X17" LAYOUT



MATERIAL CALLOUTS	
TYPE	FINISH
1	STONE
2	BRICK
3	BRICK
4	BRICK
5	BRICK
6	BRICK
7	BRICK
8	BRICK
9	BRICK
10	BRICK
11	BRICK
12	BRICK
13	BRICK
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93	BRICK
94	BRICK
95	BRICK
96	BRICK
97	BRICK
98	BRICK
99	BRICK
100	BRICK

Front Elevation 'A-5'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 10'X17" LAYOUT

NO.	DATE	REVISION
1	04/06/22	

PROFESSIONAL SEAL:

PROJECT NAME:

Townhome
Series
Canyon Landing
(Iowa)

FOR CONSTRUCTION

CLIENT NAME:

D.R. HORTON
America's Builder

PROJECT NO.: 6H021001A

PROJECT TYPE:

XT05
EXTERIOR
ELEVATIONS 'A'

PRINT DATE:

April 06, 2022

PROJECT NO.:

A15.1

GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE FOR ACTUAL SITE CONDITIONS.

• INSIDE HEAD HEIGHTS:
1ST FLOOR = 8'-0" ON ELEVATIONS
2ND FLOOR = 7'-0" EXC. ON ELEVATIONS

• ROOFING: COMPOSITE PITCHED SINGLE ROOFING SYSTEM PER DEVELOPER.

• INSIDE: MANUFACTURER PER DEVELOPER. DIVYED LINES AS SHOWN ON THE EXTERIOR. SINGLE ROOF.

• ENTRY DOOR: AS SELECTED BY DEVELOPER.

• GARAGE DOORS: AS SELECTED BY DEVELOPER. RAISED PANEL. AS SHOWN.

• CHIMNEY: AS SELECTED BY DEVELOPER. CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY PERMANENTLY EXISTING ROOF.

• ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

• PROTECTION AGAINST LEAKAGE:
THE PORTIONS OF A HOUSE OR GARAGE FROM CRACKS FROM THE BOTTOM OF THE HEADLINE DOWN, INCLUDING ROOF, RAILS, DECKING, & STEPS AND GARAGE STRUCTURE.

MASSORY:

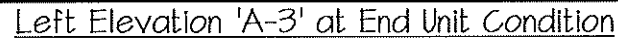
- (1) ADORNED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
- (2) MASSORY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
- (3) MASSORY FULL STONE AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
- (4) 8" SOLDIER COURSE.
- (5) RAILROAD COURSE.
- (6) NA.

DETAILS:

- (1) DECORATIVE LOUVERED VENTS, SIZE AS NOTED.
- (2) CODE APPROVED THERMOSTAT CHIMNEY CAP.
- (3) CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- (4) STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- (5) DECORATIVE MOUNTAIN BEAM, SEE DETAILS.

SONGS:

- (1) VINYL SHAVE SONG PER DEVELOPER, IN VINYL, CORNER TRIM PER DEVELOPER, (AT SPECIFIED LOCATIONS).
- (2) FEEDER CEMENT BARGE SONG PER DEVELOPER, IN 1/4" CORNER TRIM BOARD, (AT SPECIFIED LOCATIONS).
- (3) VINYL LAP SONG PER DEVELOPER, IN VINYL, CORNER TRIM PER DEVELOPER, (AT SPECIFIED LOCATIONS).
- (4) FEEDER CEMENT LAP SONG PER DEVELOPER, IN 1/4" CORNER TRIM BOARD, (AT SPECIFIED LOCATIONS).
- (5) VINYL HAVY SONG PER DEVELOPER, IN VINYL, CORNER TRIM PER DEVELOPER, (AT SPECIFIED LOCATIONS).
- (6) FEEDER CEMENT HAVY SONG PER DEVELOPER, IN 1/4" CORNER TRIM BOARD, (AT SPECIFIED LOCATIONS).
- (7) VINYL BOARD AND BAIT SONG PER DEVELOPER, IN VINYL, CORNER TRIM PER DEVELOPER, (AT SPECIFIED LOCATIONS).
- (8) FEEDER CEMENT FANT SONG IN 1/4" BENTS AT 12" O.C. PER DEVELOPER, IN 1/4" CORNER TRIM BOARD, (AT SPECIFIED LOCATIONS).
- (9) VINYL TRIM SONG AS NOTED.
- (10) FEEDER CEMENT TRIM OR EQUAL, SOLD. SIZE AS NOTED.
- (11) VINYL PLATERS, TYPE AS SHOWN, SIZE AS NOTED.
- (12) AT SPECIFIC LOCATIONS: FANT, VINYL, SHATTERS, TYPE AS SHOWN, SIZE AS NOTED.



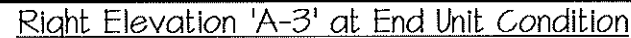
SCALE: 1/4" = 1'-0" AT 2203' LAYOUT 1/8" = 1'-0" AT 1203' LAYOUT
SHOWN W/ OPTIONAL BOARD AND BATTEN

WATER CALCIUM	
CA 2000	100
NO	75
SPACE	7
DRINK	60
COOL	5
Average	
CA 2000	2.5
NO	1.5
SPACE	0.5
DRINK	1.25
COOL	0.25



Rear Elevation 'A-3'

SCALE 1/4"=1'-0" AT 22°X34" LAYOUT 1/8"=1'-0" AT 11°X17" LAYOUT



SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 17'X17' LAYOUT

MATHEMATICAL CALCULATIONS	
LP 5040	82
803	8
8041	9
80400	84
80300	15
LP 5040	PERMANENT
803	804
8041	0.50
80400	0.50
80300	0.5
80400000	0.00

PROJECT TITLE:
**Townhome
Series
Canyon Landing
(Iowa)**

FOR
CONSTRUCTION

DATE: _____

D·R·HORTON®
America's Builder

PROJECT NO: GMD21007.4

● **XT05**
EXTERIOR
ELEVATIONS 'A'

April 06, 2022

SHEET NO:
A1,5,2

GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BULKER SHALL VERIFY AND COORDINATE WITH ACTUAL SITE CONDITIONS.

1. HOOKUP HEAD HEIGHTS:
351 FLOOR = 8'-0" UNDO ON ELEVATIONS
240 FLOOR = 7'-0" UNDO ON ELEVATIONS

2. ROOFING, COMPOSITE, INTERLOCK SHINGLE ROOFING SYSTEM PER DEVELOPER.

3. HOOKUP: HANGFACER PER DEVELOPER, DIVYED LINES AS SHOWN ON THE EXTERIOR ELEVATION

4. ENTRY DOOR, AS SELECTED BY DEVELOPER.

5. GARAGE DOORS, AS SELECTED BY DEVELOPER, RAISED PANELS, AS SHOWN.

6. GARAGE AS DOORS: TWO OF DOORS TO BE A MINIMUM OF 24" ABOVE ANY ROOF RIDGE 12" OF CURBSET.

7. ALL EXTERIOR MATERIALS TO BE INSTALLED PER HANGFACER'S WRITTEN INSTRUCTIONS.

PROTECTION AGAINST FIRE:

8. PORTIONS OF A WALL, CEILING, FLOOR OR DECK, FROM THE BOTTOM OF THE HOOKUP DOWEL, INCLUDING NAIL, BULLS, CORNERS, SIPS AND FLOOR STRUCTURE.

12 MASONRY.

11 ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.

12 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.

13 MASONRY FULL STONE AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.

14 8" SOLIDER COURSE.

15 RUMBLE COURSE

16 NA

17 TITULALS

18 DECORATIVE LOWERED VINYL SIZE AS NOTED.

19 CODE APPROVED TERMINATION CHIMNEY CAP.

20 CORROSION RESISTANT ROOF TO MEET FLASHING, CODE COMPLIANT FLASHINGS MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.

21 STANDING SEAM METAL ROOF, 24 GAUGE PER MANUFACTURERS WRITTEN AGREEMENTS.

22 DECORATIVE INHIBIT FROM SEE DETAILS.

23 SOFFITS

24 VINYL SHAPE SONG PER DEVELOPER WITH VINYL CORNER TECH PER DEVELOPER.
(AT SPECIFIED LOCATIONS.
FEWER CENTRAL SHAPE SONG PER DEVELOPER IN 1/4 CORNER TECH BOARD)

25 VINYL LAP SONG PER DEVELOPER WITH VINYL CORNER TECH PER DEVELOPER.
(AT SPECIFIED LOCATIONS.
FEWER CENTRAL LAP SONG PER DEVELOPER IN 1/4 CORNER TECH BOARD)

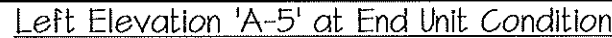
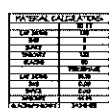
26 VINYL MANT SONG PER DEVELOPER WITH VINYL CORNER TECH PER DEVELOPER.
(AT SPECIFIED LOCATIONS.
FEWER CENTRAL MANT SONG PER DEVELOPER IN 1/4 CORNER TECH BOARD)

27 VINYL BOWND AND BATT SONG PER DEVELOPER WITH VINYL CORNER TECH PER DEVELOPER.
(AT SPECIFIED LOCATIONS.
FEWER CENTRAL PANEL SONG IN 1/4 BATT SONG PER DEVELOPER IN 1/4 CORNER TECH BOARD)

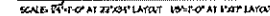
28 VINYL TRIM SIZE AS NOTED
(AT SPECIFYING LOCATIONS)

29 TRIM CORNER TECH OR EQUAL, FINISH SIZE AS NOTED
(AT SPECIFYING LOCATIONS)

30 VINYL TRIM TYPE AS SPECIFYING SIZE AS NOTED
(AT SPECIFYING LOCATIONS) FALSE VINYL, SATINETS, TYPE AS SPECIFYING SIZE AS NOTED

[illegible]

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 4'X11" LAYOUT



MATERIAL CALCULATION	
LF 3000	52
RS	0
WALL	0
INSUL	28.5
AC 2000	10
LF 3000	52.00
RS	0.00
WALL	0.00
INSUL	9.38
SLAB/PAVING	26.00

**FOR
CONSTRUCTION**

Print Date:
April 06, 2022

Sheet No:
A1.5.3

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN UNDER SELLER'S SURVEY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- INDOOR HEAD ELEVATIONS:
 - 1ST FLOOR = 8' 0" O.G. ON ELEVATIONS
 - 2ND FLOOR = 9' 0" O.G. ON ELEVATIONS
- ROOFING: COMPOSITE FINISHED SINGLE ROOFING SYSTEM PER DEVELOPER.
- INDOORS: HANDED ASH FLOOR BY DEVELOPER. DIVYED LISTS ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, BARNED PANELS, AS SHOWN.
- CHIMNEY: AS OCCUPANT. TWO OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF.
- HENON 10' OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S INSTANT INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
 - (ALL PORTIONS OF) PERMISSED PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN INCLUDING DOGS, RAILS, PASTERS, STEPS AND FLOOR STRUCTURE

MAJORITY	
11	ADHERED TO THE VEHICLE AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
12	MAJORITY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
13	MAJORITY FULL STONE AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
14	0' SOLDIER COURSE.
15	PORCH LOCK COURSE
16	NA
TYPICALS	
17	DECATAGUE LIGNMENT VENT, SIZE AS NOTED.
18	CODE APPROVED TERMINATION CHIMNEY CAP.
19	CORROSION RESISTANT ROOF TO NOT FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOFWALL INTERSECTIONS.
20	STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
21	DECATAGUE DROUGHT IRON SEE DETAILS.
SCHEM.	
22	VINYL HANG/SONG PER DEVELOPER INT VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS. FEEDER CORNER HANG SONG PER DEVELOPER IN 1/4 CORNER TRIM BOARD
23	VINYL HANG SONG PER DEVELOPER INT VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS. FEEDER CORNER HANG SONG PER DEVELOPER IN 1/4 CORNER TRIM BOARD
24	VINYL HANG SONG PER DEVELOPER INT VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS. FEEDER CORNER HANG SONG PER DEVELOPER IN 1/4 CORNER TRIM BOARD
25	VINYL BOARD AND BATT SONG PER DEVELOPER INT VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS. FEEDER CORNER HANG SONG IN 1/4 BATT IN 1/4 0' SOLDIER DEVELOPER IN 1/4 CORNER TRIM BOARD
26	AT SPECIFIC LOCATIONS. IF FEEDER CORNER HANG EQUAL, LONG SIZE AS NOTED
27	PYRON GUTTERS, TYPE AS DESIGN, SIZE AS NOTED. AT SPECIFIC LOCATIONS, FALSE VINYL GUTTERS, TYPE AS SHOWN, SIZE AS NOTED



NO.	DATE	REVISION
1	04.08.22	

**Townhome
Series
Canyon Landing
(Iowa)**

FOR
CONSTRUCTION

CUSTOMER NAME:
D.R. HORTON
America's Builder
 PROJECT NO.: 64721007.4
 # FEET SOLD:
XT05
EXTERIOR
ELEVATIONS

PRINT DATE:
April 06, 2022

SHEET NO.
A1.5.4

PLAN CHANGES:

DATE	DESCRIPTION
04.06.22	FIRST SUBMITTAL

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MODEL 'SYDNEY'

ARCHITECTURAL	
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C0.1	TECHNICAL INFORMATION
C0.2	TITLE SHEET / COVER SHEET
O.1	QUICK VIEW
O.2	QUICK VIEW

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A1.1	MONOLITHIC SLAB PLAN AT END UNIT CONDITIONS
A1.2	STEMWALL SLAB PLAN
A1.3	STEMWALL SLAB PLAN AT END UNIT CONDITIONS
A2.0	MAIN LEVEL PLAN
A3.0	UPPER LEVEL PLAN
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35 TOTAL SHEETS

D-1 DETAILS

ELECTRICAL

E1.1	MAIN LEVEL UTILITY PLAN
E1.2	UPPER LEVEL UTILITY PLAN

THERMAL ENVELOPE

N.3	THERMAL ENVELOPE
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DR HORTON SPLIT LEVEL TH 'SYDNEY' v2.0 - RH Canyon Landing

SQUARE FOOTAGES	
AREA	ELEV 'A'
MAIN LEVEL	544 SF
UPPER LEVEL	417 SF
TOTAL LIVING	1511 SF
GARAGE	417 SF
PORCH	40 SF
REAR PATIO	100 SF

NO.	DATE	REVISION
1	04.06.22	

PROFESSIONAL SEAL

PROJECT TITLE:

Townhomes
Canyon Landing
'Sydney'
v2.0

CLIENT NAME:

D-R HORTON
America's Builder

PROJECT NO. 6MD-6A20016

SHEET NO.

TITLE SHEET

PRINT DATE:
April 06, 2022

SHEET NO.

C0.0

FOR
CONSTRUCTION

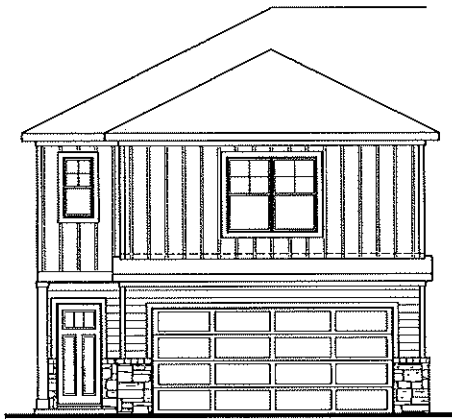
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Front Elevation 'A-1'
At End Unit Condition - L
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT 1/8"=1'-0" AT 10'00" LAYOUT



Front Elevation 'A-1'
At End Unit Condition - R
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT 1/8"=1'-0" AT 10'00" LAYOUT



Front Elevation 'A-1'
At Interior Unit Condition
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT 1/8"=1'-0" AT 10'00" LAYOUT



Front Elevation 'A-2'
At End Unit Condition - L
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT 1/8"=1'-0" AT 10'00" LAYOUT



Front Elevation 'A-2'
At End Unit Condition - R
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT 1/8"=1'-0" AT 10'00" LAYOUT



Front Elevation 'A-2'
At Interior Unit Condition
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT 1/8"=1'-0" AT 10'00" LAYOUT

NO.	DATE	REVISION
1	04/06/22	

PROFESSIONAL SEAL:

PROJECT TITLE:

Townhomes
Canyon Landing
'Sydney'
v2.0

FOR
CONSTRUCTION

CLIENT NAME:

D-R HORTON
America's Builder

PROJECT NO. 6MD-6A20016

SHEET TITLE:

QUICK VIEW

PRINT DATE:

April 06, 2022

SHEET NO.

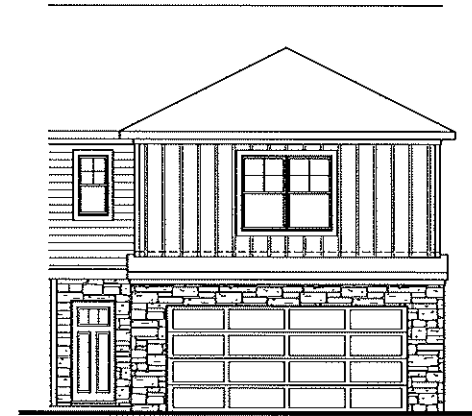
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Front Elevation 'A-3'
At End Unit Condition - L
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 15'X17' LAYOUT



Front Elevation 'A-3'
At End Unit Condition - R
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 15'X17' LAYOUT



Front Elevation 'A-3'
At Interior Unit Condition
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 15'X17' LAYOUT



Front Elevation 'A-4'
At End Unit Condition - L
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 15'X17' LAYOUT



Front Elevation 'A-4'
At End Unit Condition - R
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 15'X17' LAYOUT



Front Elevation 'A-4'
At Interior Unit Condition
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 15'X17' LAYOUT

NO.	DATE	REVISION
1	04/06/22	

PROFESSIONAL SEAL:

PROJECT FILE:

Townhomes
Canyon Landing
'Sydney'
v2.0

CLIENT NAME:

D.R. HORTON
America's Builder

PROJECT NO: 6MD-GA20016

ARCHITECT:

QUICK VIEW

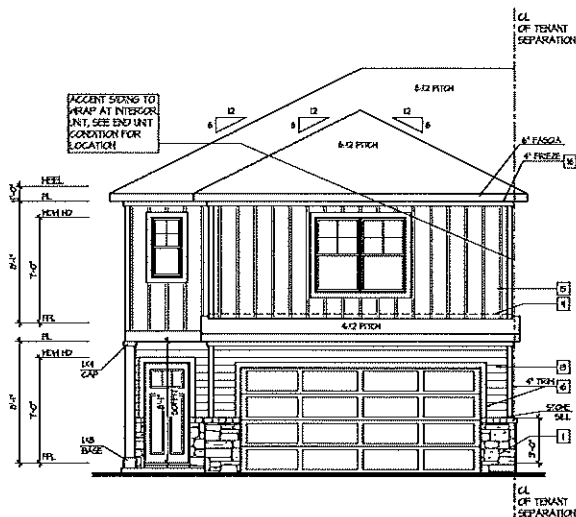
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April 06, 2022

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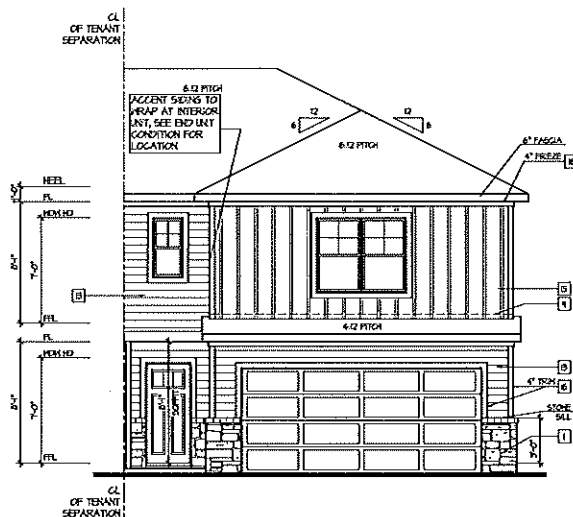
FOR
CONSTRUCTION



MATERIAL CALCULATIONS	
1.5" BRK	10.0
2.0" BRK	10.0
2.5" BRK	10.0
3.0" BRK	10.0
3.5" BRK	10.0
4.0" BRK	10.0
4.5" BRK	10.0
5.0" BRK	10.0
5.5" BRK	10.0
6.0" BRK	10.0
6.5" BRK	10.0
7.0" BRK	10.0
7.5" BRK	10.0
8.0" BRK	10.0
8.5" BRK	10.0
9.0" BRK	10.0
9.5" BRK	10.0
10.0" BRK	10.0

Front Elevation 'A-I'
At End Unit Condition - L

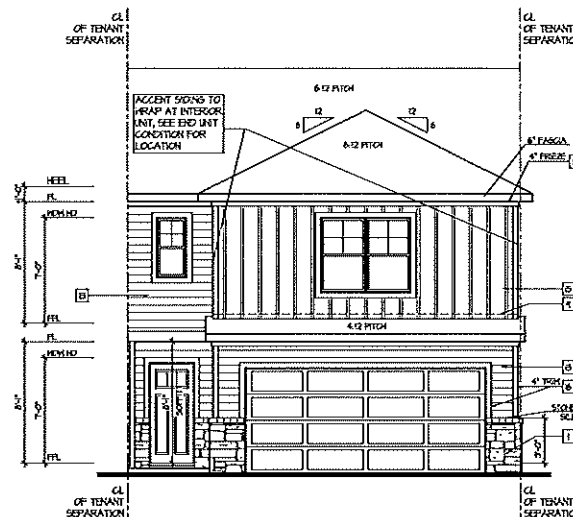
SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 10'x17' LAYOUT



MATERIAL CALCULATIONS	
1.5" BRK	10.0
2.0" BRK	10.0
2.5" BRK	10.0
3.0" BRK	10.0
3.5" BRK	10.0
4.0" BRK	10.0
4.5" BRK	10.0
5.0" BRK	10.0
5.5" BRK	10.0
6.0" BRK	10.0
6.5" BRK	10.0
7.0" BRK	10.0
7.5" BRK	10.0
8.0" BRK	10.0
8.5" BRK	10.0
9.0" BRK	10.0
9.5" BRK	10.0
10.0" BRK	10.0

Front Elevation 'A-I'
At End Unit Condition - R

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 10'x17' LAYOUT



MATERIAL CALCULATIONS	
1.5" BRK	10.0
2.0" BRK	10.0
2.5" BRK	10.0
3.0" BRK	10.0
3.5" BRK	10.0
4.0" BRK	10.0
4.5" BRK	10.0
5.0" BRK	10.0
5.5" BRK	10.0
6.0" BRK	10.0
6.5" BRK	10.0
7.0" BRK	10.0
7.5" BRK	10.0
8.0" BRK	10.0
8.5" BRK	10.0
9.0" BRK	10.0
9.5" BRK	10.0
10.0" BRK	10.0

Front Elevation 'A-I'
At Interior Unit Condition

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 10'x17' LAYOUT

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS: 1ST FLOOR = 7'-0" MIN. ON ELEVATIONS. 2ND FLOOR = 7'-0" MIN. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER. RAISED PANEL AS SHOWN.
- GARAGE: AS SHOWN. TOP OF GARAGE TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF GARAGE.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY: (ALL PORTIONS OF A FLOOR, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE TIE-BEAM DOWN INCLUDING POSTS, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)
- SHINGLED ROOF PITCHES FROM 2/12 TO 4/12 TO HAVE (2) LAYERS OF UNDERLAYMENT APPLIED AND OVERLAPPED PER R252.1.

KEY NOTES:

- MASONRY:
 - ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - ADHERED BRICK VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 1" OF SOLDIER COURSE.
 - RELOCK COURSE.
 - DECORATIVE KEY, SEE DETAIL.
- ROOFING:
 - CORROSION RESISTANT SCREEN LAMINATED VENTS, SIZE AS NOTED.
 - CODE APPROVED TERNATION GABLET CAP.
 - CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT. FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
 - STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ROOFING FINISH, PER SPEC.
- SCREENS:
 - SHAKE SCREEN PER DEVELOPER.
 - LAP SCREEN PER DEVELOPER.
 - N/A.
 - PANEL SCREEN 1/4" X 1/3" BATTIS AT 12" O.C. BATT SCREEN.
 - 1" X 1" OR EQUAL, 6" O.C. SIZE AS NOTED.
 - SLATERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE GROUND SURFACE MUST HAVE PROTECTIVE LANDING DEVICES COMPLYING WITH LOCAL CODES.

NO.	DATE	REVISION
1	04/06/22	

PROJECT TITLE:
Townhomes
Canyon Landing
'Sydney'
v2.0

CLIENT NAME:

D.R. HORTON
America's Builder

PROJECT NO: 64D-6A20016

8 KEY TITLE:
SYDNEY
EXTERIOR
ELEVATIONS 'A'

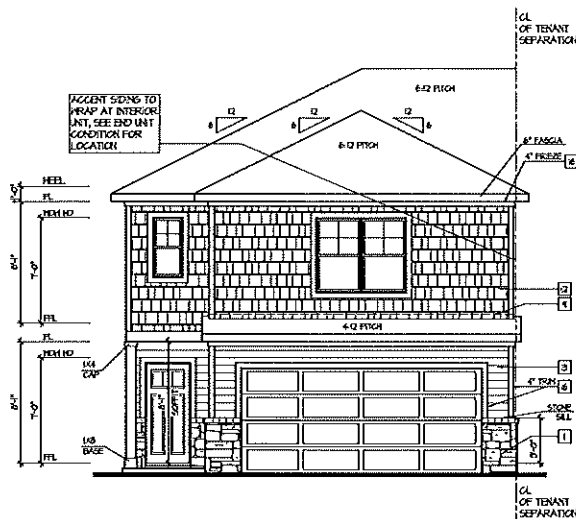
PRINT DATE:

April 06, 2022

8 KEY NO:

A6.0

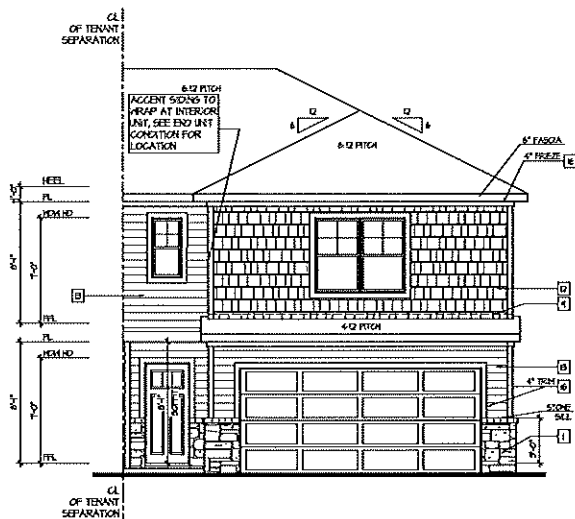
FOR CONSTRUCTION



MATERIAL CALCULATIONS	
1st Floor	21.1
2nd Floor	11.1
Roofing	11.1
1st Floor	21.1
2nd Floor	11.1
Roofing	11.1
1st Floor	21.1
2nd Floor	11.1
Roofing	11.1

Front Elevation 'A-2' At End Unit Condition - L

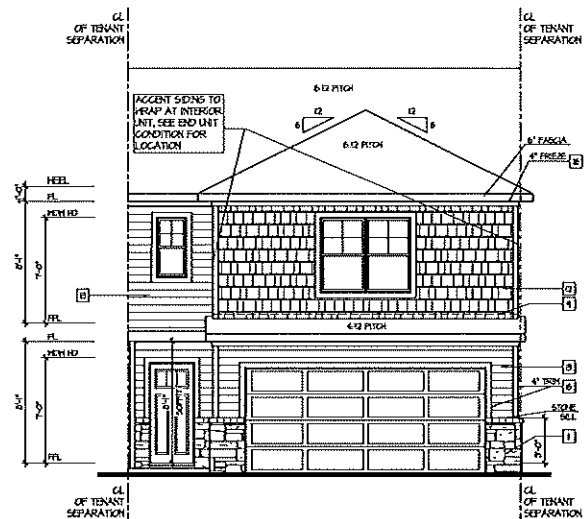
SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 1'x4' LAYOUT



MATERIAL CALCULATIONS	
1st Floor	21.1
2nd Floor	11.1
Roofing	11.1
1st Floor	21.1
2nd Floor	11.1
Roofing	11.1
1st Floor	21.1
2nd Floor	11.1
Roofing	11.1

Front Elevation 'A-2' At End Unit Condition - R

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 1'x4' LAYOUT



MATERIAL CALCULATIONS	
1st Floor	21.1
2nd Floor	11.1
Roofing	11.1
1st Floor	21.1
2nd Floor	11.1
Roofing	11.1
1st Floor	21.1
2nd Floor	11.1
Roofing	11.1

Front Elevation 'A-2' At Interior Unit Condition

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 1'x4' LAYOUT

NOTES:

- BRIDGE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- FINISH HEAD HEIGHTS:
1ST FLOOR = 7'-0" FINISH ON ELEVATIONS
2ND FLOOR = 7'-0" FINISH ON ELEVATIONS
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER. RAISED PANEL AS SHOWN.
- CHIMNEY: AS SHOWN. TOP OF CHIMNEY TO BE A MINIMUM OF 2'-0" ABOVE ANY ROOF WITHIN 12'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
ALL PORTIONS OF A PORCH SCREEN PORCH OR DECK FROM THE BOTTOM OF THE RAISED DOOR, INCLUDING ROOF, WALLS, POCKETS, STEPS AND FLOOR STRUCTURE.
- SHINGLED ROOF PITCHES FROM 2:12 TO 4:12 TO HAVE (2) LAYERS OF UNDERLAYMENT APPLIED AND OVERLAPPED PER ROSS-2.1.

KEY NOTES:

- MATERIALS:**
- (1) ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - (2) MANOIRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - (3) ADHERED BRICK VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - (4) 6" SOLID COURSE
 - (5) RAIL LOCK COURSE
 - (6) DECORATIVE KEY, SEE DETAIL.
 - (7) CORROSION RESISTANT SCREEN LAMINATED VENTS, SIZE AS NOTED.
 - (8) CODE APPROVED VENTILATION GIMNEY CAP.
 - (9) CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHINGS MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
 - (10) SHADOWS SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - (11) ROOFING FINISH PER SPEC.
- SIDING:**
- (12) SHAKE SIDING PER DEVELOPER
 - (13) LAP SIDING PER DEVELOPER
 - (14) N/A
 - (15) PANEL SIDING BY 1/2" BATHS AT 12" O.C. (BATH SIDING)
 - (16) 1X TYP OR EQUAL, ENO. SIZE AS NOTED
 - (17) SHAKERS, TYPE AS 5/8" O.C. SIZE AS NOTED.
- ALL WINDOWS, DOORS, OPENINGS IS LESS THAN 2'-0" ABOVE THE FINISH FLOOR AND DOORS OPENINGS IS GREATER THAN 12" ABOVE THE FINISH FLOOR SURFACE MUST HAVE PROTECTIVE OPENING LIMITER DEVICES COMPLYING WITH LOCAL CODES.

NO.	DATE	REVISION
1	04/06/22	

PROJECT TITLE:
Townhomes
Canyon Landing
'Sydney'
v2.0

CLIENT NAME:

D.R. HORTON
American Builder

PROJECT NO: 64D-6A20076

KEY TITLE:
**SYDNEY
EXTERIOR
ELEVATIONS 'A'**

PRINT DATE:
April 06, 2022

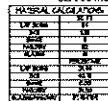
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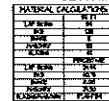
FOR CONSTRUCTION



SCALE: VERTICAL 1"=10' AT 22' ON LAYOUT 10"=10' AT 5' ON LAYOUT



SCALE 1/4"=1'-0" AT 22°34' LATQ.T 1/8"=1'-0" AT 1°47' LATQ.T



SCALE 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT NEXT LAYOUT

GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND CORROBORATE FOR ACTUAL SITE CONDITIONS.

WOODEN HEAD FIXINGS:
1ST FLOOR = TOP NAIL ON ELEVATIONS
2ND FLOOR = TOP NAIL ON ELEVATIONS

ROOFING: FINISH SHINGLES PER DEVELOPER.
ROOFING, HANGERS/FRAMING PER DEVELOPER. PROVIDE LIDS AS SHOWN ON THE EXTERIOR ELEVATIONS.
ROOFING DOORS, AS SELECTED BY DEVELOPER.
GUTTER/DROPS, AS SELECTED BY DEVELOPER. RAINFALL PANEL AS SHOWN.
CORNER AS CORNER. TOP OF GUTTERIES TO BE A MINIMUM OF 2" ABOVE ANY ROOF OVERHANG OF DECK/STAIR.

ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
PROTECTION AGAINST DECAY:
(ALL PORTIONS IN A TYPICAL SECTION PURVEYOR ON DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POIS, RAIS, PROTECTS, STAIRS AND FLOOR STRUCTURE)
SHALL BE SHINGLED FROM 2X4 TO 6X6 TO ALLOW WATER LAYERS OF UNDERLAMENT

[illegible]

A6.2

FOR
CONSTRUCTION

D·R·HORTON
America's Builder

PROJECT NO: 64D-GA20076

SYDNEY
EXTERIOR
ELEVATIONS 'A'

PRINT DATE: APR 06 2022

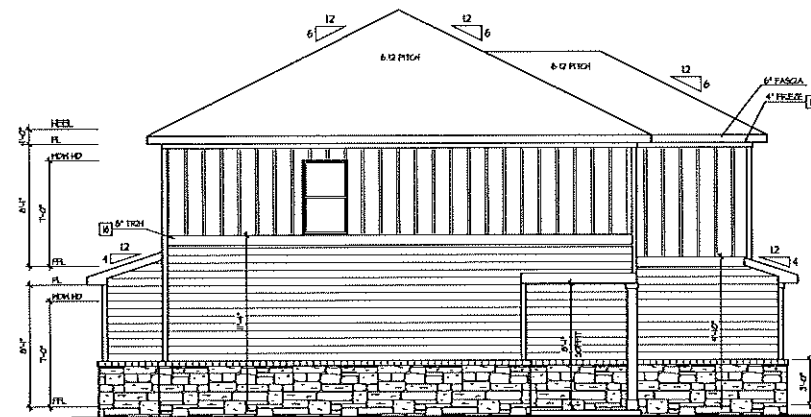
April 06, 2022

A6.2

- * GARAGE CEMENT MAY VARY FOR INDIVIDUAL SITE FROM THIS SCHED. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- * ROOMS HEAD HEIGHTS:
 - 1ST FLOOR = 7'0" END, ON ELEVATIONS
 - 2ND FLOOR = 7'0" END, ON ELEVATIONS
- * ROOFING: COMPOSITE FINISHED SINGLE ROOFING SYSTEM PER DEVELOPER.
- * WINDOWS: MANUFACTURER PER DEVELOPER, DIVERTED LINES AS SHOWN ON THE EXTERIOR ELEVATIONS
- * ENTRY DOOR: AS SELECTED BY DEVELOPER.
- * GARAGE DOORS: AS SELECTED BY DEVELOPER, RASSED PANEL, AS SHOWN ON
- * GUTTER AS GUTTERS, TOP OF PARAPETS TO BE A MINIMUM OF 2" ABOVE ANY ROOF
- * FINISH OF ROOF: AS SELECTED BY DEVELOPER.
- * ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- * PROTECTION AGAINST CORROSION:
 - ALL PORTIONS OF ROOF, EXPOSED PORTION ON DECK FROM THE BOTTOM OF THE HEADER DOWN INCLUDING POST, RAILS, JOISTS, STEPS AND FLOOR STRUCTURES.

MASSNET	
1	ADDRESS STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
2	MASSNET WALL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
3	ADDRESS BRICK VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
4	M SOLIDLY COURSE.
5	WORK LOGS COURSE.
6	DECORATIVE KEY: SEE DETAIL.
<u>TYPICALS</u>	
1	CONCRESSION RESISTANT SCREEN LOUVERED VENTS, SLUE AS NOTED.
2	CODE APPROVED THROUGHOUT GARMENT GAR.
3	CONCRESSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
4	STANDING SEAM HEAT MET. ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
<u>SCHEM.</u>	
1	SHADE SCODING PER DEVELOPER
2	LAP SCODING PER DEVELOPER
3	NA
4	PANEL SCODING W/ 1/2" BATTIS AT 0% OF
5	BATTIS SCODING
6	M TIGHT ON EQUAL, FINO. SIZE AS NOTED
7	SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED.

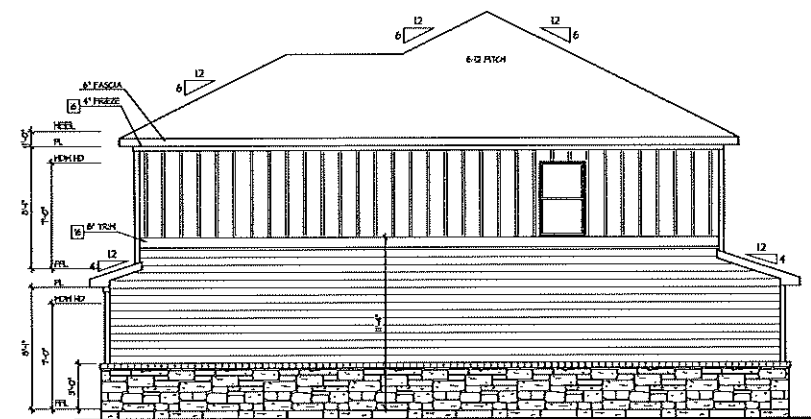
ALL HANDING HOLES OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND HOLES OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE PROTECTIVE OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



Left Elevation 'A-I'
At End Condition - L

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 17"x27" LAYOUT

PATRIAL CALCULATION	
DATE	3/1/78
TIME	1:54
DATE	4/1/78
TIME	1:54
DATE	5/1/78
TIME	1:54
DATE	6/1/78
TIME	1:54
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DATE	11/1/84
TIME	1



Right Elevation 'A-I'
At End Condition - R

SCALE 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 12"x17" LAYOUT

MATERIAL CATEGORY		NO.
LOW SOLIDS		37
SOL		18
PAVE		3
PAVING		10
SLASH		19
		THICKNESS
LOW SOLIDS		45
SOL		103
PAVE		63
PAVING		24
SLURRY		20

NO	DATE	REVISION
1	04.08.22	

PROFESSIONAL SEAL:

PROJECT TITLE

**Townhomes
Canyon Landing
'Sydney'
v2.0**

**FOR
CONSTRUCTION**

(c) (5) DPP, (b) (5) ACP

D·R·HORTON
America's Builder

PROJECT NO: GA-06A20076

EXE FILE:
SYDNEY
EXTERIOR
ELEVATIONS 'A'

PRINT DATE: April 06, 2022

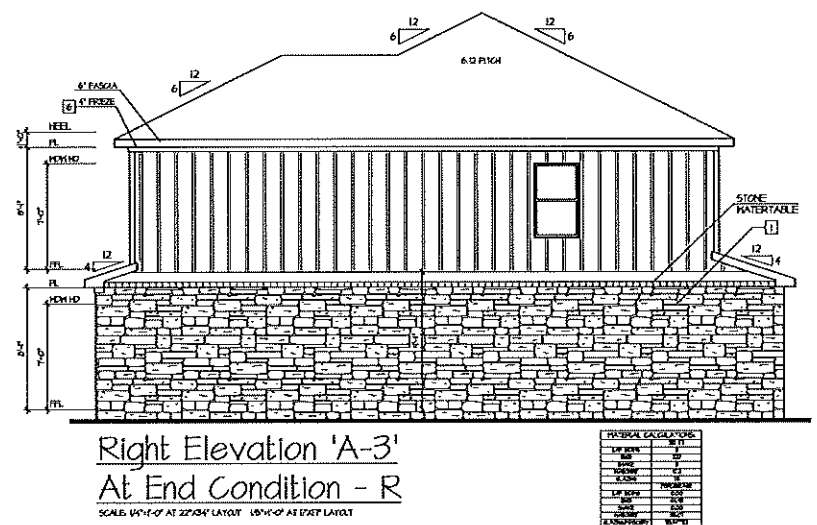
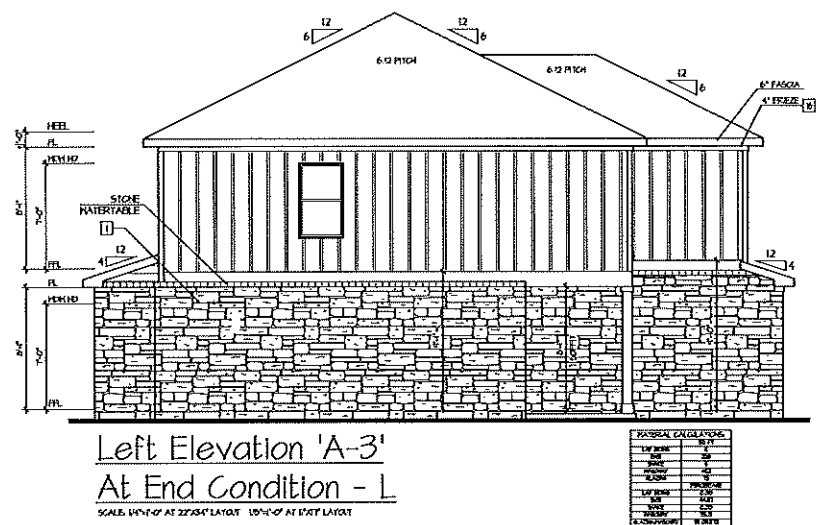
GET BACK

A6.4

- GARAGE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE FOR ACTUAL SITE CONDITIONS.
- WOODEN HEAD DOORS.
- 1ST FLOOR = 7'-0" W.A.O. ON ELEVATIONS.
- 2ND FLOOR = 7'-0" W.A.O. ON ELEVATIONS.
- ROOFING: CONCRETE FINISHED SINGLE ROOFING SYSTEM PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVYED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- GROUND AS OCCURS. TOP OF DRIVEWAYS TO BE A MINIMUM OF 24" ABOVE ANY FLOOR OF DRIVE OR GARAGE.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DEBRIS.
- (ALL PORTIONS OF A FORMAL SURVEY PURCHASER OR DEGREE FROM THE BOTTOM OF THE REARER DOWN TO THE DRIVE, WALKWAYS, STEPS AND FLOOR OF GARAGE STRUCTURE).

- 1) WASHNET
- 2) ADDED SOME VENER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
- 3) MASORY FULL BRICK AS SELECTED BY DEVELOPER HEIGHT AS NOTED.
- 4) ADDED BRICK VENER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
- 5) OF SOLIDER COURSE
- 6) SHIMLOCK COURSE
- 7) DISCREMINATE KEY, SIZE DETAIL.
- 8) TYPICALS
- 9) CORROSION RESISTANT SCREEN LAMINATED VENTS, SIZE AS NOTED.
- 10) CODE APPROVED THERMOPIAN GROUND PANE.
- 11) CORROSION RESISTANT ROOF TO MATCH FLUSHING, CODE COMPLIANT
- 12) VENTING MUST BE INSTALLED AT ALL ROOF SMALL INTERSECTIONS.
- 13) STANDING SEAM METAL ROOF, METAL PER MANUFACTURER'S WRITTEN INSTRUCTIONS
- 14) ROOFING FORMAL PER SPEC.
- 15) SIGNS
- 16) SHAKE SIDING PER DEVELOPER
- 17) LAKE SIDING PER DEVELOPER
- 18) NA
- 19) PANEL SIDING IN VED BAYS AT 12" O.C.
- 20) BATT SIDING
- 21) 16" TYPICAL ON EXTERIOR, 1/4" O.C. SIZE AS NOTED
- 22) OUTLETS, TYPE AS SHOWN, SIZE AS NOTED.

ALL HATCHES HADSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND HATCH OPENING IS GREATER THAN 24" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE HATCH OPENING LIFTING DEVICES COMPLYING WITH LOCAL CODES



NO.	DATE	REVISION
1	04/08/22	

PROJECT TITLE:
**Townhomes
Canyon Landing
'Sydney'
v2.0**

CUSTOMER NAME:
D·R·HORTON
America's Builder
PROJECT NO: GMD-6A20076
IN SET TITLE:
SYDNEY
EXTERIOR
ELEVATIONS 'A'

PRINT DATE:
April 06, 2022

SHEET NO:
A6.6

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL. SITE FROM EXIST. SHEET. BUILDER SHALL VERIFY AND CORRESPOND TO ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" U.G.D. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.G.D. ON ELEVATIONS.
- ROOFING: COMPOSITE FINISHED SINGLE ROOFING SYSTEM PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER. RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS. TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 12'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY: (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE RAFTER DOWN INCLUDING POSTS, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE)

KEY NOTES:

MASONRY:

1. ACHESTER STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
2. MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
3. ACHESTER BRICK VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
4. 8" SOLID COURSE.
5. RAINLOCK COURSE.
6. DECORATIVE KEY. SEE DETAIL.

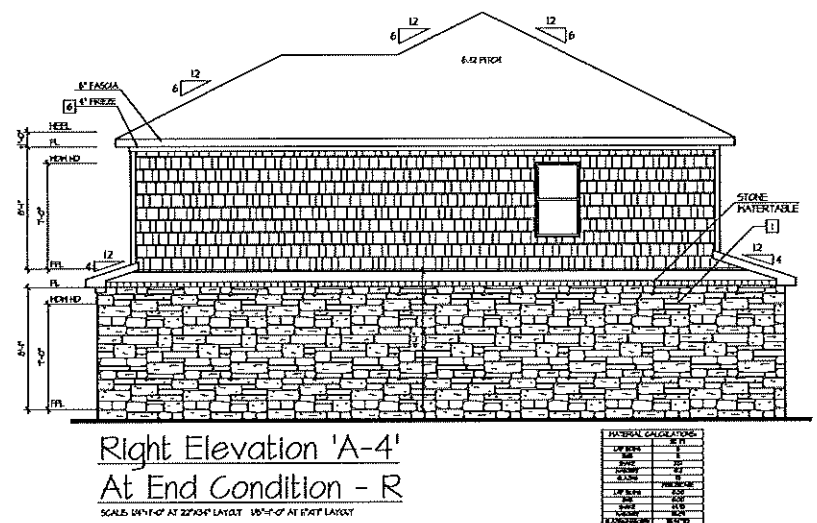
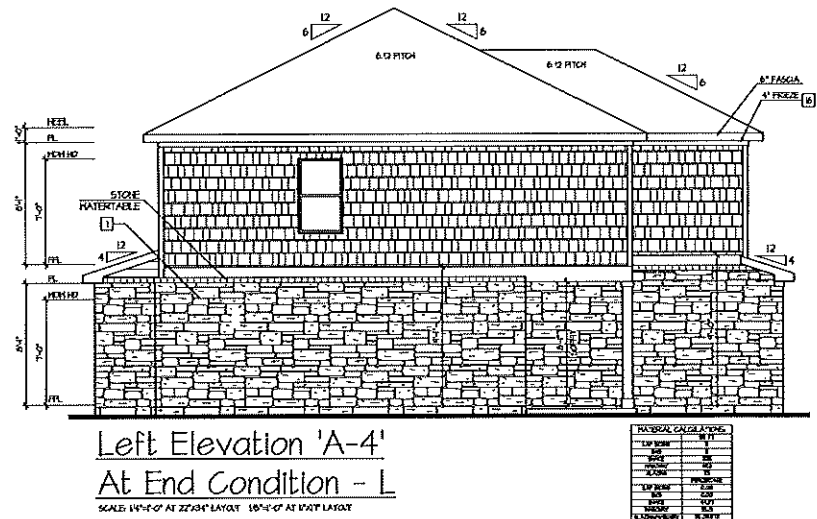
TYPICALS:

1. CORROSION RESISTANT SCREEN LOUVERED VENTS. SIZE AS NOTED.
2. CODE APPROVED TERMINATION CHIMNEY CAP.
3. CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
4. STANDING SEAM METAL ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
5. ROOFING FLASHING PER SPEC.

SECTIONS:

1. SHAVE SIDING PER DEVELOPER.
2. LAP SIDING PER DEVELOPER.
3. NA.
4. PANEL SIDING W/ 1X3 BATTIS AT 12" O.C. (BATT SIDING)
5. 1X TYPH OR EQUAL. U.G.D. SIZE AS NOTED.
6. SHUTTERS. TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS HAVING OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND HAVING OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE FINISH SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES.



NO.	DATE	REVISION
1	04/06/20	

PROFESSIONAL SEAL:

PROJECT TITLE:
Townhomes
Canyon Landing
'Sydney'
v2.0

CLIENT NAME:

B.R. HORTON
America's Builder

PROJECT NO. 64D-6A20076

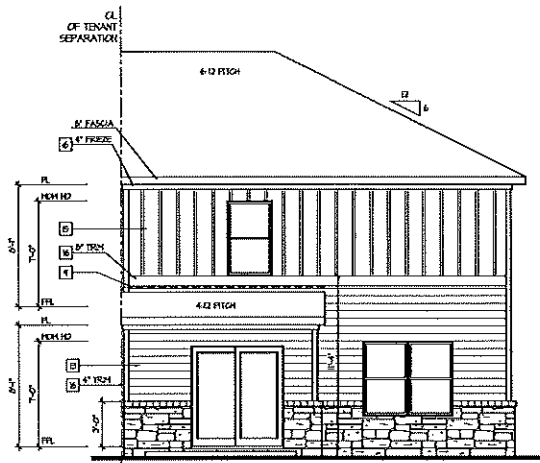
IN SET TITLE:
SYDNEY
EXTERIOR
ELEVATIONS 'A'

PRINT DATE:
April 06, 2022

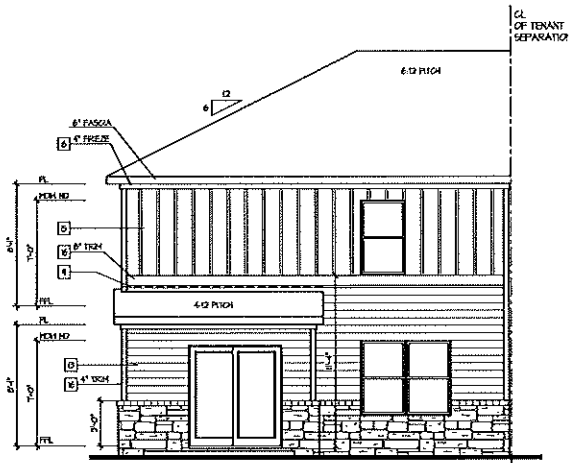
SHEET NO:

A6.7

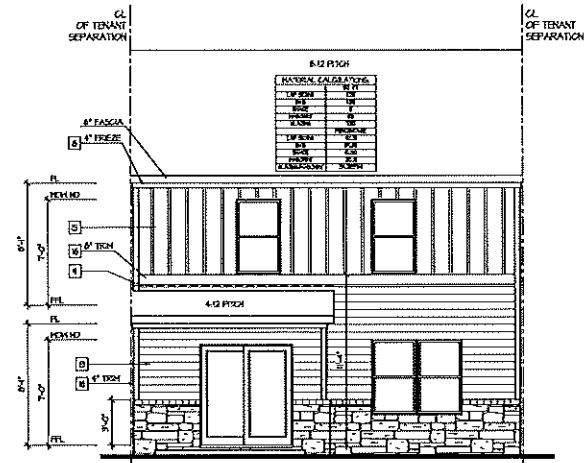
FOR
CONSTRUCTION



Rear Elevation 'A-I'
At End Unit - L
SCALE: 1/4"=1'-0" AT 22'5/8" LAYOUT 1/8"=1'-0" AT 1/8" LAYOUT



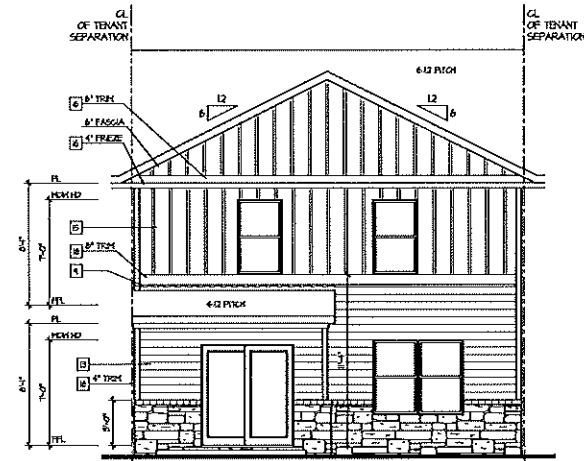
Rear Elevation 'A-I'
At End Unit - R
SCALE: 1/4"=1'-0" AT 22'5/8" LAYOUT 1/8"=1'-0" AT 1/8" LAYOUT



Rear Elevation 'A-I'
At Interior Unit
SCALE: 1/4"=1'-0" AT 22'5/8" LAYOUT 1/8"=1'-0" AT 1/8" LAYOUT

- NOTES:**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE FOR ACTUAL SITE CONDITIONS.
 - KNOCK HEAD HEIGHTS:
1ST FLOOR = 7'-0" EXD. ON ELEVATIONS
2ND FLOOR = 7'-0" EXD. ON ELEVATIONS
 - ROOFING: PITCHED SHINGLES PER DEVELOPER.
 - WOODS: MANUFACTURER PER DEVELOPER. DIVIDED LINES AS SHOWN ON THE EXTERIOR ELEVATIONS
 - DOOR: DOOR, AS SELECTED BY DEVELOPER.
 - GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL, AS SHOWN.
 - CHIMNEY: AS SHOWN. TOP OF CHIMNEY TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POSTS, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE)
 - SHINGLED ROOF PITCHES FROM 2/12 TO 4/12 TO HAVE (2) LAYERS OF UNDERLAMENT APPLIED AND OVERLAPPED PER PRODUCT.

- KEY NOTES:**
- | MATERIALS: | SCHEMATIC: |
|--|---|
| [1] ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED. | [3] SHAKE SIDING PER DEVELOPER |
| [2] HORIZONTAL FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED. | [4] LAP SIDING PER DEVELOPER |
| [3] ADHERED BRICK VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED. | [5] N/A |
| [4] 1/2" SILLER COURSE | [6] PANEL SIDING BY 1/2" BATT AS 12" O.C. BATT SIDING |
| [5] KNOCK-LOCK COURSE | [7] 1/2" TRIM OR EQUAL, L&D, SIZE AS NOTED |
| [6] DECORATIVE KEY, SEE DETAIL. | [8] SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED. |
| TYPICALS: | |
| [1] CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED. | |
| [2] GAGE APPROVED TERMINATION CHIMNEY CAP. | |
| [3] CORROSION RESISTANT ROOF TO ROLL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. | |
| [4] SHIMMER BEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. | |
| [5] ROOFING FLASHING PER SPECS | |
- ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FLOOR AND WHOSE GROUND IS GREATER THAN 12" ABOVE THE OUTSIDE FINISH SURFACE MUST HAVE PERSON OPERATING LIMITING DEVICES COMPLYING WITH LOCAL CODES



Rear Elev. 'A-I'
At Interior Unit
w/ Gable Condition
SCALE: 1/4"=1'-0" AT 22'5/8" LAYOUT 1/8"=1'-0" AT 1/8" LAYOUT

NO.	DATE	REVISION
1	04/06/22	

PROFESSIONAL SEAL:

PROJECT TITLE:
Townhomes
Canyon Landing
'Sydney'
v2.0

DRAWN BY:

D.R. HORTON
America's Builder

PROJECT NO: 64HD-6A20076

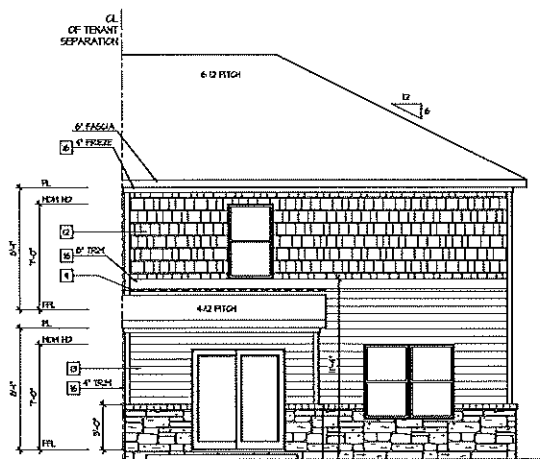
SHEET TITLE:
SYDNEY
EXTERIOR
ELEVATIONS 'A'

PRINT DATE:
April 06, 2022

SHEET NO:

A6.8

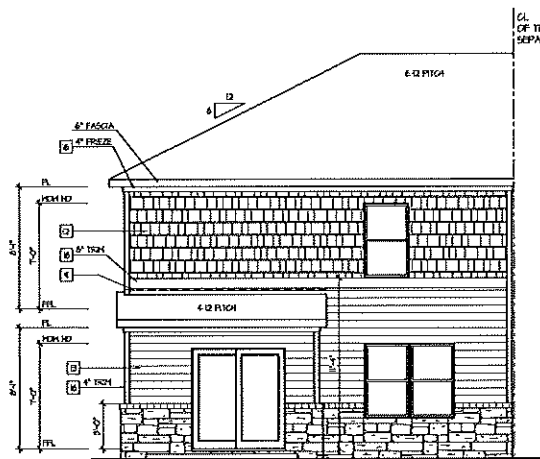
FOR CONSTRUCTION



Rear Elevation 'A-2'

At End Unit - L

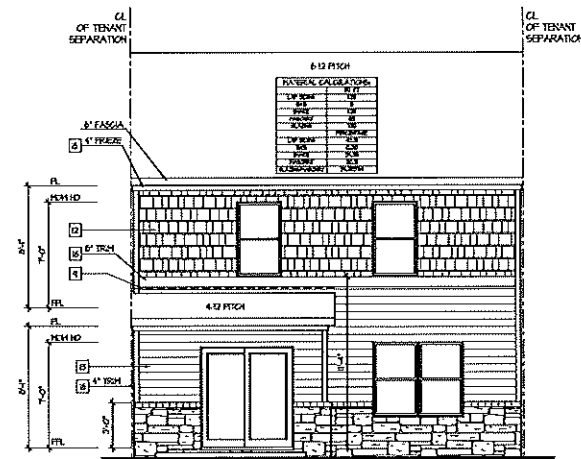
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 1'X6' LAYOUT



Rear Elevation 'A-2'

At End Unit - R

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 1'X6' LAYOUT



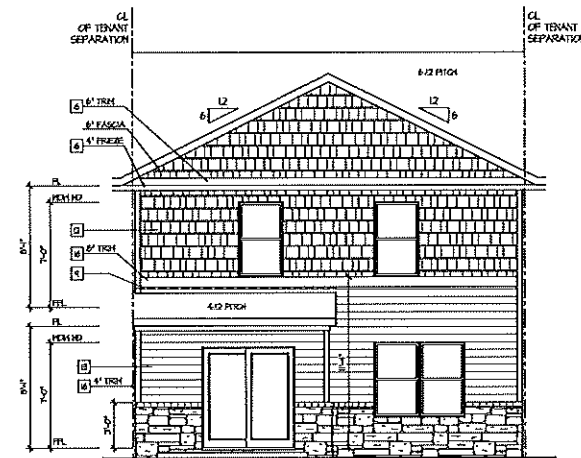
Rear Elevation 'A-2'

At Interior Unit

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 1'X6' LAYOUT

- NOTES:**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE FOR ACTUAL SITE CONDITIONS.
 - WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" C.L.O. ON ELEVATIONS
2ND FLOOR = 7'-0" C.L.O. ON ELEVATIONS
 - ROOFING: PITCHED SHINGLES PER DEVELOPER.
 - SHINGLES: MANUFACTURER PER DEVELOPER. DIVIDED LINES AS SHOWN ON THE EXTERIOR ELEVATIONS.
 - ENTRY DOORS: AS SELECTED BY DEVELOPER.
 - GARAGE DOORS: AS SELECTED BY DEVELOPER. RAISED PANEL AS SHOWN.
 - GARNET: AS SHOWN. TOP OF GARNETS TO BE A HEIGHT OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF GARNET.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - PROTECTION AGAINST DECAIT:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POSTS, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE)
 - SHINGLED ROOF: PICKETS FROM 2X2 TO 4X4 TO HAVE (2) LAYERS OF UNDERLAYMENT APPLIED AND OVERLAPPED PER IRC622.1.

- KEY NOTES:**
- | | |
|--|---|
| MATERIALS: | SHINGLES: |
| [1] AGGREGATE STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED. | [2] SHAKE SHINGLES PER DEVELOPER. |
| [2] MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED. | [3] LAF SHINGLES PER DEVELOPER. |
| [3] AGGREGATE BRICK VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED. | [4] N/A |
| [4] 1/2" MASONRY COURSE. | [5] PANEL SHINGLES BY 1/2" BATTIS AT 02" O.C. (BATT SHINGLES) |
| [5] 1/2" MASONRY COURSE. | [6] 1/2" TRIM OR EQUAL, C.L.O. SIZE AS NOTED |
| [6] 1/2" MASONRY COURSE. | [7] SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED. |
| TYPICALS: | |
| [1] CORROSION RESISTANT SCREEN COVERED VENTS, SIZE AS NOTED. | |
| [2] CODE APPROVED TERMINATION GARNET CAP. | |
| [3] CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT. | |
| [4] FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. | |
| [5] SHINGLED SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. | |
| [6] ROOFING FINISH PER SPEC. | |
- ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE GROUND FINISH SURFACE MUST HAVE PROTECTIVE OPENING LIFTING DEVICES COMPLYING WITH LOCAL CODES.



Rear Elev. 'A-2'

At Interior Unit

w/ Gable Condition

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 1'X6' LAYOUT

NO.	DATE	REVISION
1	04/06/22	

PROFESSIONAL SEAL:

PROJECT TITLE:
**Townhomes
Canyon Landing
'Sydney'
v2.0**

CLIENT NAME:

D.R. HORTON
America's Builder

PROJECT NO.: 641D-6A20076

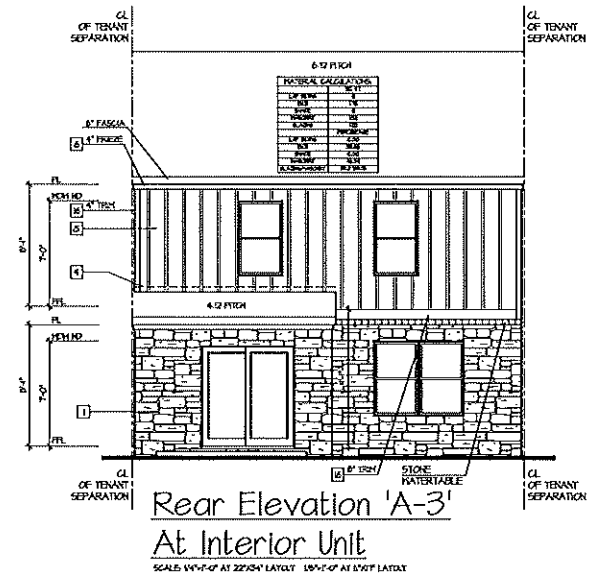
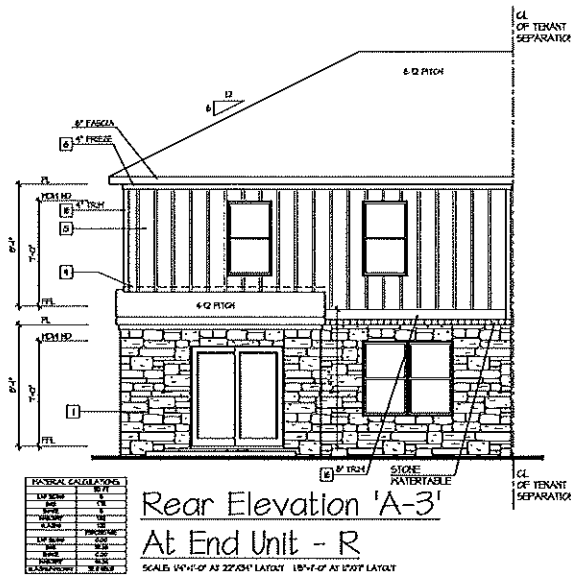
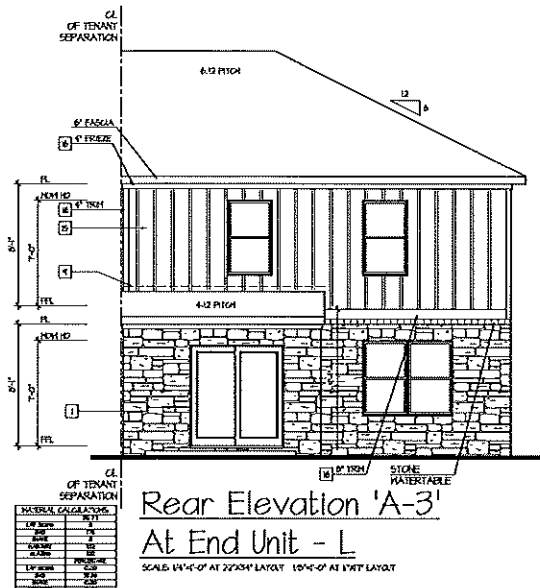
BY DATE:
**SYDNEY
EXTERIOR
ELEVATIONS 'A'**

PRINT DATE:
April 06, 2022

BY DATE:

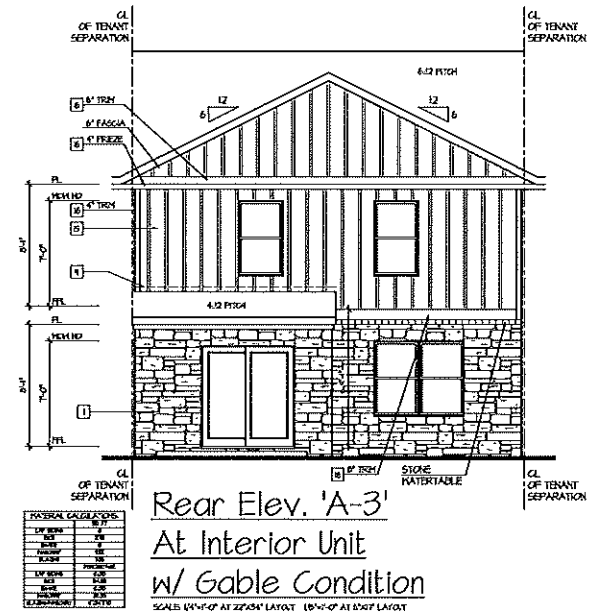
A6.9

FOR CONSTRUCTION



- NOTES:**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE FOR ACTUAL SITE CONDITIONS.
 - WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" EXCL. ON ELEVATIONS
2ND FLOOR = 7'-0" EXCL. ON ELEVATIONS
 - ROOFING: PITCHED SHINGLES PER DEVELOPER.
 - WINDOWS: MANUFACTURER PER DEVELOPER. PROVIDE LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
 - ENTRY DOORS: AS SELECTED BY DEVELOPER.
 - GARAGE DOORS: AS SELECTED BY DEVELOPER. RAISED PANEL AS SHOWN.
 - CHIMNEY: AS SHOWN. TOP OF CHIMNEY TO BE A MINIMUM OF 24" ABOVE ANY ROOF. MINIMUM 2'-0" OF CHIMNEY.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - PROTECTION AGAINST DECAY:
DALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HANGER DOWN, INCLUDING POST, RAILS, FINGER, STEPS AND FLOOR STRUCTURE.
 - SHOULDER ROOF: PROVIDE FROM 24" TO 48" TO HAVE 22 LAYERS OF UNDERLATHMENT APPLIED AND OVERLAPPED PER PRODUCT.

- KEY NOTES:**
- MASONRY:**
1. ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 2. STUCCO SONG PER DEVELOPER.
 3. STUCCO SONG PER DEVELOPER.
 4. STUCCO SONG PER DEVELOPER.
 5. STUCCO SONG PER DEVELOPER.
 6. STUCCO SONG PER DEVELOPER.
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 8. STUCCO SONG PER DEVELOPER.
 9. STUCCO SONG PER DEVELOPER.
 10. STUCCO SONG PER DEVELOPER.
 11. STUCCO SONG PER DEVELOPER.
- SCAFFOLDING:**
1. SCAFFOLDING PER DEVELOPER.
 2. SCAFFOLDING PER DEVELOPER.
 3. SCAFFOLDING PER DEVELOPER.
 4. SCAFFOLDING PER DEVELOPER.
 5. SCAFFOLDING PER DEVELOPER.
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 7. SCAFFOLDING PER DEVELOPER.
 8. SCAFFOLDING PER DEVELOPER.
 9. SCAFFOLDING PER DEVELOPER.
 10. SCAFFOLDING PER DEVELOPER.
 11. SCAFFOLDING PER DEVELOPER.
- ALL WINDOWS: PROVIDE OPENING IS LESS THAN 24" ABOVE THE FIRST FLOOR AND PROVIDE OPENING IS GREATER THAN 24" ABOVE THE GROUND FLOOR. PROVIDE OPENING LIFTING DEVICES COMPLYING WITH LOCAL CODES.**



NO.	DATE	REVISION
1	04/06/22	

PROFESSIONAL SEAL:

PROJECT TITLE:
**Townhomes
Canyon Landing
'Sydney'
v2.0**

CLIENT NAME:

D.R. HORTON
America's Builder

PROJECT NO: 64D-GA20016

8-DEET TITLE:
**SYDNEY
EXTERIOR
ELEVATIONS 'A'**

PRINT DATE:
April 06, 2022

SHEET NO:
A6.10

FOR CONSTRUCTION



PLAN AND ZONING COMMISSION

May 3, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Canyon Landing Duplexes Plat 1 Final Plat

EXECUTIVE SUMMARY:

Staff report attached.

FISCAL IMPACT: **No**

Cost-participation for extensions and upsizing of public sanitary sewer and public water mains in the amount estimated to be \$519,914.55.

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):






PUBLIC OUTREACH EFFORTS:

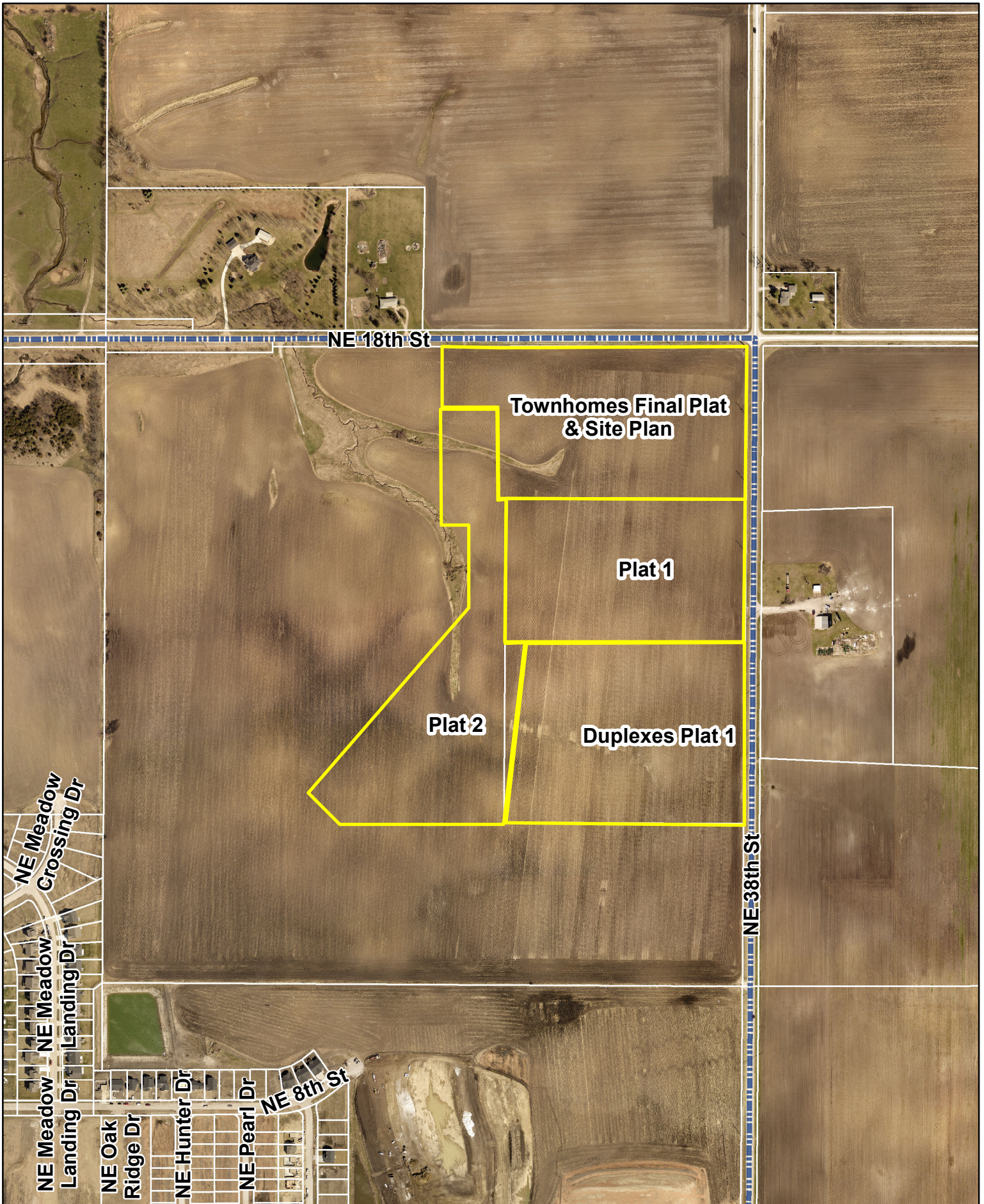
ACTION REQUESTED:

Action: Consider MOTION to recommend City Council approval of the Canyon Landing Duplexes Plat 1 Final Plat; and recommend City Council authorization of cost-participation for extensions and upsizing of public sanitary sewer and public water mains in the amount estimated to be \$519,914.55.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download
 Aerial Map
 Staff Report
 Applicant Letter
 Final Plat
 Elevations





*Plan and Zoning Commission
Staff Report*

Meeting Date: May 3, 2022

Agenda Item: Canyon Landing Duplexes Plat 1 – Final Plat
Report Date: April 28, 2022
Prepared By: Jake Heil *ESC*
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of Canyon Landing Duplexes Plat 1 Final Plat; and recommend City Council authorization of cost-participation for extensions and upsizing of public sanitary sewer and public water mains in the amount estimated to be \$519,914.55.

Project Summary:

Canyon Landing Duplexes Plat 1 is a proposed 6.05-acre (+/-) plat located south of NE 15th Street and west of NE 38th Street. The subject plat creates 40 one and two-family residential lots, three street lots, and associated utilities easements and improvements. All lots are subject to the Twinhome bulk regulations. The proposed plat is in general conformance with the Canyon Landing PUD.

Project Report:

- Streets:** The proposed plat will be accessed primarily from the north via NE Crossing Oaks Drive, from Canyon Landing Plat 1. NE Crossing Oaks Drive feeds into NE 16th Street, which then provides residences in this plat access to NE 38th Street. Future phases of the Duplexes and Canyon Landing PUD to the south, will provide for a secondary entrance/exit onto NE 38th Street via NE 12th Street, for this plat. All proposed roads in the development will be required to have five-foot sidewalks.
- Water:** This plat continues the 8-inch water mains along NE Crossing Oaks Drive. Eight-inch water mains will be installed throughout the remainder of the development. The cost participation for water main includes upsizing from 8-inch to 16-inch along NE 38th Street, for an estimated cost of \$8,925.
- Sewer:** This plat will be serviced by 8-inch sanitary sewer mains that run along NE Crossing Oaks Drive and NE 14th Street. This plat also extends the 21-inch sanitary sewer main that was extended south from NE 18th Street along NE Deerfield Drive with plat 1. This 21-inch main will be extended south along NE Deerfield Drive until the proposed NE 14th Street within this plat. This 21-inch sanitary sewer then run east along NE 14th Street, until meeting up with the existing sanitary sewer along the west side of NE 38th Street. The cost participation for the sanitary sewer is that the city and the developer agreed that the developer

would pay for the cost of an 8-inch sanitary sewer main along NE 14th Street and the City would pay for the remaining costs for the 21-inch sanitary sewer trunk line, at an estimated cost of \$510,989.55.

Drainage: This plat will be serviced by 8-inch storm water mains will be installed along NE Crossing Oaks Drive, and a 15-inch storm water main along NE 14th Street. Stormwater from this plat flows to the southwest corner of this plat, then west via a 30-inch storm water main to Outlot X in Canyon Landing Plat 2. Storm water will then convey off-site to the north and west, draining into Deer Creek, ultimately outletting into Four Mile Creek.

Parkland: The parkland dedication requirement for Duplexes Plat 1 is 0.44 acres, but parkland is not proposed with this plat. The developer will be dedicating 13.16 acres of parkland with a future Canyon Landing plat. The total park dedication for the Canyon Landing PUD is estimated at 13.20 acres.

**CITY OF ANKENY
SUBDIVISION DATA**

NAME OF PLAT: Canyon Landing Duplexes Plat 1
NAME OF OWNER/ DEVELOPER: Stubbs Development, Inc.

GENERAL INFORMATION:

PLAT LOCATION: South of NE 15th Street and west of NE 38th Street
SIZE OF PLAT: 6.05 acres
ZONING: Canyon Landing PUD

LOTS:

NUMBER: 40 One-Family and Two-Family lots; 3 street lots
SIZE/DENSITY: 2.68 units per acre
USE: Residential
BUILDING LINES: One-Family & Two-Family Residential - Twinhomes
Minimum lot width at front yard setback:
1. One-Family Detached Dwelling - 50'
2. One-Family Attached Dwelling - 31'
3. Two-Family Attached Dwelling - 62'
Minimum lot area:
1. One-Family Detached Dwelling - 6,500 SF
1. One-Family Attached Dwelling - 4,000 SF
2. Two-Family Attached Dwelling - 8,000 SF
Minimum yard requirements:
Front: 25'
Rear: 35'
Side: 5'

PARK SITE DEDICATION:

The parkland dedication requirement for Plat 2 is 0.44 acres, but parkland is not proposed with this plat. The developer will be dedicating 13.16 acres of parkland with a future Canyon Landing plat. The total park dedication for the Canyon Landing PUD is estimated at 13.20 acres. Any additional parksite dedication required would be by payment in lieu of land dedication.

ADJACENT LANDS:

NORTH: Canyon Landing PUD – Plat 1
SOUTH: Canyon Landing PUD – future Duplexes
EAST: Cropland zoned AG, Agricultural
WEST: Canyon Landing PUD – Plat 2

STREET DEVELOPMENT:

NAME: NE 14th Street
LENGTH: 556'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

NAME: NE Crossing Oaks Drive
LENGTH: 349'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

WASTE WATER:

PROJECTED FLOWS: 6.05 acres of developable land X 990 gal. per day/pers.= 5,989.5 GPD

TREATMENT PLANT CAPACITY: Design: 47 MGD; current daily avg. 18 MGD.

STORM WATER:

BASIN FLOWS: This plat lies in the Four Mile Creek Drainage Basin.

WATER SYSTEM:

USAGE: 40 units X 3 pers. per house X 100 gal. per day/person = 12,000 GPD

SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD

FINAL PLAT DRAWING:

Staff recommends approval.

CONSTRUCTION PLANS:

To be approved.



STUBBS ENGINEERING

431 NE 72nd St. Pleasant Hill, IA 50327

04/22/22

City Council & Planning and Zoning Commission

City of Ankeny

Canyon Landing Duplexes Plat 1 Approval Request and Cost Participation

Stubbs Engineering, on behalf of Stubbs Development, requests approval for Canyon Landing Duplexes Plat 1 – a Twinhome development within the Canyon Landing development. It is located southwest of the intersection of NE 18th ST and NE 38th ST, approximately 5.7 acres, containing 40 units of Twinhomes.

The developer would like to request the following cost share participation from the city of Ankeny per city staff's comments:

A cost share to extend the 16" water main along NE 38th ST. A cost share amount of \$25.00/LF has been requested for the 357 LF of 16" water main being extended. This amounts to a cost share of **\$8,925**.

The developer and the city agreed that the developer would pay for an 8" line and the city would pay for remaining cost of a 21" trunk line. The additional cost of the 21" trunk-line, per the proposal, is **\$510,989.55**.

Sincerely,

Stubbs Engineering

Branden Stubbs

Branden Stubbs, P.E.

INDEX LEGEND

LOCATION: NE 102ND AVE AND NE 38TH STREET, POLK COUNTY, IOWA
NE 1/4 SEC 17, T80N, R23W

REQUESTOR: BRANDEN STUBBS
PROPRIETOR: STUBBS DEVELOPMENT, INC.
1236 34TH STREET SE
ALTOONA, IA 50009

SURVEYOR: NICHOLAS F. CARTER
COMPANY & RETURN TO: CARTER SURVEYING & CONSTRUCTION SERVICES
87555 NE 27TH AVE
ALTOONA, IA 50009
515-343-6756

DEVELOPER:

STUBBS DEVELOPMENT, INC.
1236 34TH STREET SE
ALTOONA, IA 50009
CONTACT: DAVE STUBBS
PHONE: (515) 979-9963

OWNER:

STUBBS DEVELOPMENT, INC.
1236 34TH STREET SE
ALTOONA, IA 50009
CONTACT: DAVE STUBBS
PHONE: (515) 979-9963

ZONING:

CANYON LANDING PUD

BULK REGULATIONS:

ONE-FAMILY AND TWO-FAMILY RESIDENTIAL - TWINHOMES

MINIMUM LOT AREA:

1. ONE-FAMILY DETACHED DWELLING - 6,500 SQUARE FEET
2. ONE-FAMILY ATTACHED DWELLING - 4,000 SQUARE FEET
3. TWO-FAMILY DWELLING - 8,000 SQUARE FEET

MINIMUM LOT WIDTH:

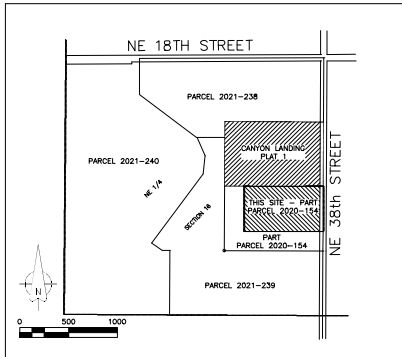
1. ONE-FAMILY DETACHED DWELLING - 50 FEET
2. ONE-FAMILY ATTACHED DWELLING - 31 FEET
3. TWO-FAMILY ATTACHED DWELLING - 62 FEET

MINIMUM YARD REQUIREMENTS:

1. FRONT - 25 FEET
2. SIDE - 5 FEET
3. REAR - 35 FEET

CANYON LANDING DUPLEXES PLAT 1

FINAL PLAT



CURVE TABLE:

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	39.27'	25.00'	90°00'00"	N 44°43'06" W	35.36'
C2	39.27'	25.00'	90°00'00"	N 45°16'54" E	35.36'
C3	2.29'	25.00'	05°15'25"	S 87°39'12" W	2.29'
C4	7.80'	85.00'	05°15'25"	S 87°39'12" W	7.80'
C5	5.04'	55.00'	05°15'25"	S 87°39'12" W	5.04'
C6	34.77'	25.00'	79°41'15"	N 45°10'52" E	32.03'

PROPERTY DESCRIPTION:

AN IRREGULAR SHAPED PORTION OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 17, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., BEING A PART OF PARCEL 2020-154 AS RECORDED IN BOOK 18157, PAGE 321, ANKENY, POLK COUNTY, IOWA DESCRIBED AS FOLLOWS:

BEGINNING AT THE SE CORNER OF CANYON LANDING PLAT 1, A FINAL PLAT RECORDED IN BOOK 18927, PAGE 133, THENCE N89°43'06"W ALONG THE SOUTH LINE OF SAID CANYON LANDING PLAT 1 178.41 FEET, THENCE S00°16'54"W ALONG THE SOUTH LINE OF SAID CANYON LANDING PLAT 1 5.00 FEET; THENCE N89°43'06"W ALONG THE SOUTH LINE OF SAID CANYON LANDING PLAT 1 606.16 FEET, THENCE S04°58'51"E 195.93 FEET, THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE TO THE SOUTHEAST A DISTANCE OF 34.77', SAID CURVE HAVING A RADIUS OF 25.00 FEET, DELTA ANGLE OF 79°41'15", CHORD BEARING OF S45°10'52"W AND A CHORD LENGTH OF 32.03 FEET, THENCE S05°20'15"W 112.64 FEET, THENCE S89°43'06"E 560.75 FEET; THENCE S00°16'54"W 19.00 FEET; THENCE S89°43'06"E 238.63 FEET TO A POINT ON THE EAST LINE OF THE NE 1/4 OF SAID SECTION 17 354.00 FEET TO THE POINT OF BEGINNING BEING THE SE CORNER OF SAID CANYON LANDING PLAT 1.

SAID TRACT CONTAINS 6.05 ACRES MORE OR LESS

SURVEY NOTES:

- SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS, RESTRICTIONS OR COVENANTS OF RECORD.
- THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1 FOOT IN 10,000 FEET AND EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1 FOOT IN 5,000 FEET.
- ALL MONUMENTS PLACED ARE A 1/2 INCH DIAMETER IRON ROD WITH A YELLOW PLASTIC IDENTIFICATION CAP NO. 20757 UNLESS OTHERWISE NOTED.
- ALL MONUMENTS IDENTIFIED AS "SET" WILL BE PLACED WITHIN ONE YEAR OF THE RECORDING OF THIS FINAL PLAT.
- LOTS "A", "B" AND "C" SHALL BE DEEDED TO THE CITY OF ANKENY, IOWA.
- RECORDED MEASUREMENTS REFER TO THOSE MEASUREMENTS SHOWN AS "M" - MEASURED ON THE PLAT OF SURVEY RECORDED IN BOOK 18157, PAGE 321 ON OCTOBER 26, 2020.
- THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, PER FEMA PANEL #19153C0210F, EFFECTIVE DATE 2-1-2019.

CITY NOTES:

- THE DEVELOPER IS RESPONSIBLE FOR STREET LIGHT INSTALLATION WITHIN THE PLAT BOUNDARY AND ALONG NE 38TH STREET.
- THE DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF SIDEWALK ON THE WEST SIDE OF NE 38TH STREET.
- INDIVIDUAL PROPERTY OWNERS MAY BE RESPONSIBLE FOR THE CONSTRUCTION OF SIDEWALKS ON THEIR PROPERTY. PRIOR TO CONSTRUCTION OF ANY SIDEWALKS, REFER TO THE PROJECT CONSTRUCTION DRAWINGS AND CONFORM WITH THE CITY THE LOCATION, WIDTH, AND ELEVATION OF SIDEWALKS.
- DRIVEWAY FOR LOT 4 SHALL BE LOCATED TO AVOID SIDEWALK RAMP AND STORM INTAKE.
- DRIVEWAY FOR LOT 1 SHALL BE LOCATED TO AVOID WATER VALVE.
- NO FENCES NOR SHEDS SHALL BE CONSTRUCTED WITHIN 17' LANDSCAPING BUFFER ALONG NE 38TH STREET.
- LANDSCAPE BUFFER ALONG NE 38TH STREET SHALL CONSIST OF THREE TREES AND FIVE SHRUBS PER LOT.
- DRIVEWAY FOR LOT 24 SHALL BE LOCATED TO AVOID SANITARY MANHOLE.

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

NICHOLAS F. CARTER, P.L.S. I.A. LIC. NO. 20757 DATE 20757

ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE): PAGES 1 AND 2

SE
STUBBS ENGINEERING

431 NE 72nd Street - Pleasant Hill, IA 50327 - Phone: 515-979-8499

LEGEND:

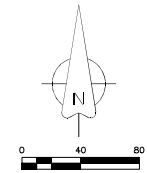
● MONUMENT FOUND AS DESCRIBED
○ SET 1/2" IRON ROD WITH YELLOW PLASTIC CAP #20757 UNLESS OTHERWISE NOTED
● SET "X" CUT IN CONCRETE
◇ SET "MAG" NAIL IN ASPHALT

M MEASURED DISTANCE
R RECORDED DISTANCE
OPC ORANGE PLASTIC CAP
ROW RIGHT-OF-WAY
SF SQUARE FEET
○ LOT ADDRESS

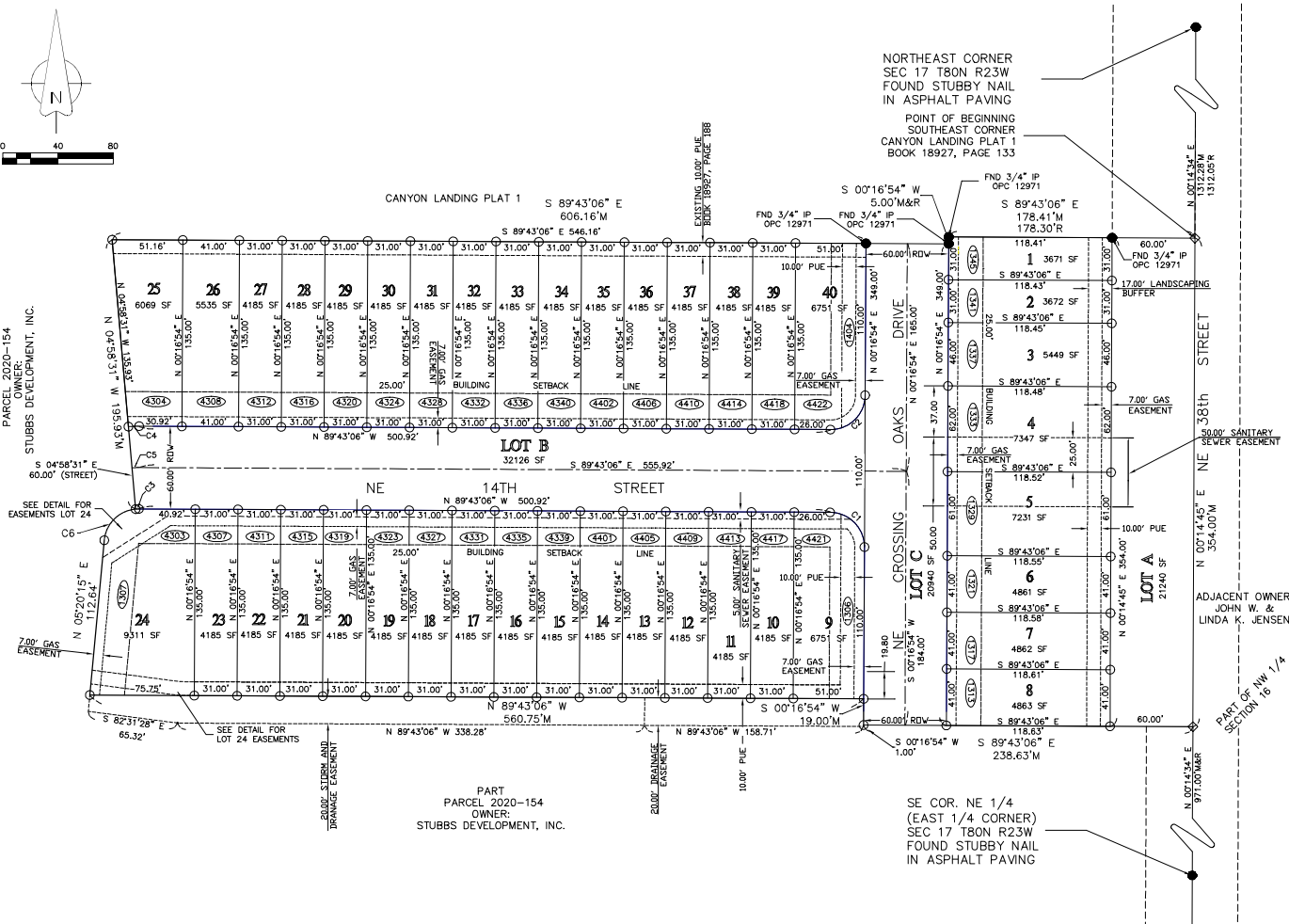
CANYON LANDING DUPLEXES PLAT 1
ANKENY IOWA
FINAL PLAT

PROJECT NO	21-101	PAGE 1 OF 2	REVISIONS
DRAWN DATE	1-7-2022	DRAWN BY	N. Carter
		SCALE	1" = 40'

REVISIONS: 1-15-20: REVISIONS CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS
1-15-20: REVISIONS CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS
1-15-20: REVISIONS CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS
1-15-20: REVISIONS CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS



PART
PARCEL 2020-154
STUBBS DEVELOPMENT, INC.



NORTHEAST CORNER
SEC 17 T80N R23W
FOUND STUBBY NAIL
IN ASPHALT PAVING
POINT OF BEGINNING
SOUTHEAST CORNER
CANYON LANDING PLAT 1
BOOK 18927, PAGE 133

S 00°16'54" W
5.00'M&R
FND 3/4" IP
OPC 12971

S 89°43'06" E
178.41'M
178.30'R
FND 3/4" IP
OPC 12971

S 00°16'54" W
5.00'M&R
FND 3/4" IP
OPC 12971

S 89°43'06" E
178.41'M
178.30'R
FND 3/4" IP
OPC 12971

S 00°16'54" W
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OPC 12971

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178.41'M
178.30'R
FND 3/4" IP
OPC 12971

S 00°16'54" W
5.00'M&R
FND 3/4" IP
OPC 12971

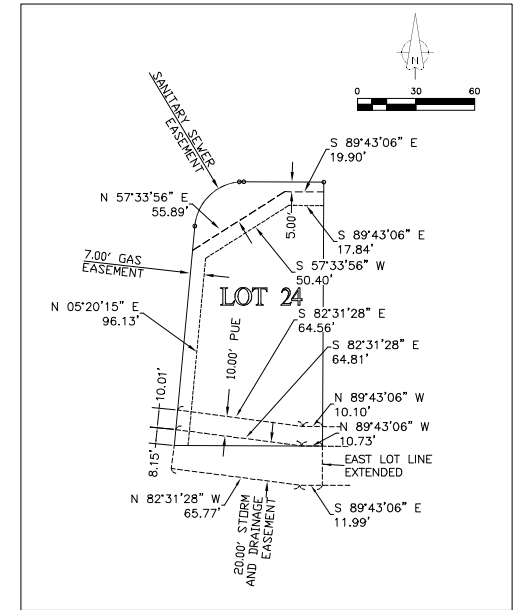
S 89°43'06" E
178.41'M
178.30'R
FND 3/4" IP
OPC 12971

S 00°16'54" W
5.00'M&R
FND 3/4" IP
OPC 12971

S 89°43'06" E
178.41'M
178.30'R
FND 3/4" IP
OPC 12971

S 00°16'54" W
5.00'M&R
FND 3/4" IP
OPC 12971

DETAIL 1: LOT 24 EASEMENTS
SCALE: 1" = 30'



LEGEND: ● MONUMENT FOUND AS DESCRIBED
○ SET 1/2" IRON ROD WITH YELLOW PLASTIC CAP #20757 UNLESS OTHERWISE NOTED
● SET "X" CUT IN CONCRETE
◇ SET "MAG" NAIL IN ASPHALT

M MEASURED DISTANCE
R RECORDED DISTANCE
OPC ORANGE PLASTIC CAP
ROW RIGHT-OF-WAY
SF SQUARE FEET
LOT ADDRESS

CANYON LANDING DUPLEXES PLAT 1
ANKENY IOWA
FINAL PLAT

PROJECT NO	21-101	PAGE 2 OF 2	REVISIONS
DRAWN DATE	1-7-2022	DRAW BY	N. Carter
SCALE	1" = 40'	SHEET	
REVISIONS: 1-15-2021: REVIEWED CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS 1-15-2021: REVIEWED CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS 1-15-2021: REVIEWED CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS 1-15-2021: REVIEWED CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS 1-15-2021: REVIEWED CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS			



Ranch Duplex A

VP Design & Drafting, Inc.
515-249-1134

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ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR
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CONCERNS PLEASE CONSULT A STRUCTURAL ENGINEER. NO
EXPRESSED OR IMPLIED WARRANTIES ARE MADE CONCERNING
COMPLIANCE WITH APPLICABLE BUILDING CODES. PLEASE CHECK
WITH LOCAL BUILDING OFFICIALS TO DETERMINE COMPLIANCE.

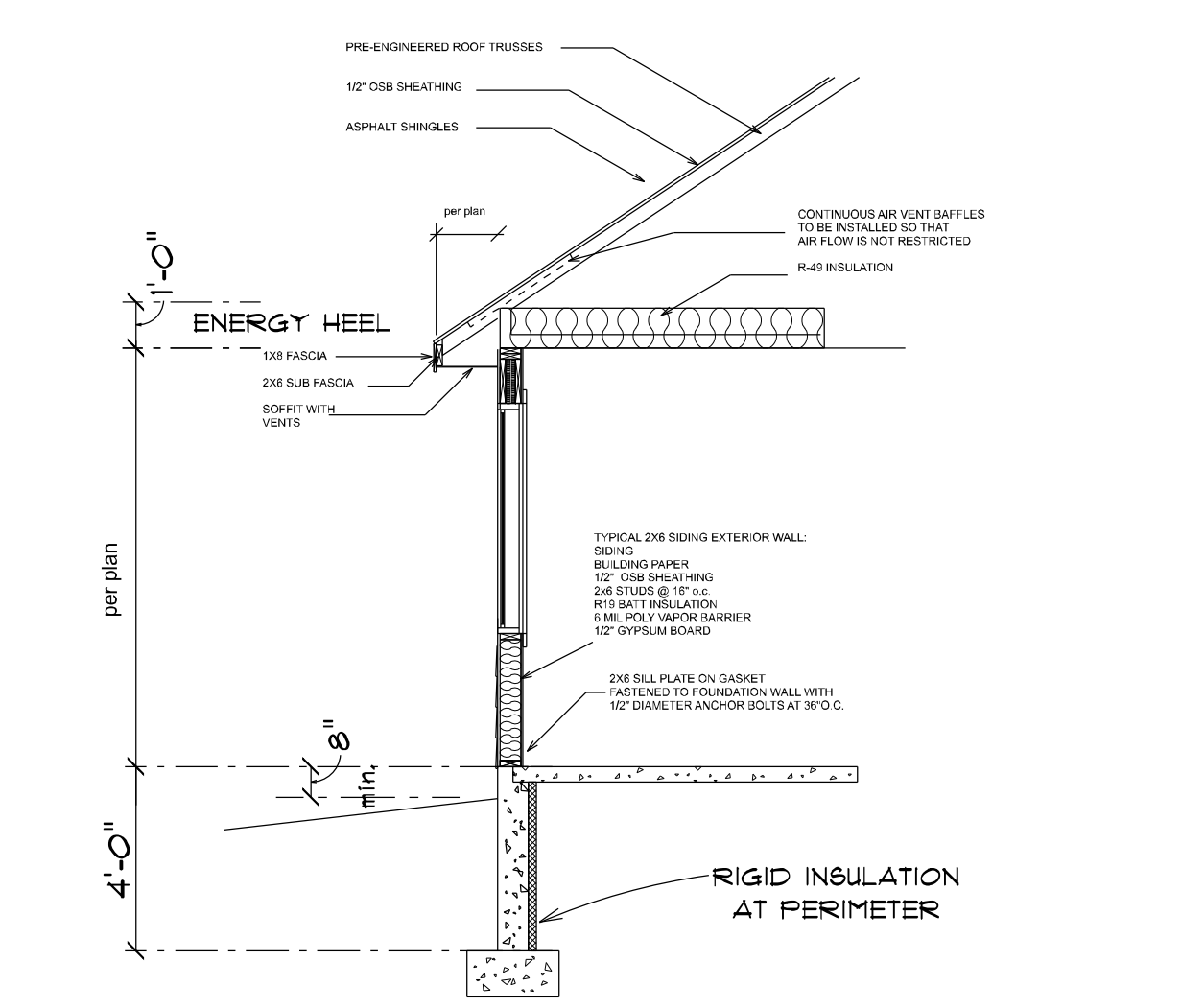
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DRAWN BY	TVP
APPROVED	

DATE	4-22-2022
REVISED	

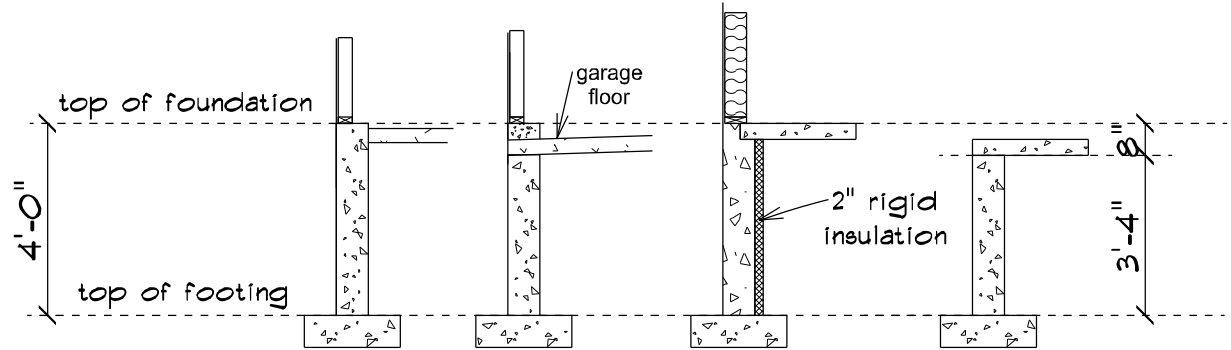
PLAN #
121247
SHEET
1 of 4

General Notes

- Verify local frost depth requirements
- All footings designed for 2000 PSF soil bearing capacity
- 8" poured concrete foundation walls w/ 16"x8" concrete footings w/ (2) #4 rerods continuous
- 2-2x12 headers over all exterior openings unless noted otherwise
- truss manufacturer to size members and set spacing of all floor and roof trusses (max spacing 24" o.c.)
- bedroom windows and basement egress windows to meet or exceed egress requirements
- verify all rough opening sizes
- place smoke detectors as required by local building codes
- follow manufacturer's instructions for installation of all components
- insulate and sheath behind all bathtubs and fireplaces on exterior walls



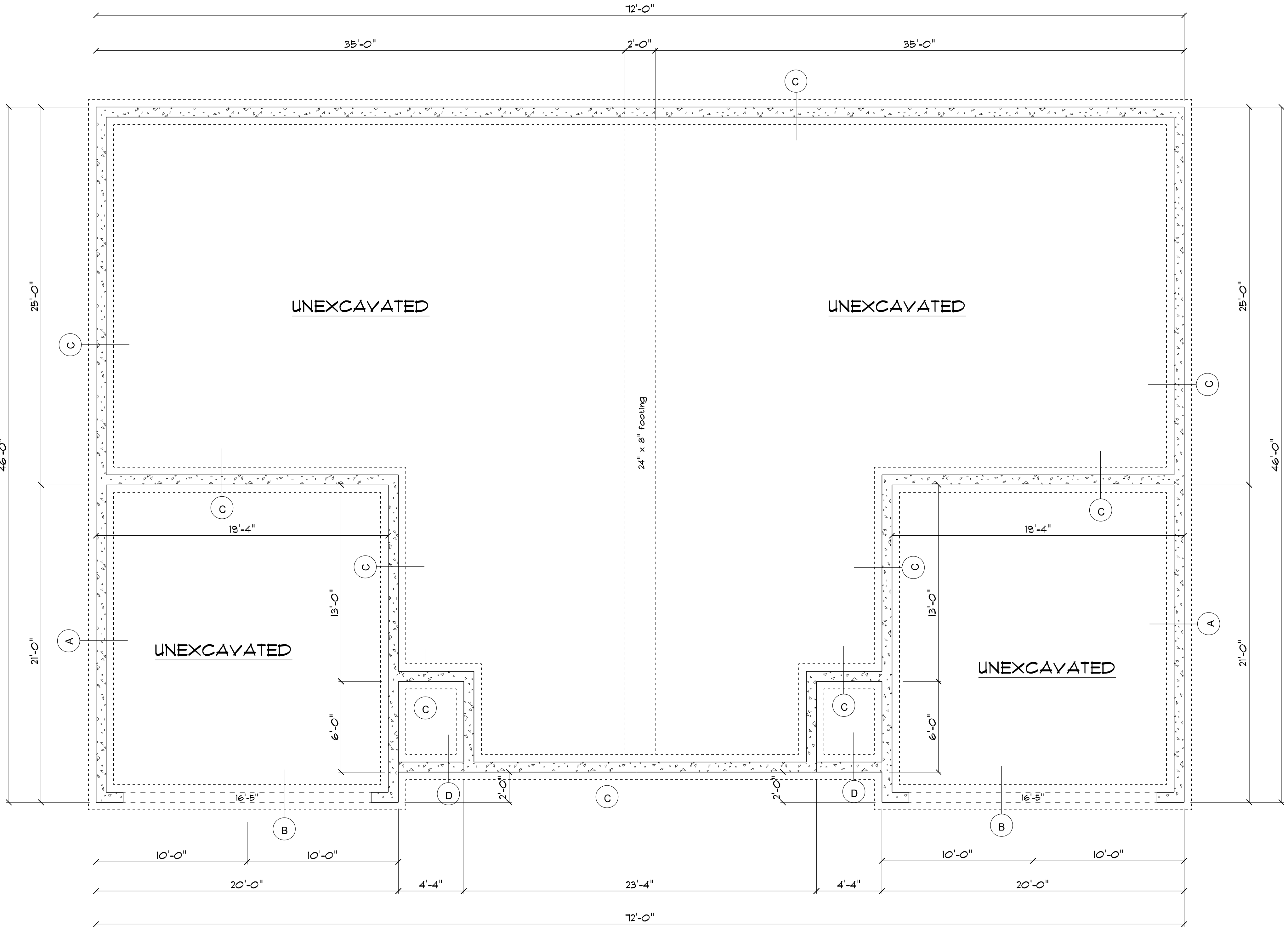
Wall Section



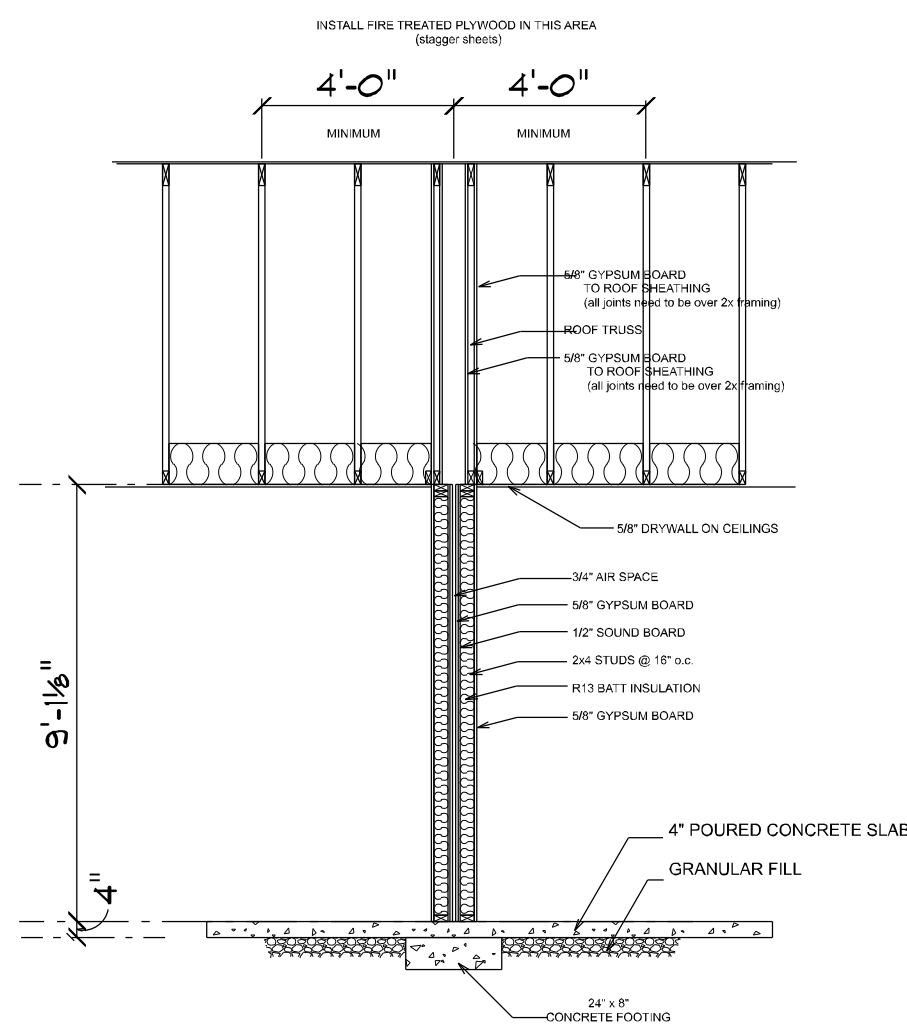
verify that footings are below local frost line

A B C D

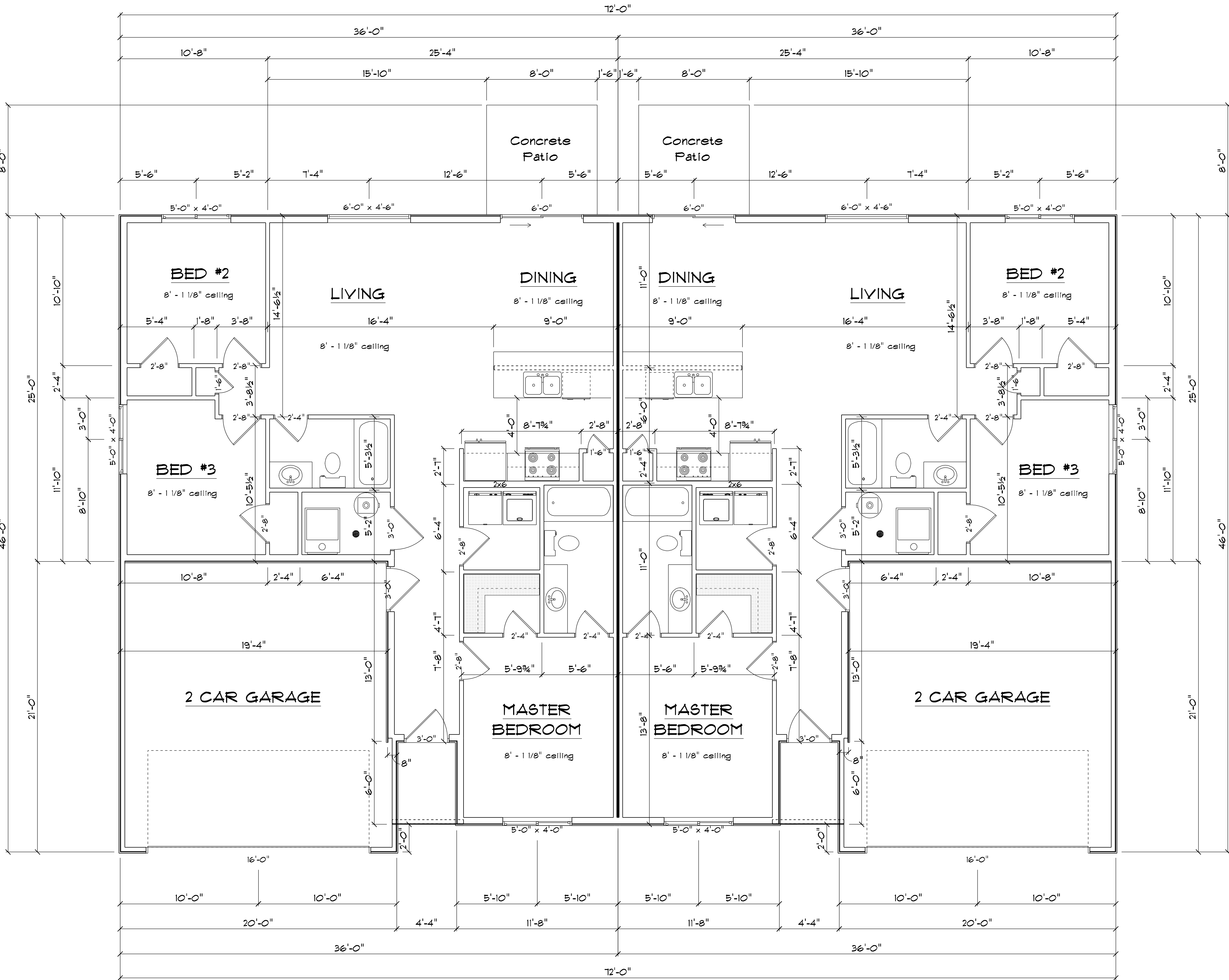
FOUNDATION SECTIONS



FOUNDATION PLAN

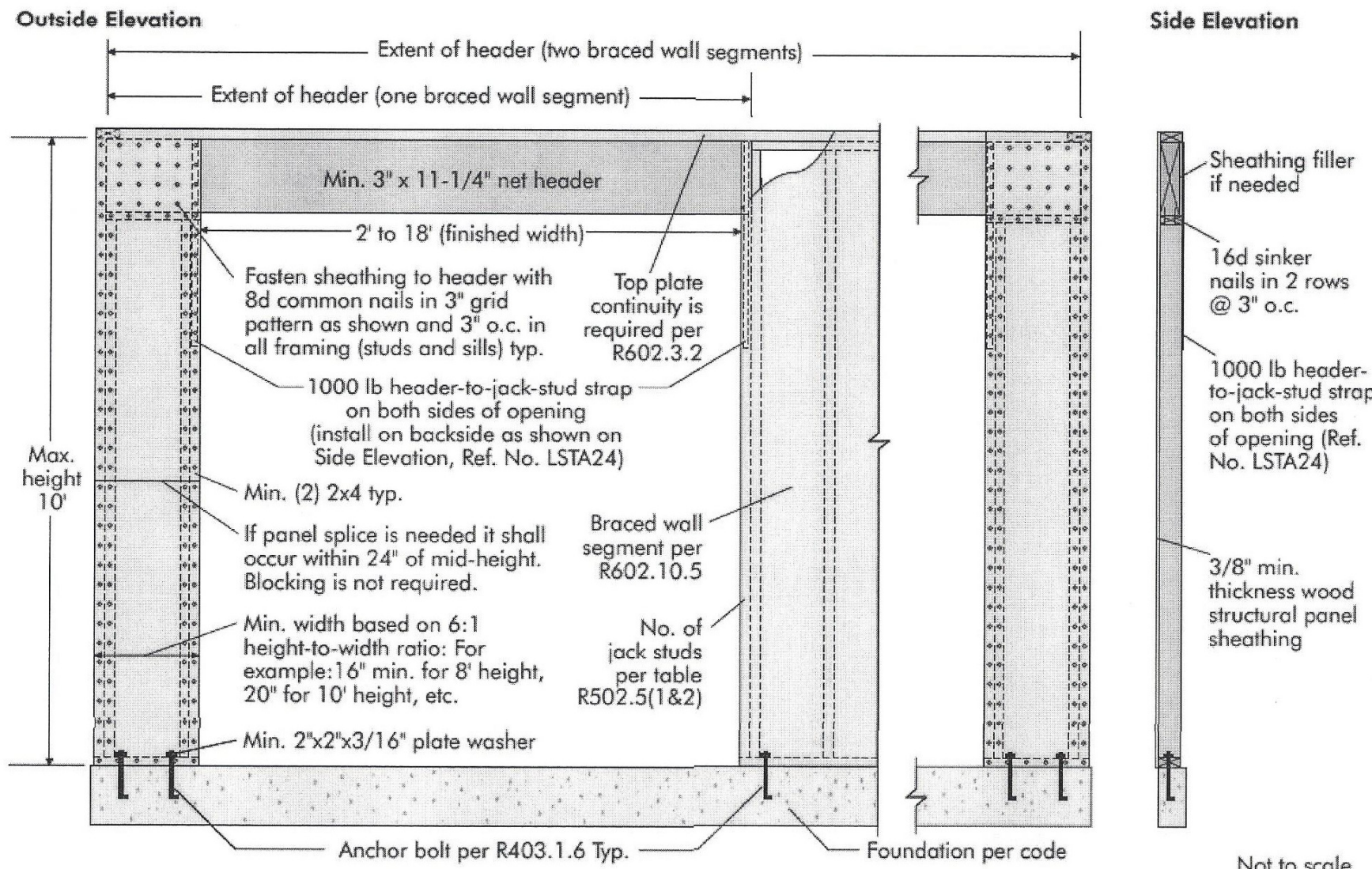


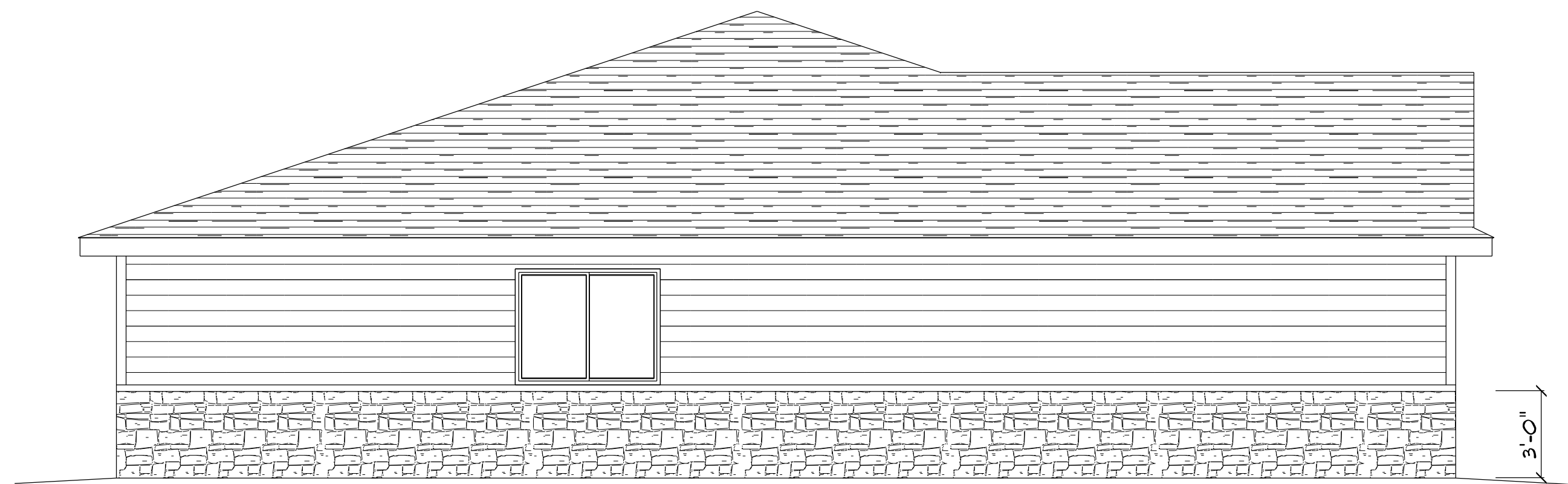
Common Wall
Detail



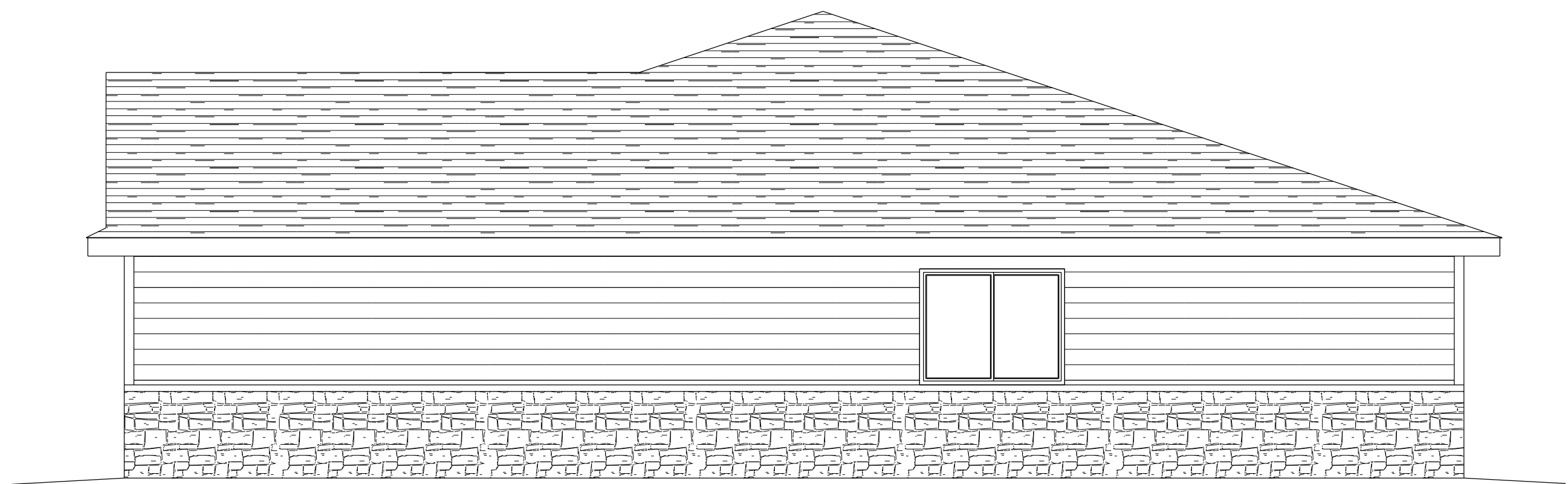
MAIN FLOOR PLAN
1182 SF per side

FIGURE 1
NARROW WALL OVER CONCRETE OR MASONRY BLOCK FOUNDATION

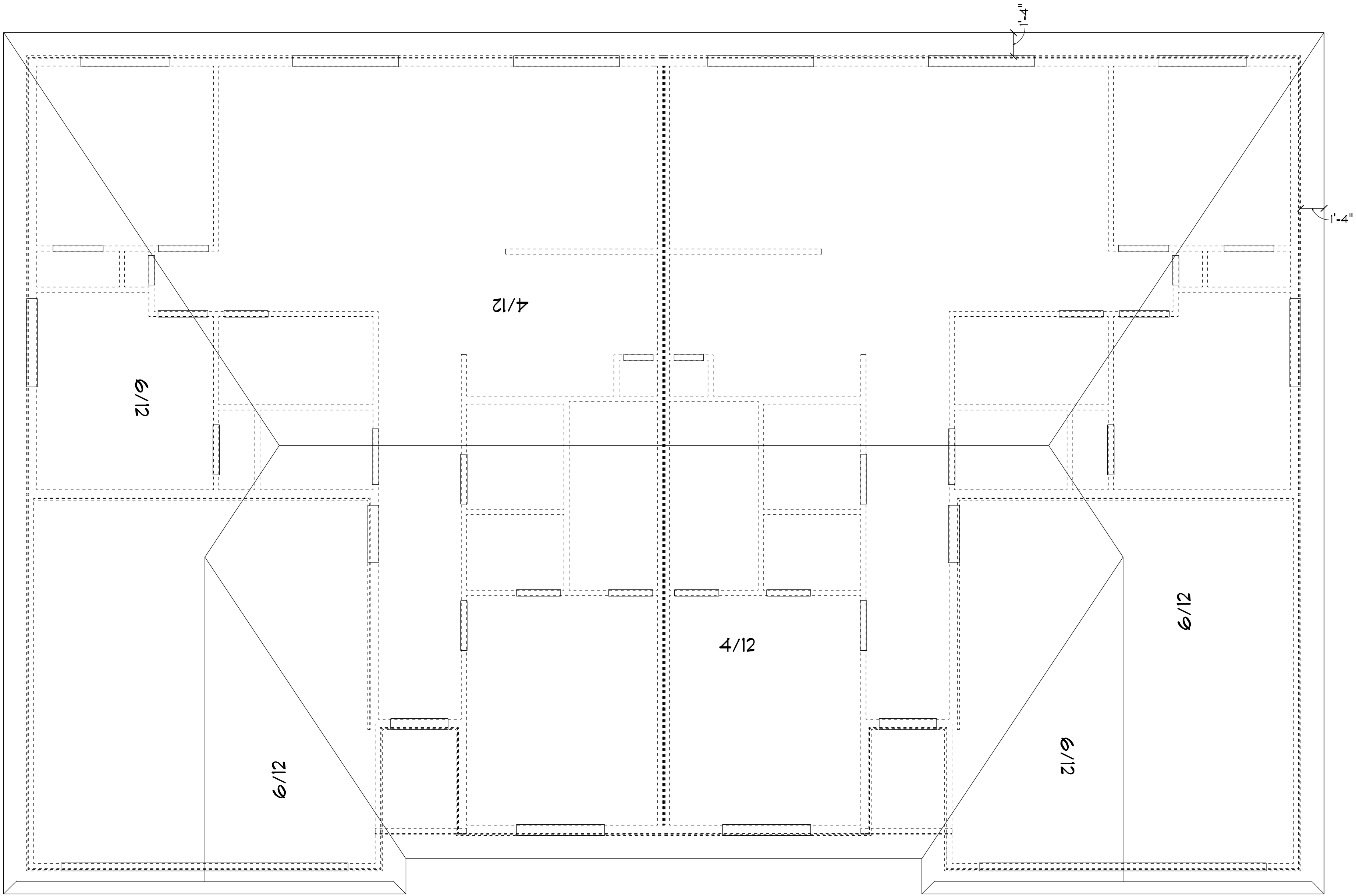




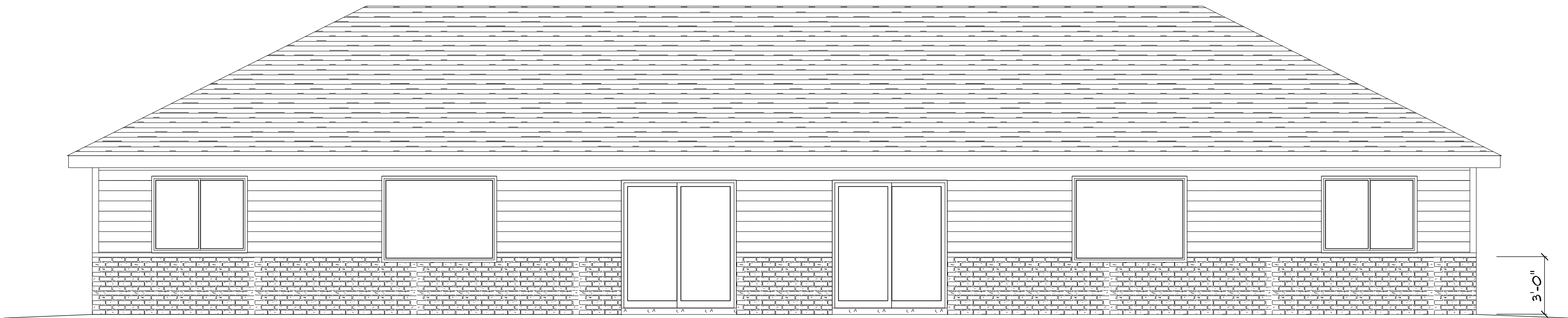
LEFT ELEVATION



RIGHT ELEVATION

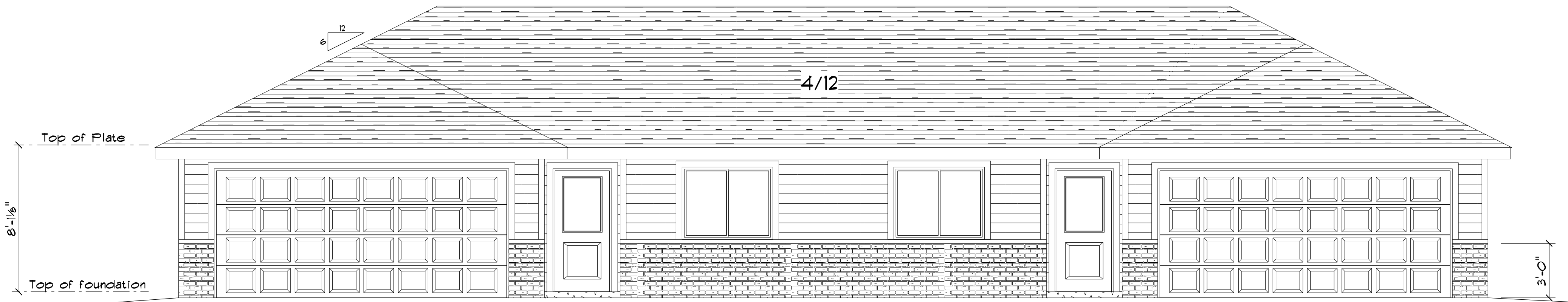


BIRD'S EYE PLAN



REAR ELEVATION

49% brick
51% siding



FRONT ELEVATION

Adjacent buildings
will have different elevations

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NON-STRUCTURAL CONCERNS. THIS DRAWING IS NOT
A LICENSED ARCHITECT OR ENGINEER. FOR STRUCTURAL
CONCERNS PLEASE CONSULT A STRUCTURAL ENGINEER. NO
CONSTRUCTION SHALL BE PERMITTED WITHOUT THE
COMPLIANCE WITH APPLICABLE BUILDING CODES. PLEASE CHECK
WITH LOCAL BUILDING OFFICIALS TO DETERMINE COMPLIANCE.

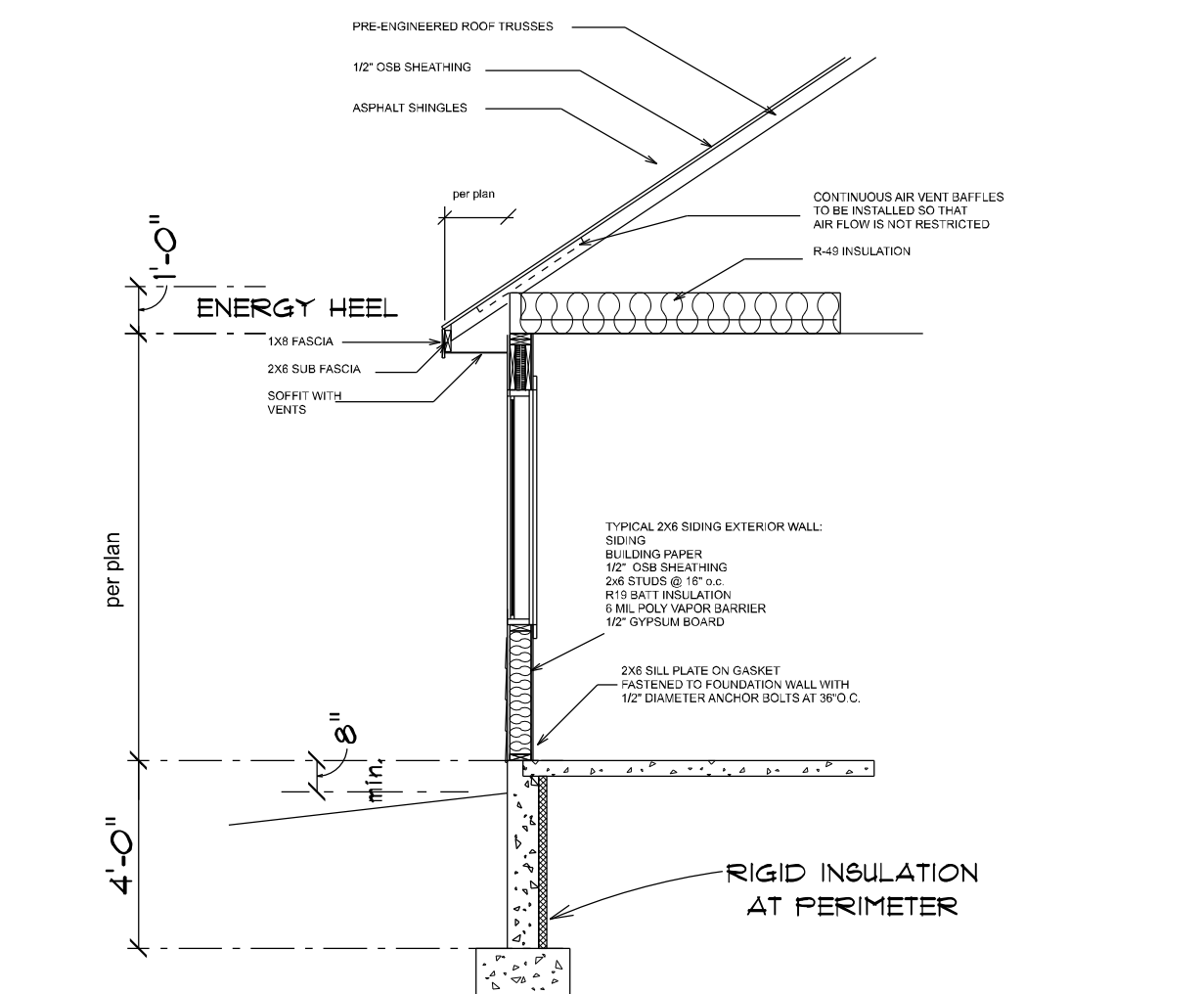
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515-249-1134

Ranch Duplex B

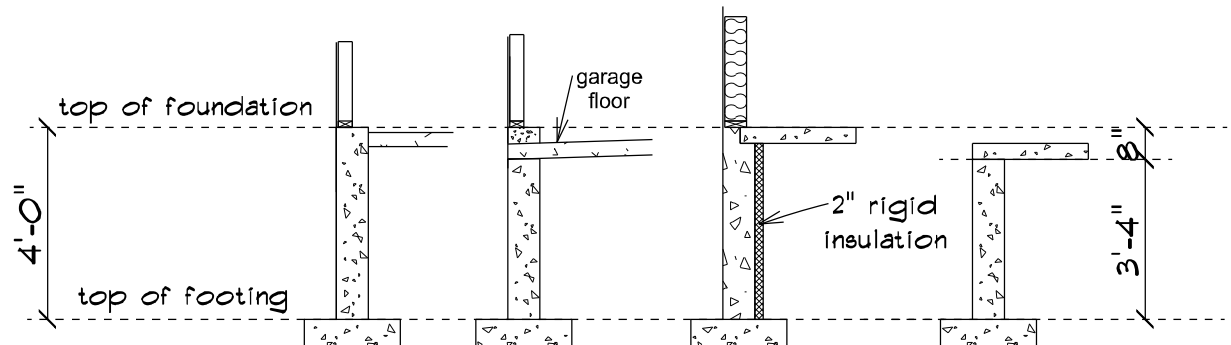
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DRAWN BY	TVP	4-22-2022	12241
APPROVED		REVISED	SHEET
			1 of 4

General Notes

- Verify local frost depth requirements
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- insulate and sheath behind all bathtubs and fireplaces on exterior walls



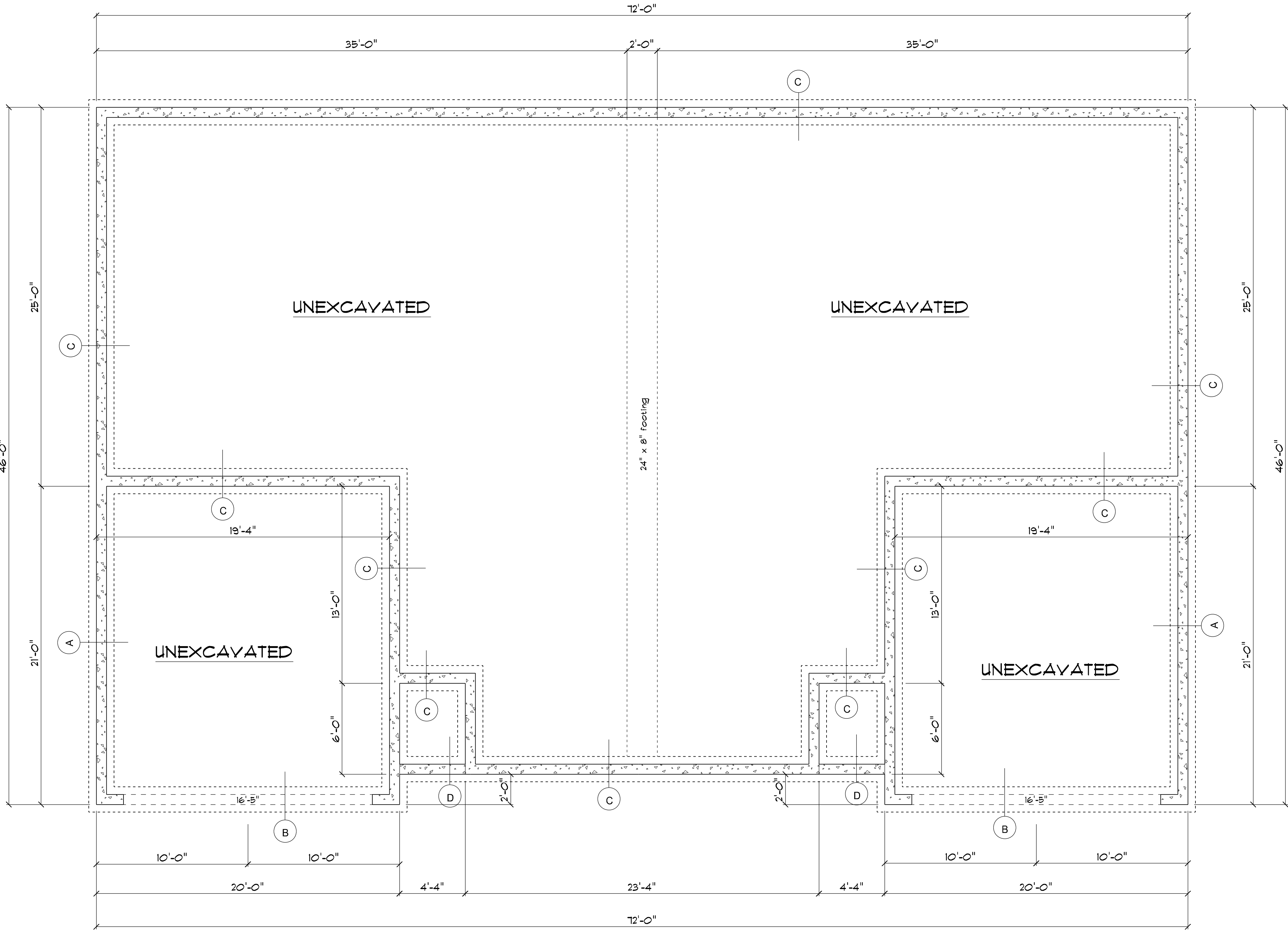
Wall Section



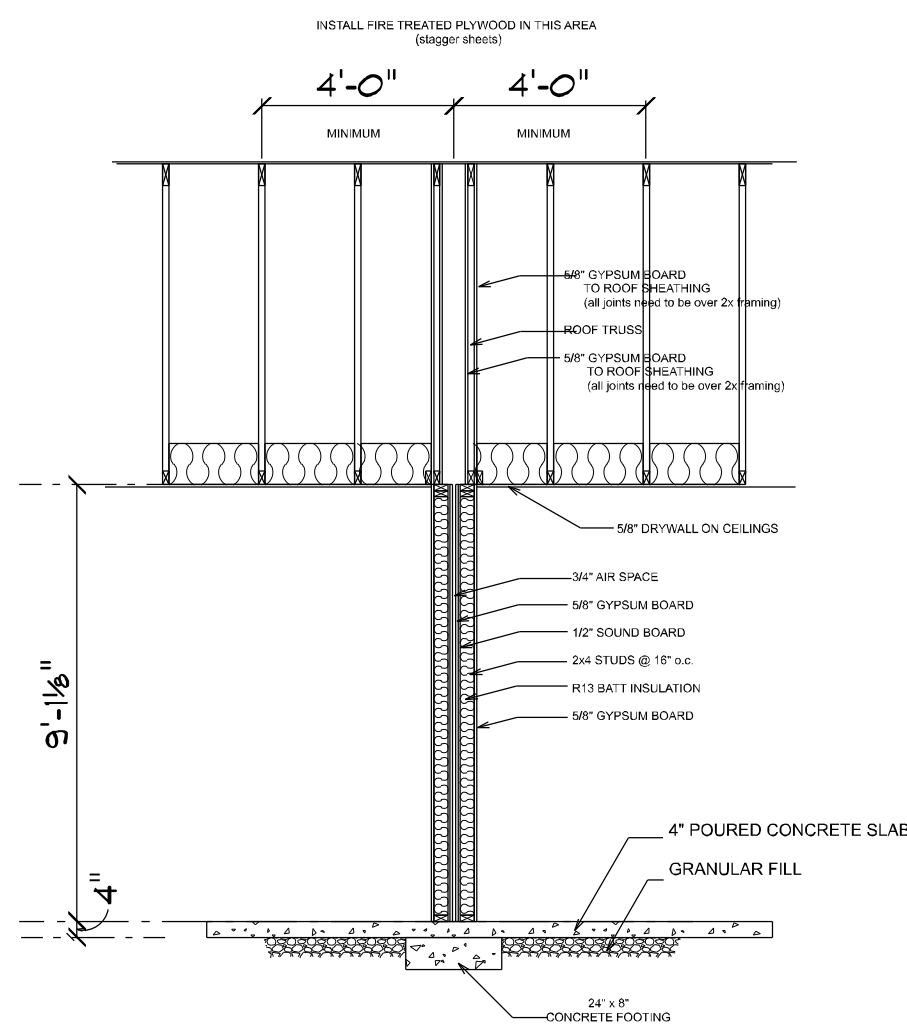
verify that footings are below local frost line

A B C D

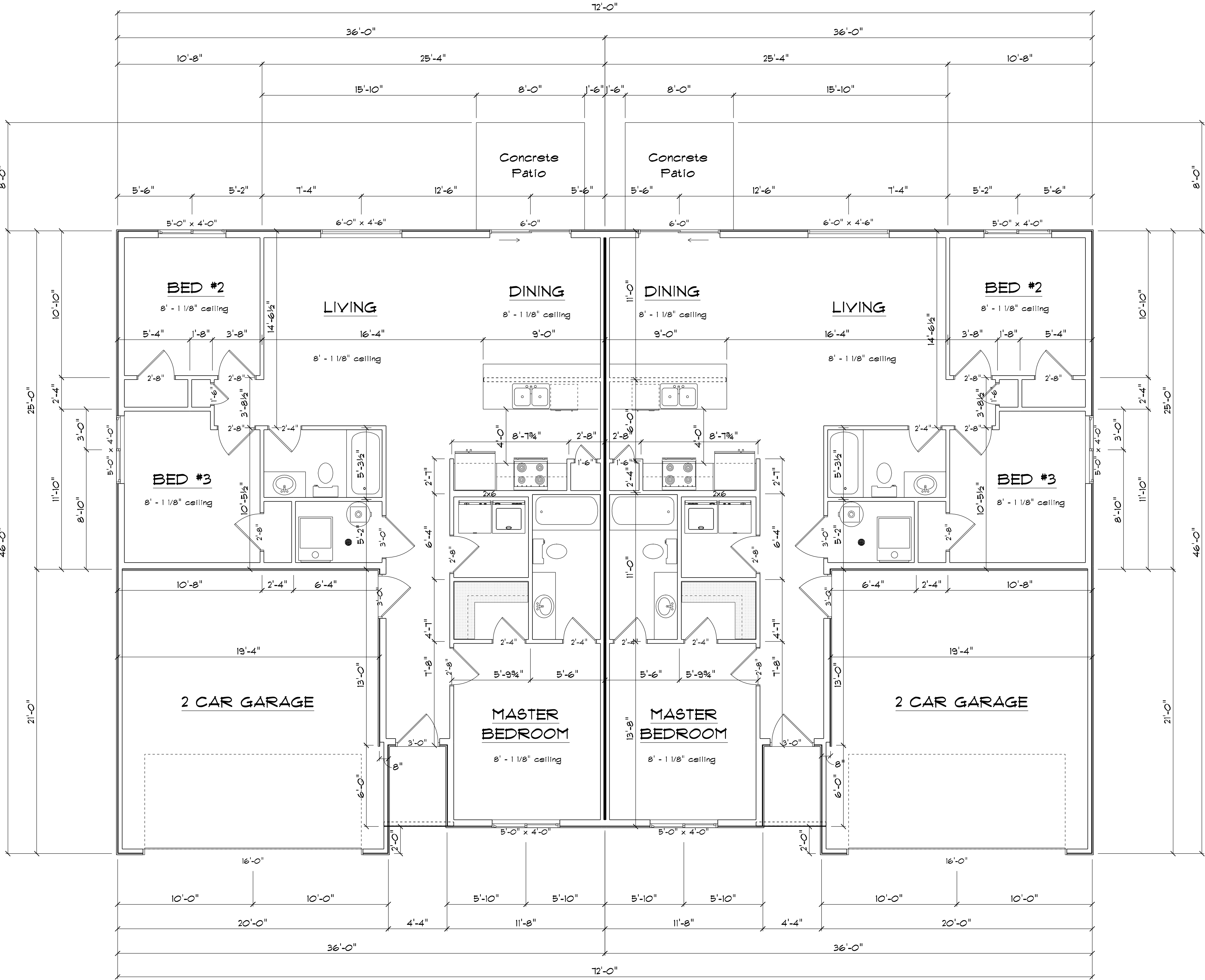
FOUNDATION SECTIONS



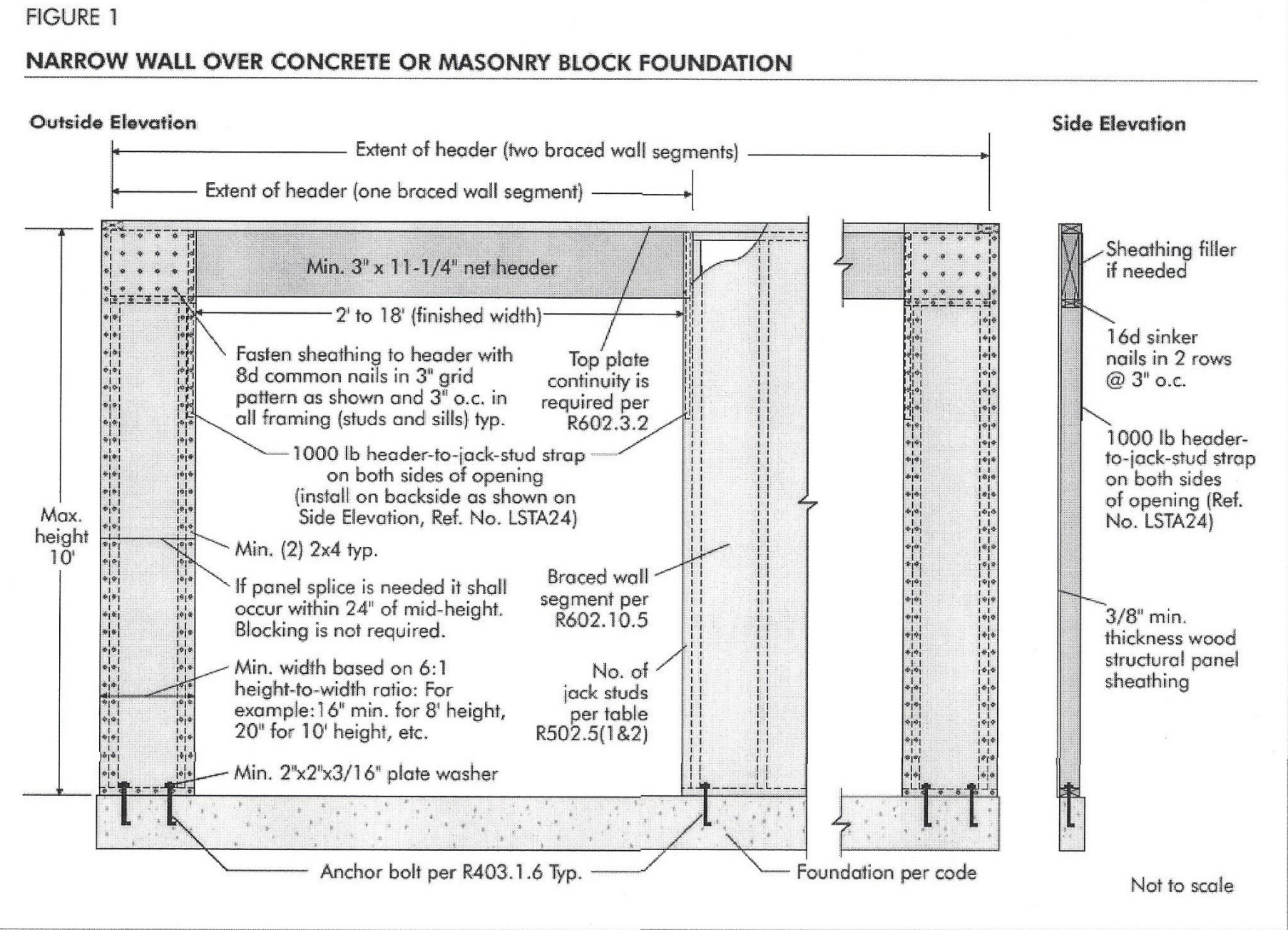
FOUNDATION PLAN

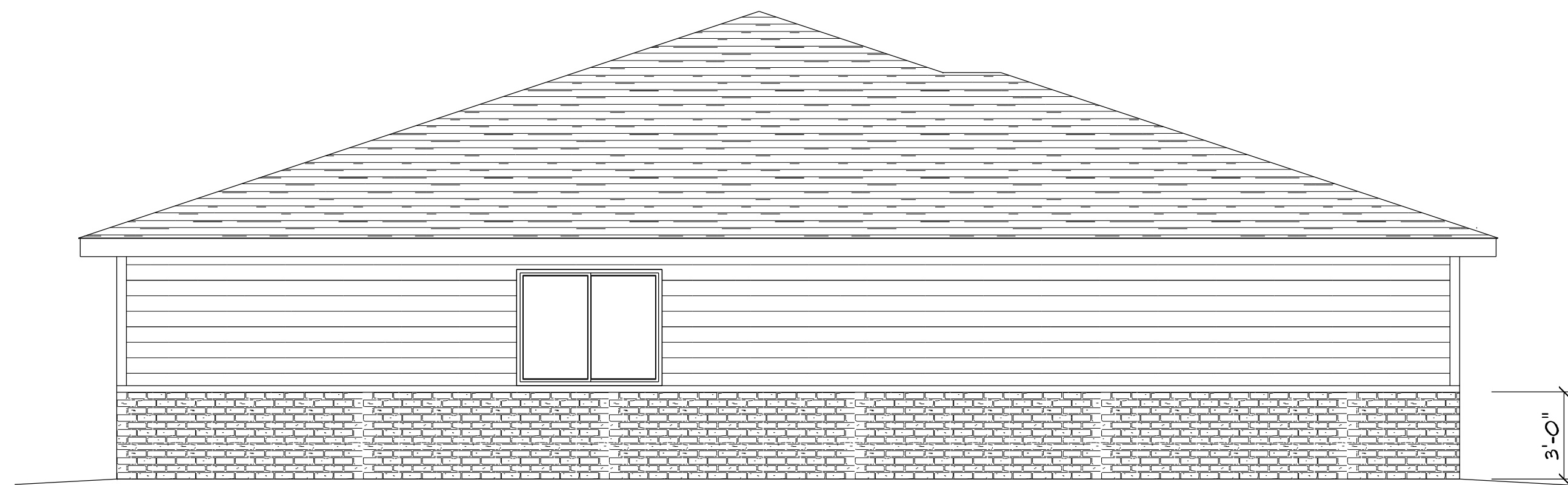


Common Wall
Detail



MAIN FLOOR PLAN
1182 SF per side

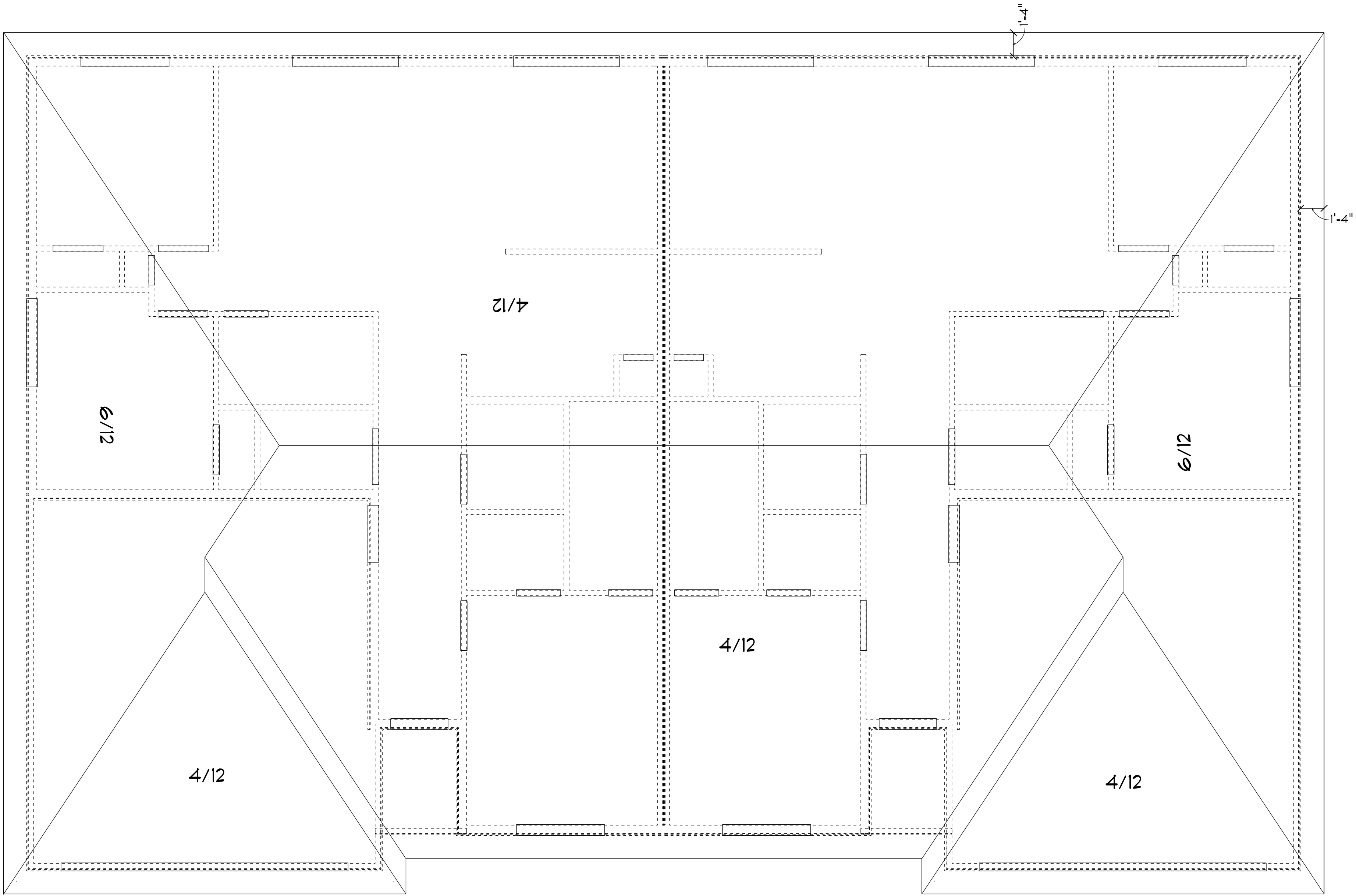




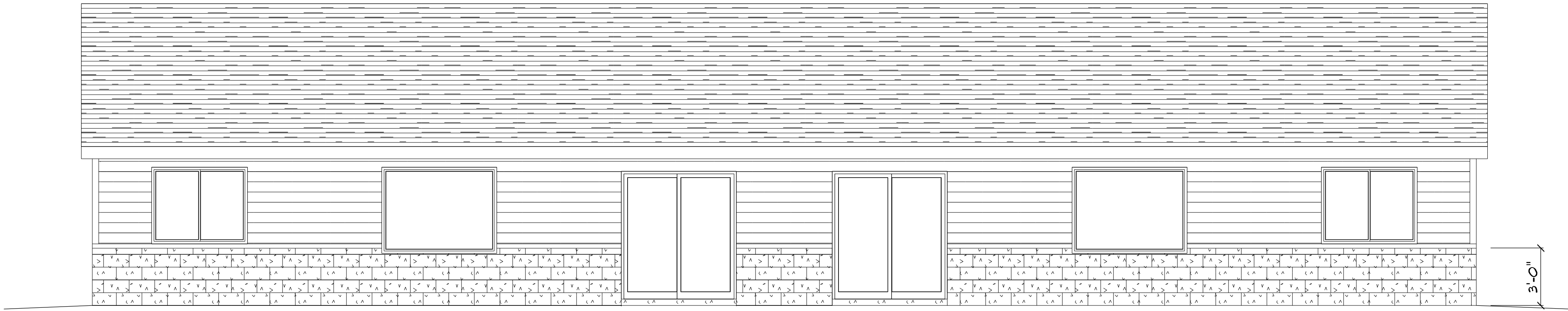
LEFT ELEVATION



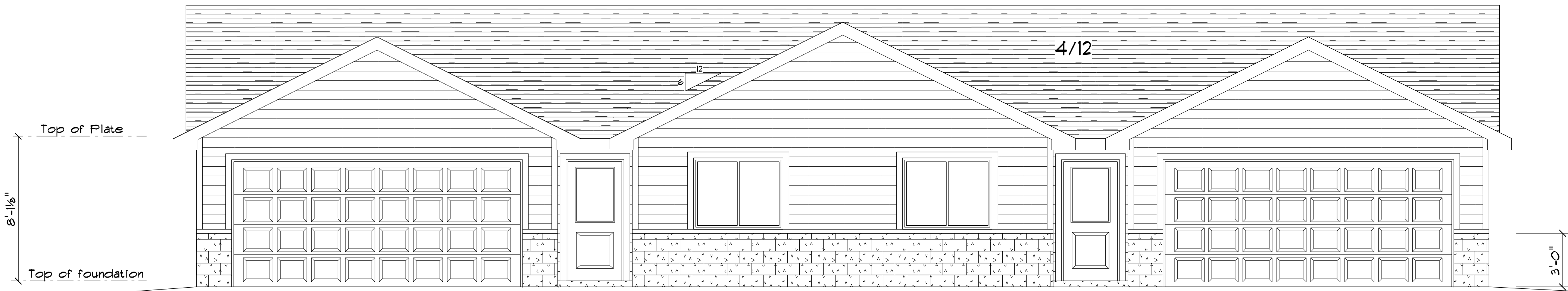
RIGHT ELEVATION



BIRD'S EYE PLAN



REAR ELEVATION

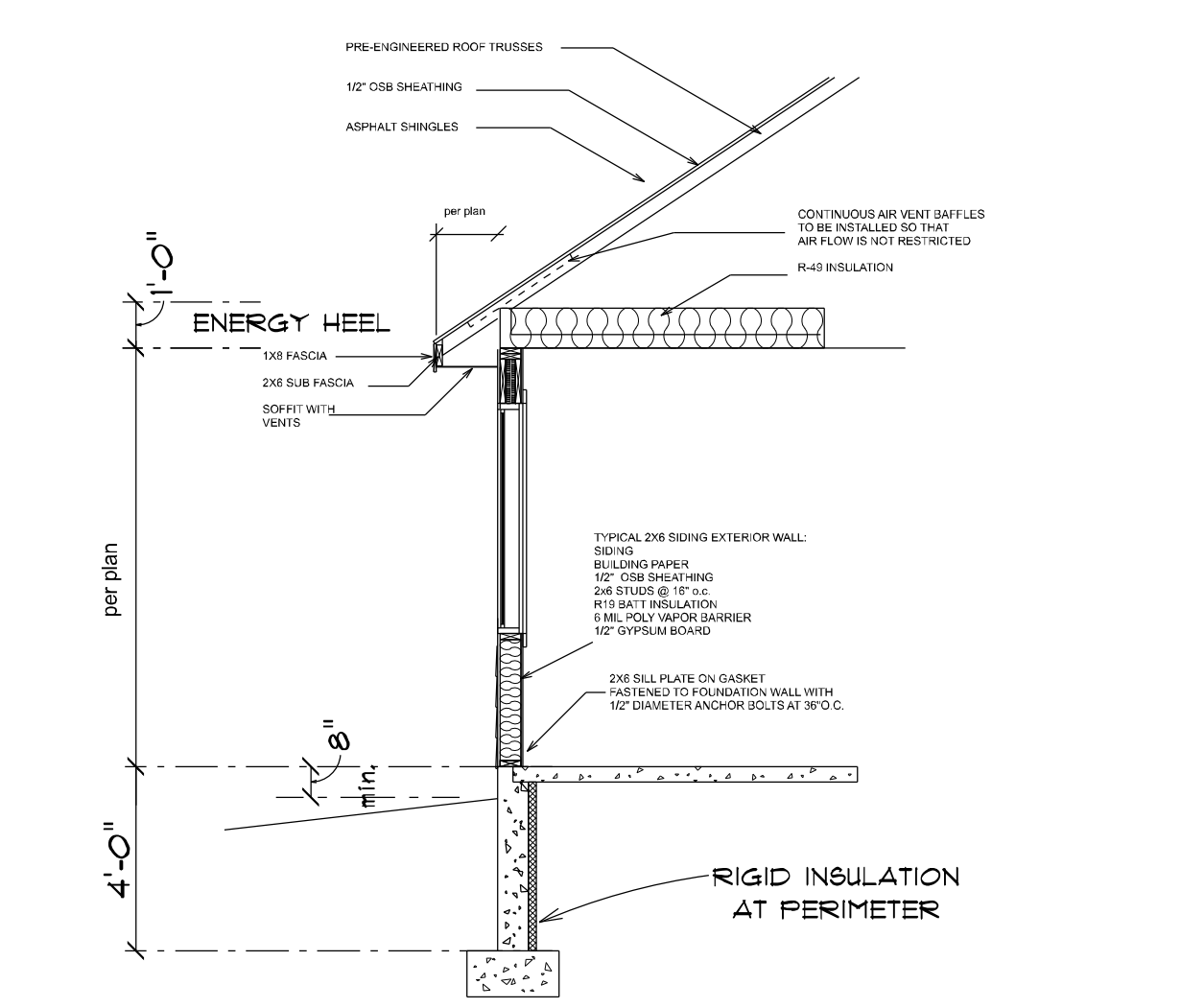


FRONT ELEVATION

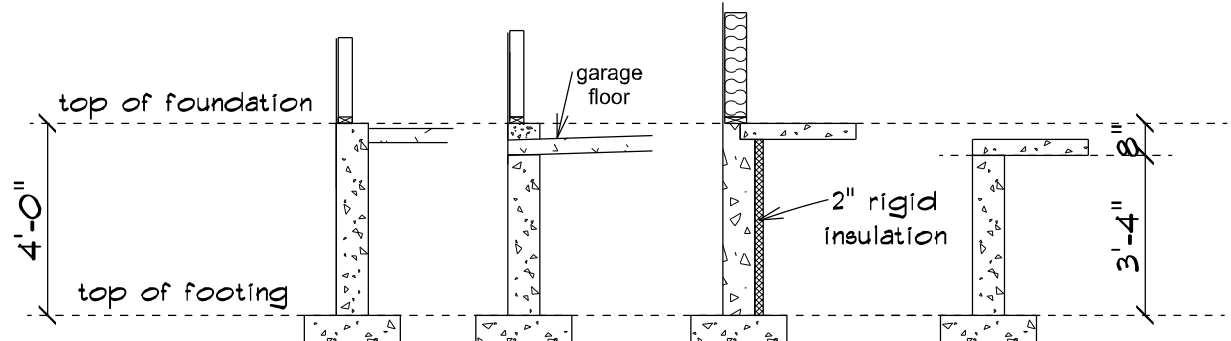
Adjacent buildings
will have different elevations

General Notes

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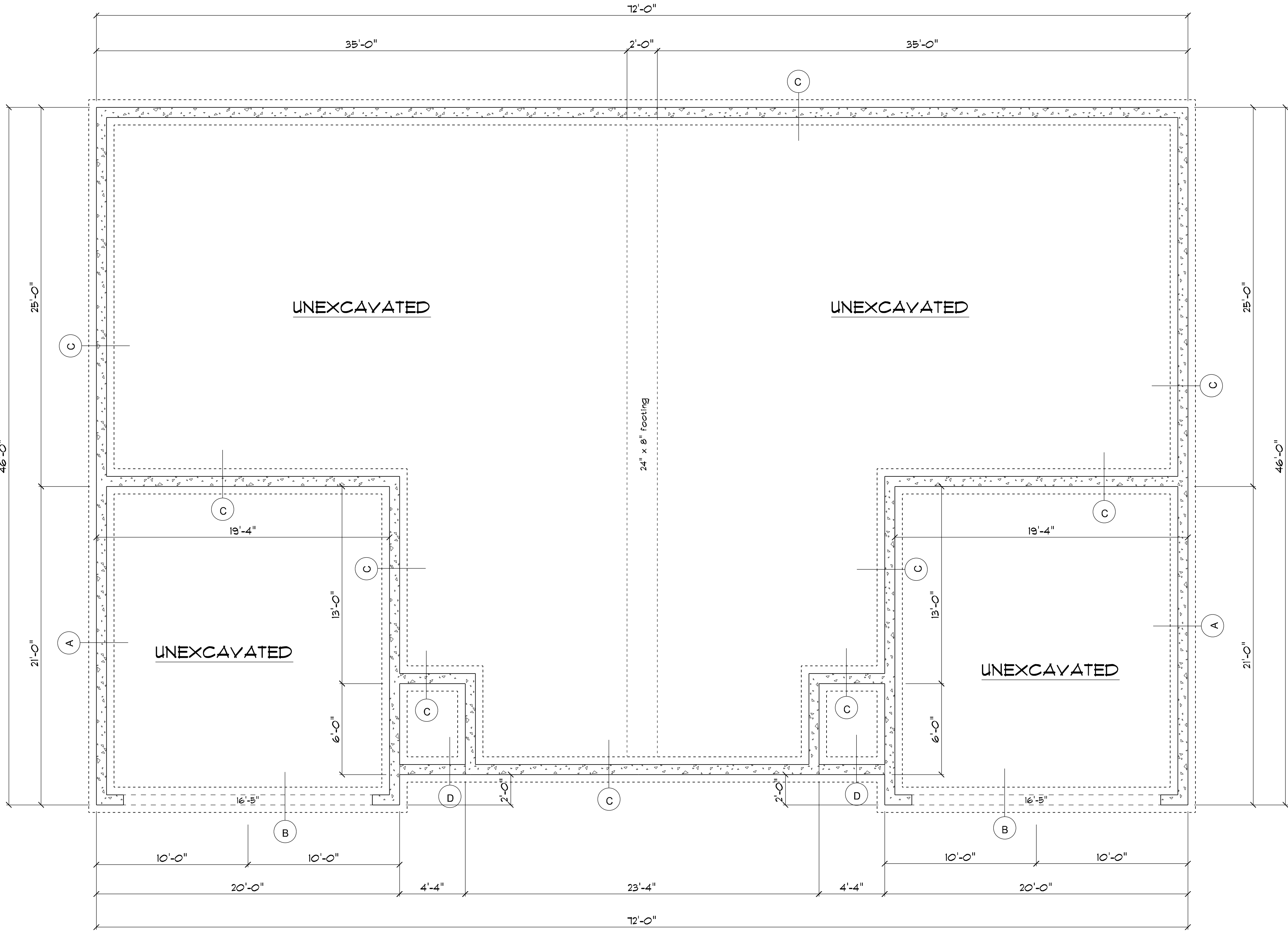
Wall Section



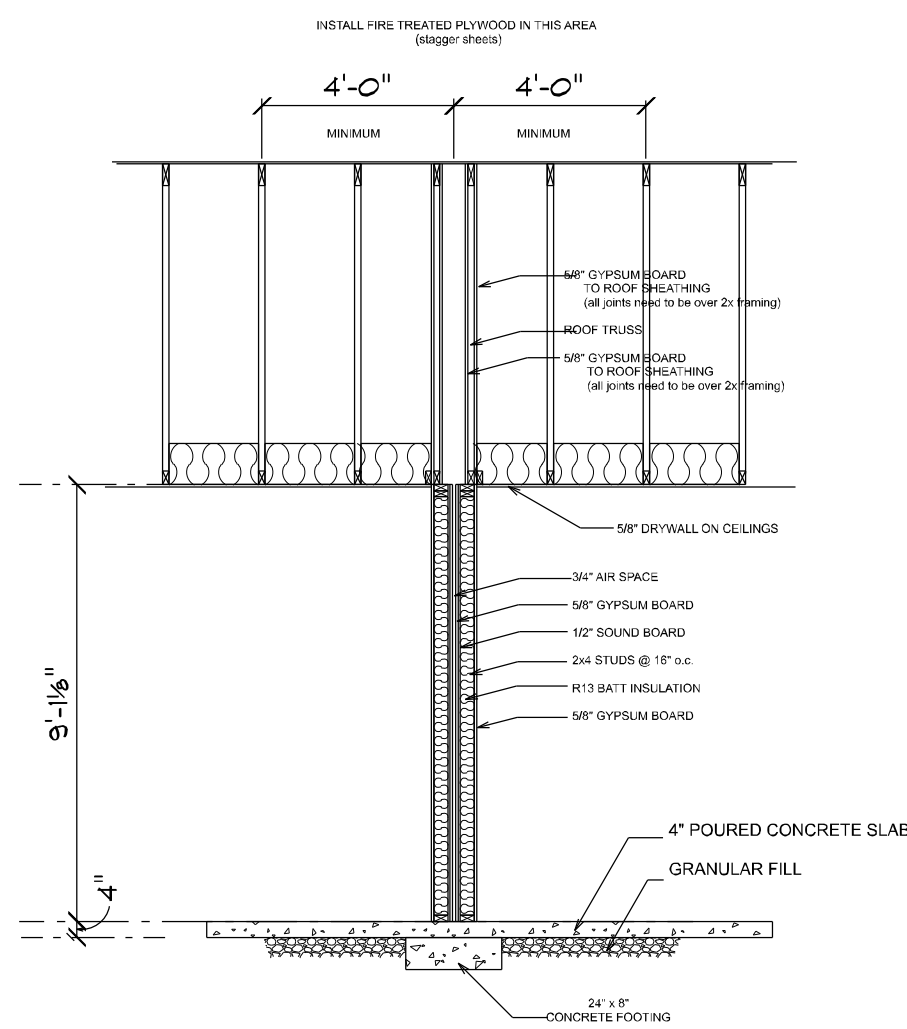
verify that footings are below local frost line

A B C D

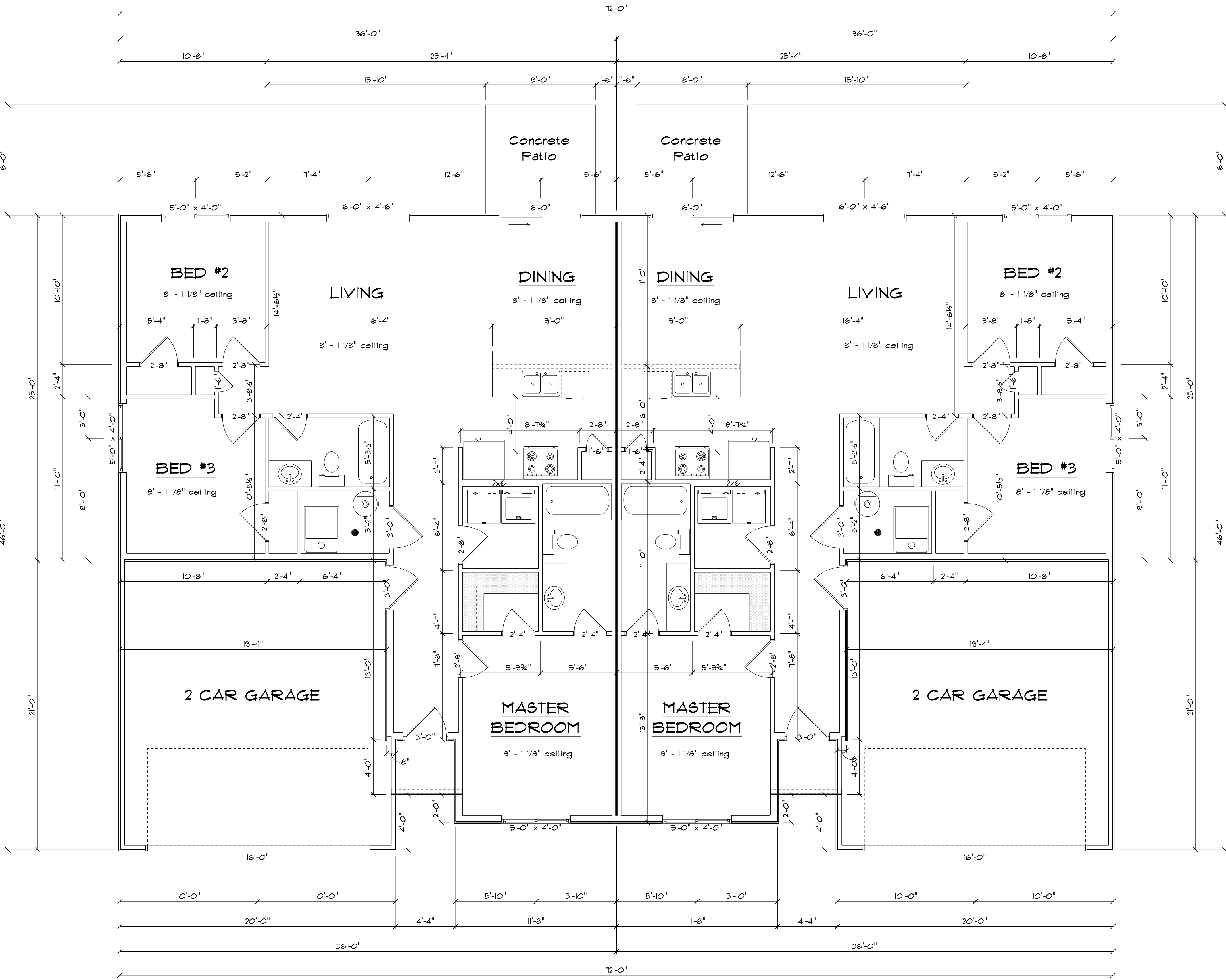
FOUNDATION SECTIONS



FOUNDATION PLAN

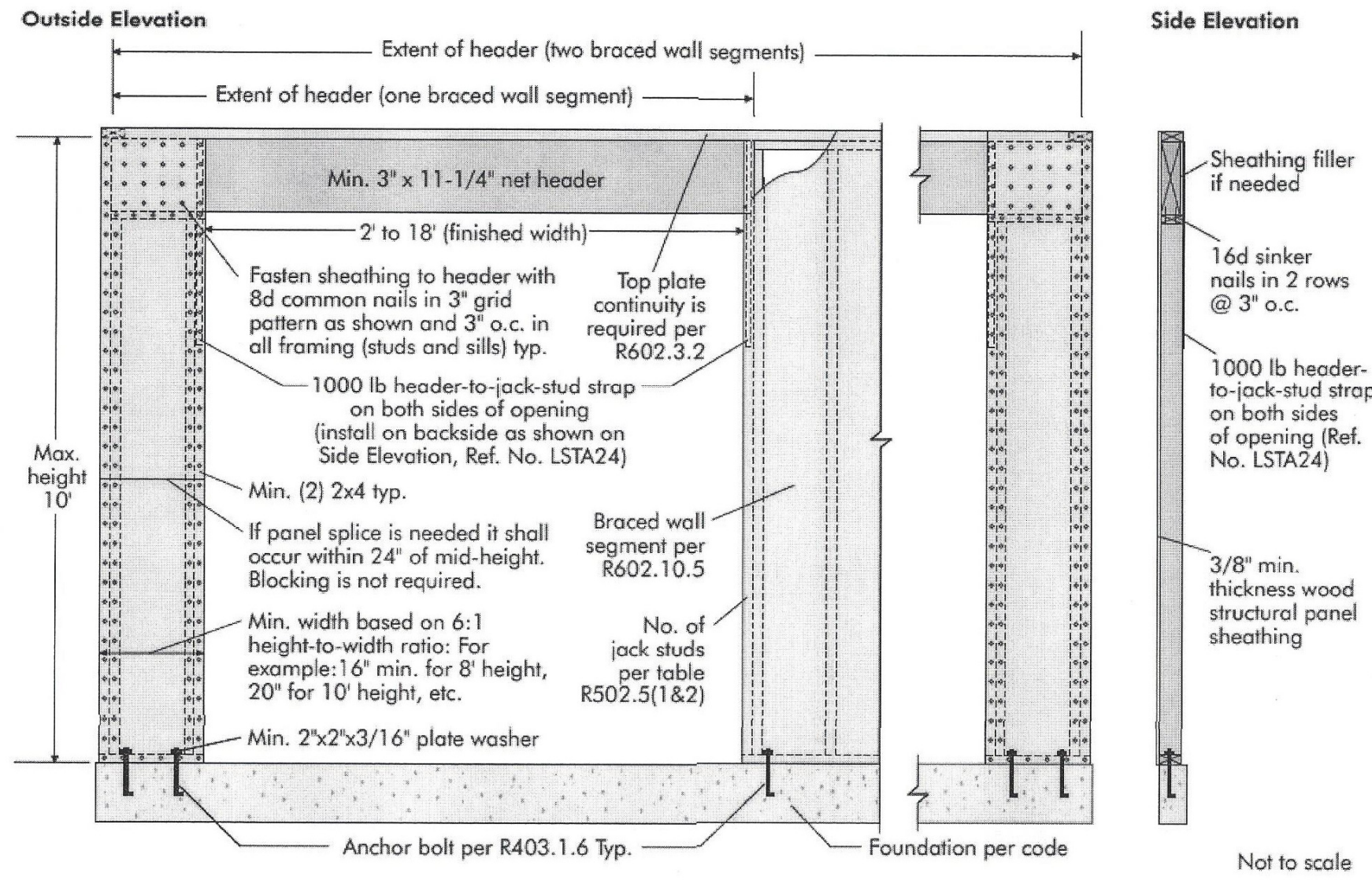


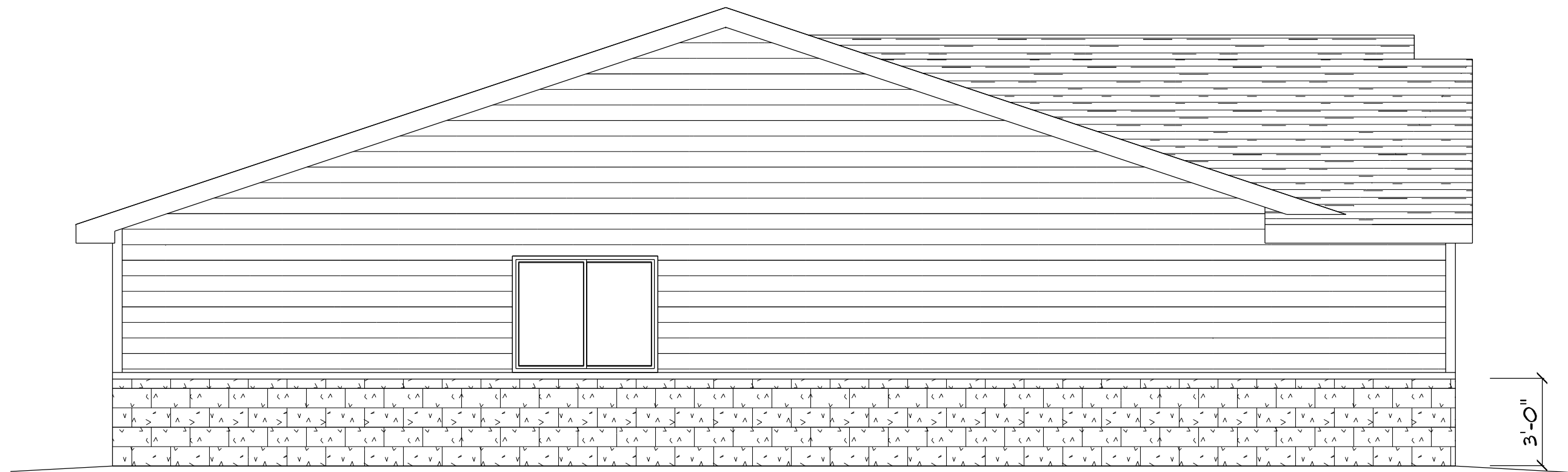
Common Wall
Detail



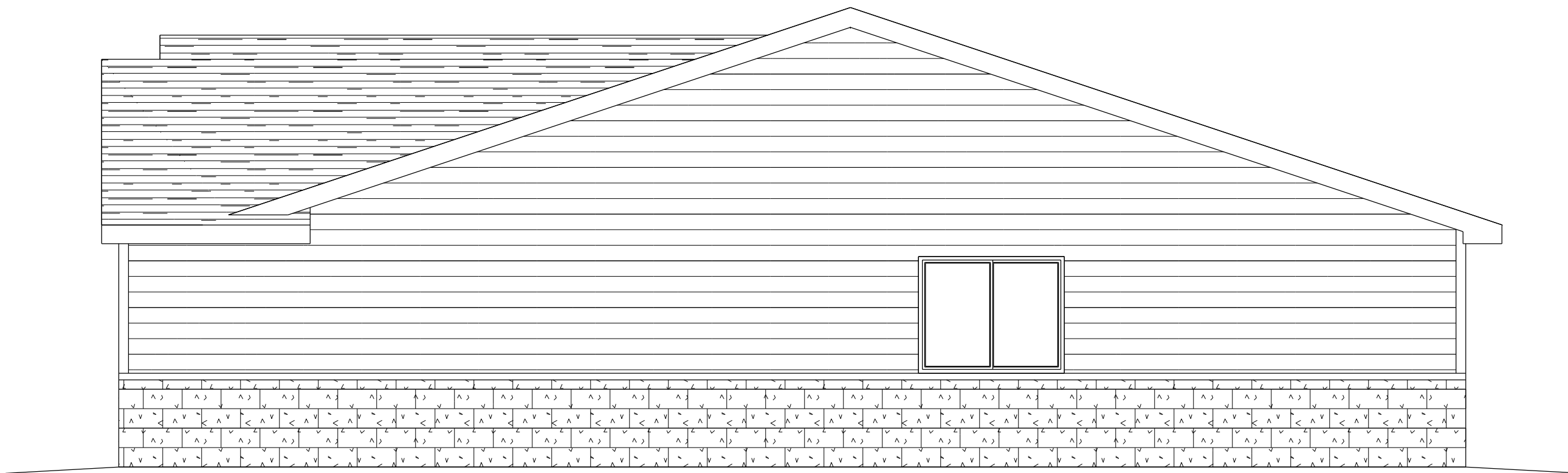
MAIN FLOOR PLAN
1182 SF per side

FIGURE 1
NARROW WALL OVER CONCRETE OR MASONRY BLOCK FOUNDATION

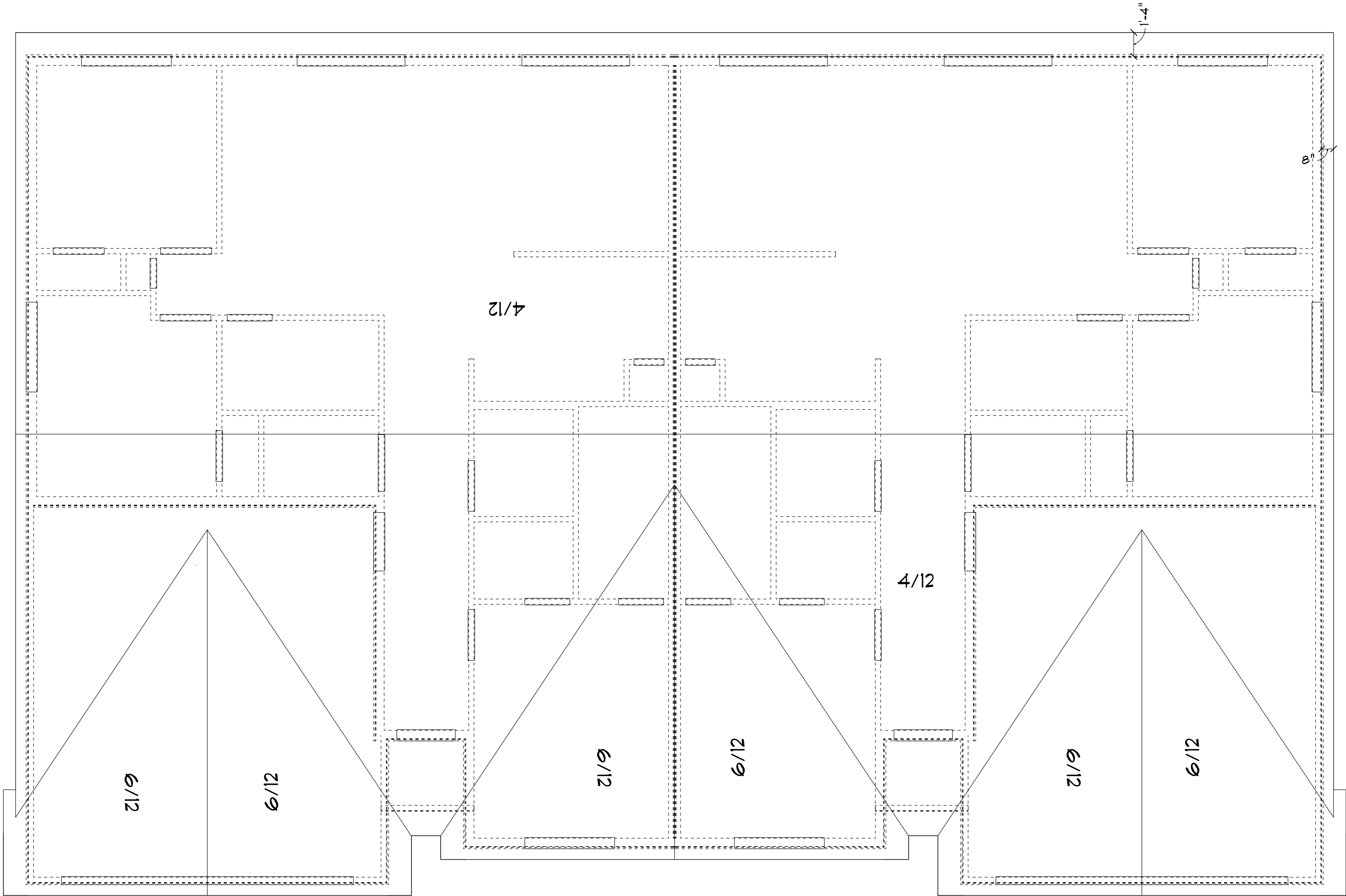




LEFT ELEVATION



RIGHT ELEVATION



BIRD'S EYE PLAN



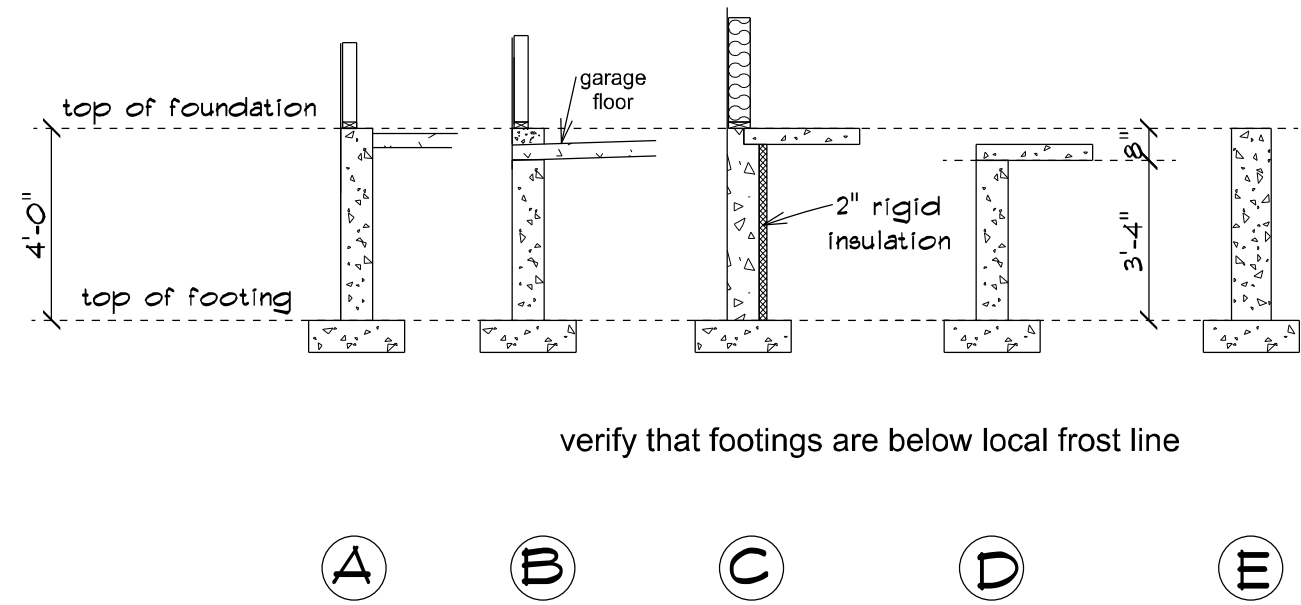
FRONT ELEVATION

Adjacent buildings
will have different elevations



REAR ELEVATION

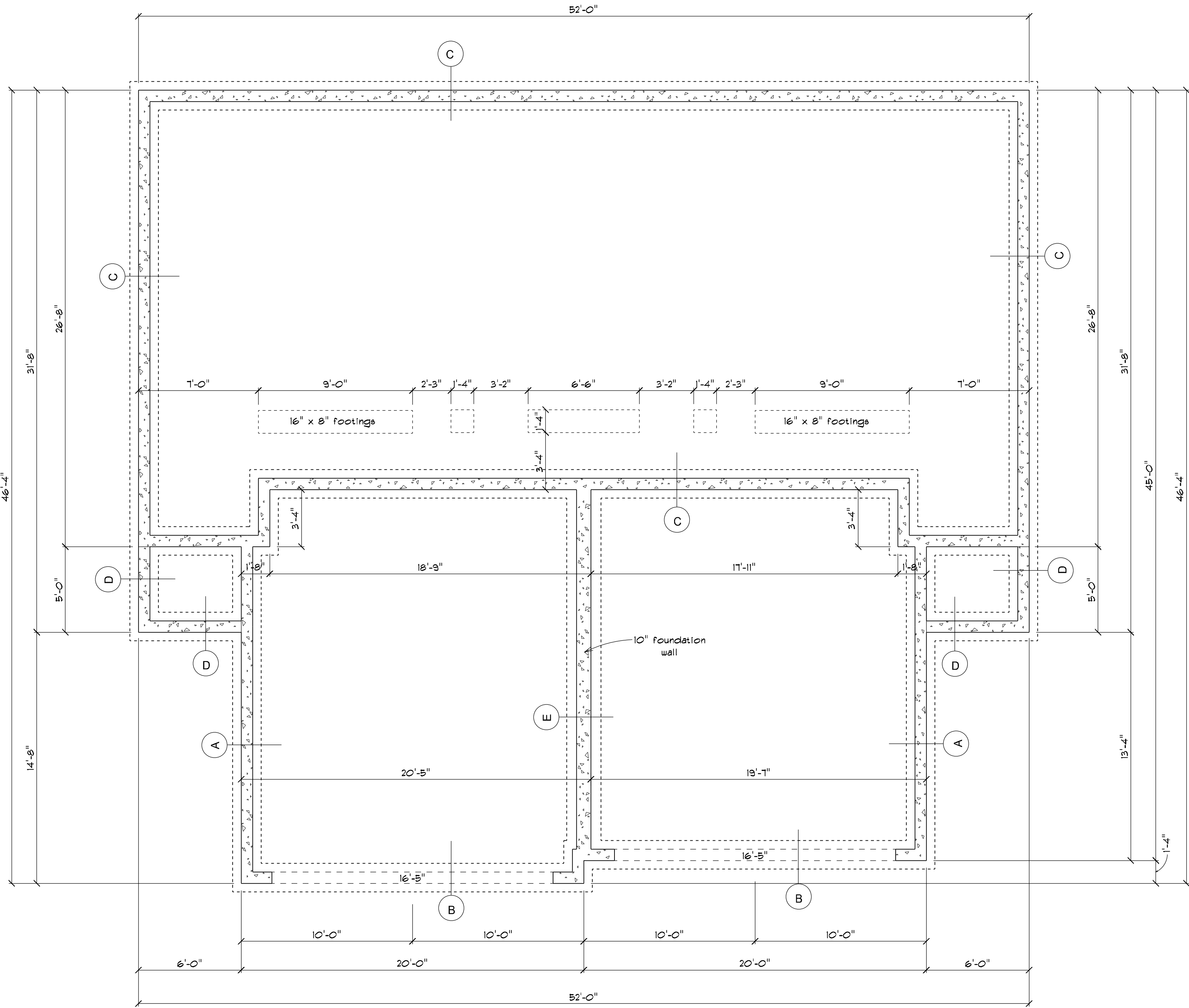
VP Design & Drafting, Inc. 515-249-1134	SCALE 1/4" = 1'		DATE 4-22-2022	PLAN # 121248
	DRAWN BY	TYP		
	APPROVED		REVISED	SHEET 1 of 5



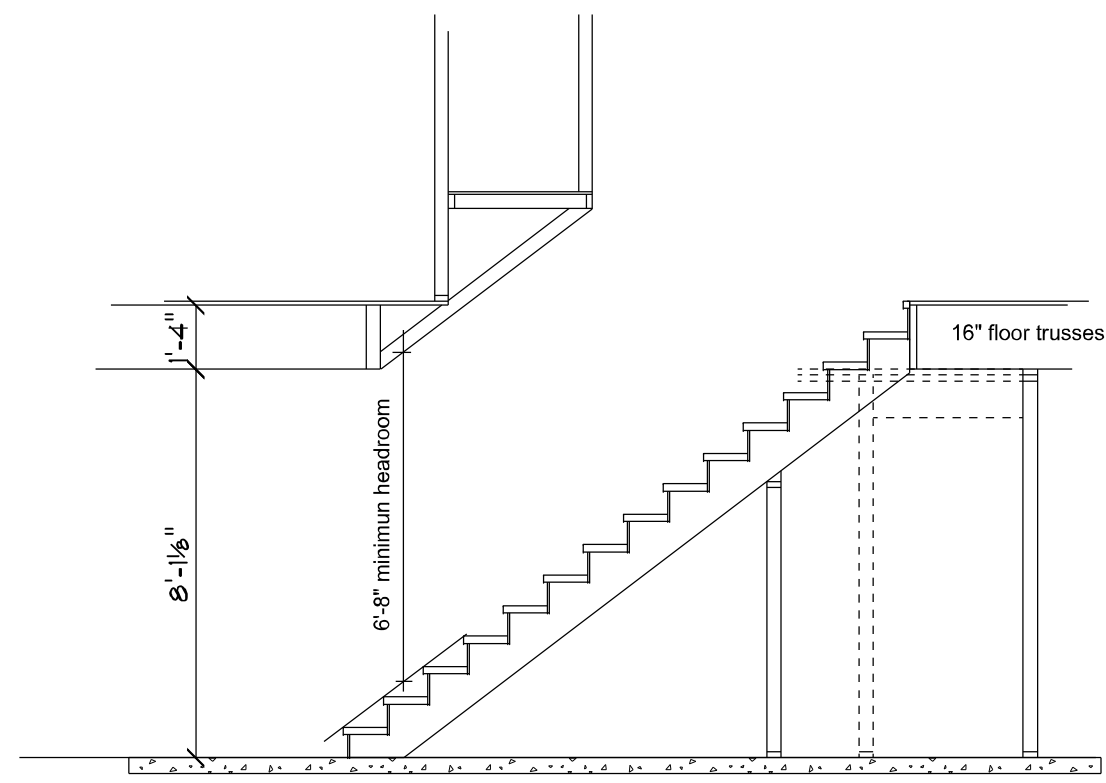
FOUNDATION SECTIONS

General Notes

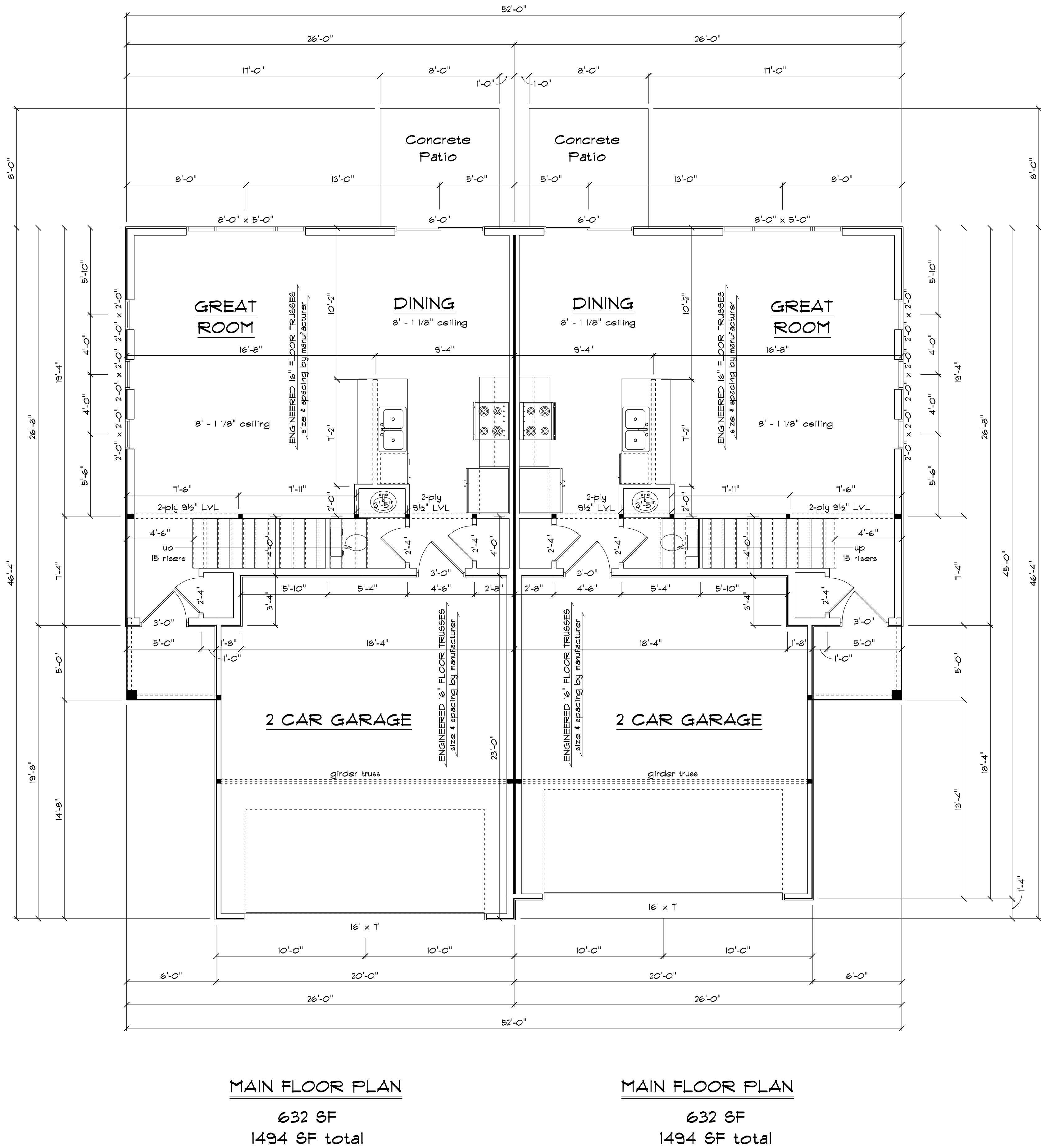
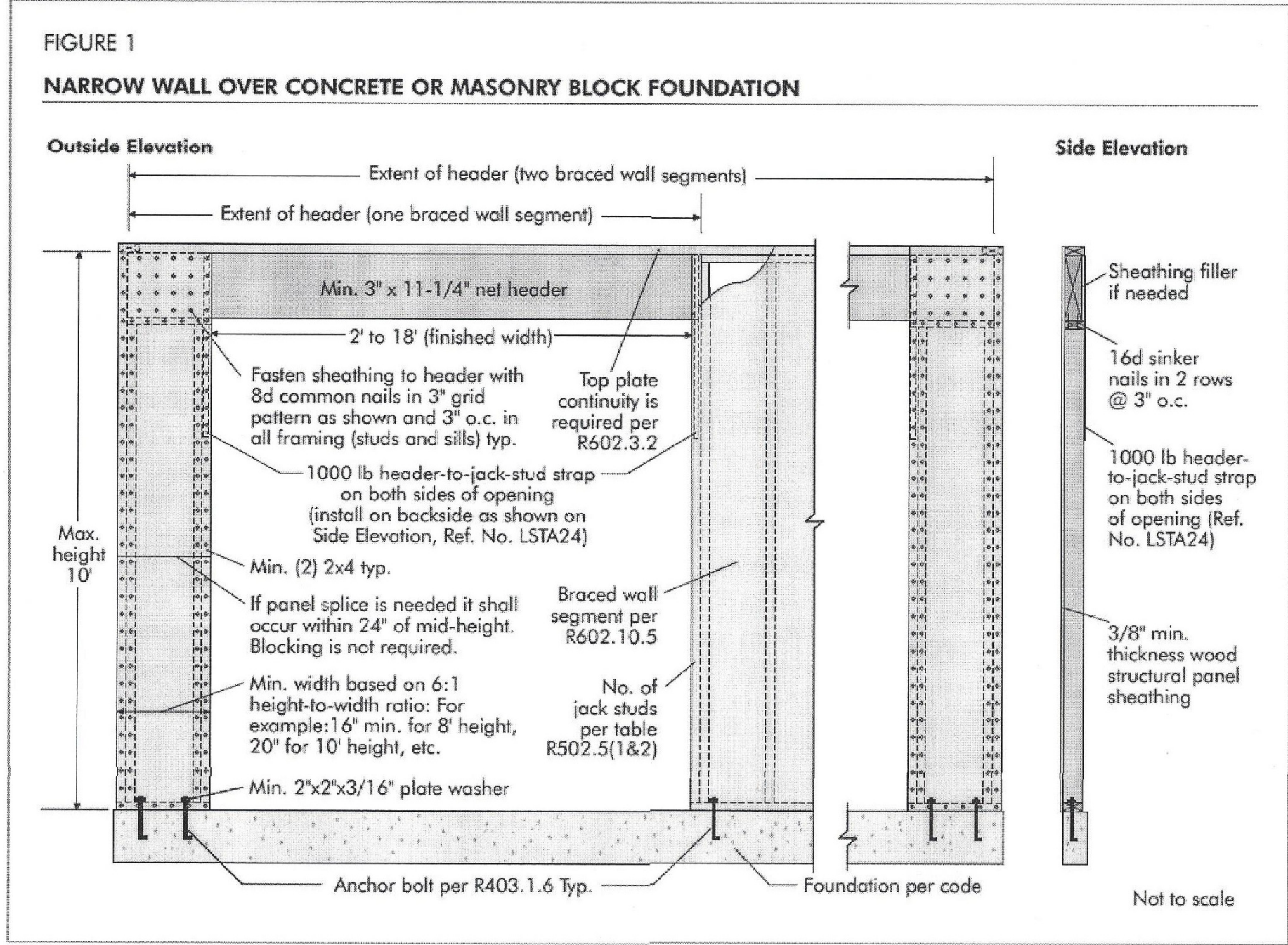
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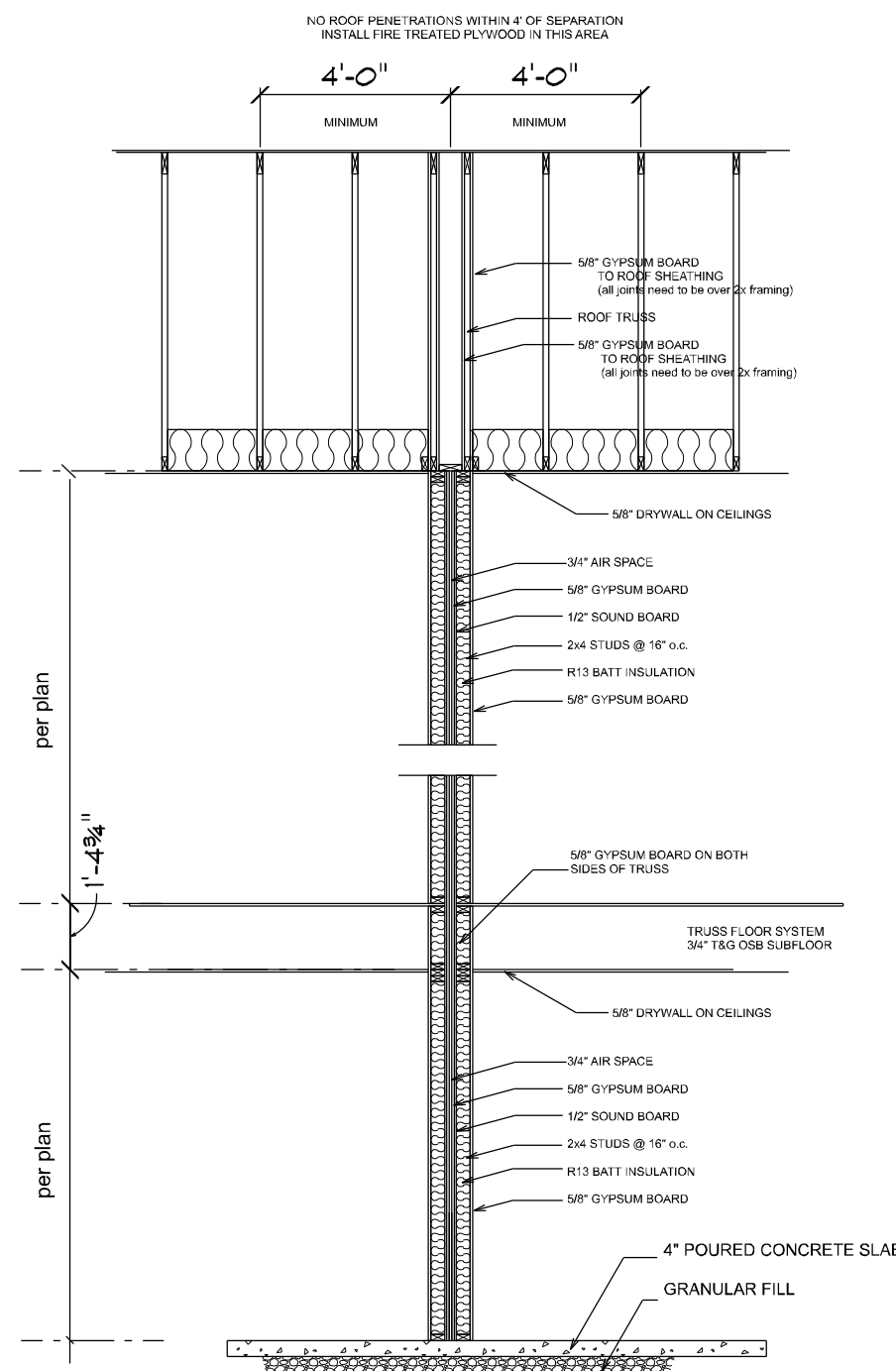


FOUNDATION PLAN

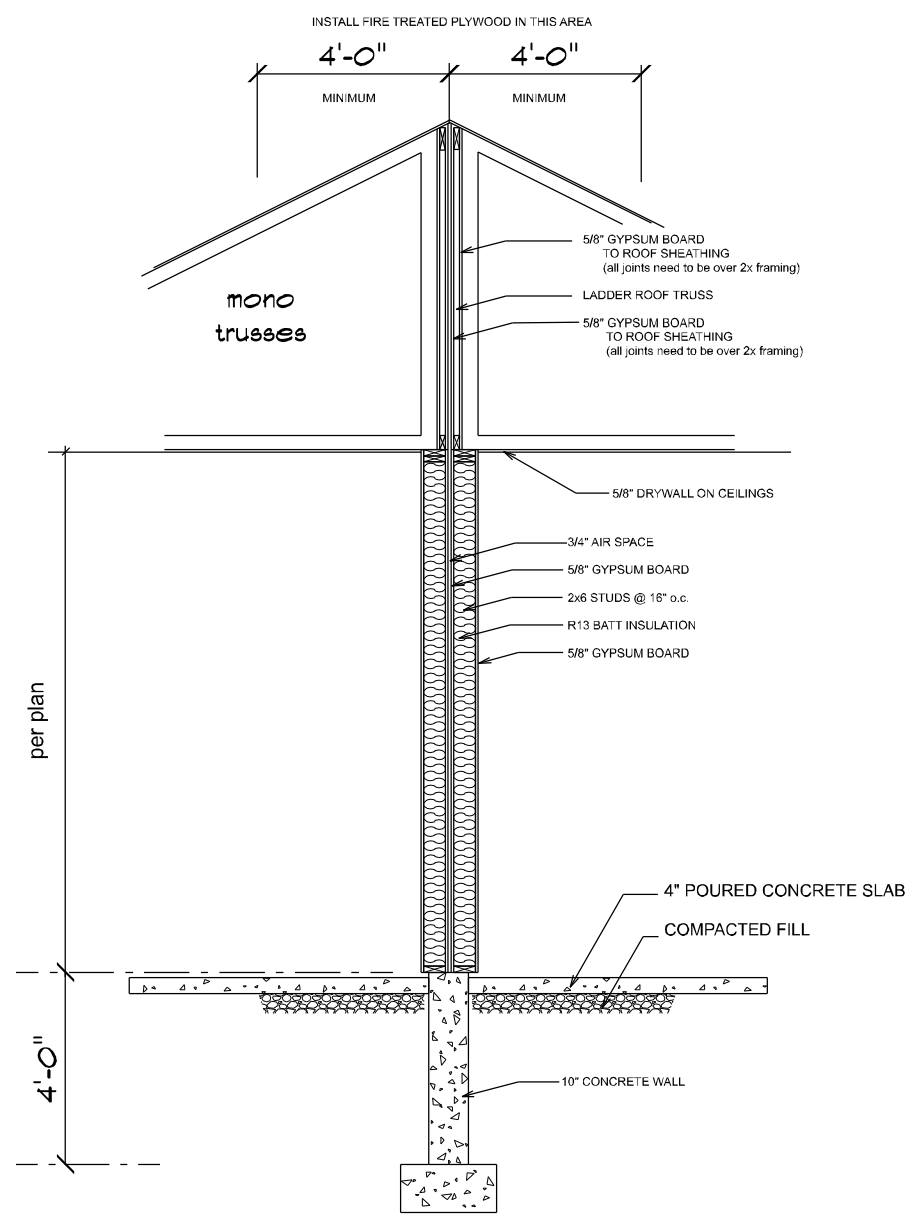


Stair Section

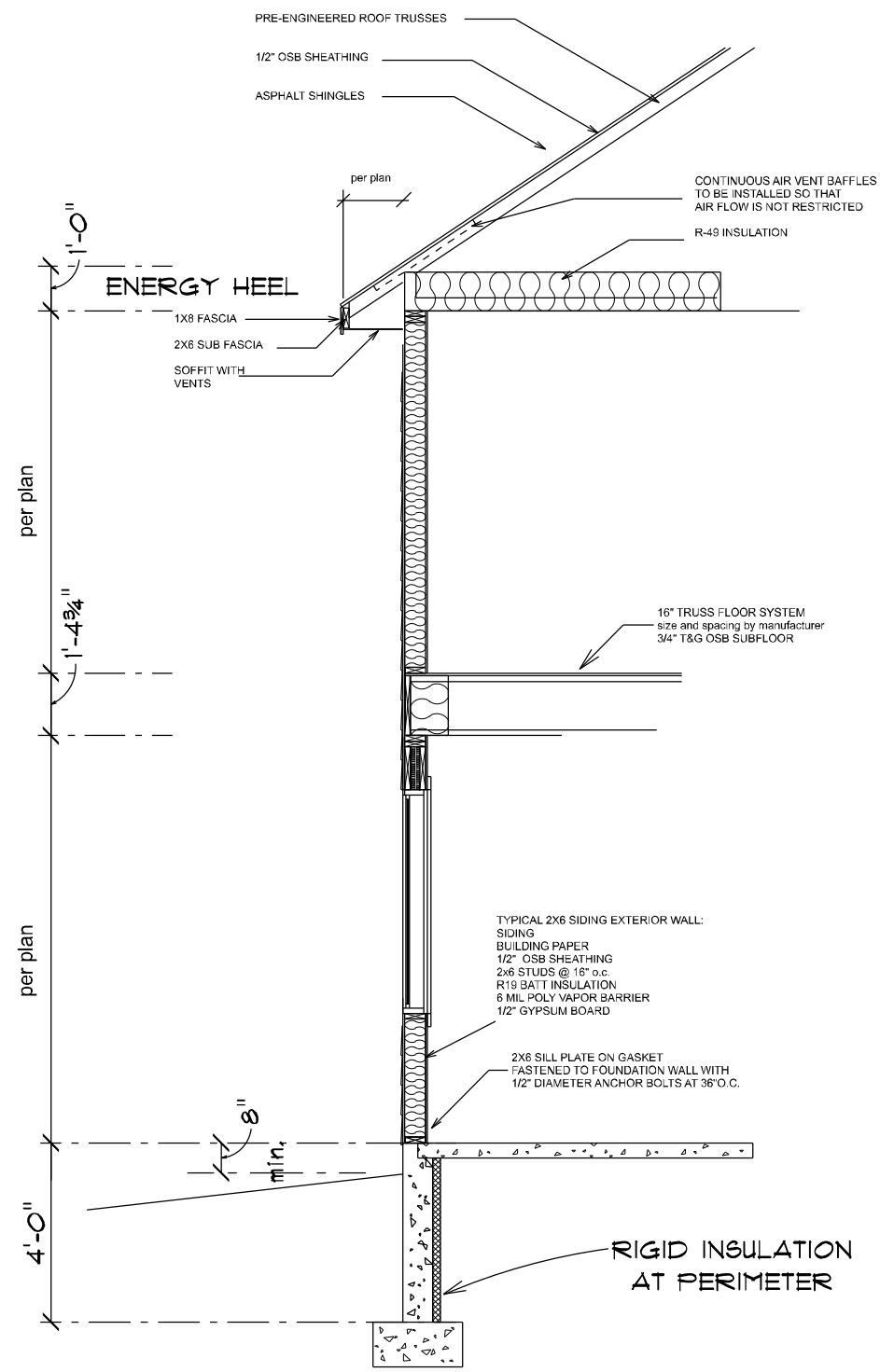




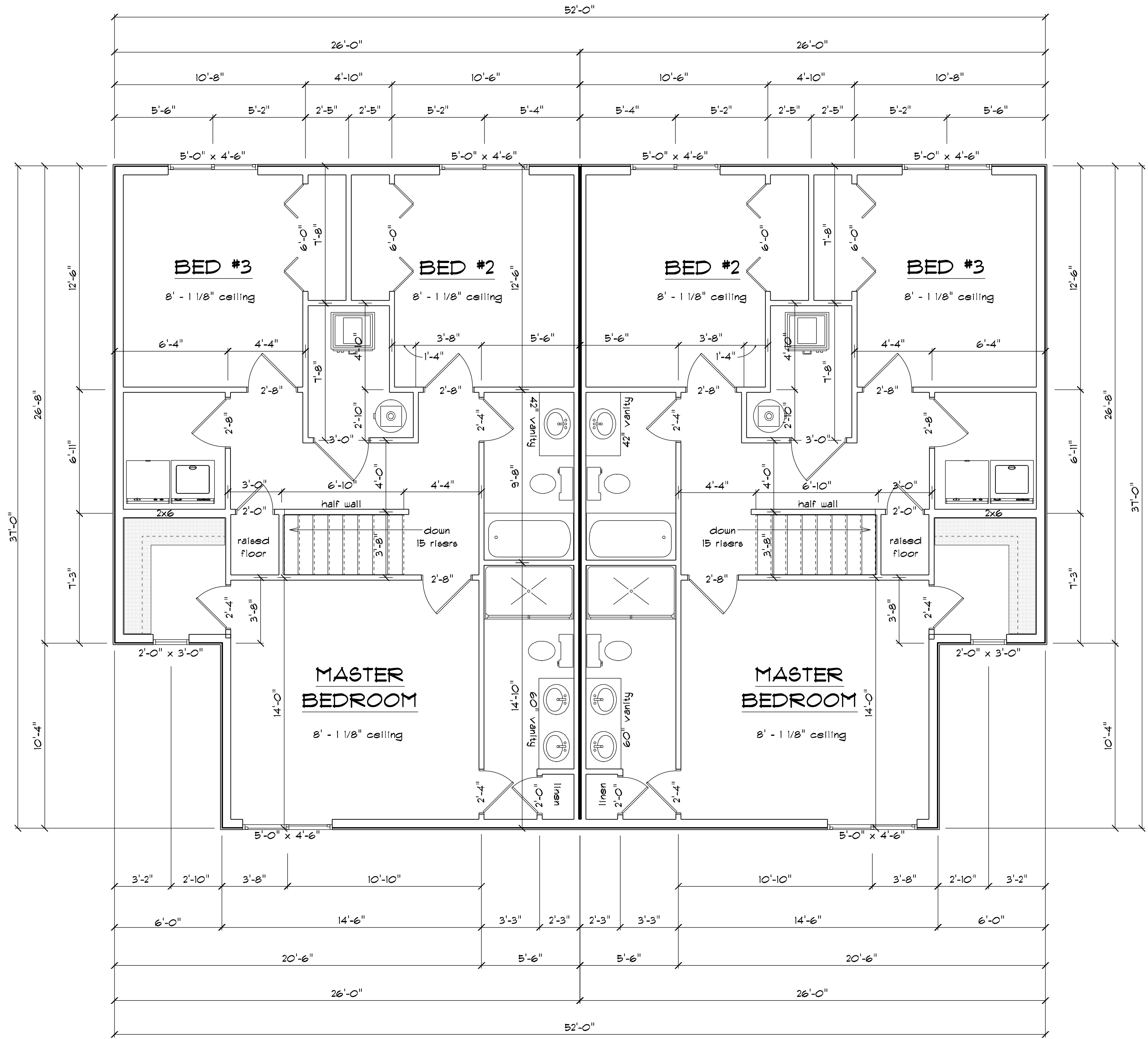
Common Wall
Detail



Garage
Common Wall
Detail



Wall Section



2ND FLOOR PLAN
862 SF

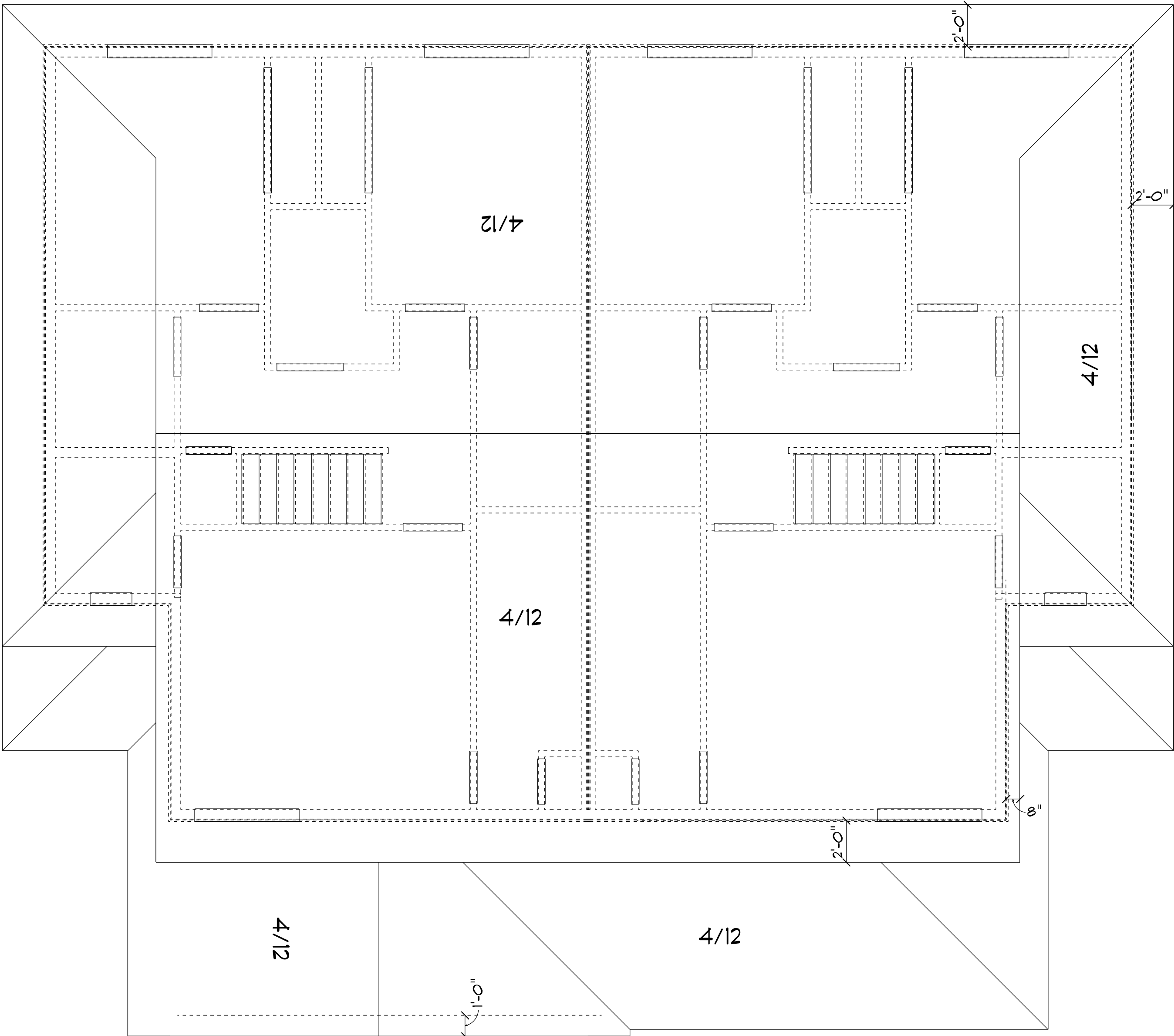
2ND FLOOR PLAN
862 SF



LEFT ELEVATION



RIGHT ELEVATION



BIRD'S EYE PLAN

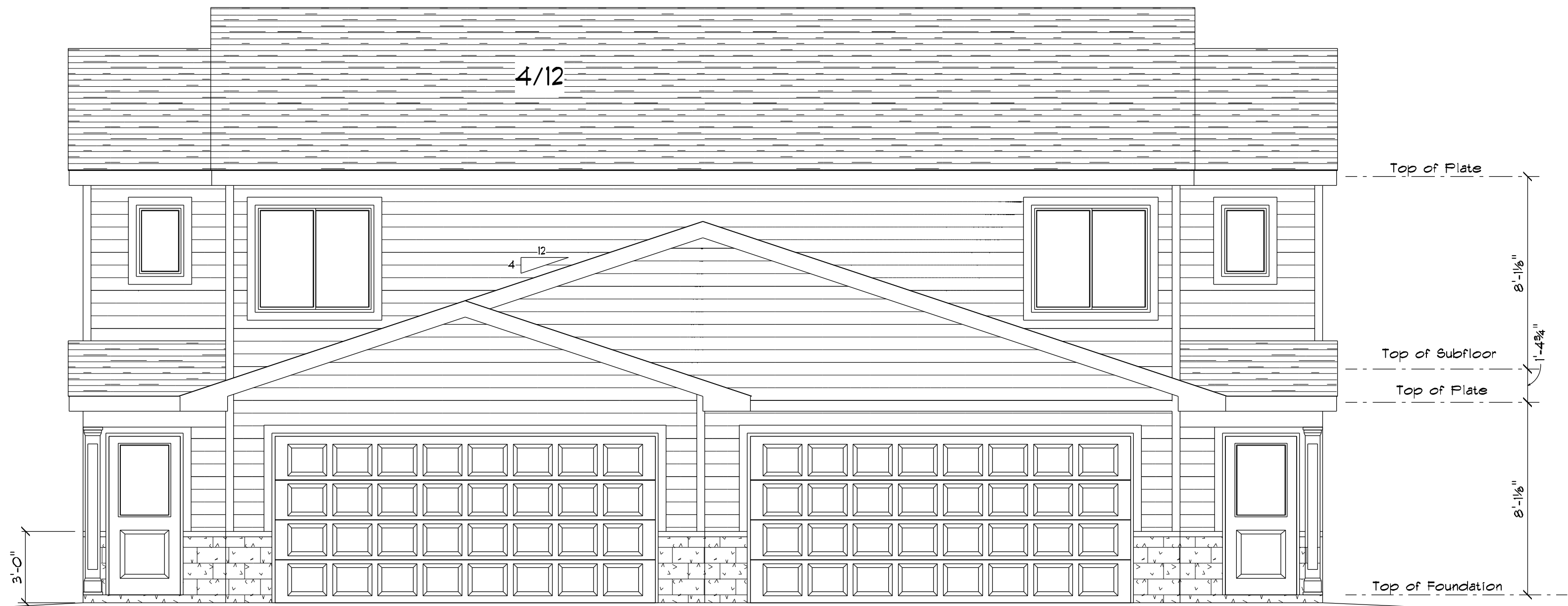
SCALE	1/4" = 1'
DRAWN BY	TYP
APPROVED	

DATE	PLAN #
4-22-2022	121248
REVISED	SHEET
	5 of 5

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515-249-1134

2 STY Duplex
Combo



FRONT ELEVATION

Adjacent buildings
will have different elevations



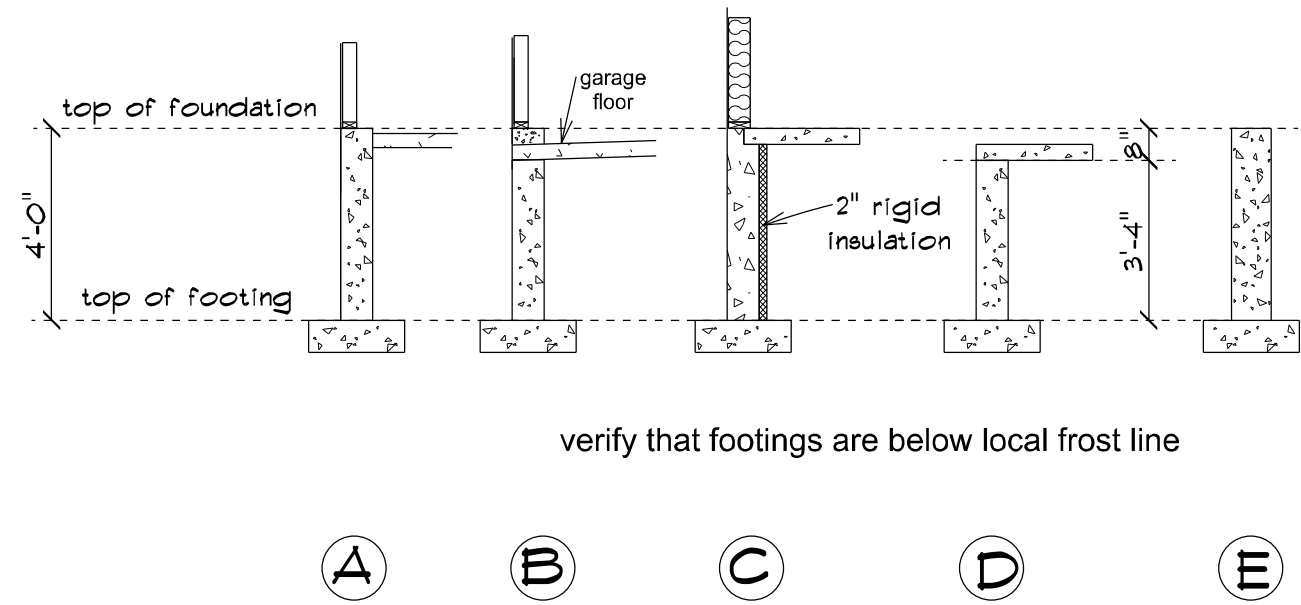
REAR ELEVATION

SCALE	1/4" = 1'
DRAWN BY	TYP
APPROVED	
DATE	PLAN #
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	1 of 5

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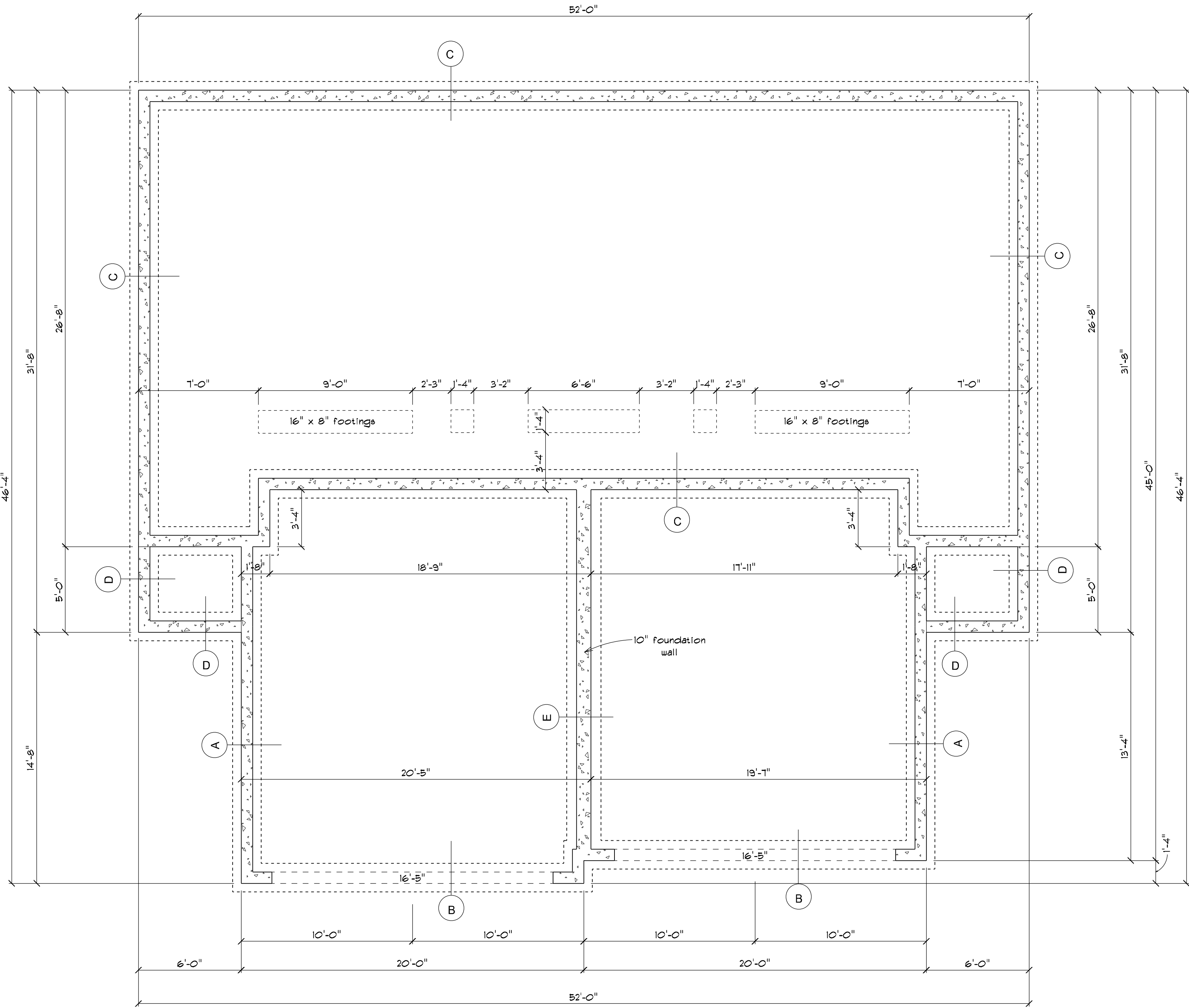
2 STY Duplex
Gable



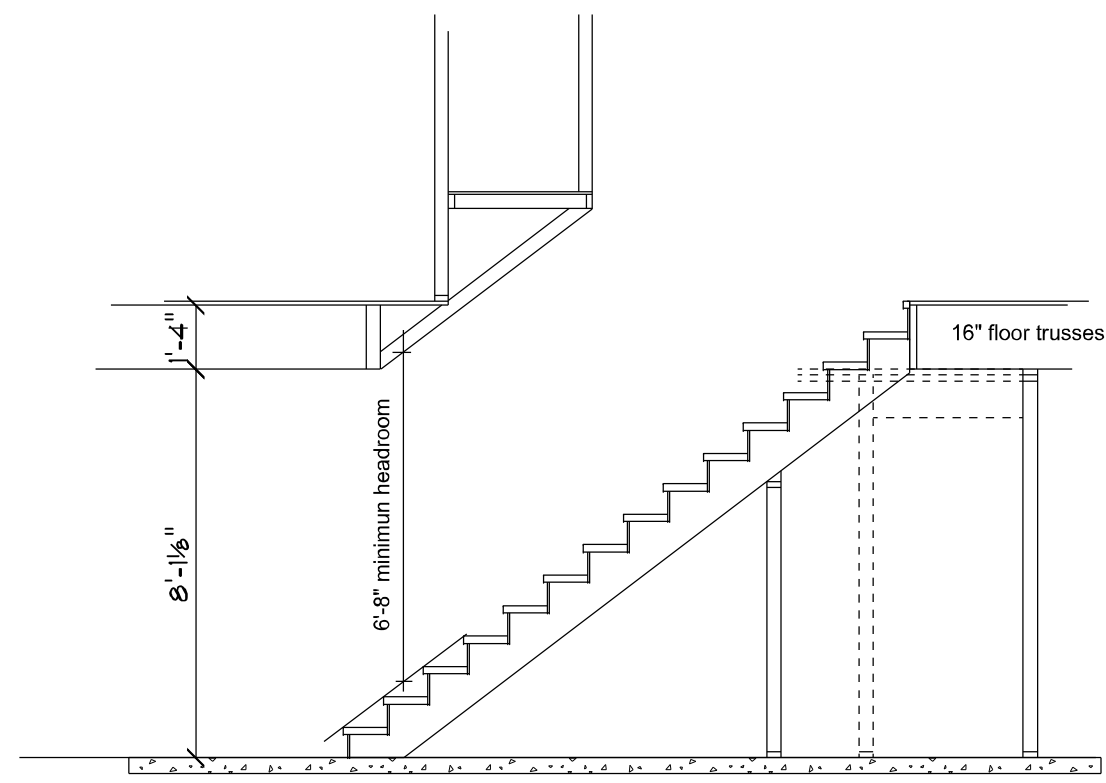
FOUNDATION SECTIONS

General Notes

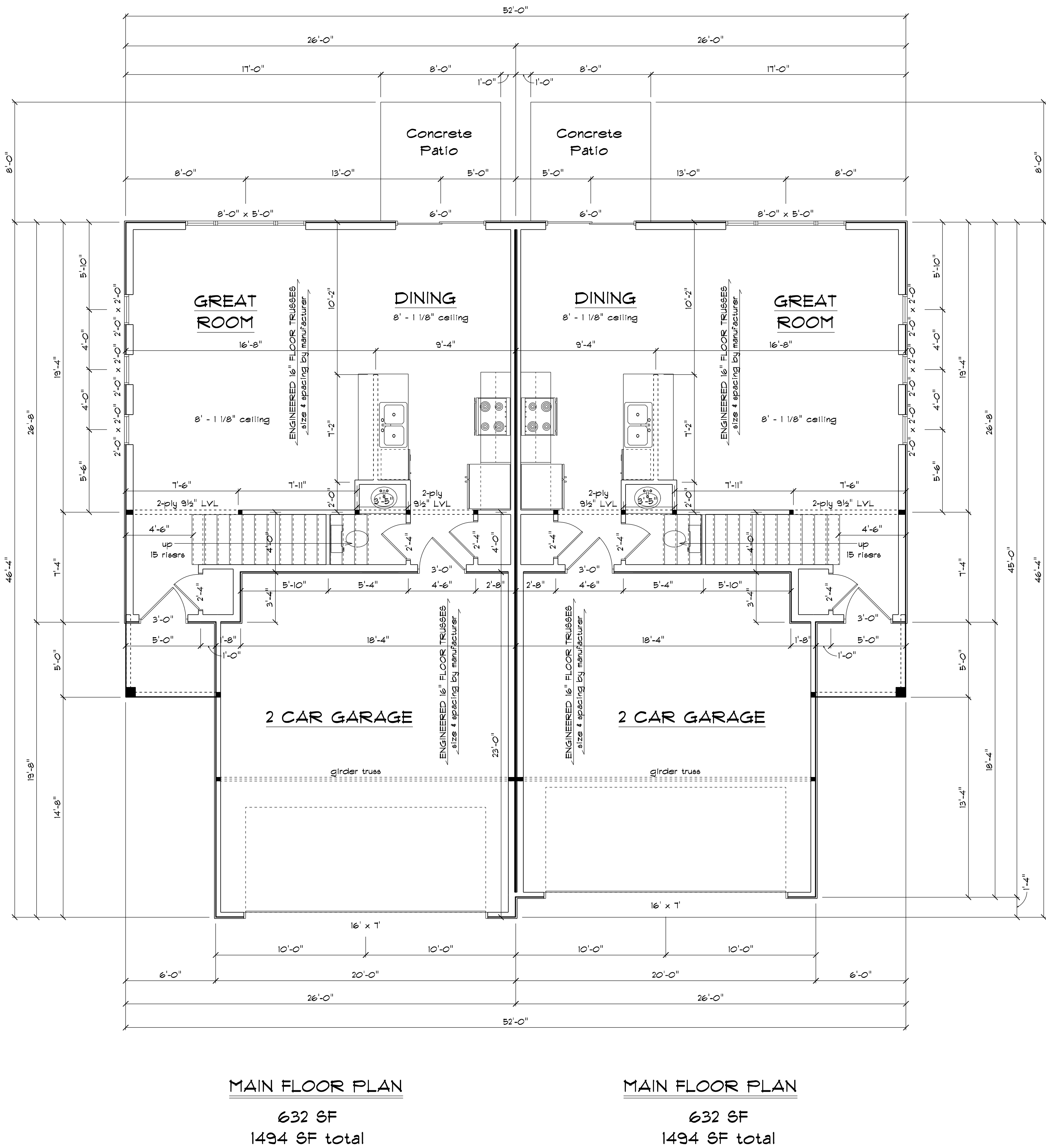
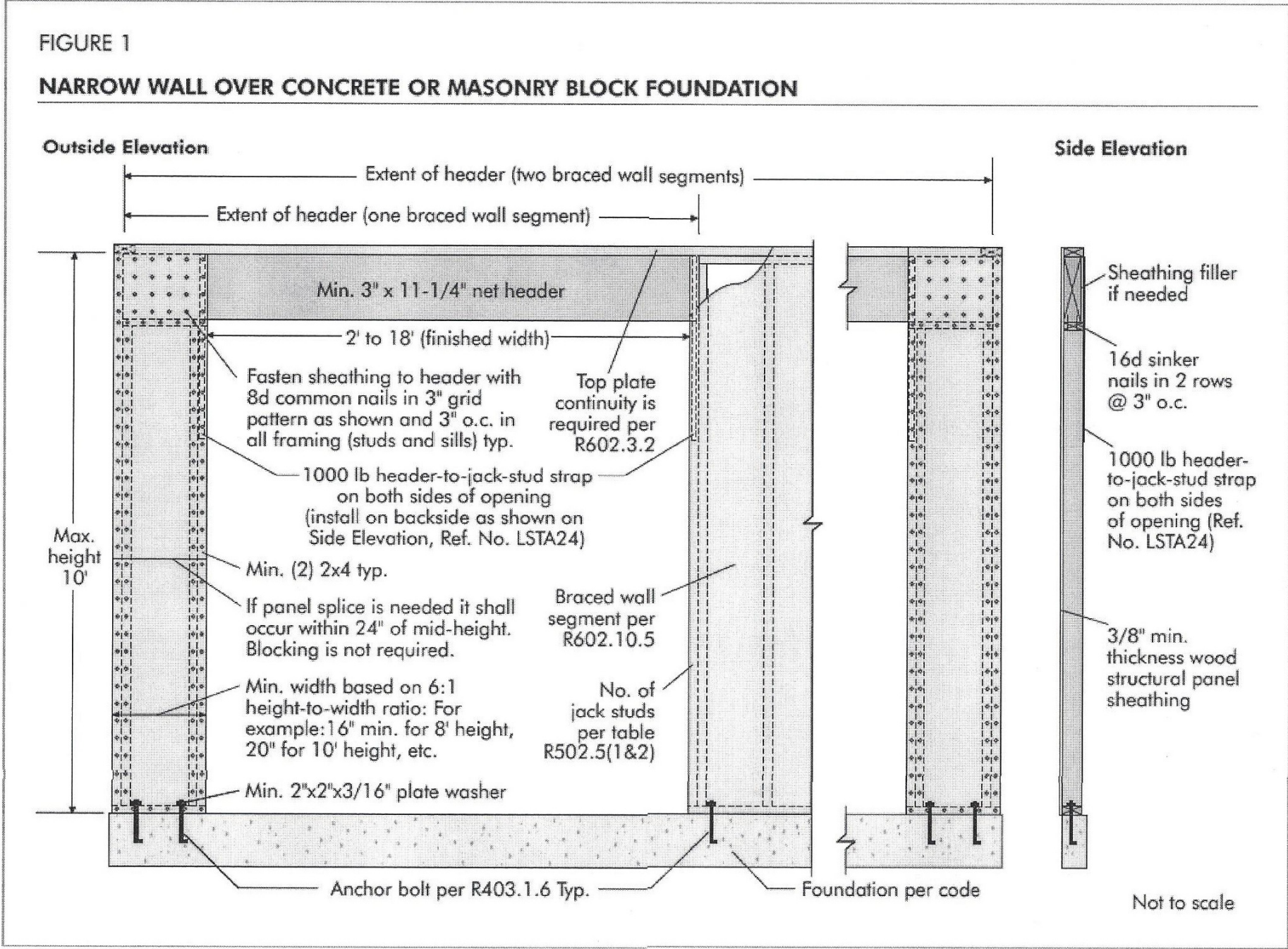
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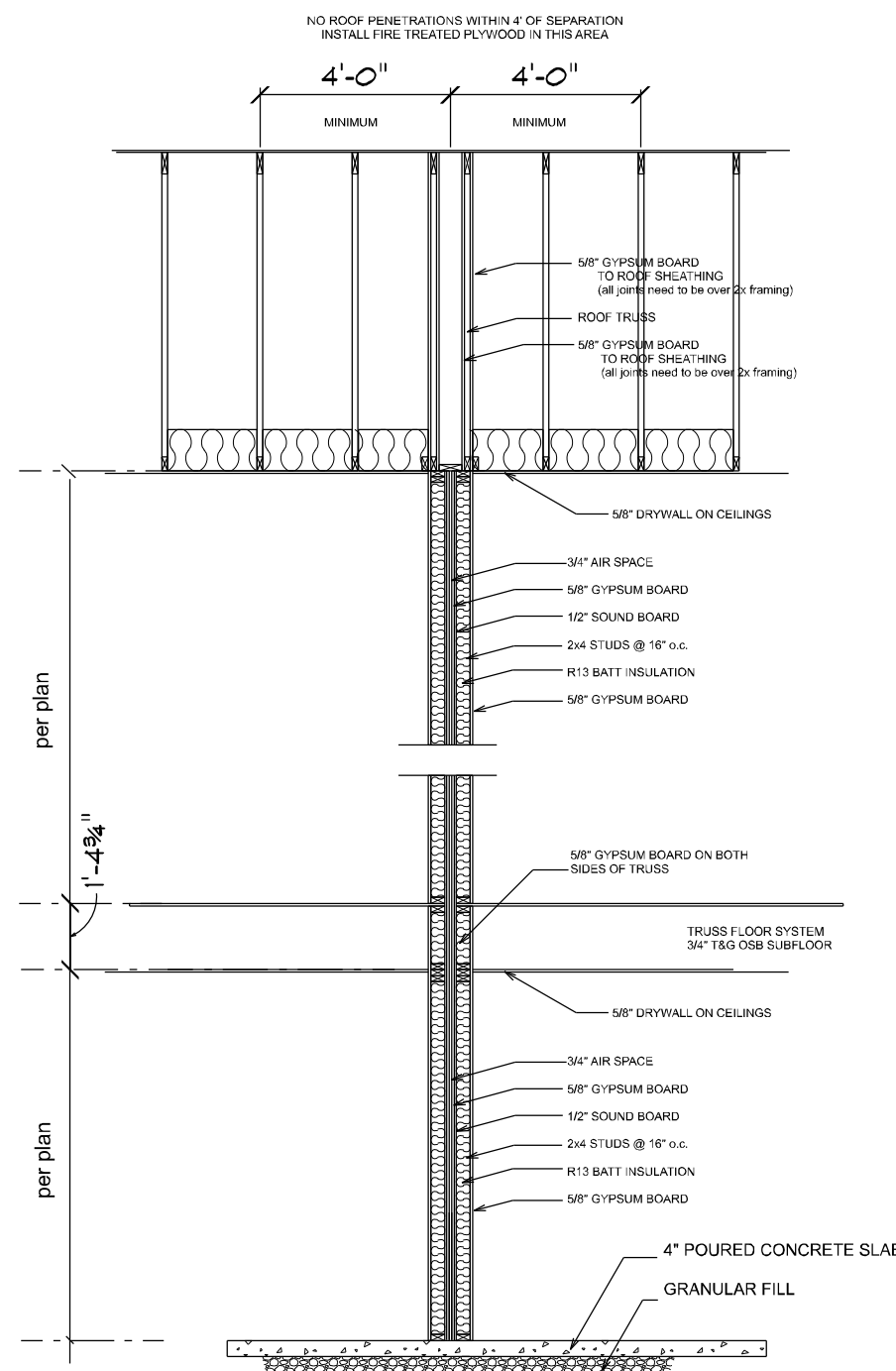


FOUNDATION PLAN

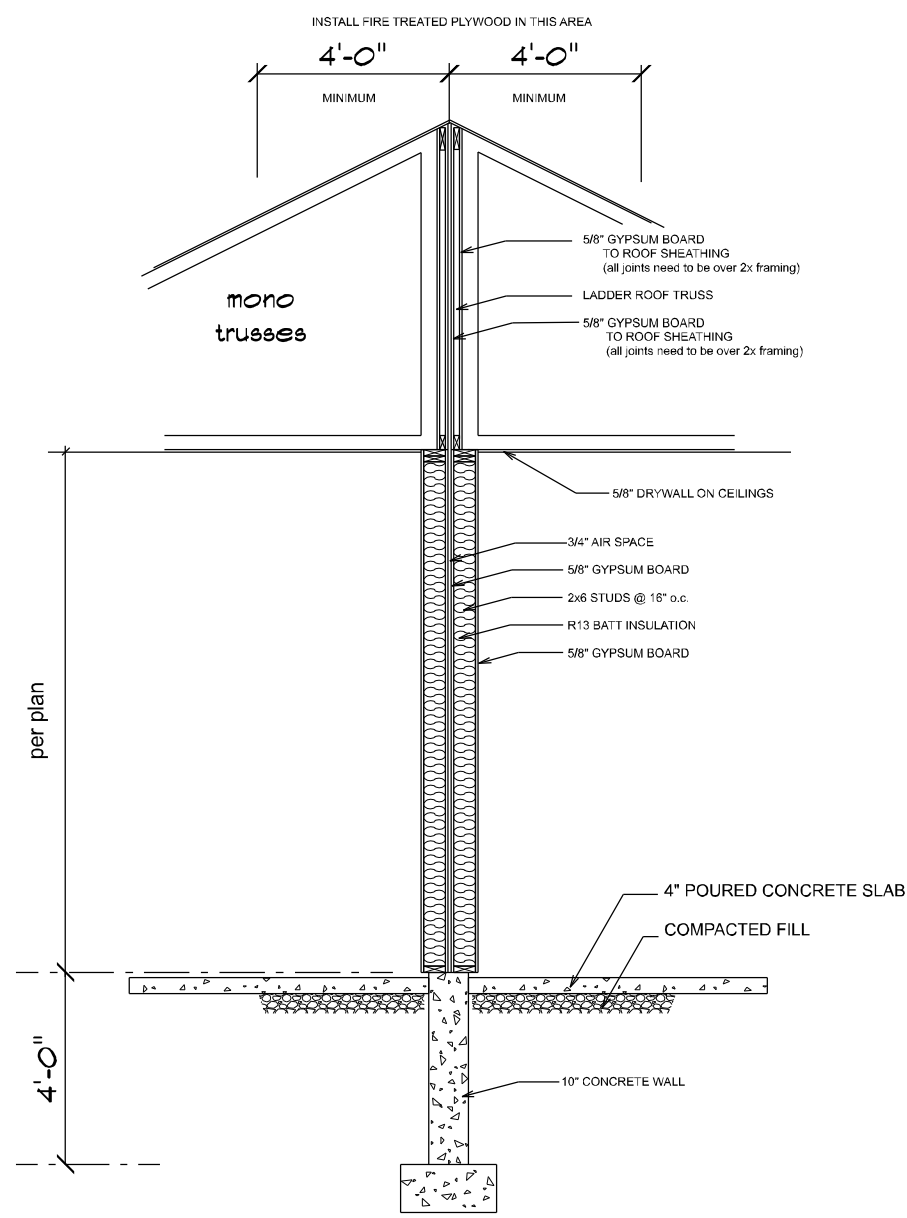


Stair Section

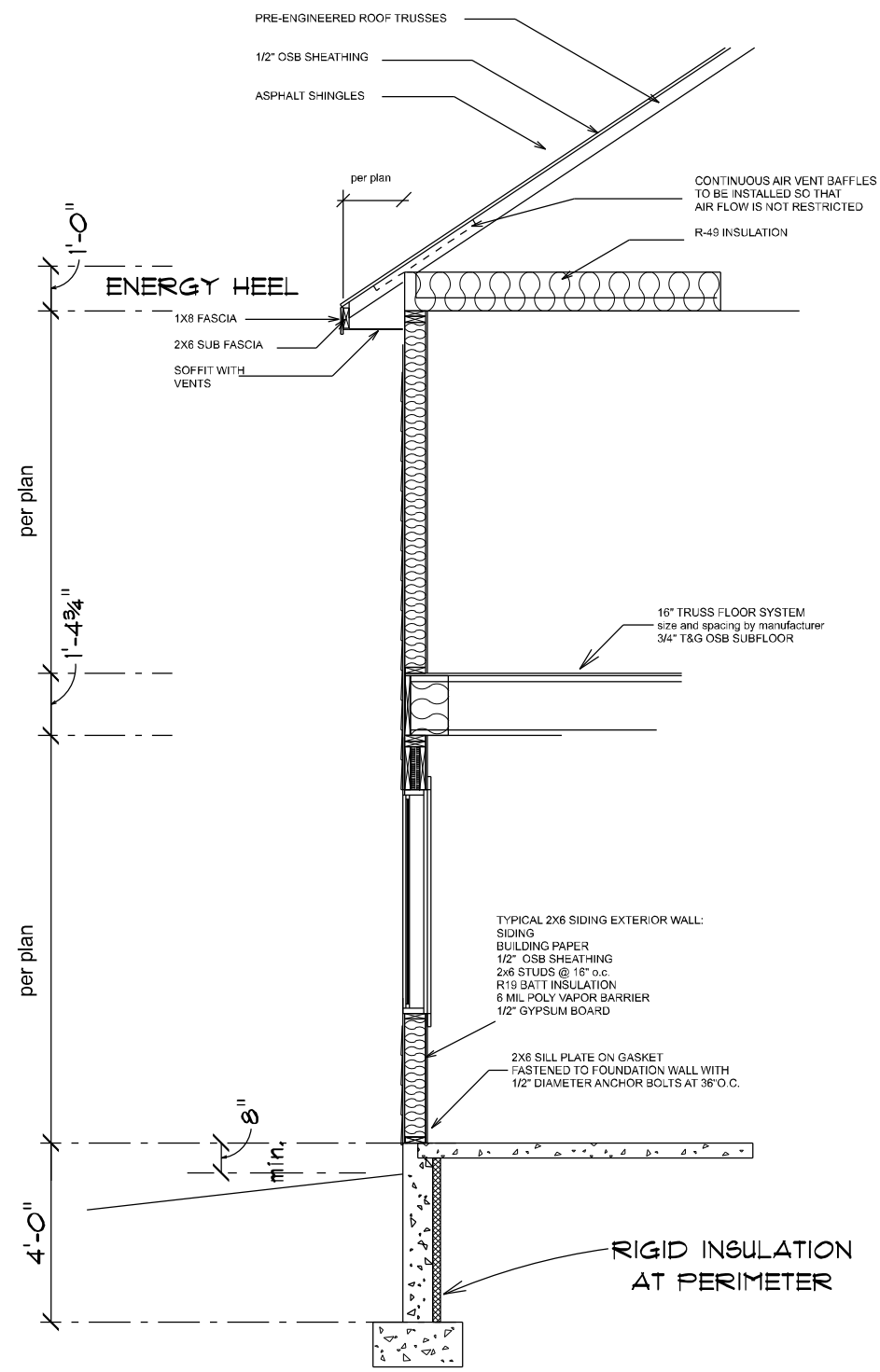




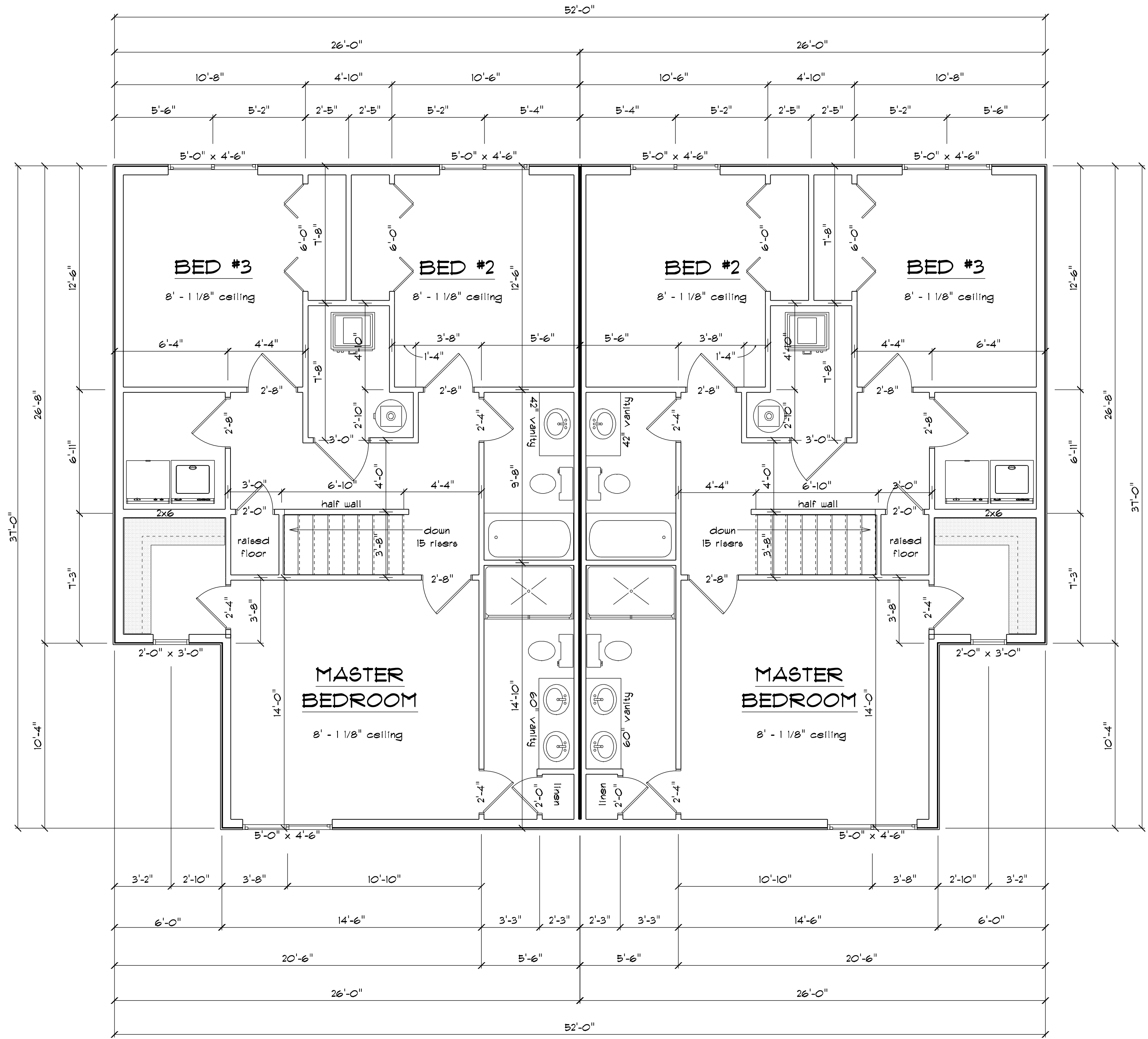
Common Wall
Detail



Garage
Common Wall
Detail



Wall Section

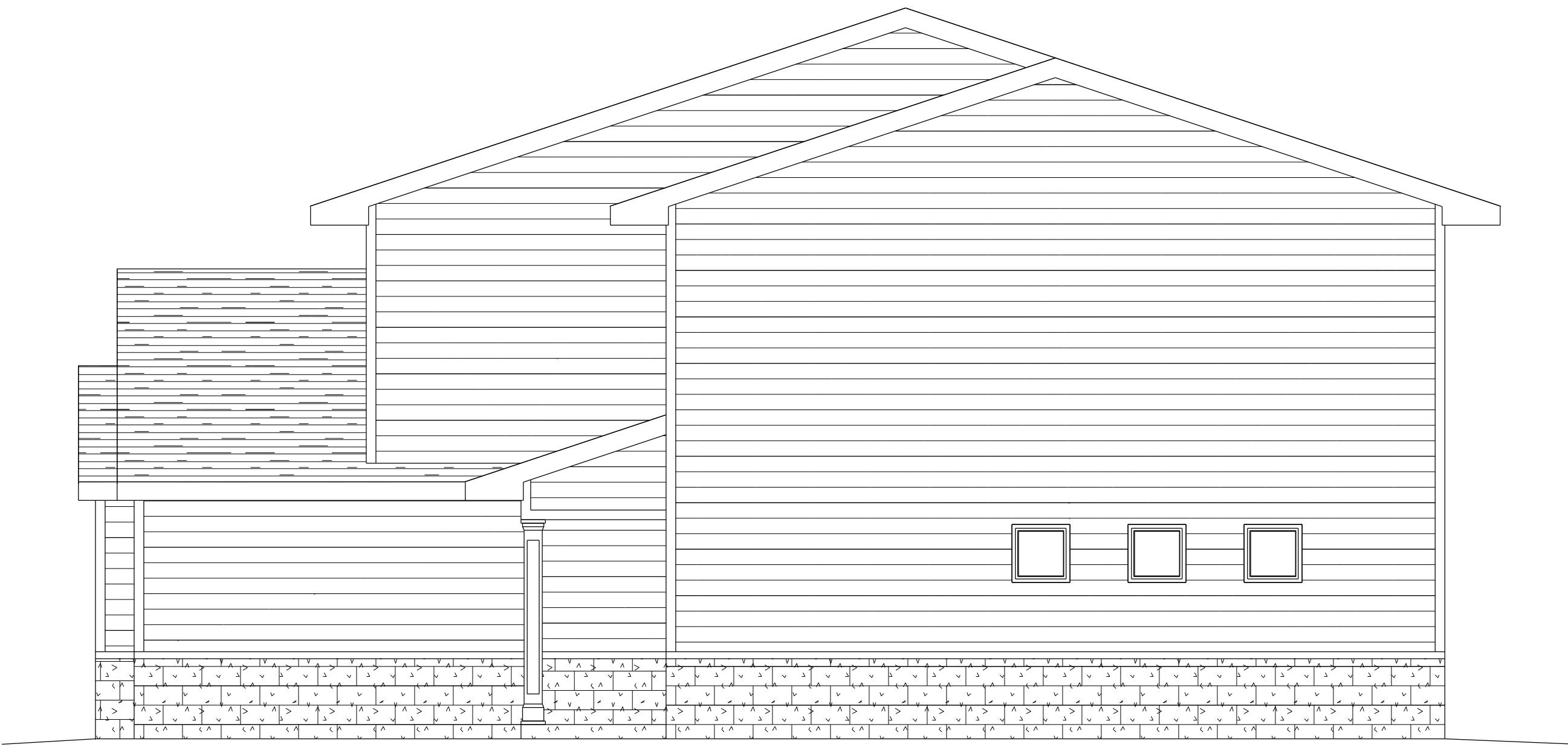


2ND FLOOR PLAN
862 SF

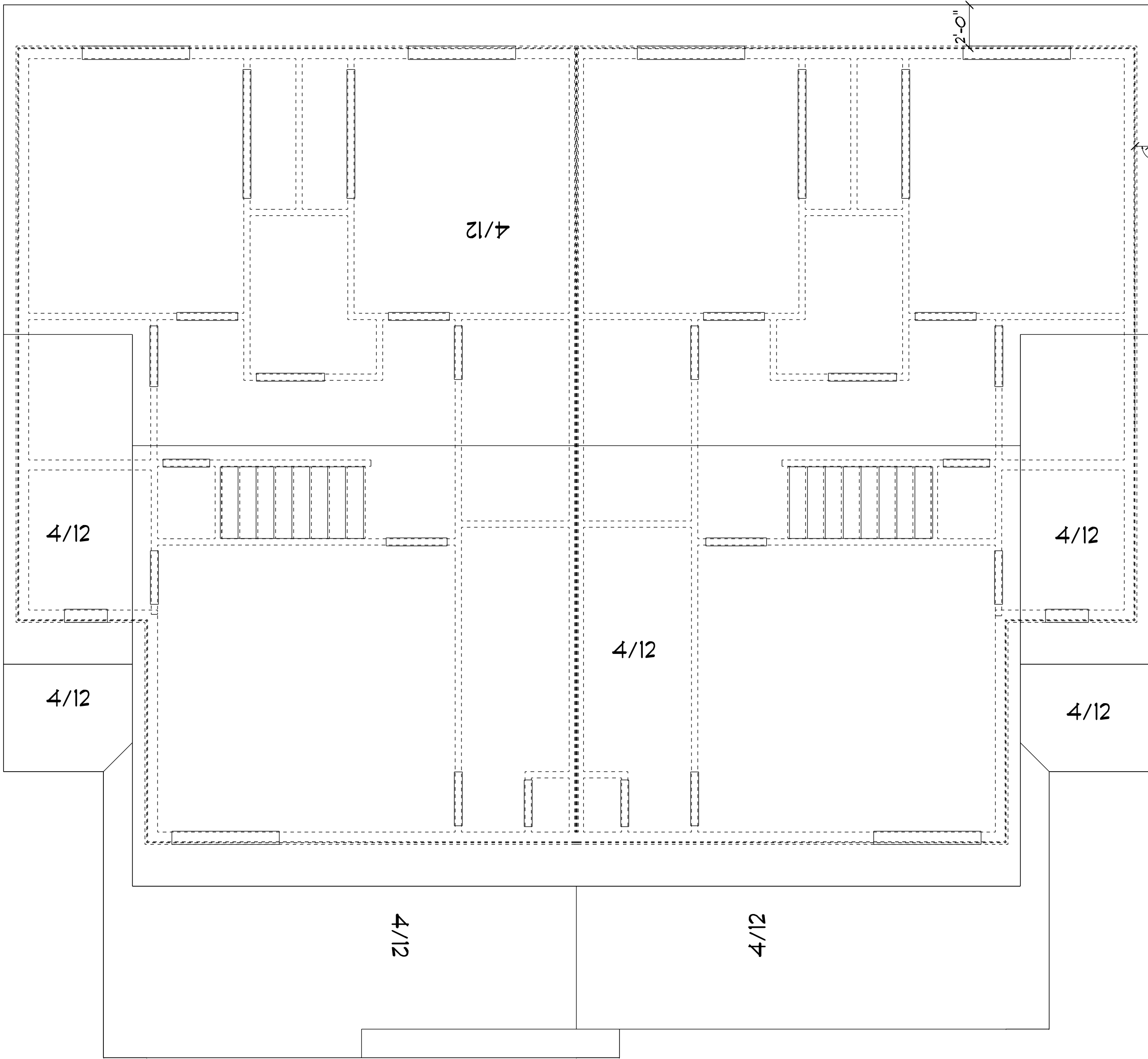
2ND FLOOR PLAN
862 SF



LEFT ELEVATION



RIGHT ELEVATION



BIRD'S EYE PLAN

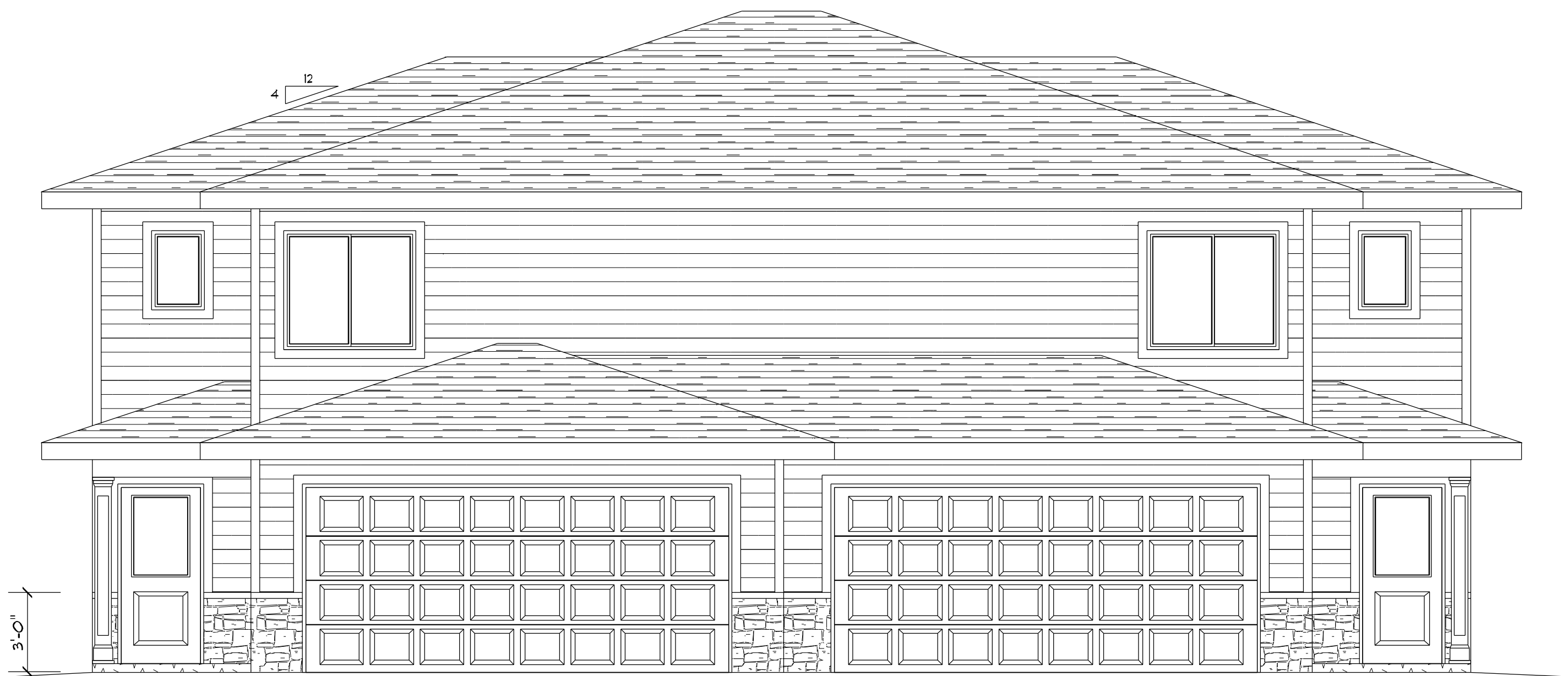
SCALE	1/4" = 1'
DRAWN BY	TYP
APPROVED	

DATE	PLAN #
4-22-2022	121248
REVISED	SHEET
	5 OF 5

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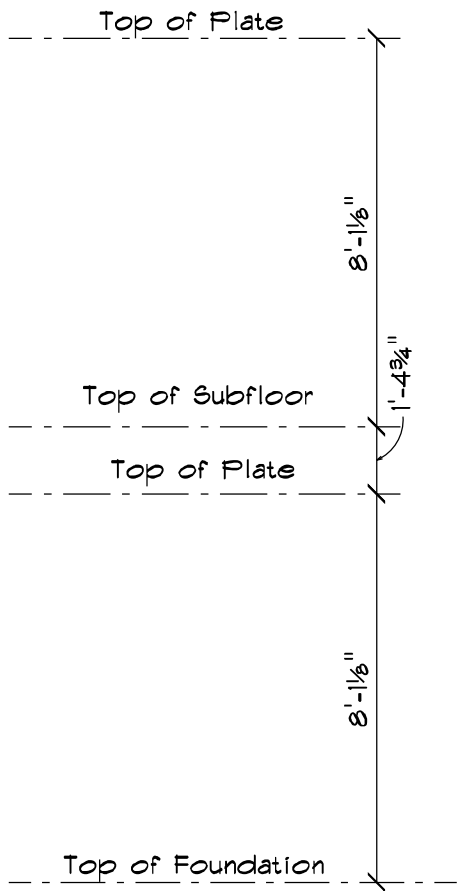
VP Design & Drafting, Inc.
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2 STY Duplex
Gable



FRONT ELEVATION

Adjacent buildings
will have different elevations



REAR ELEVATION

2 STY Duplex
HIP

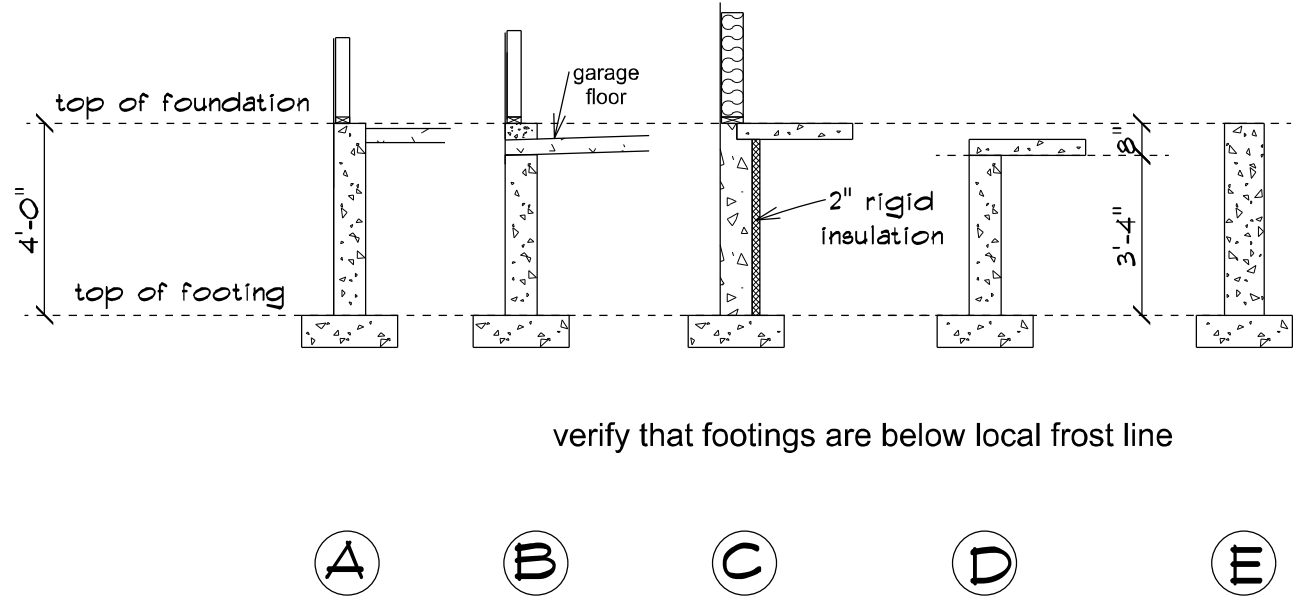
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SCALE 1/4" = 1'
DRAWN BY TYP
APPROVED

DATE 4-22-2022
REVISED

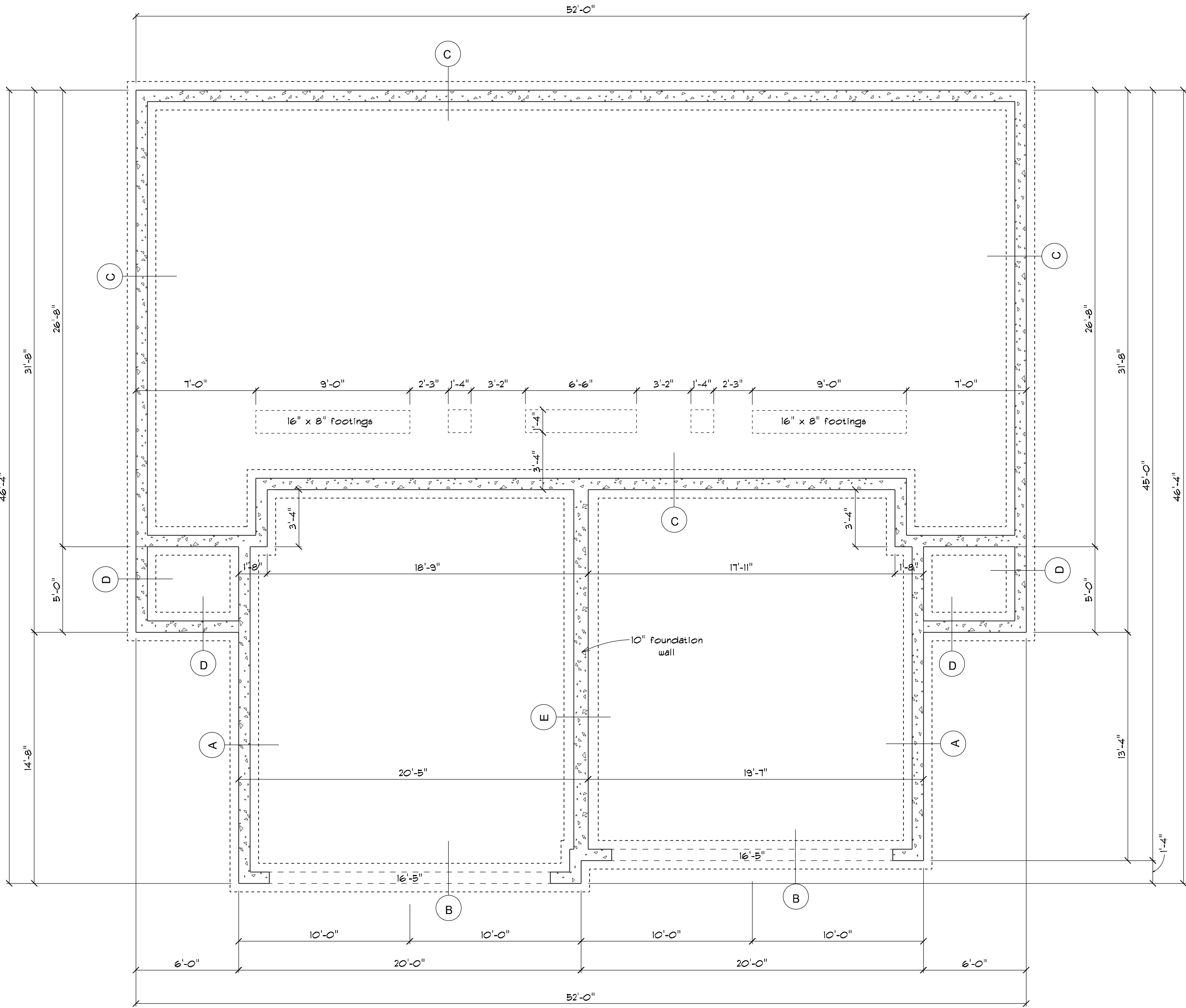
PLAN # 121248
SHEET 1 OF 5



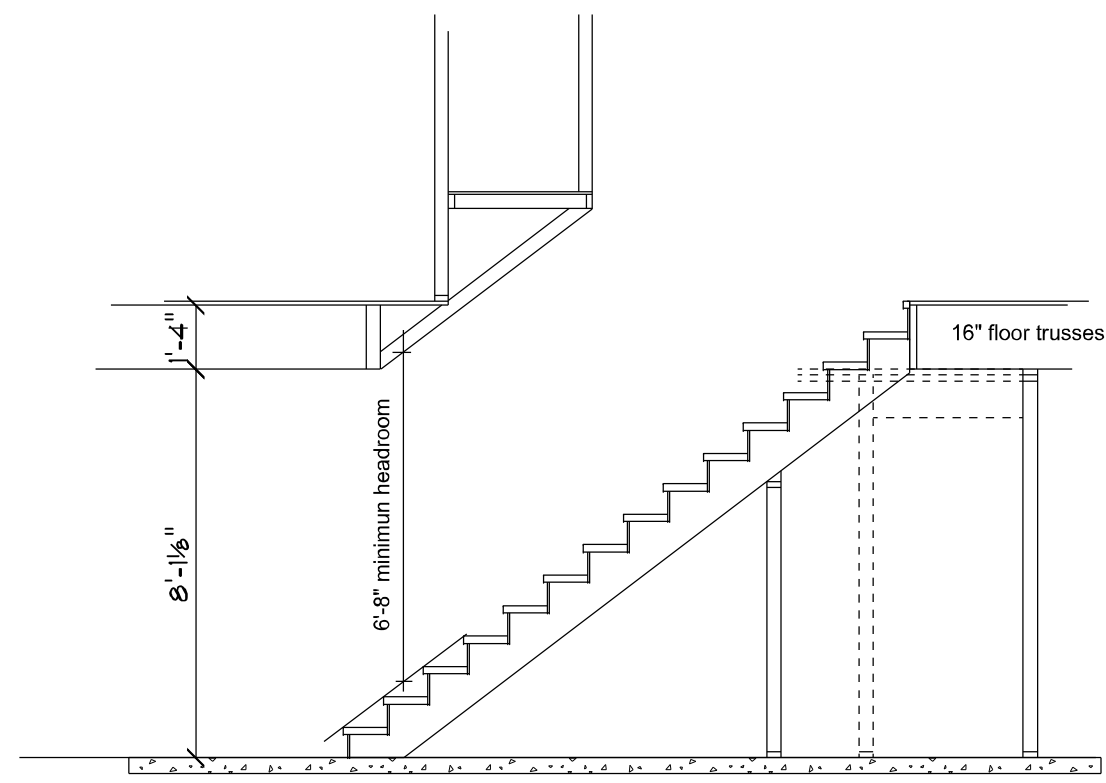
FOUNDATION SECTIONS

General Notes

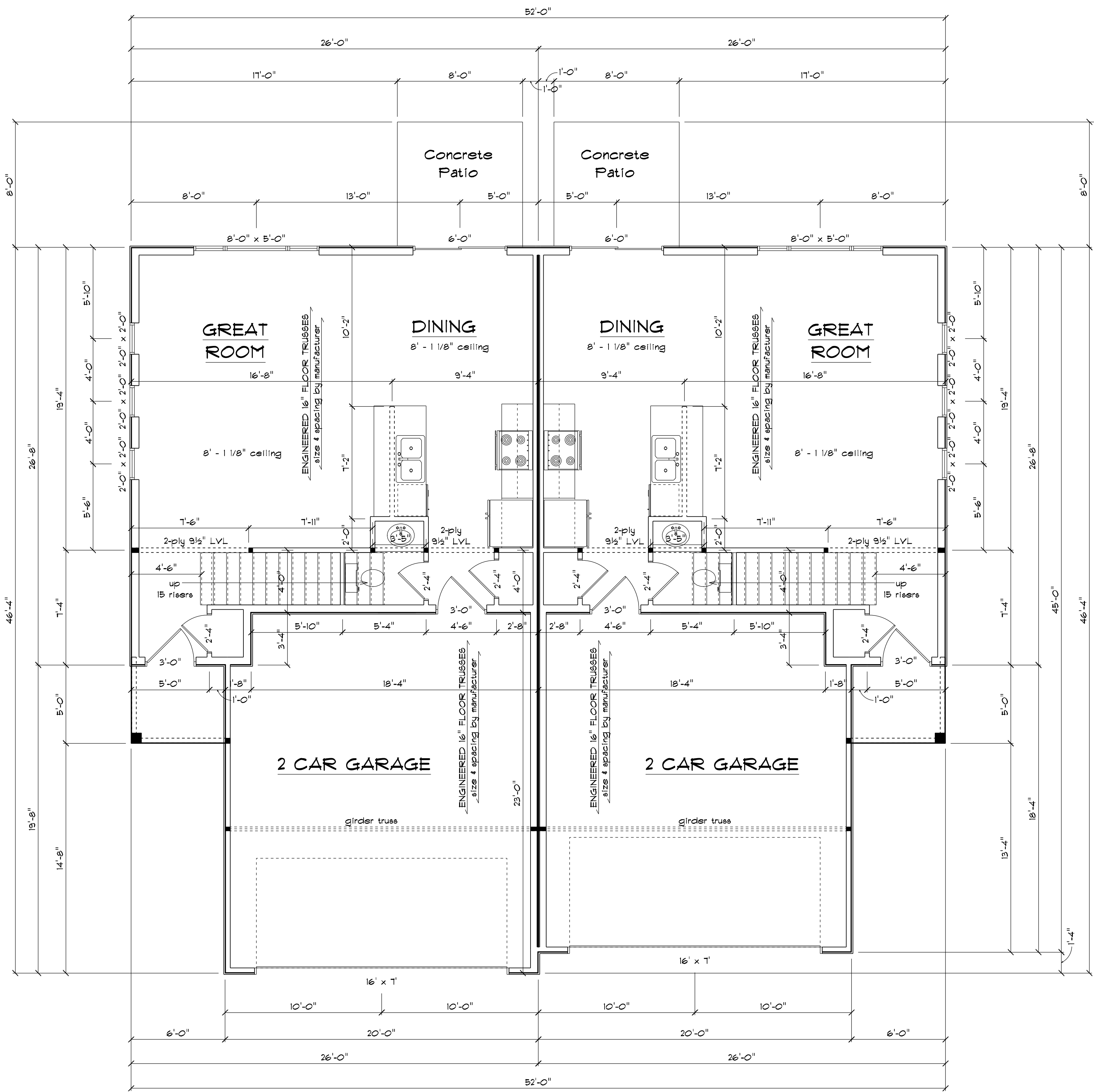
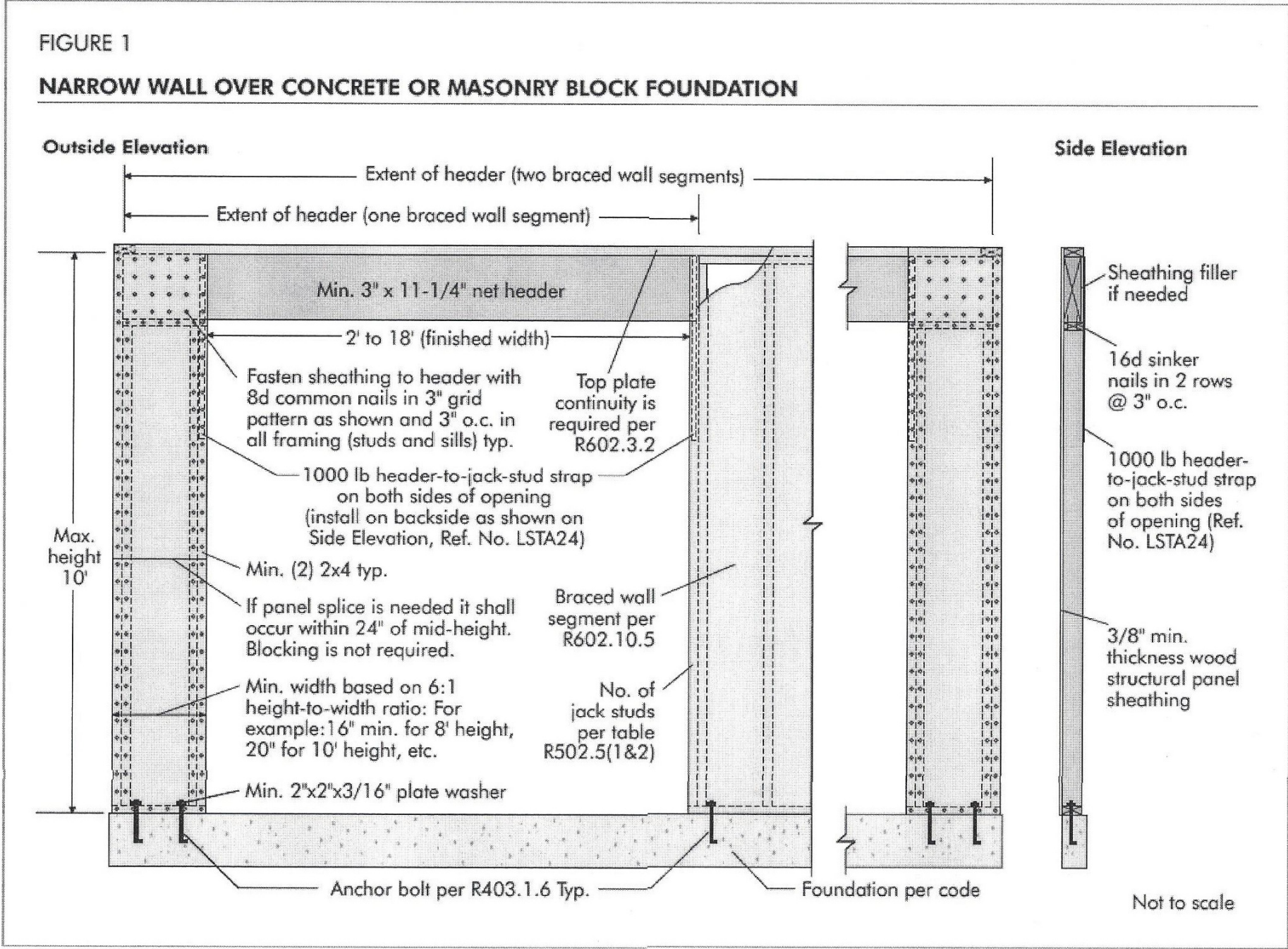
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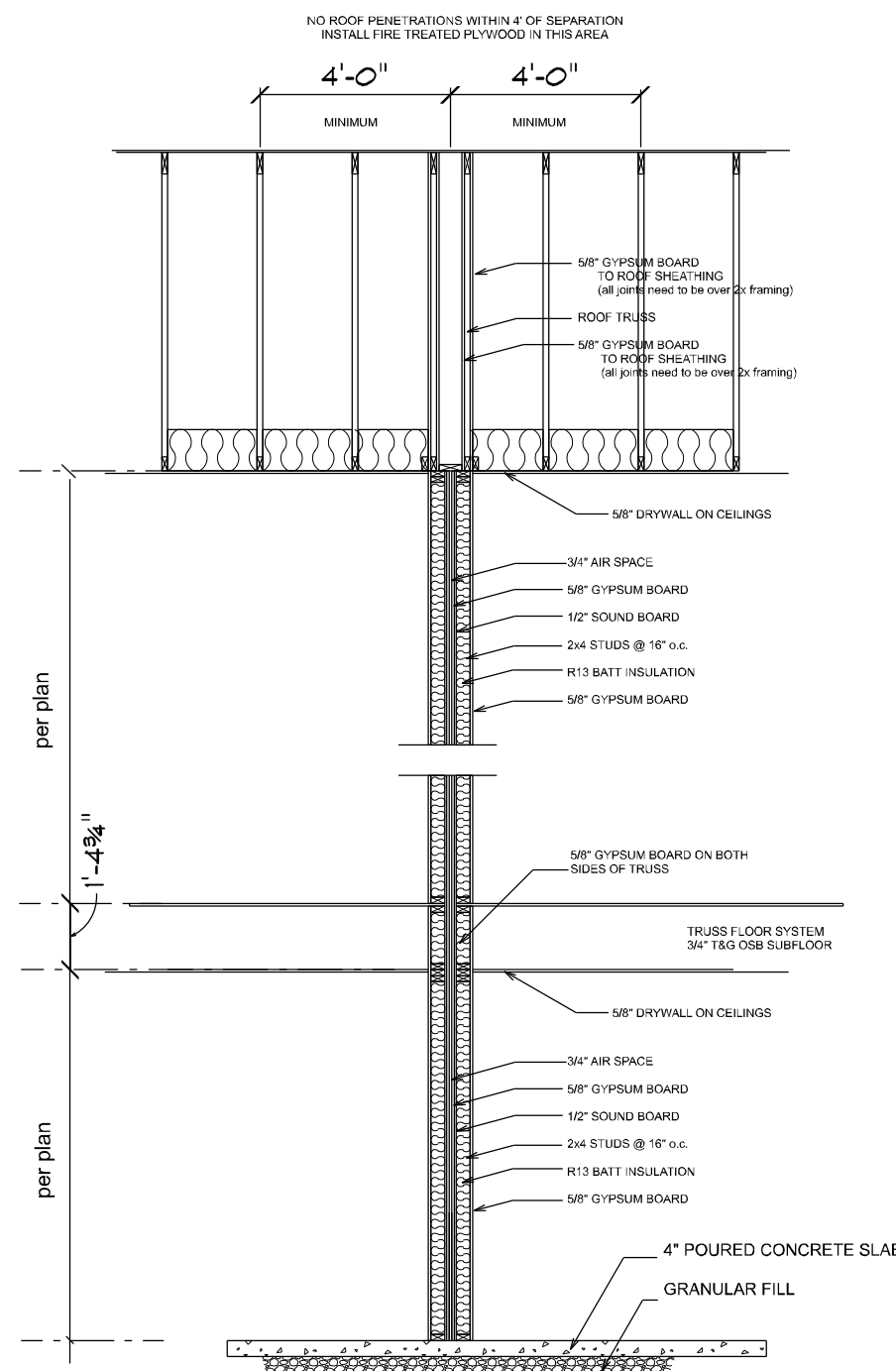


Stair Section

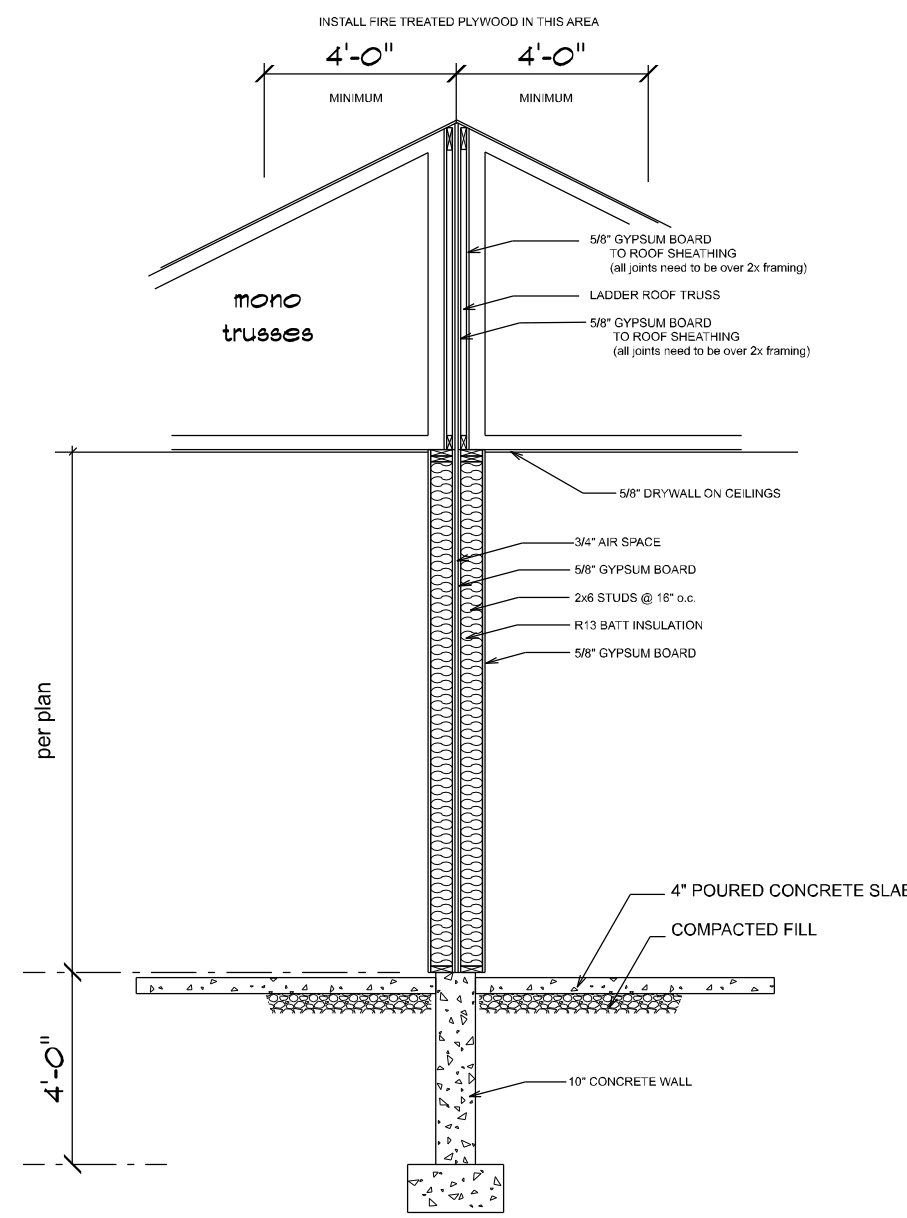


MAIN FLOOR PLAN
632 SF
1494 SF total

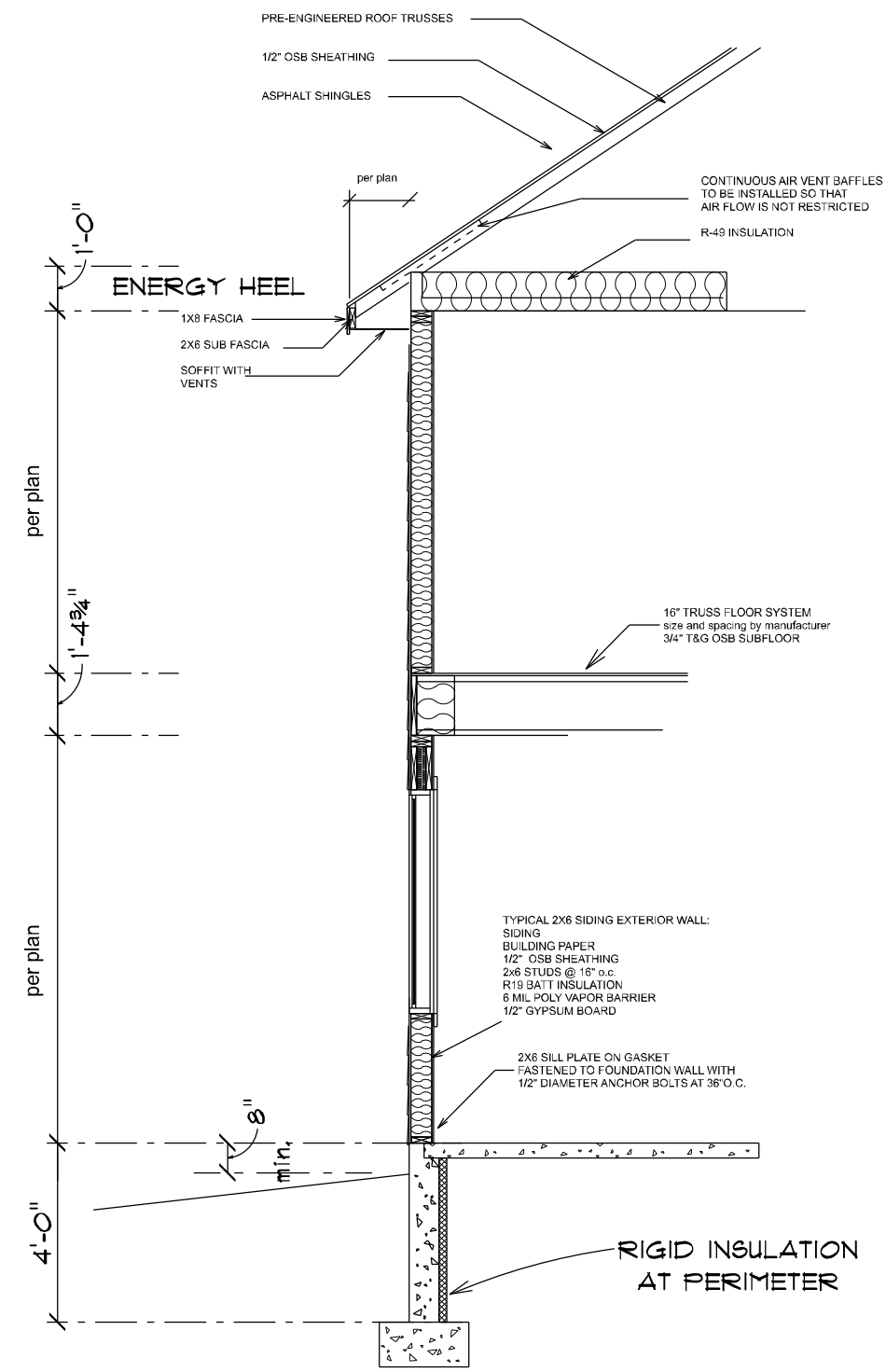
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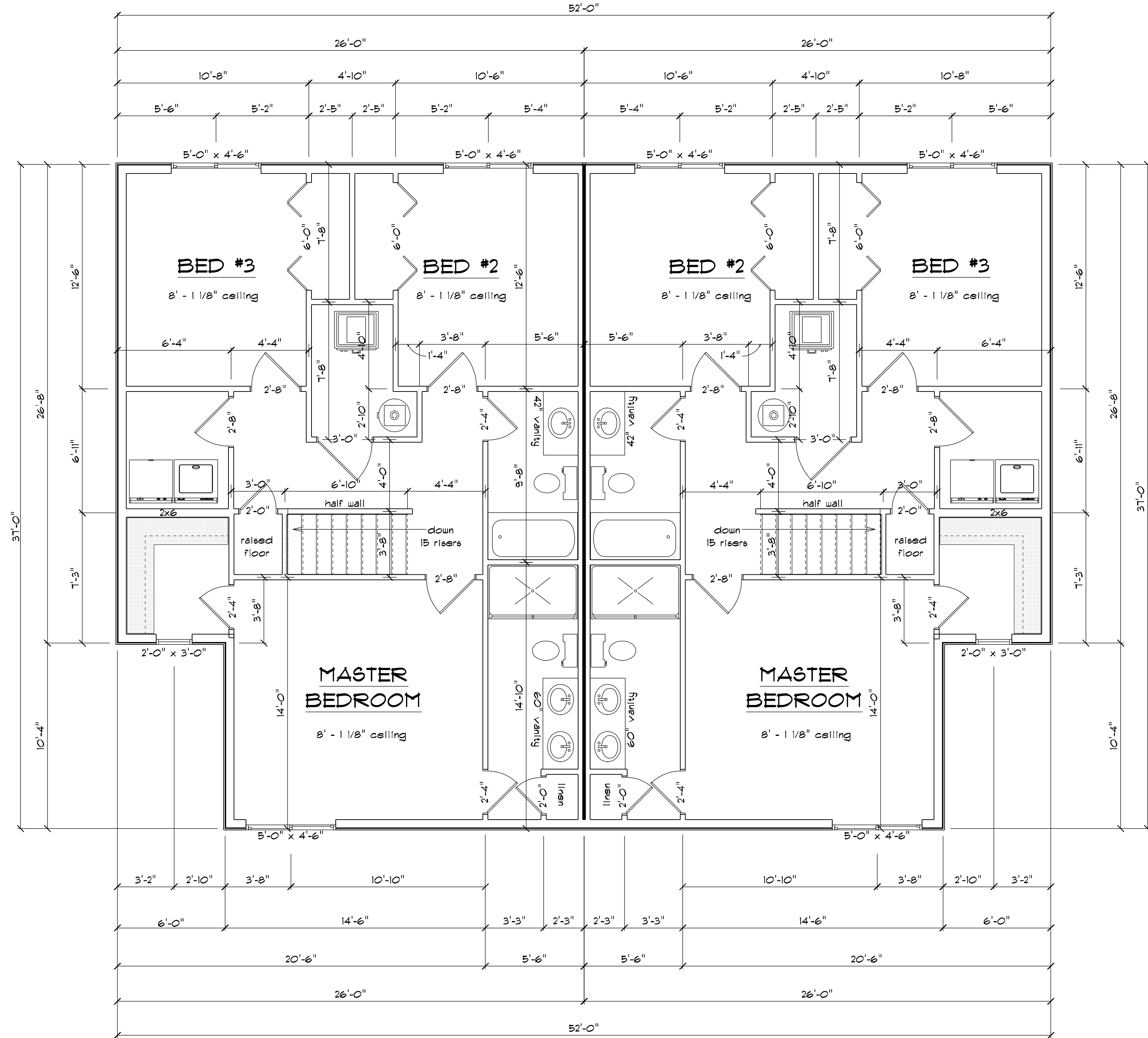
Common Wall
Detail



Garage
Common Wall
Detail



Wall Section



2ND FLOOR PLAN
862 SF

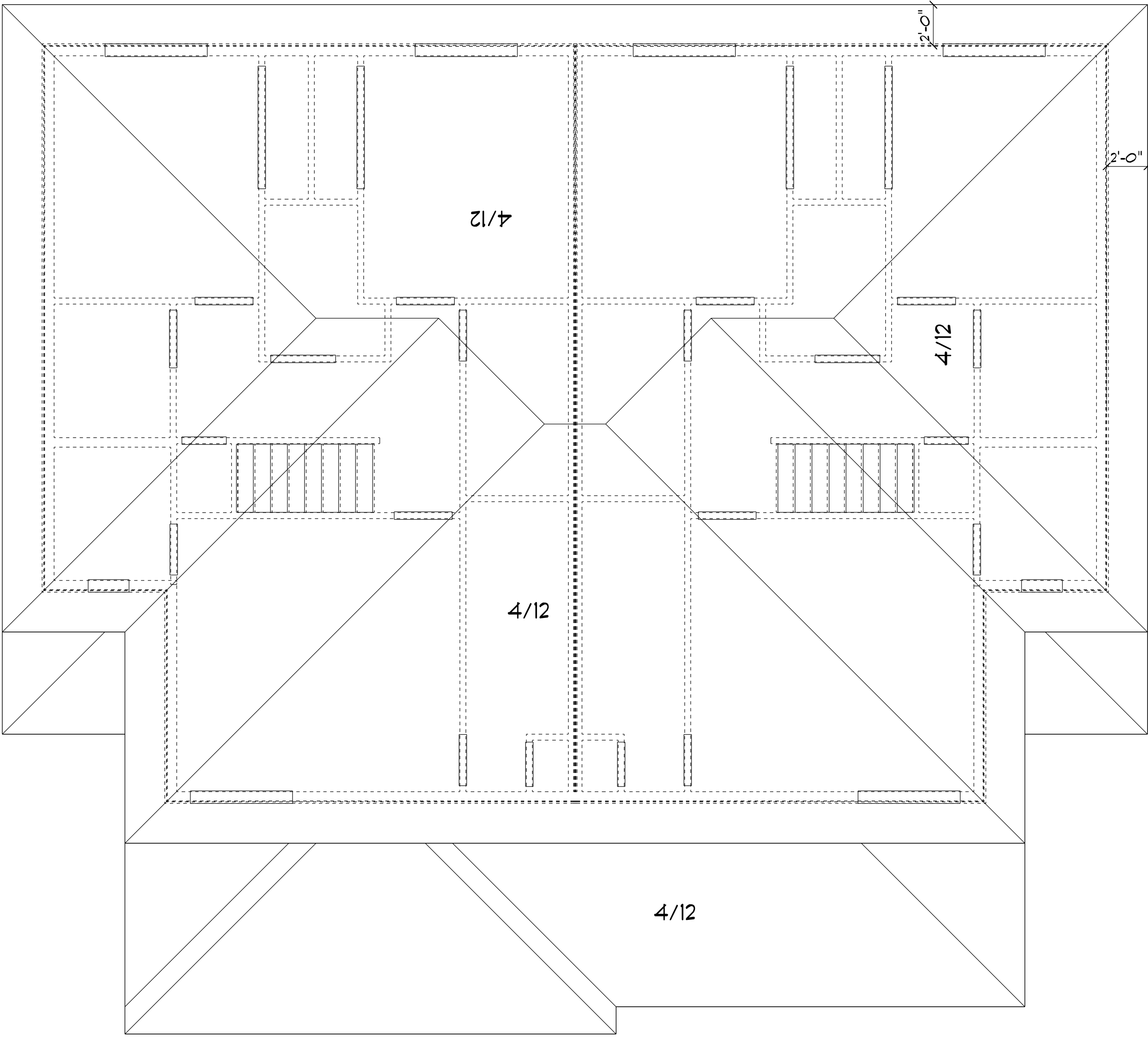
2ND FLOOR PLAN
862 SF



LEFT ELEVATION



RIGHT ELEVATION



BIRD'S EYE PLAN

SCALE	1/4" = 1'
DRAWN BY	TYP
APPROVED	

DATE	PLAN #
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	5 of 5

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515-249-1134

2 STY Duplex
HIP



PLAN AND ZONING COMMISSION

May 3, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Canyon Landing Plat 2 Final Plat

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:





ACTION REQUESTED:

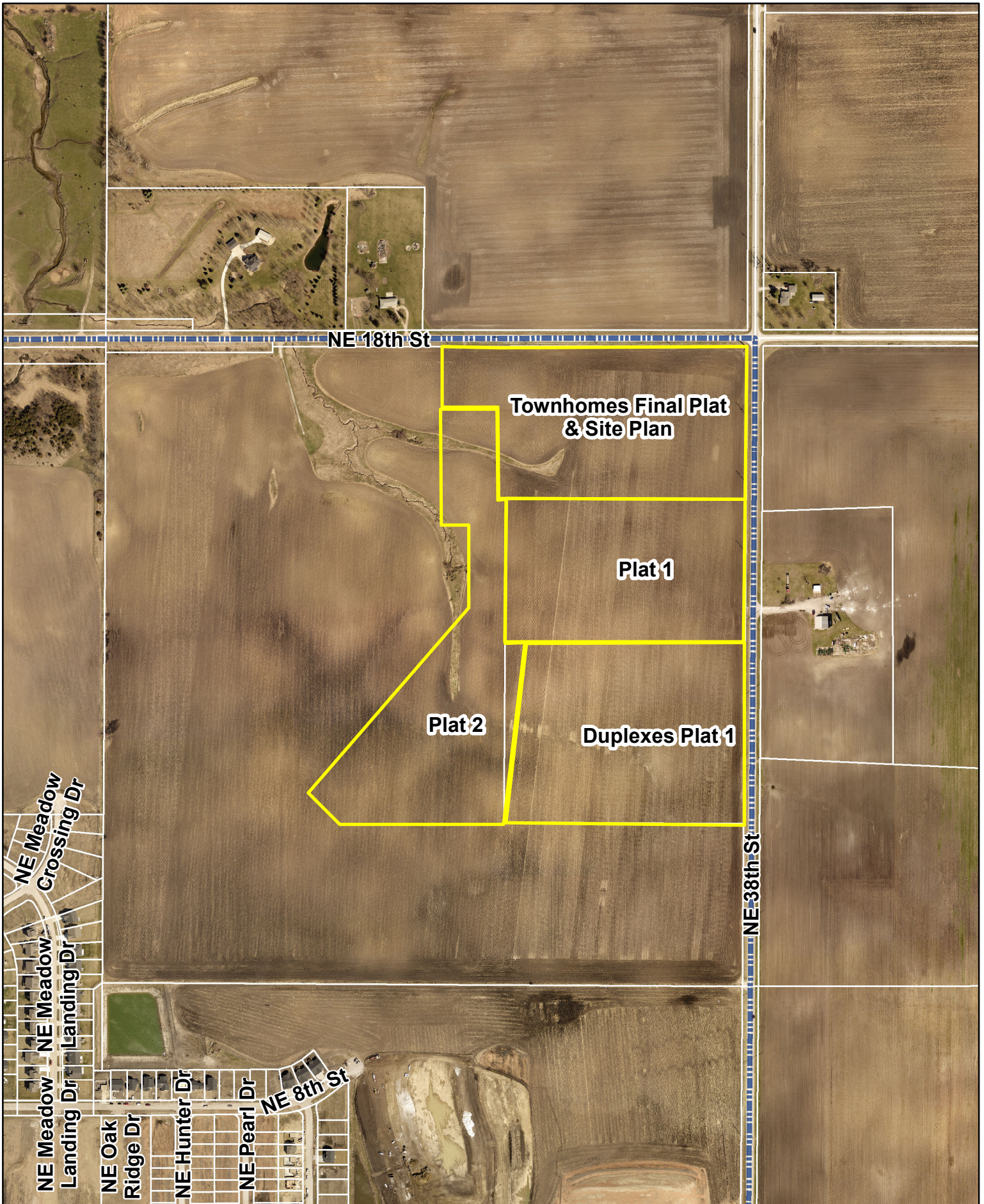
Action: Consider MOTION to recommend City Council approval of the Canyon Landing Plat 2 Final Plat.

ADDITIONAL INFORMATION:

ATTACHMENTS:

[Click to download](#)

 Aerial Map
 Staff Report
 Applicant Letter
 Final Plat



N



1 inch = 500 feet

Date: 4/28/2022

Canyon Landing Plat Map



*Plan and Zoning Commission
Staff Report*

Meeting Date: May 3, 2022

Agenda Item: Canyon Landing Plat 2 – Final Plat
Report Date: April 28, 2022
Prepared By: Jake Heil *ESC*
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of Canyon Landing Plat 2 Final Plat.

Project Summary:

Canyon Landing Plat 2 is a proposed 14.55-acre (+/-) plat located south of NE 18th Street and west of NE 38th Street. The subject plat creates 39 single-family residential lots, four street lots, two storm water detention outlots and associated utilities easements and improvements. All lots are subject to the 50' + lot bulk regulations. The proposed plat is in general conformance with the Canyon Landing PUD.

Project Report:

Streets: The proposed plat will be accessed primarily from NE 18th Street, via NE Deerfield Drive. This plat also connects NE 15th Street and NE 16th Street, from Canyon Landing Plat 1, to NE Deerfield Drive. All proposed roads in the development will be required to have five-foot sidewalks.

Water: This plat will extend the existing 10-inch water main south along NE Deerfield Drive from NE 16th Street, where Canyon Landing Townhomes Plat 1 ends. 8-inch water mains will be installed throughout the remainder of this development.

Sewer: 8-inch sanitary sewer main will be installed along NE Deerfield Drive and 8-inch sanitary sewer mains will be installed throughout the remainder of the development. There is a 21-inch sanitary sewer main that also runs along NE Deerfield Drive, which will be completed with Canyon Landing Duplexes Plat 2.

Drainage: Storm water for this plat generally flows towards NE 13th Court and then to the west, where it will be handled by two stormwater detention outlots, west of NE Deerfield Drive. A portion of the storm water mains will be constructed in conjunction with Canyon Landing Duplexes Plat 2. The majority of this plat will drain to Outlot X, where the northern portion would drain to Outlot S. Storm water will then convey off-site to the north and west, draining into Deer Creek, ultimately outletting into Four Mile Creek.

Parkland: The parkland dedication requirement for Plat 2 is 0.78 acres, but parkland is not proposed with this plat. The developer will be dedicating 13.16 acres of parkland with a future Canyon Landing plat. The total park dedication for the Canyon Landing PUD is estimated at 13.20 acres.

**CITY OF ANKENY
SUBDIVISION DATA**

NAME OF PLAT: Canyon Landing Plat 2
NAME OF OWNER/ DEVELOPER: Stubbs Development, Inc.

GENERAL INFORMATION:

PLAT LOCATION: South of NE 18th Street and west of NE 38th Street
SIZE OF PLAT: 14.55 acres
ZONING: Canyon Landing PUD

LOTS:

NUMBER: 39 Single-Family lots; 4 street lots
SIZE/DENSITY: 2.68 units per acre
USE: Residential
BUILDING LINES: 50' + Lots
Minimum lot width at front yard setback: 50'
Minimum lot area: 6,500 SF
Minimum yard requirements:
Front: 25'
Rear: 30'
Side: 10' total (min. 5' one side)

PARK SITE DEDICATION:

The parkland dedication requirement for Plat 2 is 0.78 acres, but parkland is not proposed with this plat. The developer will be dedicating 13.16 acres of parkland with a future Canyon Landing plat. The total park dedication for the Canyon Landing PUD is estimated at 13.20 acres. Any additional parksite dedication required would be by payment in lieu of land dedication.

ADJACENT LANDS:

NORTH: Canyon Landing PUD - Townhomes
SOUTH: Canyon Landing PUD – future plat
EAST: Canyon Landing PUD – Plat 1 & Duplexes
WEST: Canyon Landing PUD – future plat

STREET DEVELOPMENT:

NAME: NE 16th Street
LENGTH: 105'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

NAME: NE 15th Street
LENGTH: 155'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

NAME: NE 13th Court
LENGTH: 206'
CLASSIFICATION: Normal Residential
R.O.W. (REQ'D./PROV.): 60'/60'
PAVEMENT WIDTH: 27'

NAME: NE Deerfield Drive
LENGTH: 1,585'
CLASSIFICATION: Minor Collector
R.O.W. (REQ'D./PROV.): 70'/70'
PAVEMENT WIDTH: 31'

WASTE WATER:

PROJECTED FLOWS: 14.55 acres of developable land X 990 gal. per day/pers.= 14,404.5 GPD

TREATMENT PLANT CAPACITY: Design: 47 MGD; current daily avg. 18 MGD.

STORM WATER:

BASIN FLOWS: This plat lies in the Four Mile Creek Drainage Basin.

WATER SYSTEM:

USAGE: 67 units X 3 pers. per house X 100 gal. per day/person = 20,100 GPD

SUPPLY CAPACITY: 13.72 MGD; Current daily avg. 6.2 MGD

FINAL PLAT DRAWING:

Staff recommends approval.

CONSTRUCTION PLANS:

To be approved.



STUBBS ENGINEERING

431 NE 72nd St. Pleasant Hill, IA 50327

01/28/22

City Council & Planning and Zoning Commission
City of Ankeny

Canyon Landing Plat 2 Approval Request

Stubbs Engineering, on behalf of Stubbs Development, requests for Canyon Landing Plat 2 – a single-family development within the Canyon Landing development. It is located southwest of the intersection of NE 18th ST and NE 38th ST, containing 40 single-family lots, approximately 15.5 acres in size.

Sincerely,

Stubbs Engineering

Branden Stubbs

Branden Stubbs, P.E.

RECEIVED

MAR 11 2022

CITY OF ANKENY

INDEX LEGEND

LOCATION: NE 102ND AVE AND NE 38TH STREET, POLK COUNTY, IOWA NE 1/4 SEC 17, T80N, R23W

REQUESTOR: BRANDEN STUBBS

PROPRIETOR: LEMAR KOETHE 6000 DDUGLAS AVE, SUITE 210 DES MOINES, IA 50322

SURVEYOR: NICHOLAS F. CARTER

COMPANY & RETURN TO: CARTER SURVEYING & CONSTRUCTION SERVICES 87555 NE 27TH AVE ALTDONA, IA 50009 515-343-6756

OWNER AND DEVELOPER:

STUBBS DEVELOPMENT, INC.
1236 34TH STREET SE
ALTDONA, IA 50009
CONTACT: DAVE STUBBS
PHONE: (515) 979-9963

PROPERTY DESCRIPTION:

AN IRREGULAR SHAPED PORTION OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 17, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., BEING A PART OF PARCEL 2020-154, AS RECORDED IN BOOK 18157, PAGE 321, AND PARCELS 2021-238 AND 2021-239 AS RECORDED IN BOOK 18003, PAGE 787, ANKENY, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NW CORNER OF CANYON LANDING PLAT 1, AN OFFICIAL PLAT AS RECORDED IN BOOK 18927, PAGE 133, THENCE S00°16'54"W ALONG THE WEST LINE OF SAID CANYON LANDING PLAT 1, A DISTANCE OF 330.00 FEET; THENCE S89°43'06"E ALONG THE NORTH LINE OF OUTLOT Y OF SAID CANYON LANDING PLAT 1, A DISTANCE OF 50.00 FEET; THENCE S00°16'54"W ALONG THE EAST LINE, AND LINE EXTENDED, OF OUTLOT Y OF SAID CANYON LANDING PLAT 1, A DISTANCE OF 195.00 FEET TO A POINT ON THE SOUTH LINE OF LOT D OF SAID CANYON LANDING PLAT 1; THENCE N89°43'06"W ALONG THE SOUTH LINE OF LOT D OF SAID CANYON LANDING PLAT 1, A DISTANCE OF 20.00 FEET TO THE SE CORNER OF OUTLOT Z OF SAID CANYON LANDING PLAT 1; THENCE S00°16'54"W ALONG THE EAST LINE OF OUTLOT Z OF SAID CANYON LANDING PLAT 1, A DISTANCE OF 135.00 FEET TO THE SE CORNER OF OUTLOT Z OF SAID CANYON LANDING PLAT 1, A DISTANCE OF 17.70 FEET; THENCE S02°20'15"W 651.39 FEET; THENCE S00°15'12"W 21.15 FEET; THENCE N89°43'06"W 200.00 FEET; THENCE N00°16'54"E 10.00 FEET; THENCE N89°43'06"W 424.13 FEET; THENCE N55°27'13"W 130.74 FEET; THENCE N36°44'18"E ALONG THE WEST LINE AND LINE EXTENDED OF SAID PARCEL 2021-239 1012.88 FEET; THENCE N00°16'54"E 294.65 FEET; THENCE N89°43'06"W 93.33 FEET; THENCE N33°24'30"W 66.10 FEET; THENCE N00°16'54"E 53.75 FEET; THENCE N59°04'51"W 161.08 FEET; THENCE N65°05'06"W 203.41 FEET; THENCE N19°44'12"E 120.19 FEET; THENCE S77°00'48"E 179.10 FEET; THENCE S89°43'06"E 108.74 FEET; THENCE N00°16'54"E 160.44 FEET; THENCE S89°43'06"E 130.00 FEET; THENCE S00°16'54"W 110.25 FEET; THENCE S89°43'06"E 70.00 FEET; THENCE S00°16'54"W 262.68 FEET; THENCE S89°43'06"E 70.00 FEET TO THE POINT OF BEGINNING, SAID POINT BEING THE NW CORNER OF SAID PARCEL 2020-154

SAID TRACT CONTAINS 14.55 ACRES MORE OR LESS

SURVEY NOTES:

1. SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS, RESTRICTIONS OR COVENANTS OF RECORD.
2. THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1 FOOT IN 10,000 FEET AND EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1 FOOT IN 5,000 FEET.
3. ALL MONUMENTS PLACED ARE A 1/2 INCH DIAMETER IRON ROD WITH A YELLOW PLASTIC IDENTIFICATION CAP NO. 20757 UNLESS OTHERWISE NOTED.
4. ALL MONUMENTS IDENTIFIED AS "SET" WILL BE PLACED WITHIN ONE YEAR OF THE RECORDING OF THIS FINAL PLAT.
5. LOTS "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z", "AA", "AB", "AC", "AD", "AE", "AF", "AG", "AH", "AI", "AJ", "AK", "AL", "AM", "AN", "AO", "AP", "AQ", "AR", "AS", "AT", "AU", "AV", "AW", "AX", "AY", "AZ", "BA", "BB", "BC", "BD", "BE", "BF", "BG", "BH", "BI", "BJ", "BK", "BL", "BM", "BN", "BO", "BP", "BQ", "BR", "BS", "BT", "BU", "BV", "BW", "BX", "BY", "BZ", "CA", "CB", "CC", "CD", "CE", "CF", "CG", "CH", "CI", "CJ", "CK", "CL", "CM", "CN", "CO", "CP", "CQ", "CR", "CS", "CT", "CU", "CV", "CW", "CX", "CY", "CZ", "DA", "DB", "DC", "DD", "DE", "DF", "DG", "DH", "DI", "DJ", "DK", "DL", "DM", "DN", "DO", "DP", "DQ", "DR", "DS", "DT", "DU", "DV", "DW", "DX", "DY", "DZ", "EA", "EB", "EC", "ED", "EE", "EF", "EG", "EH", "EI", "EJ", "EK", "EL", "EM", "EN", "EO", "EP", "EQ", "ER", "ES", "ET", "EU", "EV", "EW", "EX", "EY", "EZ", "FA", "FB", "FC", "FD", "FE", "FF", "FG", "FH", "FI", "FJ", "FK", "FL", "FM", "FN", "FO", "FP", "FQ", "FR", "FS", "FT", "FU", "FV", "FW", "FX", "FY", "FZ", "GA", "GB", "GC", "GD", "GE", "GF", "GG", "GH", "GI", "GJ", "GK", "GL", "GM", "GN", "GO", "GP", "GQ", "GR", "GS", "GT", "GU", "GV", "GW", "GX", "GY", "GZ", "HA", "HB", "HC", "HD", "HE", "HF", "HG", "HH", "HI", "HJ", "HK", "HL", "HM", "HN", "HO", "HP", "HQ", "HR", "HS", "HT", "HU", "HV", "HW", "HX", "HY", "HZ", "IA", "IB", "IC", "ID", "IE", "IF", "IG", "IH", "II", "IJ", "IK", "IL", "IM", "IN", "IO", "IP", "IQ", "IR", "IS", "IT", "IU", "IV", "IW", "IX", "IY", "IZ", "JA", "JB", "JC", "JD", "JE", "JF", "JG", "JH", "JI", "JJ", "JK", "JL", "JM", "JN", "JO", "JP", "JQ", "JR", "JS", "JT", "JU", "JV", "JW", "JX", "JY", "JZ", "KA", "KB", "KC", "KD", "KE", "KF", "KG", "KH", "KI", "KJ", "KK", "KL", "KM", "KN", "KO", "KP", "KQ", "KR", "KS", "KT", "KU", "KV", "KW", "KX", "KY", "KZ", "LA", "LB", "LC", "LD", "LE", "LF", "LG", "LH", "LI", "LJ", "LK", "LL", "LM", "LN", "LO", "LP", "LQ", "LR", "LS", "LT", "LU", "LV", "LW", "LX", "LY", "LZ", "MA", "MB", "MC", "MD", "ME", "MF", "MG", "MH", "MI", "MJ", "MK", "ML", "MM", "MN", "MO", "MP", "MQ", "MR", "MS", "MT", "MU", "MV", "MW", "MX", "MY", "MZ", "NA", "NB", "NC", "ND", "NE", "NF", "NG", "NH", "NI", "NJ", "NK", "NL", "NM", "NN", "NO", "NP", "NQ", "NR", "NS", "NT", "NU", "NV", "NW", "NX", "NY", "NZ", "OA", "OB", "OC", "OD", "OE", "OF", "OG", "OH", "OI", "OJ", "OK", "OL", "OM", "ON", "OO", "OP", "OQ", "OR", "OS", "OT", "OU", "OV", "OW", "OX", "OY", "OZ", "PA", "PB", "PC", "PD", "PE", "PF", "PG", "PH", "PI", "PJ", "PK", "PL", "PM", "PN", "PO", "PP", "PQ", "PR", "PS", "PT", "PU", "PV", "PW", "PX", "PY", "PZ", "QA", "QB", "QC", "QD", "QE", "QF", "QG", "QH", "QI", "QJ", "QK", "QL", "QM", "QN", "QO", "QP", "QQ", "QR", "QS", "QT", "QU", "QV", "QW", "QX", "QY", "QZ", "RA", "RB", "RC", "RD", "RE", "RF", "RG", "RH", "RI", "RJ", "RK", "RL", "RM", "RN", "RO", "RP", "RQ", "RR", "RS", "RT", "RU", "RV", "RW", "RX", "RY", "RZ", "SA", "SB", "SC", "SD", "SE", "SF", "SG", "SH", "SI", "SJ", "SK", "SL", "SM", "SN", "SO", "SP", "SQ", "SR", "SS", "ST", "SU", "SV", "SW", "SX", "SY", "SZ", "TA", "TB", "TC", "TD", "TE", "TF", "TG", "TH", "TI", "TJ", "TK", "TL", "TM", "TN", "TO", "TP", "TQ", "TR", "TS", "TT", "TU", "TV", "TW", "TX", "TY", "TZ", "UA", "UB", "UC", "UD", "UE", "UF", "UG", "UH", "UI", "UJ", "UK", "UL", "UM", "UN", "UO", "UP", "UQ", "UR", "US", "UT", "UU", "UV", "UW", "UX", "UY", "UZ", "VA", "VB", "VC", "VD", "VE", "VF", "VG", "VH", "VI", "VJ", "VK", "VL", "VM", "VN", "VO", "VP", "VQ", "VR", "VS", "VT", "VU", "VV", "VW", "VX", "VY", "VZ", "WA", "WB", "WC", "WD", "WE", "WF", "WG", "WH", "WI", "WJ", "WK", "WL", "WM", "WN", "WO", "WP", "WQ", "WR", "WS", "WT", "WU", "WV", "WW", "WX", "WY", "WZ", "XA", "XB", "XC", "XD", "XE", "XF", "XG", "XH", "XI", "XJ", "XK", "XL", "XM", "XN", "XO", "XP", "XQ", "XR", "XS", "XT", "XU", "XV", "XW", "XX", "XY", "XZ", "YA", "YB", "YC", "YD", "YE", "YF", "YG", "YH", "YI", "YJ", "YK", "YL", "YM", "YN", "YO", "YP", "YQ", "YR", "YS", "YT", "YU", "YV", "YW", "YX", "YY", "YZ", "ZA", "ZB", "ZC", "ZD", "ZE", "ZF", "ZG", "ZH", "ZI", "ZJ", "ZK", "ZL", "ZM", "ZN", "ZO", "ZP", "ZQ", "ZR", "ZS", "ZT", "ZU", "ZV", "ZW", "ZX", "ZY", "ZZ".

CITY NOTES:

1. THE DEVELOPER IS RESPONSIBLE FOR STREET LIGHT INSTALLATION WITHIN THE PLAT BOUNDARY AND ALONG NE 13TH CT, NE DEERFIELD DRIVE, NE 15TH STREET AND NE 16TH STREET.
2. THE DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF SIDEWALK ON NE 13TH CT, NE DEERFIELD DRIVE, NE 15TH STREET, NE 16TH STREET AND ADJACENT TO OUTLOTS.
3. INDIVIDUAL PROPERTY OWNERS MAY BE RESPONSIBLE FOR THE CONSTRUCTION OF SIDEWALKS ON THEIR PROPERTY. PRIOR TO CONSTRUCTION OF ANY SIDEWALKS, REFER TO THE PROJECT CONSTRUCTION DRAWINGS AND CONFORM WITH THE CITY THE LOCATION, WIDTH, AND ELEVATION OF SIDEWALKS.
4. OUTLOT S AND OUTLOT X WILL BE USED FOR STORMWATER MANAGEMENT.
5. LOTS 11, 12, 13, 14, 27 AND 38 SHALL NOT BE ALLOWED DIRECT ACCESS TO DEERFIELD DRIVE.
6. DEVELOPER WILL BE RESPONSIBLE TO CONSTRUCT ANY IMPROVEMENTS WARRANTED FROM CITY-APPROVED TRAFFIC STUDY.
7. STREETSCAPING ALONG NE DEERFIELD WILL CONSIST OF 1 OVERSTORY TREE, 1 ORNAMENTAL /EVERGREEN TREE, 3 SHRUBS AND 1 ITEM OF INTEREST EVERY 60.00'
8. THE DRIVEWAY FOR LOT 6 SHALL BE LOCATED TO AVOID THE SANITARY SEWER MANHOLE

NICHOLAS F. CARTER, P.L.S. I.A. LIC. NO. 20757 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022

ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE): PAGE 1, PAGE 2, PAGE 3

NICHOLAS F. CARTER
20757

SE
STUBBS ENGINEERING

431 NE 72nd Street - Pleasant Hill, IA 50327 - Phone: 515-979-8499

- LEGEND:
- MONUMENT FOUND AS DESCRIBED
 - SET 1/2" IRON ROD WITH YELLOW PLASTIC CAP #20757 UNLESS OTHERWISE NOTED
 - SET "X" CUT IN CONCRETE
 - ◇ SET "MAG" NAIL IN ASPHALT

- M MEASURED DISTANCE
R RECORDED DISTANCE
OPC ORANGE PLASTIC CAP
ROW RIGHT-OF-WAY
SF SQUARE FEET
LOT ADDRESS

VICINITY MAP (SCALE = 1:1200):



ZONING:

CANYON LANDING PUD

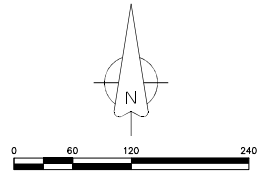
BULK REGULATIONS:

SINGLE FAMILY RESIDENTIAL:

- 70'+ LOTS:
1. DETACHED RESIDENTIAL HOMES WITH MINIMUM TWO-CAR ATTACHED OR DETACHED GARAGES
 2. MINIMUM LOT WIDTH AT FRONT YARD SETBACK - 70.00'
 3. MINIMUM LOT AREA - 9,100 S.F.
 4. MINIMUM YARD REQUIREMENTS: FRONT - 25.00', REAR - 30.00', SIDE - 10.00' TOTAL (MIN 5.00' ONE SIDE)
- 60'+ LOTS:
1. DETACHED RESIDENTIAL HOMES WITH MINIMUM TWO-CAR ATTACHED OR DETACHED GARAGES
 2. MINIMUM LOT WIDTH AT FRONT YARD SETBACK - 60.00'
 3. MINIMUM LOT AREA - 6,500 S.F.
 4. MINIMUM YARD REQUIREMENTS: FRONT - 25.00', REAR - 30.00', SIDE - 10.00' TOTAL (MIN 5.00' ONE SIDE)
- 50'+ LOTS:
1. DETACHED RESIDENTIAL HOMES WITH MINIMUM TWO-CAR ATTACHED OR DETACHED GARAGES
 2. MINIMUM LOT WIDTH AT FRONT YARD SETBACK - 50.00'
 3. MINIMUM LOT AREA - 5,500 S.F.
 4. MINIMUM YARD REQUIREMENTS: FRONT - 25.00', REAR - 30.00', SIDE - 10.00' TOTAL (MIN 5.00' ONE SIDE)

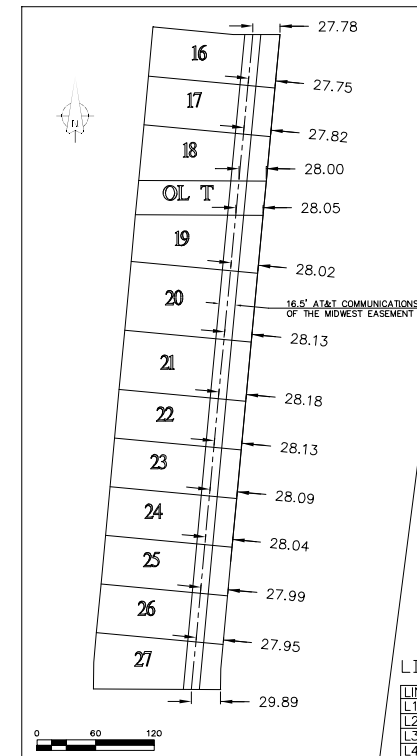
CANYON LANDING PLAT 2
ANKENY IOWA
FINAL PLAT

PROJECT NO	21-101	PAGE 1 OF 3	REVISIONS
DRAWN DATE	12-08-2021	DRAWN BY N. Carter	1-12-2021 REVISIONS CITY OF ANKENY AS PLAT CLERK REVIEW COMMENTS 1-12-2021 REVISIONS CITY OF ANKENY AS PLAT CLERK REVIEW COMMENTS 1-12-2021 REVISIONS CITY OF ANKENY AS PLAT CLERK REVIEW COMMENTS 1-12-2021 REVISIONS CITY OF ANKENY AS PLAT CLERK REVIEW COMMENTS



MATCH LINE - SEE PAGE 1

AT&T EASEMENT DETAIL (SCALE: 1:60)

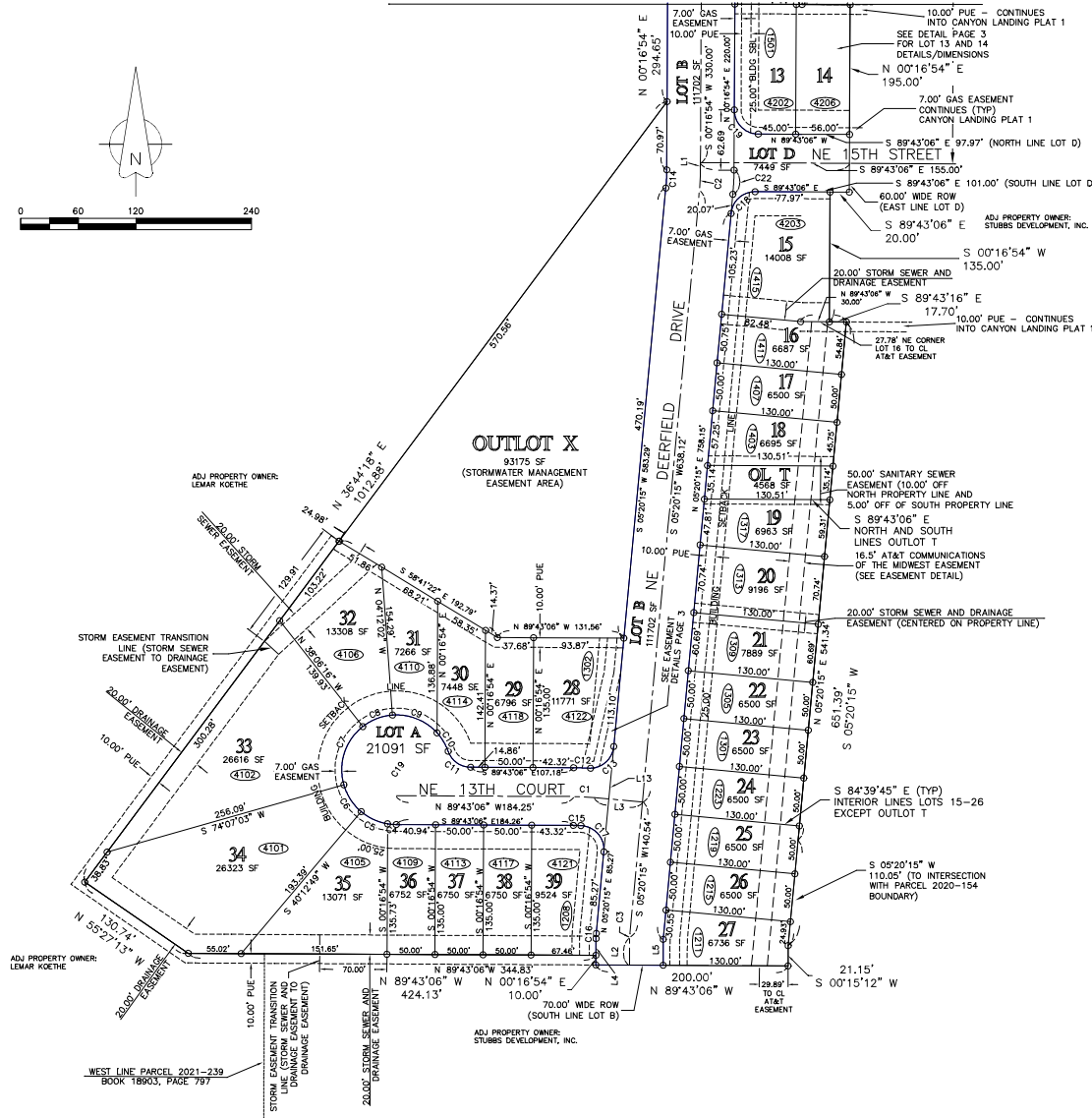


LINE TABLE:

LINE	BEARING	DISTANCE
L1	S 00°16'54" W	7.69'
L2	S 00°16'54" W	27.45'
L3	N 84°39'45" W	49.79'
L4	N 00°16'54" E	17.45'
L5	N 00°16'54" E	27.00'
L13	N 05°20'15" E	110.10'

CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	250.00'	22.06'	22.05'	N 87°11'26" W	5°03'20"
C2	250.00'	22.06'	22.05'	S 02°48'34" W	5°03'20"
C3	25.00'	2.21'	2.21'	N 85°08'11" W	9°08'35"
C4	57.00'	9.10'	9.09'	N 65°10'32" W	30°46'43"
C5	57.00'	30.62'	30.25'	N 32°50'04" W	33°54'14"
C6	57.00'	33.73'	33.24'	N 18°00'23" E	67°46'41"
C7	57.00'	67.43'	63.56'	N 68°50'51" E	33°54'14"
C8	57.00'	33.73'	33.24'	S 68°16'31" E	51°51'03"
C9	57.00'	51.58'	49.84'	S 31°01'01" E	22°39'56"
C10	57.00'	22.55'	22.40'	S 54°42'05" E	70°02'02"
C11	25.00'	30.56'	28.69'	S 88°09'00" E	3°08'12"
C12	280.00'	15.33'	15.33'	N 49°22'41" E	88°04'50"
C13	25.00'	38.43'	34.76'	N 02°48'34" E	5°03'20"
C14	215.00'	18.97'	18.96'	N 88°41'30" W	2°03'12"
C15	220.00'	7.88'	7.88'	N 02°48'34" E	5°03'20"
C16	60.00'	5.29'	5.29'	N 41°09'50" W	93°00'08"
C17	25.00'	40.58'	36.27'	S 47°48'34" W	84°56'40"
C18	25.00'	37.06'	33.76'	N 44°43'06" W	90°00'00"
C19	25.00'	39.27'	35.36'	S 02°48'34" W	5°03'20"
C22	285.00'	25.15'	25.14'		

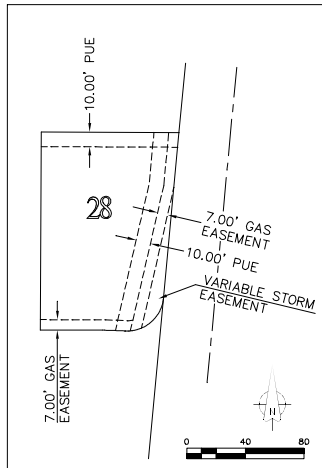


LEGEND: ● MONUMENT FOUND AS DESCRIBED
○ SET 1/2" IRON ROD WITH YELLOW PLASTIC CAP #20757 UNLESS OTHERWISE NOTED
● SET "X" CUT IN CONCRETE
◇ SET "MAG" NAIL IN ASPHALT

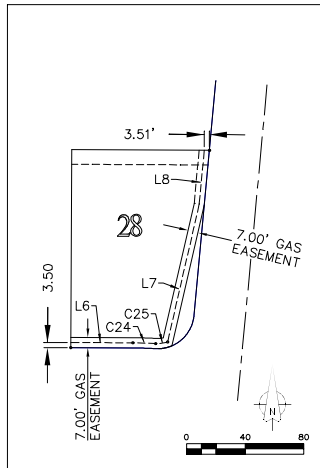
M MEASURED DISTANCE
R RECORDED DISTANCE
OPC ORANGE PLASTIC CAP
ROW RIGHT-OF-WAY
SF SQUARE FEET
LOT ADDRESS

CANYON LANDING PLAT 2
ANKENY IOWA
FINAL PLAT

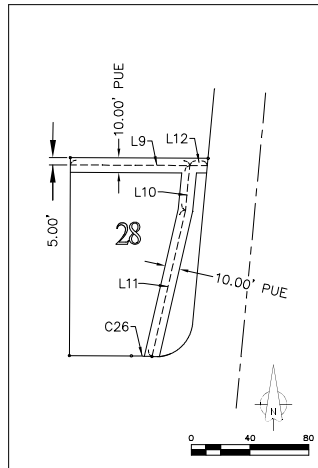
PROJECT NO	21-101	PAGE 2 OF 3	REVISIONS
DRAWN DATE	12-8-2021	DRAWN BY	N. Carter
SCALE	1" = 60'	DATE	



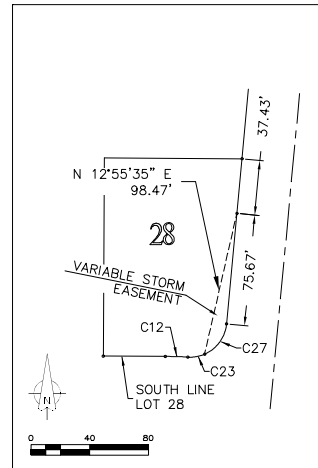
LOT 28 EASEMENT DETAIL
(SCALE: 1:40)



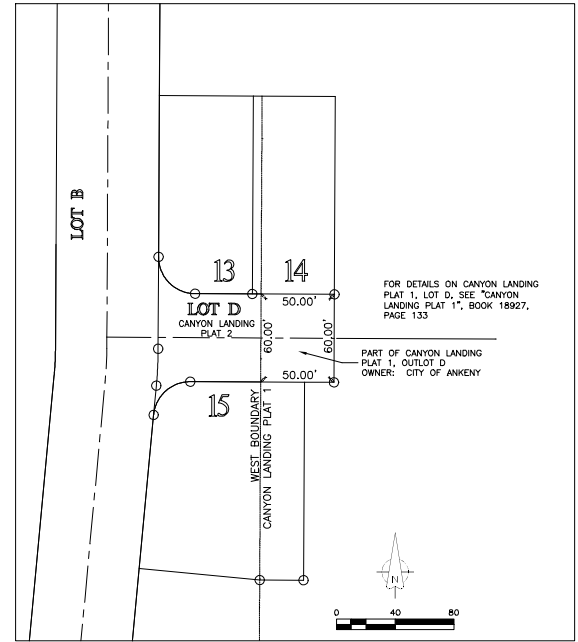
LOT 28 GAS EASEMENT DETAIL
(SCALE: 1:40)



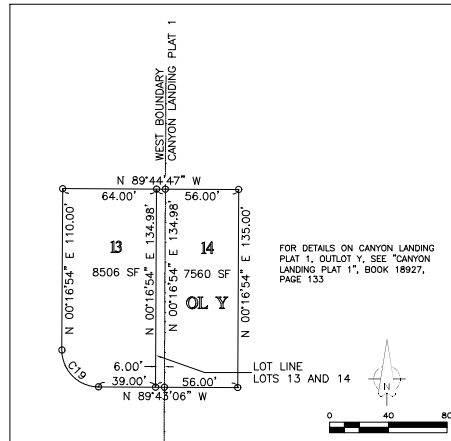
LOT 28 PUE DETAIL
(SCALE: 1:40)



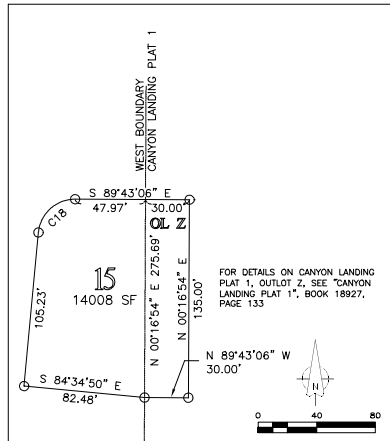
LOT 28 STORM EASEMENT DETAIL
(SCALE: 1:40)



STREET LOT DETAIL - LOT D FROM
CANYON LANDING PLAT 1, BOOK 18927,
PAGE 133
(SCALE: 1:40)



LOTS 13 AND 14 DIMENSION DETAIL - LOT 14
INCLUDES OUTLOT Y FROM CANYON LANDING
PLAT 1, BOOK 18927, PAGE 133
(SCALE: 1:40)



LOT 15 DIMENSION DETAIL - LOT 15
INCLUDES OUTLOT Z FROM CANYON
LANDING PLAT 1, BOOK 18927, PAGE 133
(SCALE: 1:40)

LINE TABLE:

LINE	BEARING	DISTANCE
L6	S 89°43'06" E	42.32'
L7	S 12°55'35" W	96.38'
L8	N 05°20'15" E	36.89'
L9	S 89°43'06" E	81.39'
L10	N 05°20'15" E	30.55'
L11	S 12°55'35" W	102.40'
L12	S 89°43'06" E	12.05'

CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C12	280.00'	15.33'	15.33'	S 88°09'00" E	3°08'12"
C18	25.00'	37.06'	33.76'	S 47°48'34" W	84°56'40"
C19	25.00'	39.27'	35.36'	N 44°43'06" W	90°00'00"
C23	25.00'	11.67'	11.57'	N 80°02'27" W	26°45'18"
C24	287.00'	15.71'	15.71'	S 88°09'00" E	3°08'12"
C25	18.00'	5.07'	5.05'	N 85°21'18" E	16°07'36"
C26	280.00'	13.97'	13.97'	N 88°17'21" W	2°51'29"
C27	25.00'	26.76'	25.50'	N 36°00'02" E	61°19'32"

SE
STUBBS ENGINEERING
431 NE 72nd Street - Pleasant Hill, IA 50327 - Phone: 515-979-8499

LEGEND: ● MONUMENT FOUND AS DESCRIBED
○ SET 1/2" IRON ROD WITH YELLOW PLASTIC CAP #20757 UNLESS OTHERWISE NOTED
● SET "X" CUT IN CONCRETE
◇ SET "MAG" NAIL IN ASPHALT

M MEASURED DISTANCE
R RECORDED DISTANCE
DPC ORANGE PLASTIC CAP
ROW RIGHT-OF-WAY
SF SQUARE FEET
○ LOT ADDRESS

CANYON LANDING PLAT 2
ANKENY, IOWA
FINAL PLAT

PROJECT NO: 21-101
DRAWN DATE: 12-8-2021
DRAWN BY: N. Carter
PAGE 3 OF 3
SCALE: 1" = 60'
REVISIONS: 12/15/20 - AMENDED CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS
12/15/20 - AMENDED CITY OF ANKENY REVIEW COMMENTS
12/15/20 - AMENDED CITY OF ANKENY REVIEW COMMENTS
12/15/20 - AMENDED CITY OF ANKENY REVIEW COMMENTS
12/15/20 - AMENDED CITY OF ANKENY AND POLK COUNTY REVIEW COMMENTS



PLAN AND ZONING COMMISSION

May 3, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Request by ATI Industrial, LLC, Tyler Investment Company, Inc, Polk County Aviation Authority, and Lloyd D. Linn for voluntary annexation of property into the City of Ankeny

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

The Plan and Zoning Commission held a public hearing at their meeting on April 19, 2022.

PUBLIC OUTREACH EFFORTS:

Legal publication and notification.

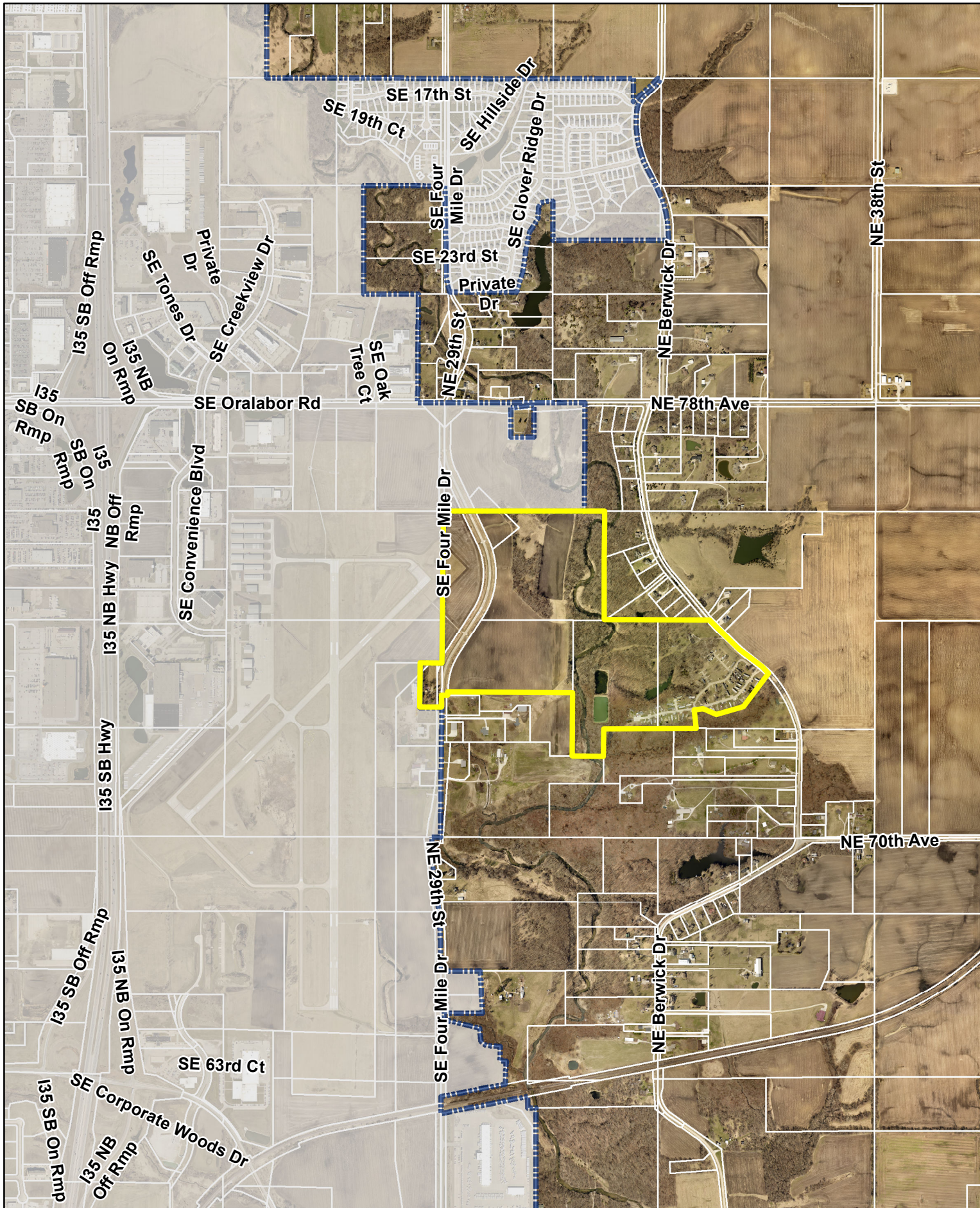
ACTION REQUESTED:

Action: Consider MOTION to recommend City Council approval of the Ankeny RMJ Annexation.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Annexation Exhibit
	Annexation Map
	Future Land Use Map
	Zoning Map



1 inch = 1,500 feet

Date: 3/29/2022

Ankeny RMJ Annexation





*Plan and Zoning Commission
Staff Report*

Meeting Date: May 3, 2022

Agenda Item: Ankeny RMJ Annexation - Action
Report Date: April 26, 2022
Prepared By: Derek Silverthorn *ESC*
Associate Planner

Staff Recommendation

That the Plan and Zoning Commission recommend City Council approval of the Ankeny RMJ Annexation.

Discussion

ATI Industrial, LLC, Tyler Investment Company, Inc., Polk County Aviation Authority, and Lloyd D. Linn are the property owners of eight parcels totaling 159 acres (+/-) requesting to be voluntarily annexed into the City of Ankeny. The petitioned land is contiguous to the southeast quadrant of the Ankeny corporate limits—generally located east of the Ankeny Regional Airport, west of NE Berwick Drive, and a quarter-mile south of SE Oralabor Road. The annexation area includes the eight subject parcels and all adjacent road right-of-way to the centerline of the adjacent road (NE Berwick Drive and SE Four Mile Drive). The proposed voluntary urbanized annexation is within two miles of the City of Altoona.

Existing Polk County Zoning and Comprehensive Plan Land Uses

The petitioned area is currently zoned as Low-Density Residential District (LDR) and Agricultural Transition District (AT) on the Polk County Zoning Map, as well as the Polk County Future Land Use Map.

City of Ankeny Comprehensive Plan

The Ankeny Plan 2040 Comprehensive Plan is a guideline for future development, outlining community vision, goals, and objectives. The annexation area is located within the City of Ankeny Planning Boundary, and is currently identified as Airport Business Park (ABP) in the western portion of the petitioned area adjacent to the Ankeny Regional Airport, Open Space (OS) in the central portion surrounding Four Mile Creek, and Low-Density Residential (LDR) in the eastern portion along NE Berwick Drive.

Airport Business Park (ABP): This land use category is designed for the Ankeny Regional Airport and the immediately surrounding area, and is meant to protect the airport and airspace from incompatible land uses. Aircraft noise and other safety and environmental impacts make many land uses such as residential, schools, and churches incompatible. Uses that are more compatible to airport activity include industrial, business parks, and some other commercial activity. Consideration should be made for any future expansion of the airport.

Open Space (OS): This land use category includes land within the floodplain, contains wetlands, nature preserves, steep slopes, or significant tree cover. Typical uses include natural areas, land devoted to agricultural use or crop production, and very low-density residential development. Residential dwellings should be limited to no more than 1 dwelling unit per 20 acres. This land use also includes city-managed greenspace, such as greenbelts that have remained more natural and provide passive, low-impact recreational activities.

Low-Density Residential (LDR): This land use category is dominated by single-family detached dwellings with a typical density of 1 to 5 dwelling units per acre and may include the continuation of existing agricultural operations. Typical lot sizes will range from 7,500 to 15,000 square feet. Lots should include public or private street frontage and driveway access, and may also be served by an alleyway. Development in this area may include residential clustered developments; religious, educational, and institutional uses and structures; and public and private parks and recreational areas and structures.

Expected Development Scenario

The existing land uses in the proposed annexation area consist of government property, single-family residential, agricultural, forest reserve, and mobile home park. If annexed, the properties will be initially zoned R-1, One-Family Residence District, as is all newly annexed land. The current land uses may continue in their current capacities; however, any proposed development or redevelopment must align with the allowable uses in the R-1 zoning district (single-family residential, churches, schools, public facilities, or non-retail agricultural uses). If a property is to be developed as anything not allowed in the R-1 zoning district, appropriate rezoning will be required. Development concepts will be evaluated as part of the rezoning and platting processes to ensure that proposed development plans align with the Comprehensive Plan. Any proposed changes to the future land uses identified in the Comprehensive Plan would require a land use plan amendment prior to rezoning.

Water Main: Eight-inch water main exists along NE Berwick Drive north of the annexation area, and 12-inch water main exists along the western boundary of the annexation area which continues south along SE Four Mile Drive. The developer will be responsible for the construction of water main within their development; however, the City will provide cost participation for the oversizing of water mains that are 12-inch or larger and serve areas beyond the development. The SE Four Mile Drive Water Connection Fee District lies within the annexation area west of Four Mile Creek, which the developer will be required to pay upon future platting.

Sanitary Sewer: The 60-inch WRA Four Mile Interceptor exists within the annexation area, generally along Four Mile Creek, and any future development will require extension from this sewer. The annexation area includes the Oakwood Heights Mobile Home Park, identified as parcels 7 and 8 in the annexation exhibit. If the mobile home park chooses to connect to City-owned sanitary sewer from the Four Mile Interceptor, the sewer must extend east through the development to NE Berwick Drive in order to accommodate potential future development to the east of NE Berwick Drive. All sanitary sewer constructed within the development is the responsibility of the developer.

Drainage: The annexation area lies within the Middle Four Mile Creek Drainage Basin, with Four Mile Creek centrally located within the area. The FEMA Flood Insurance Rate Map, approved on February 1, 2019, indicates the surrounding area along Four Mile Creek within the 100-year floodplain, and several smaller portions within the 500-year floodplain. Stormwater within the annexation area generally flows into Four Mile Creek and continues south.

Consultation Meeting

A consultation meeting was held on April 21, 2022. Notice of the meeting was sent via certified mail to the Polk County Board of Supervisors and Douglas Township Trustees; and by regular mail to Polk County Planning & Development and Ankeny Community School District. Members in attendance at the consultation meeting were City staff and Clifford A. Leonard, 1421 W Washington Ave, Polk City, IA 50226. No written comments have been received by staff as of the date of this staff report. The parties invited to the consultation meeting are provided seven days from the date of the consultation meeting to submit written comments regarding the proposed annexation.

Summary

The proposed annexation complies with the regulations of the Code of Iowa, is consistent with City of Ankeny's annexation policy, and is identified as a future growth area in the Ankeny Plan 2040 Comprehensive Plan; therefore, staff is recommending that the Plan and Zoning Commission recommend City Council approval of the Ankeny RMJ Annexation.



1360 NW 121st Street
Clive, Iowa 50325
P 515.964.1229

www.mcclurevision.com

February 24, 2022

Community Development Department
City of Ankeny
1210 NW Prairie Ridge Drive
Ankeny, Iowa 50023
ATTN: Eric Carstens

RE: Ankeny RMJ Annexation

On behalf of ATI Ankeny Industrial LLC and the attached additional applicants we respectfully submit the attached annexation applications and agreements and formally request annexation of the described properties in each attachment.

Enclosed with this submittal, you will find the following:

- Annexation Agreement and Application for ATI Ankeny Industrial LLC
- Annexation Agreement and Application for Lloyd Linn
- Annexation Agreement and Application for PCAA
- Annexation Agreement and Application for Tyler Investments

If you have any questions or require anything further for review, please give me a call at 515.964.1229

Sincerely,

McClure Engineering Company

Trent Smith, PE
Project Manager

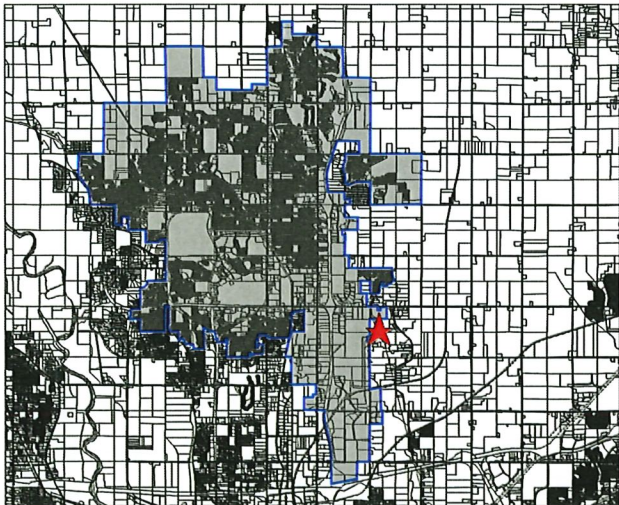
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FEB 24 2022

CITY OF ANKENY

Annexation Exhibit

FOR
ANKENY RMJ
Ankeny, Iowa



Vicinity Sketch

SUBJECT PROPERTY AREA

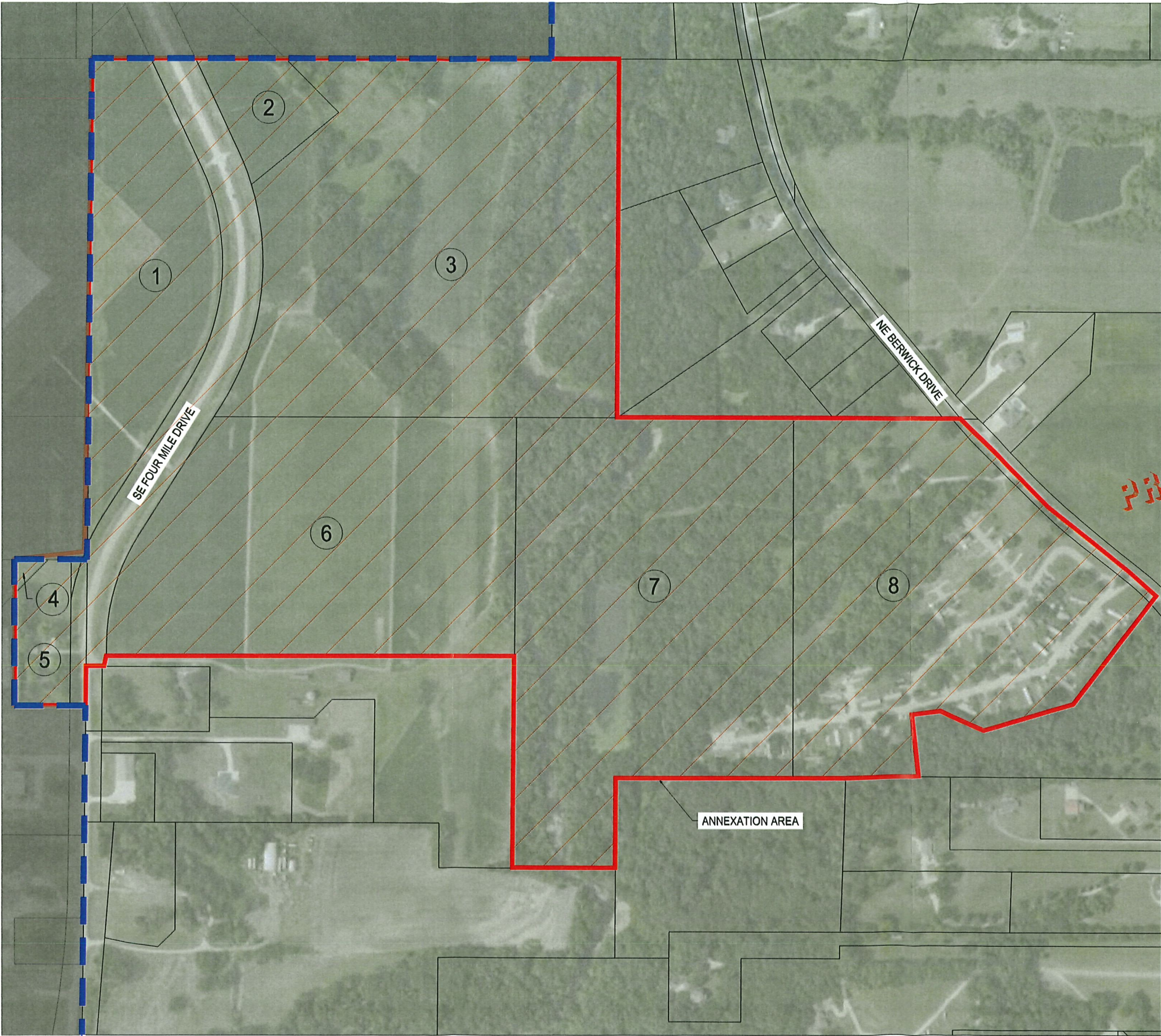
RECEIVED

MAR 30 2022

CITY OF ANKENY

ANNEXATION TABLE

Parcel Number	Name of Property Owner	Parcel Number
1	Polk County Aviation Authority	8023-32-152-001
2	Polk County Aviation Authority	8023-32-151-002
3	ATI Ankeny Industrial LLC	8023-32-151-003
4	Polk County Aviation Authority	8023-31-400-020
5	Lloyd D Linn	8023-31-400-033
6	ATI Ankeny Industrial LLC	8023-32-300-011
7	Tyler Investmany Company Inc	8023-32-300-005
8	Tyler Investmany Company Inc	8023-32-400-001



building strong communities.

1360 NW 121ST. Street
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

NOTICE:
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering advice they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

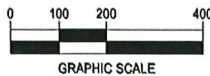
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PRELIMINARY

ANNEXATION EXHIBIT



NORTH



ANKENY RMJ SITE PLAN

ANKENY, IOWA

TBD

AUGUST 31, 2021

REVISIONS

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•
•
•

ENGINEER
T. SMITH

CHECKED BY
C. SMITH

DRAWING NO.

DRAWN BY
TLS

FIELD BOOK NO.

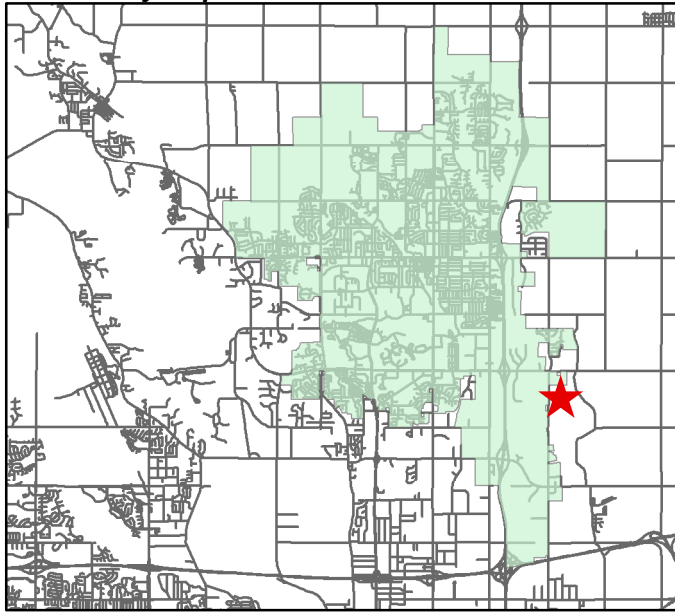
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Vicinity Map



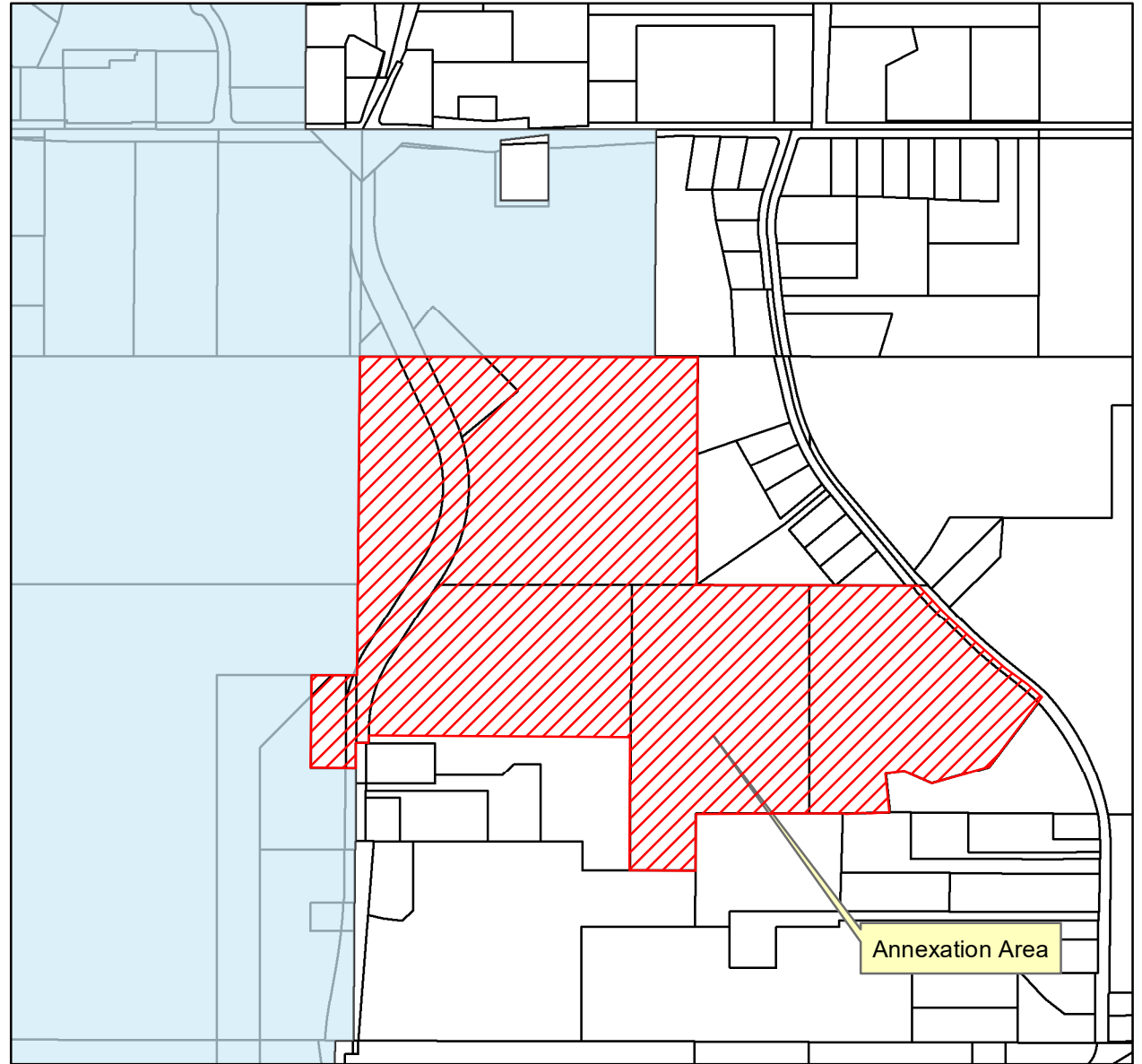
LEGAL DESCRIPTION:

A PART OF SECTION 32 AND A PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 31 ALL IN TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE FIFTH PRINCIPAL MERIDIAN, POLK COUNTY, IOWA AND MORE SPECIFICALLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 32; THENCE EAST ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, 1961.43 FEET TO THE NORTHWEST CORNER OF OAKWOOD HEIGHTS, AN OFFICIAL PLAT; THENCE SOUTH ALONG THE WEST LINE OF OAKWOOD HEIGHTS, 1321.86 FEET TO THE SOUTHWEST CORNER OF OAKWOOD HEIGHTS; THENCE EAST ALONG THE SOUTH LINE OF OAKWOOD HEIGHTS, 1237.72 FEET TO THE WEST RIGHT OF WAY LINE OF NE BERWICK DRIVE; THENCE SOUTHEAST ALONG THE WEST RIGHT OF WAY LINE OF NE BERWICK DRIVE, 999.8 FEET TO THE NORTHEAST CORNER OF PAGLIAI COMPOUND PLAT 1, AN OFFICIAL PLAT; THENCE SOUTHWEST ALONG THE NORTHERLY LINE OF SAID PAGLIAI COMPOUND PLAT 1, A DISTANCE OF 471.13 FEET; THENCE SOUTHWEST ALONG SAID NORTHERLY LINE, 347.56 FEET; THENCE NORTHWEST ALONG SAID NORTHERLY LINE, 174.93 FEET; THENCE WEST ALONG SAID NORTHERLY LINE, 109.86 FEET TO THE NORTHWEST CORNER OF LOT 6, PAGLIAI COMPOUND PLAT 1; THENCE SOUTH ALONG THE WESTERLY LINE OF SAID PAGLIAI COMPOUND PLAT 1, A DISTANCE OF 228.24 FEET TO THE SOUTHWEST CORNER OF LOT 5, PAGLIAI COMPOUND PLAT 1; THENCE WEST ALONG THE NORTH LINE OF LOT 2, PAGLIAI COMPOUND PLAT 1, A DISTANCE OF 272.56 FEET TO THE NORTHWEST CORNER OF LOT 2, PAGLIAI COMPOUND PLAT 1; THENCE WEST ALONG THE NORTH LINE OF PARCEL 'K' OF THE SOUTH HALF OF SECTION 32 RECORDED IN BOOK 8718 PAGE 345, A DISTANCE OF 861.88 FEET TO THE NORTHWEST CORNER OF SAID PARCEL 'K'; THENCE SOUTH ALONG THE WEST LINE OF SAID PARCEL 'K', 331.28 FEET TO THE NORTHEAST CORNER OF LOT 1, WANGSNESS PLAT 2, AN OFFICIAL PLAT; THENCE WEST ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 381.50 FEET TO THE SOUTHEAST CORNER OF PARCEL 2021-258 OF THE SOUTHWEST QUARTER OF SECTION 32 RECORDED IN BOOK 18970 PAGE 881; THENCE NORTH ALONG THE EAST LINE OF SAID PARCEL 2021-258, A DISTANCE OF 773.67 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 2021-258; THENCE WEST ALONG THE NORTH LINE OF SAID PARCEL 2021-258, A DISTANCE OF 1510.90 FEET TO THE NORTHWEST CORNER OF SAID PARCEL 2021-258; THENCE SOUTH ALONG THE WEST LINE OF SAID PARCEL 2021-258, A DISTANCE OF 40.00 FEET; THENCE WEST ALONG THE SOUTH LINE OF THE CONDEMNATION RECORDED IN BOOK 13479 PAGE 477, A DISTANCE OF 74.86 FEET TO THE EAST LINE OF SECTION 31; THENCE SOUTH ALONG THE EAST LINE OF SECTION 31, A DISTANCE OF 138.16 FEET TO THE SOUTHEAST CORNER OF PARCEL 'G' OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 31 RECORDED IN BOOK 7520 PAGE 595; THENCE WEST ALONG THE SOUTH LINE OF SAID PARCEL 'G', 264.00 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 'G'; THENCE NORTH ALONG THE WEST LINE OF SAID PARCEL 'G', 537.86 FEET TO THE NORTHWEST CORNER OF SAID PARCEL 'G'; THENCE EAST ALONG THE NORTH LINE OF SAID PARCEL 'G', 264.00 FEET TO THE EAST LINE OF SAID SECTION 31; THENCE NORTH ALONG THE EAST LINE OF SAID SECTION 31, A DISTANCE OF 521.21 FEET TO THE WEST QUARTER CORNER OF SECTION 32; THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 32, A DISTANCE OF 1319.48 FEET TO THE POINT OF BEGINNING. THE ANNEXATION ALSO INCLUDES ANY AND ALL COUNTY ROAD RIGHT-OF-WAY TO THE CENTERLINE OF THE ADJACENT ROAD.

Property Owners:

ATI Ankeny Industrial, LLC, Polk County Aviation Authority (PCAA),
Tyler Investment Co., Inc., & Lloyd D. Linn



Annexation Area

1 inch = 1,000 feet

Annexation Map

City of Ankeny

**Ankeny RMJ
Annexation**

City of Ankeny, Iowa
Community Development Department

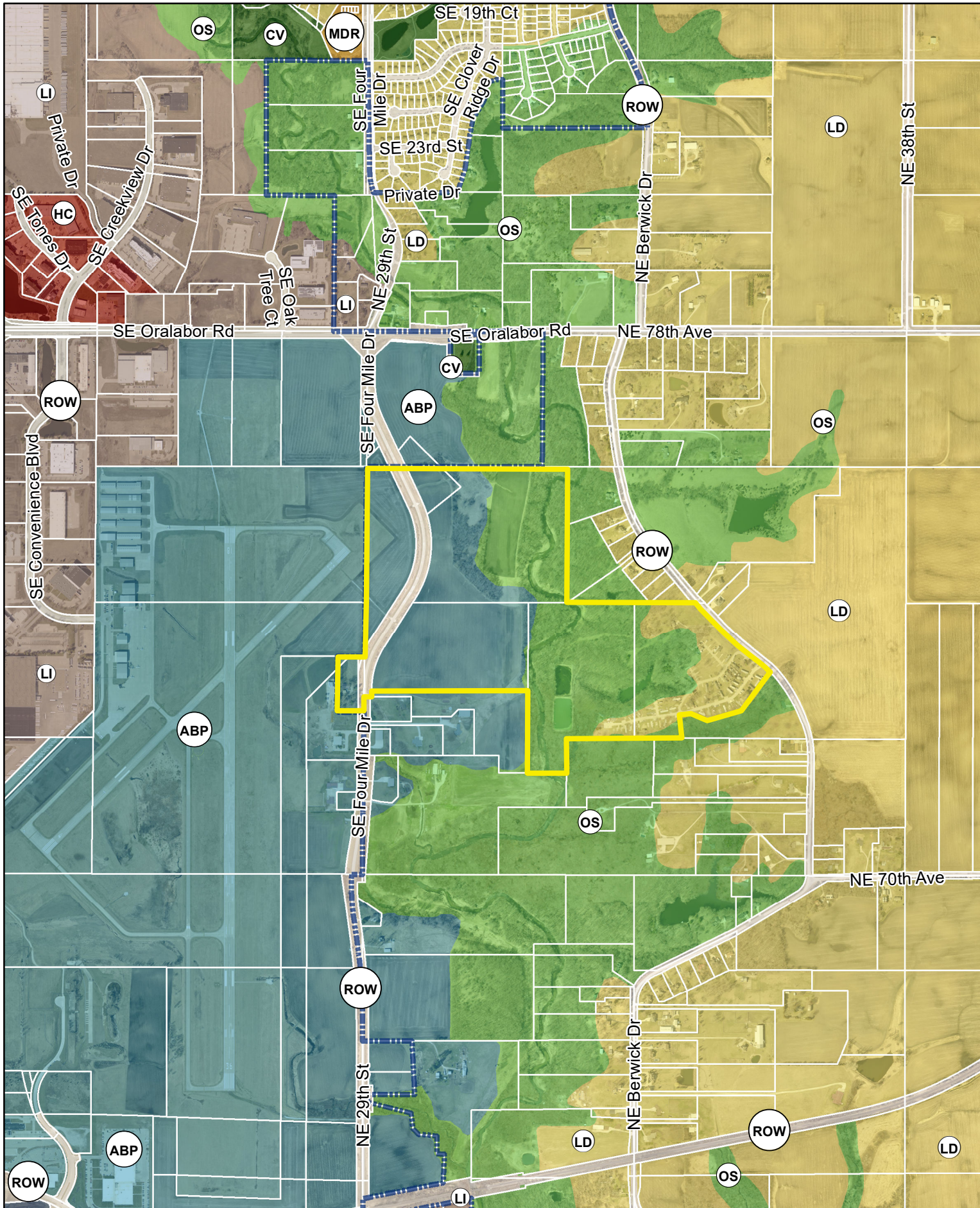
Drawn By: RH

Sheet No.

1 of 1

Checked by:

Date: March 25, 2022

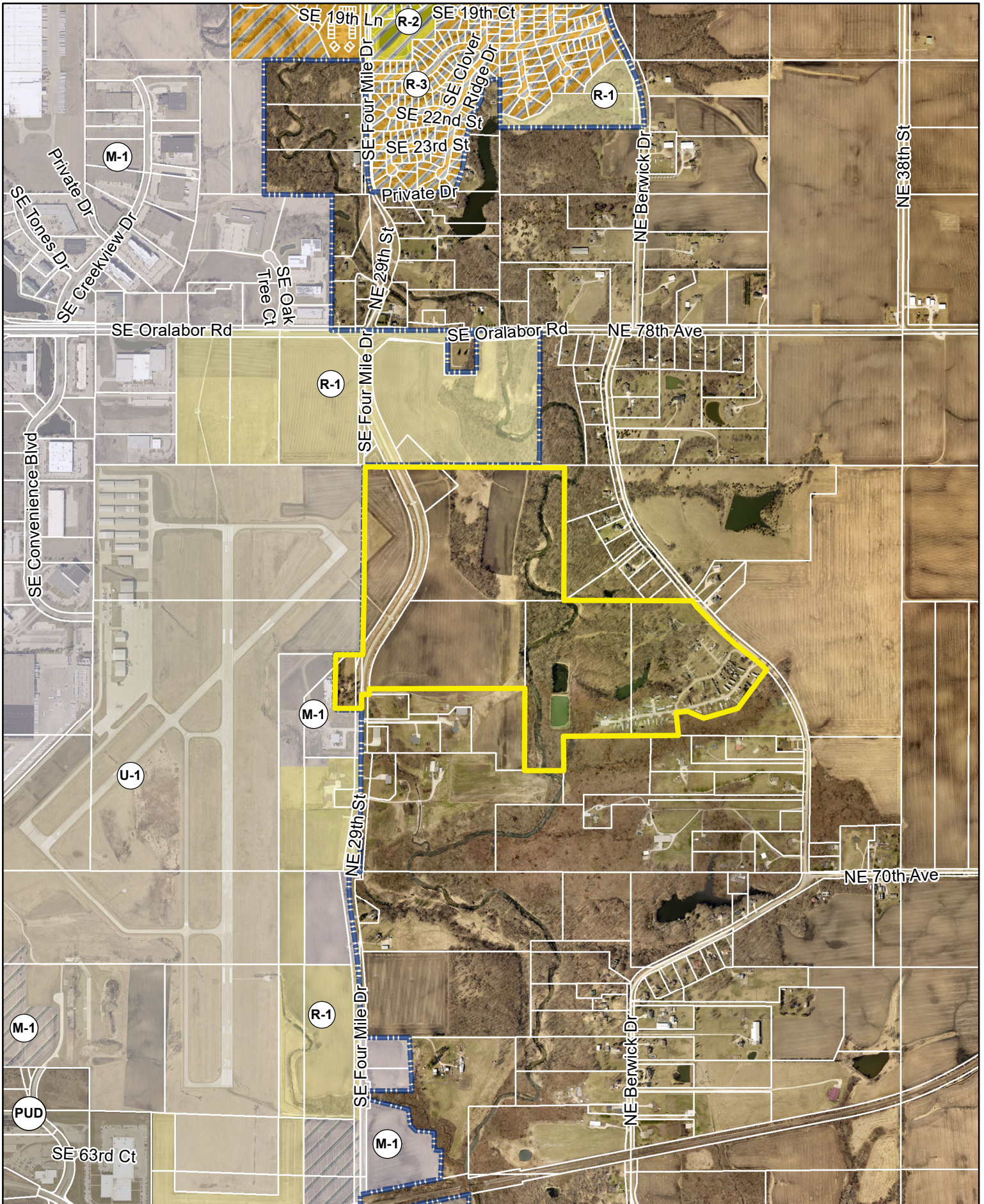


1 inch = 1,200 feet

Date: 4/19/2022

Ankeny RMJ Annexation Future Land Use Map





N



1 inch = 1,200 feet

Date: 4/19/2022

Ankeny RMJ Annexation Zoning Map



PLAN AND ZONING COMMISSION

May 3, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Request by Hope Kimberley LLC for the voluntary annexation of property into the City of Ankeny

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to recommend City Council approval of the request by Hope Kimberley LLC for voluntary annexation of property into the City of Ankeny.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download

 [Staff Report](#)

Topic: Hope Kimberley LLC Annexation
Date: April 20, 2022
Prepared By: Eric C. Jensen, AICP
Director of Community Development

Recommendation

That the Plan and Zoning Commission recommend City Council approval of the request by Hope Kimberley LLC for the voluntary annexation of property into the City of Ankeny.

Discussion

The subject area is located in the northeast portion of the City and generally located around the intersection of NE 126th Avenue and NE 22nd Street (SE Delaware Avenue). The request is for 584.16 (+/-) acres of land to be voluntarily annexed into the City of Ankeny. The annexation area consists of 19 parcels containing 562.64 (+/-) acres that are consenting to the annexation and ten parcels containing 21.52 (+/-) acres that are non-consenting. The Code of Iowa allows the inclusion of up to 20% of the total land area of the annexation as non-consenting in order to avoid the creation of islands or to create more uniform boundaries. The annexation as currently configured contains 96.32% (+/-) consenting land and 3.68% non-consenting land.

The proposed annexation area is contiguous with the corporate boundary of Ankeny and includes all adjacent road right-of-way to the centerline of the adjacent road right-of-way, with the exception of Interstate 35. The Iowa DOT's policy is that annexations should include either the entire adjacent interstate right-of-way, or none. As the Ankeny City corporate limits currently do not extend east of the interstate at this location, the interstate right-of-way was not included in this annexation. The proposed annexation area is also within two miles of the Cities of Alleman and Elkhart.

The Commission had previously seen and made a recommendation on a similar annexation with essentially the same boundaries. However, at that time, two parcels consisting of over 70 acres in total were considered non-consenting. The annexation at that time was approximately 84% consenting to 16% non-consenting. With the inclusion of the additional consenting properties, it is appropriate for the Commission to review and make a recommendation on this new annexation to the City Council.

Existing Polk County Zoning and Comprehensive Plan Land Uses

The annexation area is zoned Agricultural District on the Polk County Zoning Map; and is identified as Agricultural on the Polk County Future Land Use Map.

City of Ankeny Comprehensive Plan

The annexation area is within the Planning Boundary of the City as identified by the current Comprehensive Plan and is currently identified for primarily Low Density Residential land uses with areas of High and Medium Density Residential land uses located west of NE 22nd Street and south of NE 126th Avenue, Community Commercial, Office/Business Park and Low Density Residential land uses east of NE 22nd Street and south of NE 126th Avenue, and Community Commercial, Office/Business Park, and Neighborhood Mixed Use land uses located east of NE 22nd Street and north of NE 126th Avenue – see attached Future Land Use Map. The Ankeny Plan 2040 defines those uses as the following:

- **Low Density Residential:** This land use category is dominated by single-family detached dwellings with a typical density of one to five dwelling units per acre and may include the continuation of existing agricultural operations. Typical lot sizes will range from 7,500 to 15,000 sq. ft. Lots should include public or private street frontage and driveway access and may also be served by an alleyway. Development in this area may include residential clustered developments; religious, educational, and institutional uses and structures; and public and private parks and recreational areas and structures.
- **Medium Density Residential:** This land use category is designed for single family dwelling units that are detached or attached horizontally to one or more units, typically referred to as cottage homes, townhomes, and rowhouses. Densities range from five to 12 dwelling units per acre. Land uses may also include single-family detached dwellings, 'tiny home' developments (planned communities with single-family detached homes that are generally less than 500 square feet in total floor area); residential clustered developments; religious, educational, and institutional uses and structures; and public and private parks and recreation areas and structures. This land use category can serve as a transition between low density and high-density land uses.
- **High Density Residential:** This land use category is for multi-family dwelling units both horizontally or vertically attached with two more dwelling units, typically referred to as apartments or condominiums. Also, included in this category are mobile home subdivisions or parks. Densities are generally 12+ dwelling units per acre. Units may or may not have public street frontage and may be served by an alleyway. Garages may be tuck-under, first floor, or stand-alone garage units in a common parking area. Uses may also include horizontally attached single-family dwellings; manufactured housing developments; religious, educational, and institutional uses and structures; child day care centers; and public and private parks and recreational areas and structures.
- **Community Commercial:** This land use category is designed for large-scale retail and entertainment uses typically located along high traffic corridors. These retail and entertainment uses are intended to serve the entire community and motoring public as well as attract customers from outside of the city with a typical service area of up to five miles or more. The locations should be along minor/major arterial streets or major collectors with multiple access points. These retail areas typically consist of large box stores and multi-tenant shopping centers. Sites are generally greater than 20 acres.
- **Office/Business Park:** This land use category is designed to retain and promote employment opportunities for the City. The land use category includes a combination of professional office and medical uses, research and development and testing facilities, and corporate campuses consisting of single or multi-tenant buildings that are one or more stories tall. Limited office support type retail uses (including restaurants, office supply stores, coffee shops, and dry cleaners) may be allowed. Site sizes can range from small single user building lots to large corporate campuses. This land use can serve as a transition to buffer low and medium density uses from more intense commercial and industrial uses.
- **Neighborhood Mixed Use:** This land use category is designed to provide flexibility in uses and building design in an area that can accommodate either mixed-use or single-use buildings and developments. Allowable uses include multi-family residential, office, and retail as well as convenience stores, fast-foot restaurants, and other uses with vehicle drive-up and drive-thru services. Buildings may be three stories in height with shared off-street surface or structured parking. The area is meant to provide a buffer or transition between commercial and residential developments. Possible uses include coffee shops, fast-food restaurants, or small-offices.

Expected Development Scenario

If annexed, the property will initially be zoned R-1, One-Family Residence District, as is all newly annexed land. If the property owner intends to develop the property as anything other than single family residential, a rezoning will be required. Development concepts for the land will be evaluated as part of the rezoning and platting process, to ensure any proposed development plans align with the City's Comprehensive Plan. Any changes to the Land Uses laid out in the Comprehensive Plan, would need to go through a Land Use Plan Amendment before a rezoning process could be started.

Streets: Generally, the annexation area borders and/or includes the following roadways: NE 126th Avenue, NE Delaware Avenue/NE 22nd Street and Interstate 35. All of these roads provide access to the annexation area. These roadways adequately accommodate the existing traffic in the area. As the annexation area develops, staff will work with the developers to make sure that appropriate improvements are made to the existing street network to accommodate the additional traffic. As a reminder the developer is responsible for the construction of all streets internal to their developments.

Water Systems: Currently the City of Ankeny has 12" water mains installed along NE Delaware Avenue, to approximately NE 61st Street in Kimberley Estates, and along N Ankeny Boulevard to approximately NE 62nd Street in Courtyards at Harvest Ridge. These current water mains along with the County or Des Moines Water Works water mains are shown on the provided utility map. These water mains will be extended into the annexation area to serve the future development at such time as this area develops. The developer is responsible for the construction of all water mains within their developments. The City will participate in cost sharing, paying for the over-sizing of water mains, for those mains to be installed that are 12" or larger and serve areas beyond the development. Also, larger water mains that are not located within a development but are extended to serve development are often installed through a connection fee district.

Sanitary Sewer Systems: The City's current sanitary sewer service and the future sewer districts are shown on the utility map that was referenced previously. Currently, the City has an 18" sanitary trunk main that exists along the creek on the west side of NE Delaware Avenue, this line will serve the newly created Fourmile Creek Trunk Sewer Connection District 2, or the purple shaded area on the map. This area includes a majority of this annexation west of NE Delaware Avenue, including the area of the annexation north of NE 126th Avenue, as well as the northwest corner of the intersection of NE Delaware Avenue and NE 126th Avenue. A 15" sanitary sewer main exists between NE Delaware Avenue and I-35, this would serve the land between NE Delaware Avenue and I-35 and south of NE 126th Avenue. Additionally, the City of Ankeny will be constructing a sanitary trunk sewer along N Ankeny Boulevard in 2023, this would serve the western most portion of the annexation, shown in a green box on the provided utility map.

All sanitary sewer constructed within a development is the responsibility of the developer. Other sanitary sewer trunk mains that are extended to serve future development are often installed through connection fee districts. The established connection fees for the Fourmile Creek Trunk Sewer Connection District 2 are outlined below:

Effective Date	Sewer Connection Fee (per acre – 1 acre minimum)
Prior to and through December 31, 2021	\$1,015
January 1, 2022	\$1,029
January 1, 2023	\$1,043
January 1, 2024	\$1,057
January 1, 2025	\$1,071
January 1, 2026 and thereafter	To be re-evaluated

Drainage/Storm Sewer System: This proposed annexation area is in the Fourmile Creek Drainage area. Stormwater for the area south of NE 126th Avenue and west of NE Delaware Avenue generally flows into an unnamed creek just west of NE Delaware Avenue. The unnamed creek flows south and west eventually into Four Mile Creek. The land west of the unnamed creek generally slopes to the west and south. This area drains towards the Harvest Ridge and Four Mile Creek areas, that lay just south and west of the annexation area. The area east of NE Delaware Avenue and south of NE 126th Avenue has a high point by the Wyckoff property, the area then slopes north and east directing stormwater to open drainage ditches along the roads and towards Interstate 35. The ditches then drain west at the intersection of NE Delaware Avenue and NE 126th Avenue, into the unnamed creek. Stormwater draining east follows an open channel south along Interstate 35. The annexation area north of NE 126th Avenue and east of NE Delaware Avenue, is fairly flat. Stormwater drains south and west to the beginning of the unnamed creek. As with all other development within the City, when the area develops, staff will work with the developers to adequately address storm water.

Parks: When the property is platted, the requirements for parkland dedication will be evaluated and applied to the property that is developed as residential. The City of Ankeny's Parks Department is a member of the Technical Review Committee and works with the Planning and Engineering staff on park locations.

Fire: This site is currently in the City of Ankeny Fire Protection District. A water system designed to provide fire flows and domestic service will be extended throughout the area as it is developed.

Police: This land can be expected to develop as residential dwellings and commercial land. The additional area will impact Police coverage areas, as does all new development. Members of the Police Department regularly attend Technical Review Committee meetings and work with the Planning and Engineering staff on design concerns.

Schools: This annexation area is in the North Polk Community School District. The Ankeny Community School District northern limit is NE 54th Avenue.

Consultation Meeting

A consultation meeting was held Wednesday, March 2, 2022. Notice of the meeting was sent via certified mail to the Polk County Board of Supervisors, Lincoln and Elkhart Township Trustees, and notice was sent by regular mail to the Polk County Planning & Development and North Polk and Ankeny Community School Districts. No members from the public attended the meeting. No written comments were provided to staff. The parties invited to the consultation meeting had seven days from the date of the meeting to submit written comments regarding the proposed annexation.

City Council Annexation Policy

The City Council has adopted a policy document regarding the annexation of land into the City of Ankeny. A copy of that policy is attached to this report. The relevant policy statements are discussed below.

B. Unincorporated Islands and Peninsulas

- 2. Ankeny will not allow annexations, which create islands of unincorporated land and/or peninsulas and to the extent possible, will establish regular boundaries for annexation.**

An island is created when an area of unincorporated county is completely encircled by a city. A Peninsula is created when one or more lots are left out of an annexation and create a long finger of unincorporated land surrounded on less than four sides by a city. An example of each is attached to this report. Islands and peninsulas cause infrastructure and service delivery issues for cities and counties. The State Code prohibits the creation of any new islands. Council's annexation policy prohibits the creation of islands and discourages the creation of peninsulas. This is further emphasized by the following annexation policy statements:

C. Municipal Boundaries

- 1. To maintain efficient city service provisions, Ankeny will discourage annexations that would result in irregular city boundaries. Where possible, boundaries will follow street centerlines or intersections.**
- 5. The City of Ankeny will accept and encourage voluntary petitions for the inclusion of territory into the city limits and will work to maximize voluntary annexation boundaries using the legal authority granted by the State of Iowa to add non-petitioned territory to the voluntary annexation. Non-petitioned parcel(s) will not exceed 20% of the total area of the annexation as allowed by Chapter 368.7 of the Code of Iowa.**

These policy statements reinforce the position that the City will discourage annexations with irregular boundaries and that the City will rely on the 80/20 provision of the Code of Iowa to ensure regular boundaries are provided. This is not a new concept in Ankeny. Attached to the report are maps showing three annexation areas for the Southeast Annexation, the Northwest Annexation and the Otter Creek Land and Cattle Annexation. These are three examples where the City has used the 80/20 provision in the recent past to create an annexation with regular boundaries. Additionally, 80/20 annexations are a tool that are used Statewide. According to the City Development Board, the State Board that is responsible for reviewing all annexations that are either not 100% voluntary or that are within two miles of another city or both, in 2021 ten of the 38 cases (26%) that they reviewed were 80/20 annexations. In 2020 six of the 30 cases (20%) that they reviewed were 80/20 annexations. Without the use of the 80/20 provision of the State Code, it would be difficult, if not impossible for municipalities to ensure orderly growth and the efficient delivery of public services. As stated previously, the proposed annexation contains 96.32% (+/-) consenting land and 3.68% non-consenting land, well within the 80/20 provision of the Code of Iowa.

The Council's annexation policy requires all annexations to be consistent with the Comprehensive Plan of the City:

D. Comprehensive Planning and Zoning

- 1. Ankeny will consider annexations within the urban growth area established in the Ankeny Comprehensive Plan.**

This policy means that the City will consider annexations if the land is located within the urban growth area of the Comprehensive Plan, which is defined as the Planning Boundary as depicted on the Future Land Use Map of the Comprehensive Plan. As indicated previously, the annexation area is located in the City's Planning Boundary, as shown on the attached Future Land Use Map.

Finally, with regard to the extension of infrastructure, the relevant statements of the Council's Annexation Policy state:

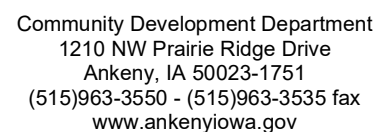
E. Extension of Services

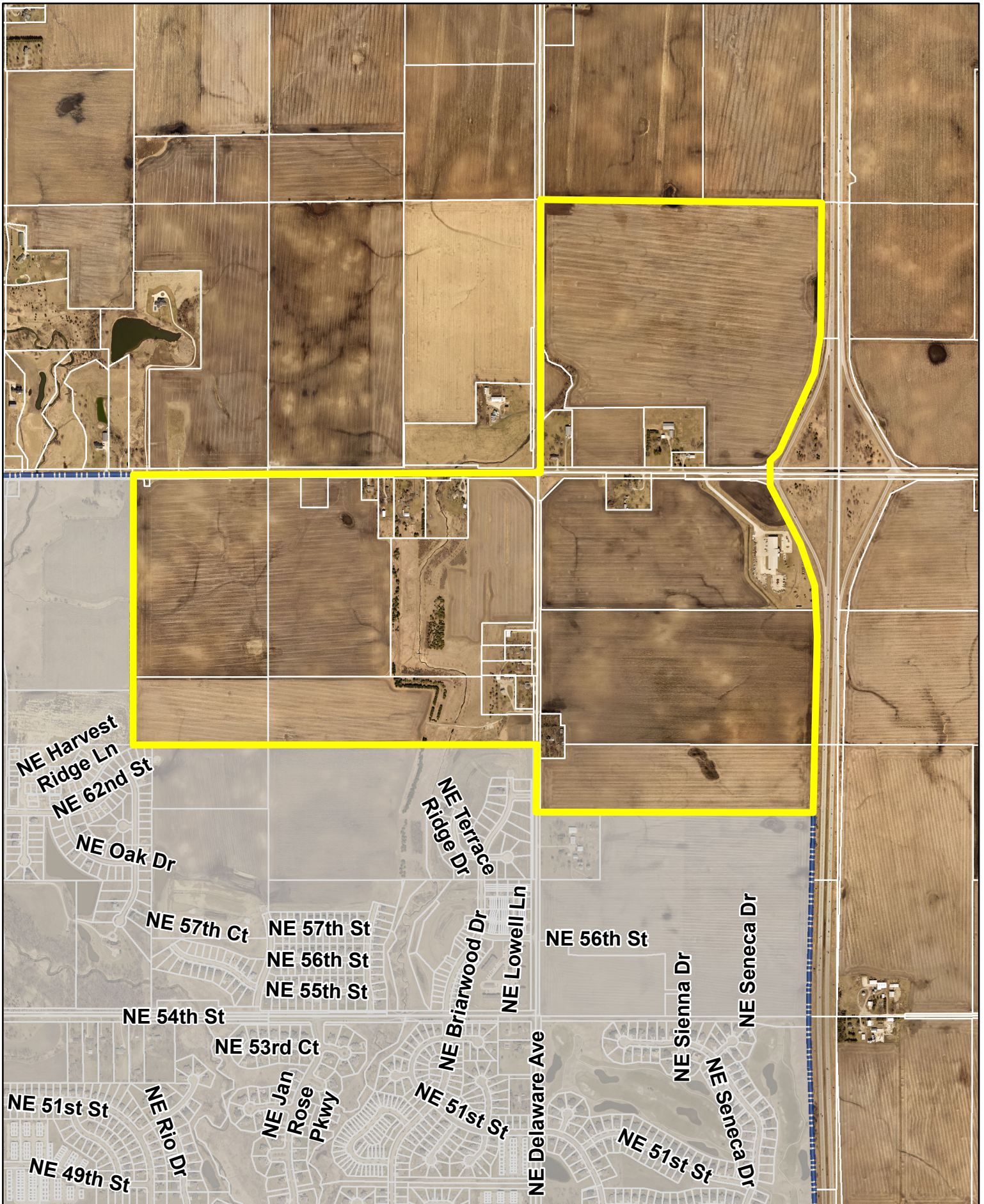
- 1. Ankeny will support extensions of public water and sewer services within the urban growth area that are consistent with...applicable studies authorized and/or adopted by the Ankeny City Council.**
- 5. The City of Ankeny will use development policies such as utility extension policies and development fees to encourage growth consistent with the City's ability to effectively manage such growth.**

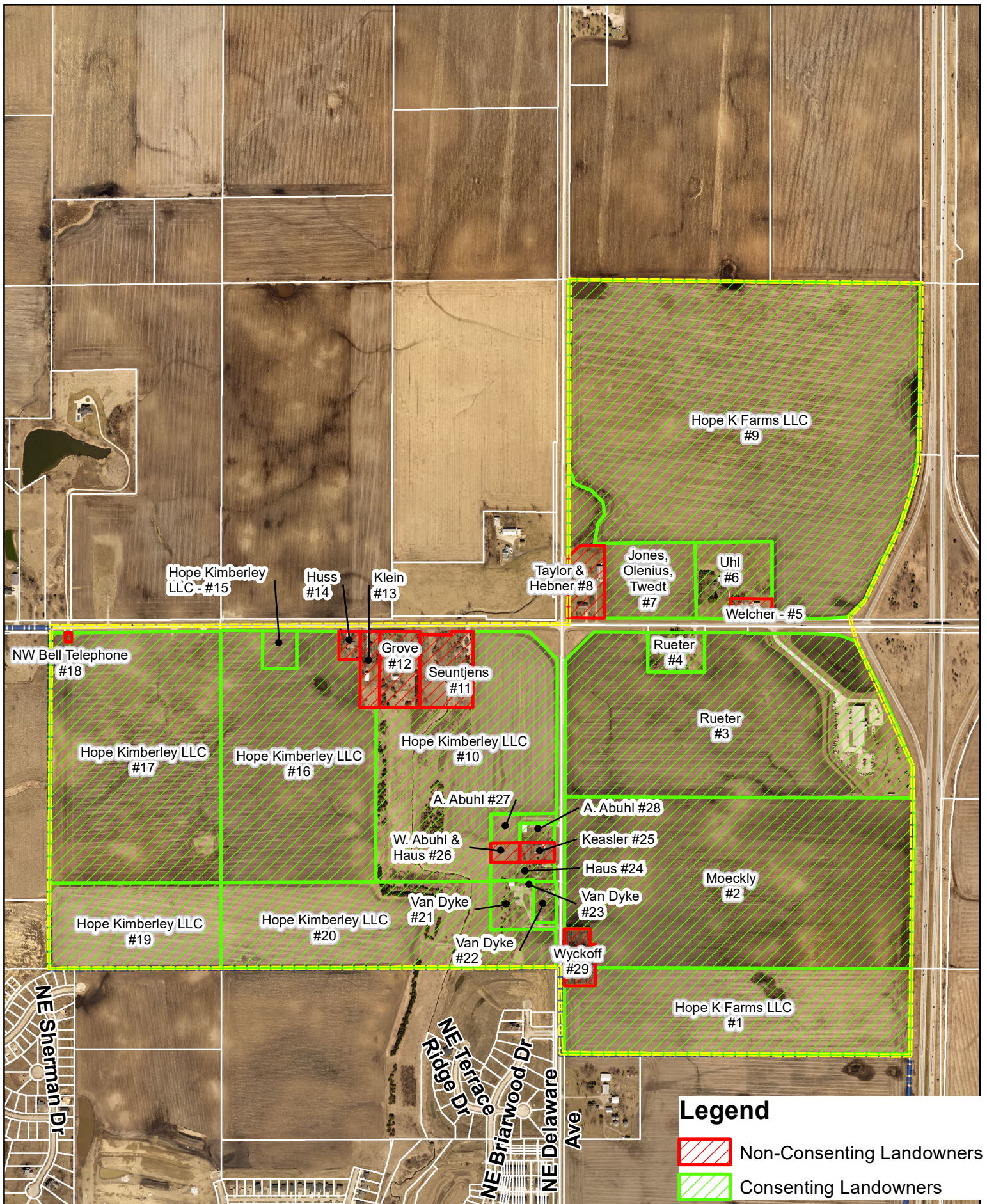
These two policy statements indicate that the City will rely on adopted policy documents and studies, such as the City's Comprehensive Plan and the recently adopted Sanitary Sewer Master Plan, when making decisions regarding the annexation of land and the extension of infrastructure. Further, the City will rely on tools such as the infrastructure extension requirements of the City's Subdivision Ordinance as well as financing mechanisms such as connection fee districts when making annexation decisions to encourage orderly growth. Again, as noted in this report previously, the subject area is adjacent to existing public infrastructure which can be extended to service the area. A large portion of the subject area is located within the Fourmile Creek Trunk Sewer Connection District which will provide for the extension of public sanitary sewer to serve much of the area.

Summary

The proposed annexation complies with the regulations of the Code of Iowa, is consistent with City of Ankeny's annexation policy and is identified as a future growth area in the Ankeny Plan 2040 Comprehensive Plan. Public utilities exist just to the south of this property, which can be extended to serve this area. Therefore, staff is recommending that the Plan and Zoning Commission recommend City Council approval of the annexation.







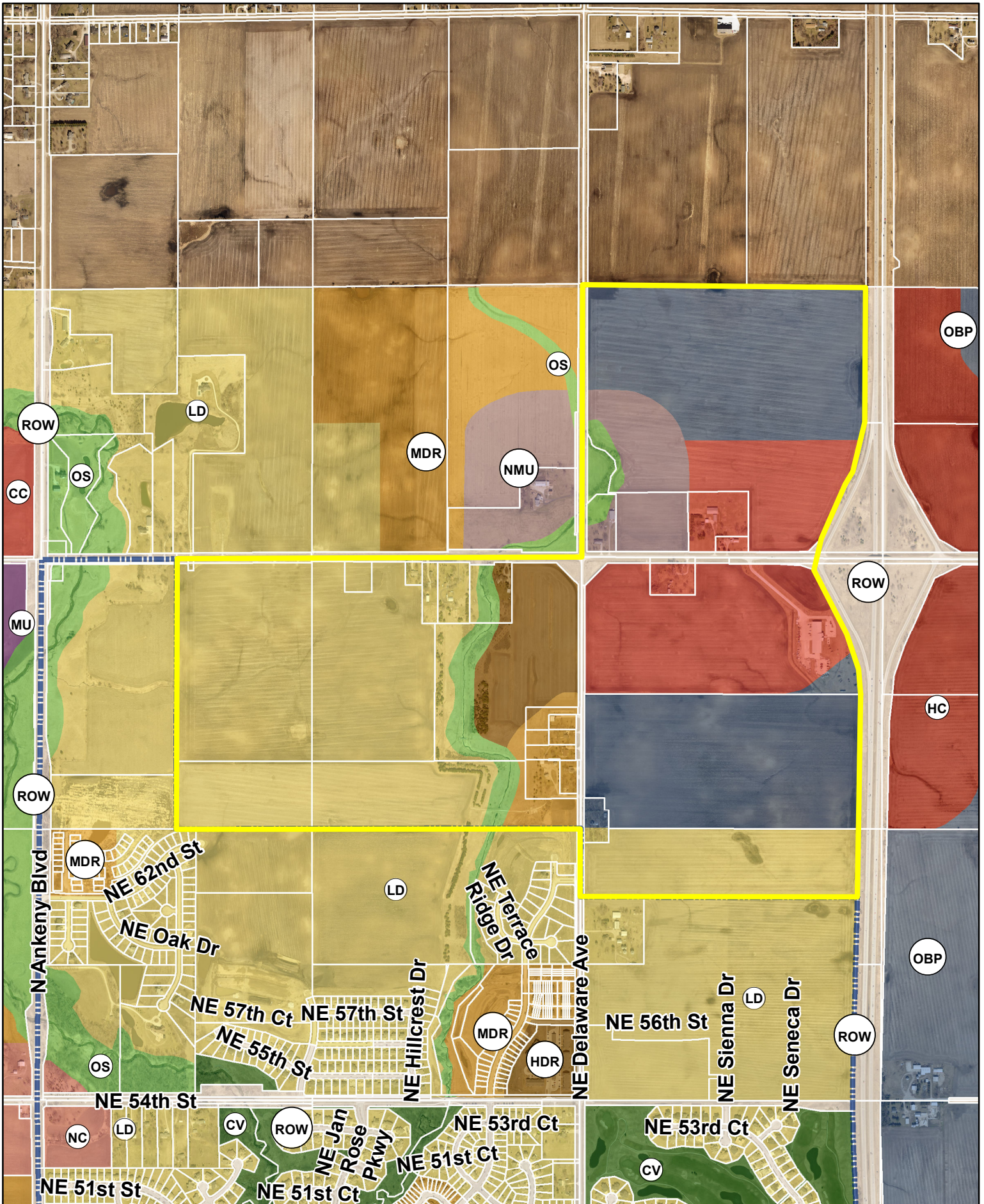
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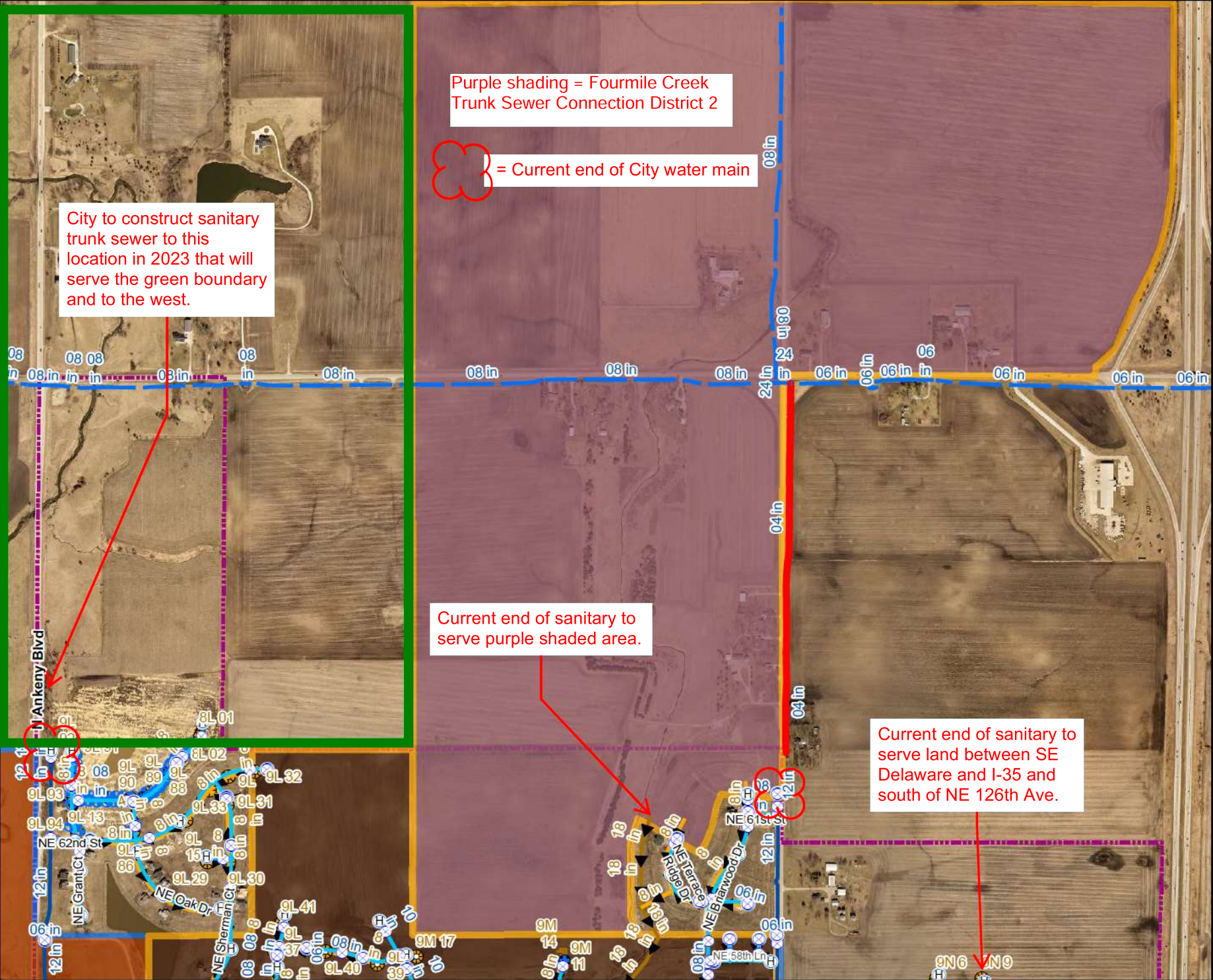


1 inch = 950 feet


Date: 3/17/2022

Hope Kimberley LLC Annexation Landowners





Purple shading = Fourmile Creek
Trunk Sewer Connection District 2

 = Current end of City water main

City to construct sanitary
trunk sewer to this
location in 2023 that will
serve the green boundary
and to the west.

Current end of sanitary to
serve purple shaded area.

Current end of sanitary to
serve land between SE
Delaware and I-35 and
south of NE 126th Ave.



Field Verification Required for Design.
Map is for Locational Purposes Only.

I

Resolution #2004-166

**A RESOLUTION ESTABLISHING A POLICY REGARDING THE
ANNEXATION OF LAND INTO THE CITY OF ANKENY, IOWA**

WHEREAS, the City Council of the City of Ankeny, Iowa has an adopted comprehensive plan to assist in guiding the future development of the city; and

WHEREAS, The City Council of the City of Ankeny believes it is in the best interest and well being of the City and it's residents to provide for the managed growth and planned expansion of the community in a manner that best utilizes the resources and capacity of the infrastructure systems and service delivery capabilities of the City;

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Ankeny, Iowa that the policy set out below should be and the same is hereby adopted in its entirety and shall be the policy of this City until amended or repealed by this Council.

Purpose

These annexation policies set forth a framework for managing the growth of the City of Ankeny. The primary goal of these policies is to ensure that adequate land is available to accommodate future growth while allowing for efficient delivery of public services in a manner that is most beneficial to the current and future citizens of the community. This goal will be further accomplished by adherence to the Ankeny Comprehensive Plan. The City will pursue the following annexation goals when reviewing proposed annexations.

Goals

1. Encourage future growth and development to locate within the City's corporate limits.
2. Encourage annexations where future growth and development have been planned for in the Ankeny Comprehensive Plan's Urban Growth Areas.
3. Establish "Adequate Public Services Policies" to encourage development in areas where it is most effective and efficient to provide public infrastructure, facilities and services.
4. Consider cost/benefit issues, when appropriate, for proposed annexations to determine public infrastructure staging and timing.
5. Inform the public of all annexation proceedings, in full accordance with state law.
6. Consider citizens' concerns during the annexation process.

Annexation Policy Statement

7. Ensure that residents and businesses outside a city's corporate limits that benefit from access to the city's facilities and services share the tax burden associated with constructing and maintaining those facilities and services.

Definitions

Adjoining—Territory next to, abutting, or touching and having a common boundary for not less than 50' of the existing city limits; territory may be adjoining although separated by a roadway or waterway.

"Adequate Public Services"—Services provided by and at a level established by the City Council as the standard within the community based upon location, development pattern, infrastructure capacity, timing and costs.

Ankeny Comprehensive Plan—The comprehensive plan for the City of Ankeny approved in December 2003. This comprehensive plan has two fundamental purposes. The first provides an essential legal basis for land use regulation, such as zoning and subdivision control. Secondly, the comprehensive plan presents a unified and compelling vision for the community derived from the aspirations of our citizens; and establishes the specific actions necessary to fulfill that vision.

Annexation—The addition of territory to the City of Ankeny.

Development Policy Tiers—A growth phasing strategy, which will help the City of Ankeny to implement a prudent growth management plan that adheres to the principles of Smart Growth.

Involuntary Annexation—The process by which territory is added to the city of Ankeny initiated solely by action of the Ankeny City Council without the consent of the owner and not included as a "non-petitioned" parcel in a larger voluntary annexation proceeding.

Non-Petitioned Parcel(s)—Territory included, without the consent of the owner, with a voluntary petition for annexation but not exceeding 20% of the total territory of the annexation.

Smart Growth—Land development principles that are profitable for developers, while being community-oriented, environmentally sensitive, and contributing to a fiscally strong local government.

Territory—The land area or areas proposed to be incorporated or annexed, whether or not contiguous to all other areas proposed for incorporation or annexation.

Annexation Policy Statement

Urban Growth Area—The area in and around Ankeny, which has been identified in the Ankeny Comprehensive Plan as the area, which will be influenced by the future growth of the community. Four development policy tiers are included in this area, including Tier I, Urbanized Area (existing development within the City), Tier II, Primary Urban Expansion Area, Tier III, Secondary Urban Expansion Area and Tier IV, Urban Reserve Area.

Urbanized Area—An area of land within two miles of the boundaries of the City of Ankeny. (Chapter 368.1 of the Code of Iowa)

Voluntary Annexation—The process by which territory is added to the city of Ankeny at the request of the owner and by action of the Ankeny City Council with the consent of the owner. With regard to the Code of Iowa section 368.7 a voluntary annexation may include territory comprising not more than 20% of the land area without the consent of the owners and still be considered a voluntary annexation.

Annexation Policies

A. General Policies

1. The City of Ankeny will pursue annexation of adjoining territory within its urban growth area using appropriate methods allowed under state law.
2. The City of Ankeny will pursue annexations that add to the economic stability of the city, protect and enhance its quality of life, and protect its environmental resources.
3. The City of Ankeny will utilize, proactively, the tool of annexation, prior to development, to control the type, quality and location of development in areas currently outside the city limits.
4. The City of Ankeny will pursue annexations that promote orderly growth and preserve the City's fiscal position.
5. The City of Ankeny will consider annexation as a means of managing growth and establishing land use controls to protect against incompatible development of property.

B. Unincorporated Islands and Peninsulas

1. Ankeny will actively encourage annexation of unincorporated islands within its current corporate limits.
2. Ankeny will not allow annexations, which create islands of unincorporated land and/or peninsulas and to the extent possible, will establish regular boundaries for annexations.
3. Ankeny will approve annexations that lessen the size of existing unincorporated islands or peninsulas if it is not feasible to annex the entire island or peninsula.

Annexation Policy Statement

C. Municipal Boundaries

1. To maintain efficient city service provision, Ankeny will discourage annexations that would result in irregular city boundaries. Where possible boundaries will follow street centerlines or intersections.
2. Annexations will include the largest practicable area contiguous to the city limits that still results in logical city boundaries.
3. The City of Ankeny will consider annexation of an area in the immediate path of growth to prevent undesirable development patterns.
4. The City of Ankeny will consider annexation of an area to increase the quality of life, upgrade utility facilities, and provide the necessary services to meet the specific needs of the residents in the unincorporated areas of the Development Policy Tiers.
5. The City of Ankeny will accept and encourage voluntary petitions for the inclusion of territory into the city limits and will work to maximize voluntary annexation boundaries using the legal authority granted by the State of Iowa to add non-petitioned territory to the voluntary annexation. Non-petitioned parcel(s) will not exceed 20% of the total area of the annexation as allowed by Chapter 368.7 of the Code of Iowa.

D. Comprehensive Planning and Zoning

1. Ankeny will consider annexations within the urban growth area established in the Ankeny Comprehensive Plan.
2. Ankeny may consider annexations outside of the urban growth area established in the Ankeny Comprehensive Plan only if the City Council determines that said areas are in accordance with the goals of the Ankeny Comprehensive Plan.

E. Extension of Services

1. Ankeny will support extensions of public water and sewer services within the urban growth area that are consistent with the following, as applicable: the Ankeny Comprehensive Plan, the 2002 Water System Facility Plan; the Wastewater Reclamation Authority (WRA) 28-E Agreement; and the Des Moines Water Works (DMWW) 28-E Agreement and applicable studies authorized and/or adopted by the Ankeny City Council.
2. Owners of unincorporated properties must agree to annex in order to receive City water or sewer service. If the properties are contiguous to the city limits at the time of service provision, and are configured in a manner that conforms to annexation policies, said annexation will be considered immediately.

Annexation Policy Statement

3. In order to receive City water or sewer service, the owners of unincorporated properties not required to annex, at the time of service provision, will be required to sign an annexation petition which runs with the land and binds the property for future annexation when said annexation is determined appropriate by the City Council.

Ankeny will consider the existing boundaries of special purpose districts when reviewing annexation proposals. Affected districts will be notified and provided an opportunity to comment on annexation proposals.

4. The City of Ankeny will oppose the creation of special purpose districts and water or wastewater utilities within the unincorporated areas of the Development Policy Tiers, unless the City determines it cannot provide the necessary services.
5. The City of Ankeny will use development policies such as utility extension policies and development fees to encourage growth consistent with the City's ability to effectively manage such growth.

Public Services Cost/Benefit Analysis

The Ankeny City Council may request that the City Manager on any annexation proposal obtain a cost/benefit analysis related to public services. Such a cost/benefit analysis may be used by the City Council as a guideline for determining the phasing and funding sources for the provision of adequate public services.

Public Information

The City of Ankeny will make available to any interested person annexation information sheets that explain the process and benefits of annexing into Ankeny. All annexation proceedings will be conducted in full accordance with state law, including at least one public hearing.

DATED this 7th day of June, 2004.

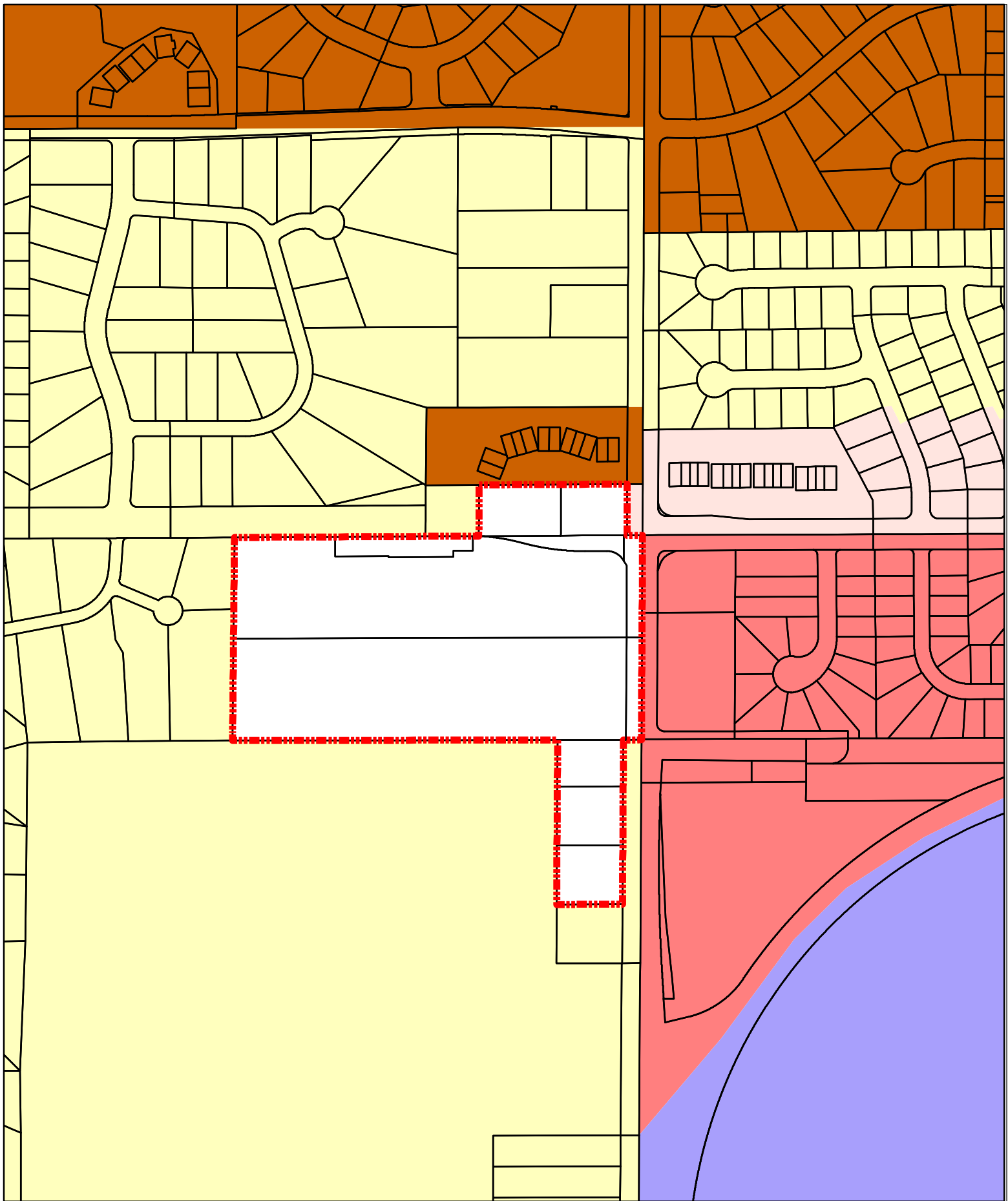
CITY OF ANKENY, IOWA

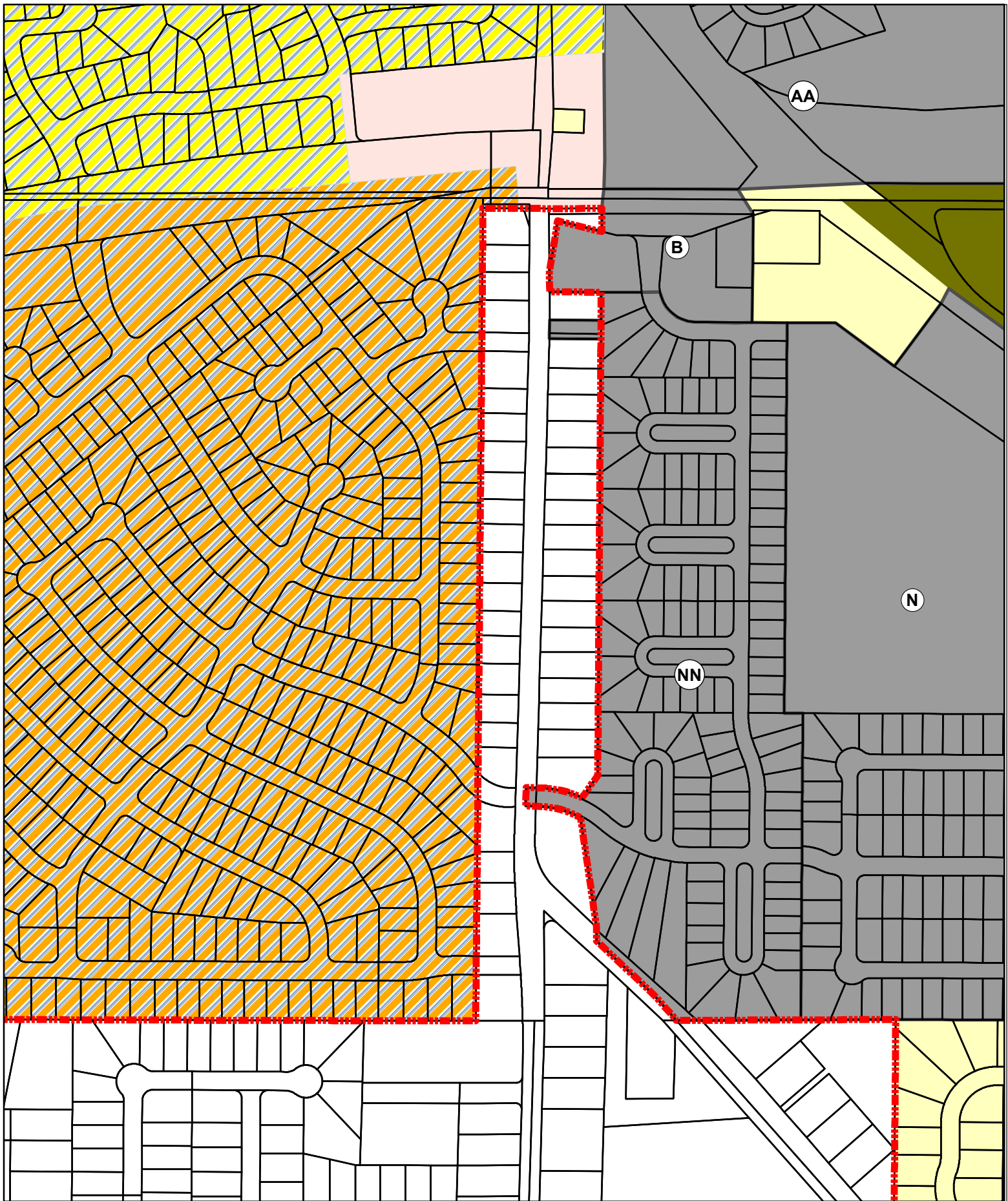
By: Merle O. Johnson
Merle O. Johnson, Mayor

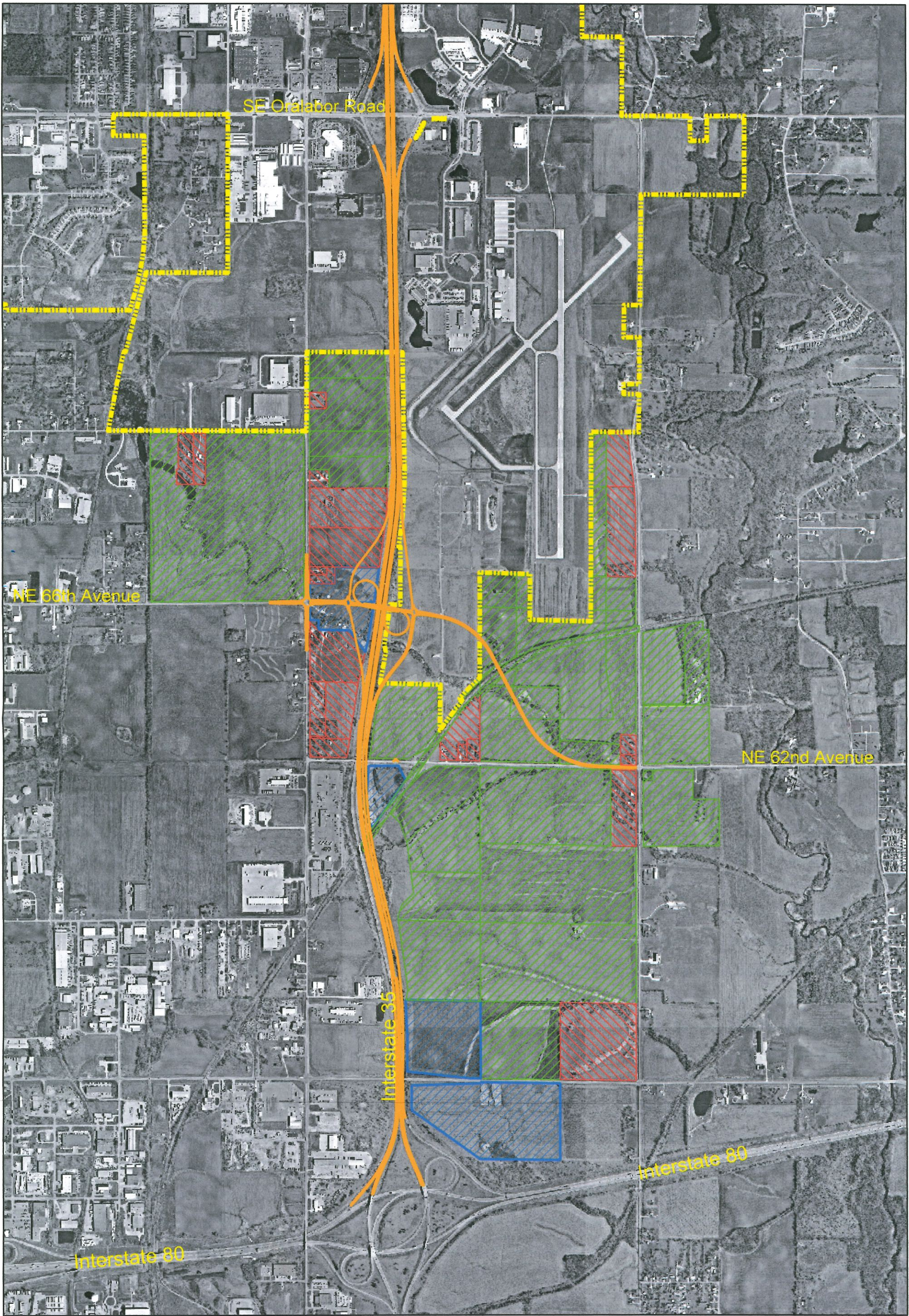
ATTEST:

By: Pamela DeMouth

Pamela DeMouth, City Clerk







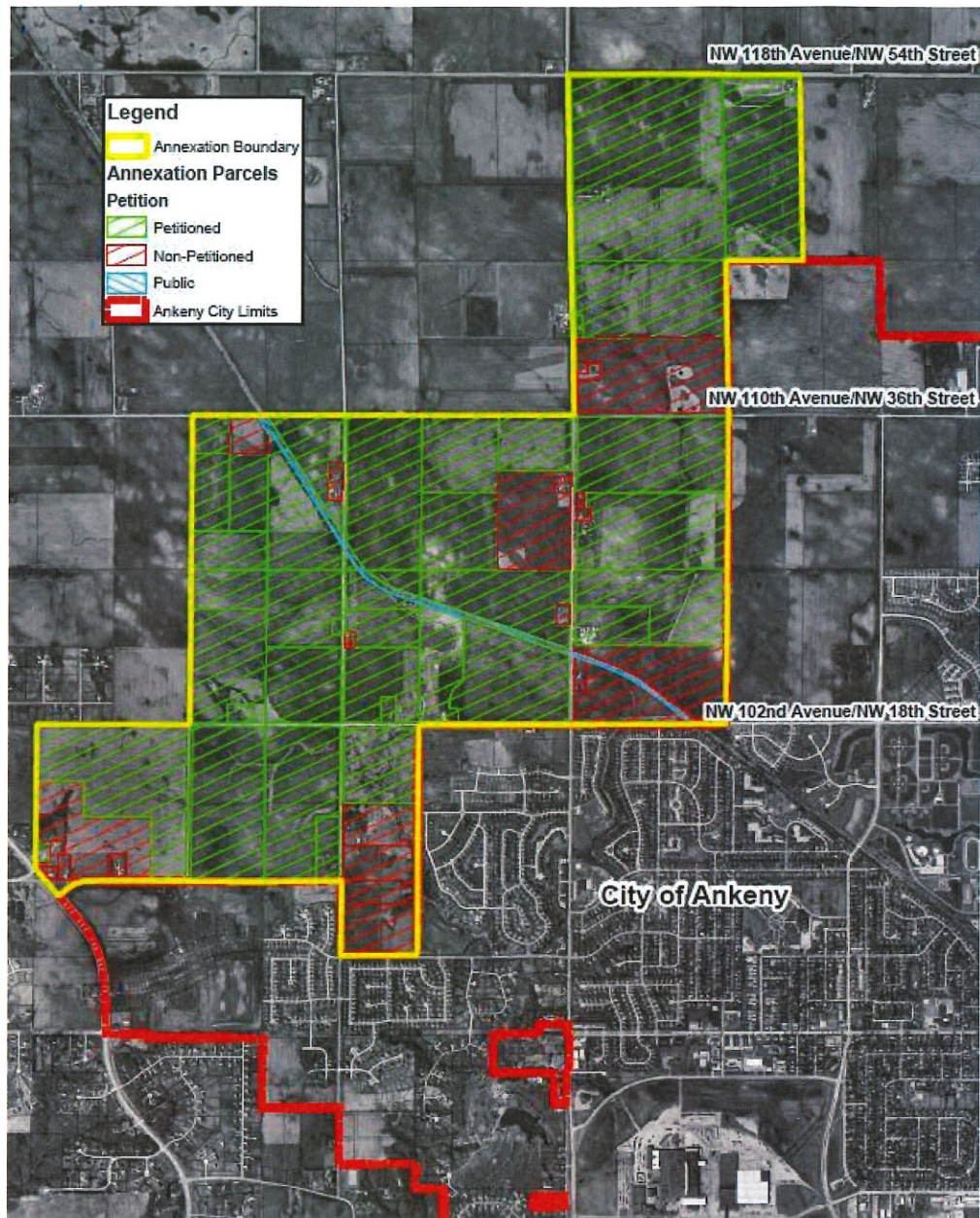
- Petition Received
- Government Agency
- Non-petitioned (Included under 80/20)
- Ankeny Corporate Limit

City of Ankeny
SE Growth Area
Annexation

1 inch equals 1,500 feet

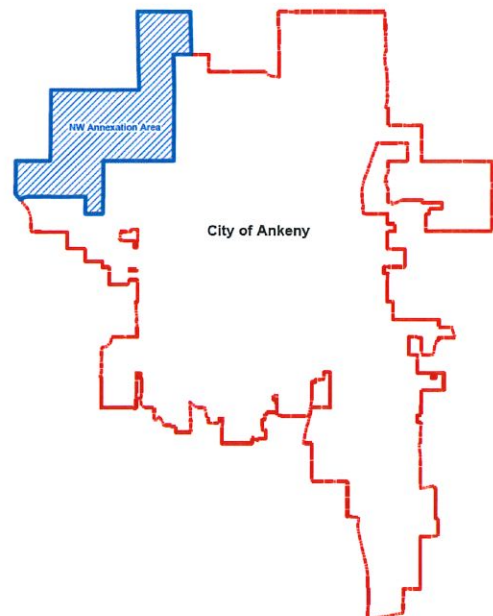


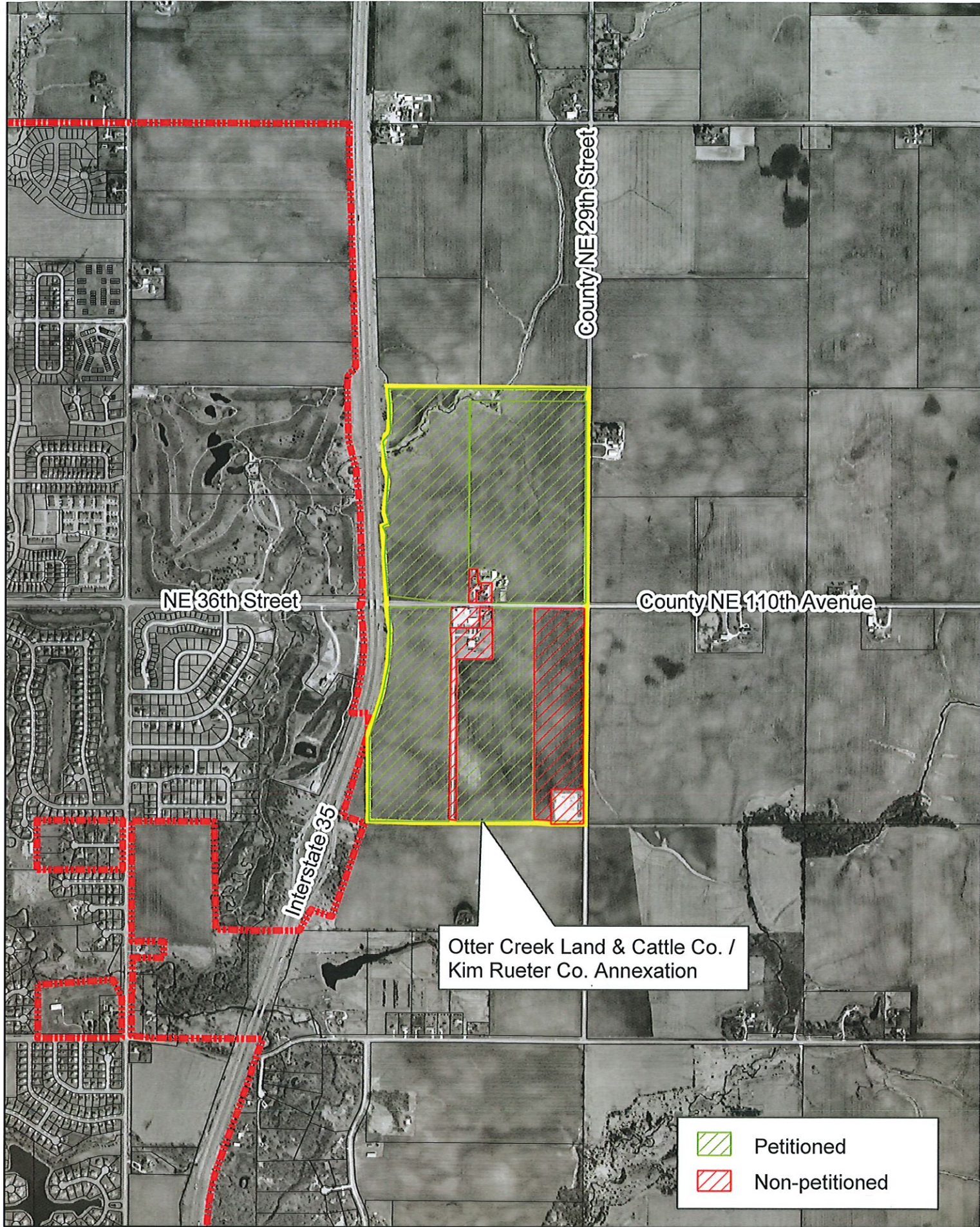
City of Ankeny, Iowa
Community Development Department
210 South Ankeny Boulevard
Ankeny, IA 50021
(515)963-3550 - (515)963-3535 fax





2007 Northwest Voluntary Annexation of Petitioned and Non-Petitioned Property

Questions? Contact:
Eric Jensen
Development Administrator
Community Planning & Building Dept.
City of Ankeny
515-963-3547
ejensen@ci.ankeny.ia.us





Otter Creek Land & Cattle Co. /
Kim Ruefer Co. Annexation

-  Petitioned
-  Non-petitioned

↑
N
1 inch equals 1,500 feet

City of Ankeny

City of Ankeny, Iowa
Community Development Department
210 South Ankeny Boulevard
Ankeny, IA 50021
(515)963-3550 - (515)963-3535 fax