



## Meeting Agenda

### Plan and Zoning Commission

**Tuesday, December 20, 2022**

**6:30 PM**

**Ankeny City Council Chambers**

**1250 SW District Drive, Second Floor, Ankeny, Iowa**

Glenn Hunter, Chair

Ted Rapp, Vice Chair

Trina Flack  
Randall Weisheit

Lisa West

Annette Renaud  
Todd Ripper

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*Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.*

#### **CALL TO ORDER:**

#### **A. ROLL CALL:**

#### **B. AMENDMENTS TO AGENDA:**

Consider MOTION to approve and accept the December 20, 2022 agenda with/without amendments.

#### **C. COMMUNICATIONS:**

#### **D. CITIZEN'S REQUEST:**

#### **E. CONSENT AGENDA ITEMS:**

##### **1. Minutes**

Consider MOTION to approve and accept the December 6, 2022 minutes of the Plan and Zoning Commission meeting.

**2. 1001 SW Ordnance Road - Aim High Automotive Site Plan**

Consider MOTION to approve the site plan for 1001 SW Ordnance Road, Aim High Automotive, subject to City Council approval of the public storm sewer vacation, public ingress/egress easement vacation, and replacement public storm sewer easement.

**3. 1509 N Ankeny Boulevard - Earl May Nursery and Garden Center Greenhouse Addition Site Plan**

Consider MOTION to approve the site plan for 1509 N Ankeny Boulevard, Earl May Nursery and Garden Center Greenhouse Addition.

**4. 2006 S. Ankeny Boulevard - DMACC ISO Rated Facility Site Plan**

Consider MOTION to approve the site plan for 2006 S. Ankeny Boulevard, DMACC ISO Rated Facility.

**Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #4.**

**F. REMOVED CONSENT AGENDA ITEMS:**

**G. PUBLIC HEARINGS:**

*Public Hearings are held during Plan and Zoning's regular meetings. The Chairperson opens the hearing with a statement of the subject being considered and asks if there is anyone present who wishes to speak for or against the proposed item. The Chairperson may require a time limit on the number of minutes each member of the public may speak, normally five minutes. Members of the public who wish to speak will be requested to step forward to the podium and must state their name and address. At the conclusion of all public testimony and questions and comments from the Commission on a subject, the public hearing will be closed and the item will be placed on the next agenda for the next regular meeting. At that meeting City Staff will present their report and the Commission will deliberate and act on the subject.*

**H. BUSINESS ITEMS:**

**5. Hubbell Realty Company, on behalf of NGR, Inc., request to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District**

Consider MOTION to recommend City Council approval of the request by Hubbell Realty Company, on behalf of NGR, Inc., to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District.

**6. Request to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map for property owned by Bricktowne Piper LC., from High Density Residential to Neighborhood Commercial.**

Consider MOTION to recommend City Council approval of the request by Bricktowne Piper LC., to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by Bricktowne Piper LC., from High Density Residential to Neighborhood Commercial.

**7. Bricktowne Piper LC., request to rezone property from R-3 Multiple Family Residence District to C-2, General Retail and Highway Oriented Business District.**

Consider MOTION to recommend City Council approval of the request by Bricktowne Piper LC., to rezone property from R-3 Multiple Family Residence District to C-2, General Retail and Highway Oriented Business District.

**I. OLD BUSINESS:**

**J. REPORTS:**

1. December 19, 2022 City Council Report - Staff

2. Director's Report

Tentative agenda items for January 4, 2023

Public Hearing(s): Set hearing for January 4, 2023 at 6:30 p.m. to consider:

- Request by NGR, Inc. to rezone property from R-1 to M-1.

3. Commissioner's Reports

**K. MISCELLANEOUS ITEMS:**

January 3, 2023 - 5:30 p.m. City Council Representative: Staff

**L. ADJOURNMENT:**

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION  
December 20, 2022  
6 : 30 PM

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ORIGINATING DEPARTMENT:  
Planning and Building

COUNCIL GOAL:  
Ensure Economic Vitality

ACTION REQUESTED:  
Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

**Action:** Consider MOTION to approve and accept the December 6, 2022 minutes of the Plan and Zoning Commission meeting.

ADDITIONAL INFORMATION:

ATTACHMENTS:

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## **Meeting Minutes**

### **Plan & Zoning Commission Meeting**

Tuesday, December 6, 2022

Ankeny City Council Chambers, Second Floor  
1250 SW District Drive, Ankeny, Iowa

#### **CALL TO ORDER**

Chair G.Hunter called the December 6, 2022 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

#### **ROLL CALL**

Members present: Glenn Hunter, Trina Flack, Annette Renaud, Ted Rapp, Todd Ripper, Lisa West and Randy Weisheit. Staff present: E.Jensen, E.Carstens, B.Morrissey, R.Kirschman, B.Fuglsang

#### **AMENDMENTS TO THE AGENDA**

Motion by T.Flack to approve the December 6, 2022 agenda without amendments. Second by L.West. All voted aye. Motion carried 7 – 0.

#### **COMMUNICATIONS**

There were no communications.

#### **CITIZEN'S REQUEST**

There were no requests.

#### **CONSENT AGENDA ITEMS**

##### **Item #1. Minutes**

Motion to approve and accept the November 22, 2022 minutes of the Plan and Zoning Commission meeting.

Motion by T.Flack to approve the recommendations for Consent Agenda Item #1. Second by T.Ripper. All voted aye. Motion carried 7 – 0.

#### **PUBLIC HEARINGS**

##### **Item #2. Hubbell Realty Company, on behalf of NGR, Inc., request to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District**

G.Hunter opened the public hearing.

B.Morrissey reported that the applicant, Hubbell Realty Company, on behalf of NGR, Inc., is requesting to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District. He stated the area subject to the proposed rezoning consists of one parcel and totals approximately 16.74 acres and is generally located north of SE Corporate Woods Drive and immediately west of SE Four Mile Drive. The property is currently zoned R-1, One-Family Residence District, a zoning classification that was assigned to the property when it was annexed into Ankeny. He shared that the surrounding properties to the north, south, and east are zoned M-1, Light Industrial District, while the property to the west is zoned U-1, Conservation and Public Utility District. The proposed rezoning aligns with the Ankeny Plan 2040 Future Land Use Map. B.Morrissey noted that the applicant has submitted the required rezoning petitions and all legal notifications for the rezoning have been met. Staff will provide a complete staff report at the next Plan and Zoning Commission meeting.

The applicant/representative had nothing further to share with the Commission.

There was no one in the audience to speak for or against the request.

Motion by T.Flack to close the public hearing, receive and file documents. Second by A.Renaud. All voted aye. Motion carried 7 – 0.

**Item #3. Request to amend The Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map for property owned by Bricktowne Piper, LC from High Density Residential to Neighborhood Commercial use classification**

**Item #4. Bricktowne Piper, LC request to rezone property from R-3, Multiple-Family Residence District to C-2, General Retail and Highway Oriented Business District**

G.Hunter opened the public hearing.

R.Kirschman reported Bricktowne Piper, LC is requesting an amendment to The Ankeny Plan 2040, Comprehensive Plan, Figure 12.10 Ankeny Future Land Use Plan Map and to rezone 4.23-acres of an 8.04-acre parcel located west of N Ankeny Boulevard and north of NW Reinhart Drive. He stated the current future land use designation is High Density Residential and the owner is proposing to modify this to Neighborhood Commercial. R.Kirschman stated that the rezoning request is to rezone the subject parcel from R-3, Multiple-Family Residence District to C-2, General Retail and Highway Oriented Business District. He noted that the applicant submitted the required rezoning petitions and all legal notifications were met for both the Land Use Plan amendment and rezoning request. Staff will present a complete staff report at the next Plan and Zoning Commission meeting.

T.Flack inquired as to why the property was originally identified as High Density Residential. E.Carstens said that the property has been zoned for multi-family for about twenty years; and therefore, identified that way when The Ankeny Plan 2040 was adopted. T.Flack then confirmed that the surrounding residents were notified of these two requests. R.Kirschman stated, yes.

Erin Ollendike, Civil Design Advantage, 4121 NW Urbandale Drive, Urbandale representing the developer of the project said she would answer any questions the Commission may have.

T.Flack inquired if there was a plan for the property. Erin Ollendike said there is nothing yet confirmed. R.Weisheit asked about access for this property. E.Carstens stated that there will be defined access points for this property, which would not include N Ankeny Boulevard.

Lyle Terhar, 611 NW Reinhart Drive, Ankeny said that in his neighborhood they already have buildings that are not pleasant to the surrounding neighborhood. His concern is the traffic, as NW Reinhart Drive has become a thruway now that it runs all the way to NW State Street. He feels this request would just exacerbate the problem. Lyle Terhar commented that he prefers not to have another gas station or bank near him and feels the empty farmland provides an opportunity for something more useful for the community. He asked about the next steps in this process.

G.Hunter explained the steps to Mr. Terhar that will need to take place for the Land Use Map amendment and the rezoning request to be approved. He further shared that these items will be on the next Plan and Zoning Commission meeting on December 20, 2022, which is when the Commission would make a recommendation to the City Council. He further stated the City Council makes the final decision.

T.Flack wanted to be clear, and stated that the comprehensive plan currently shows the property as being High Density Residential, which could be apartments. This request from the applicant is to change the High-Density Residential zoning to Neighborhood Commercial, which would be lower density.

Lyle Terhar responded saying that maybe there are positive commercial ideas for this property, but he worries about NW Reinhart Drive being a higher traffic area than it already is.

Motion by R.Weisheit to close the public hearing on the amendment to The Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map; and receive and file documents. Second by T.Flack. All voted aye. Motion carried 7 – 0.

Motion by T.Rapp to close the public hearing on the request to rezone property from R-3, Multiple-Family Residence District to C-2, General Retail and Highway Oriented Business District; and receive and file documents. Second by L.West. All voted aye. Motion carried 7 – 0.

#### **BUSINESS ITEMS**

There were no business items.

#### **REPORTS**

##### **City Council Meeting**

E.Jensen reported on the December 5, 2022 City Council meeting.

##### **Director's Report**

E.Jensen presented the tentative agenda items for the December 20, 2022 Plan and Zoning Commission meeting and presented the November 2022 Building Permit Report.

##### **Commissioner's Reports**

T.Ripper asked if there is any movement with the Northern Tool project. E.Jensen stated, none at this time.

#### **MISCELLANEOUS ITEMS**

December 19, 2022 – 5:30 p.m. City Council Meeting Representative: Staff

#### **ADJOURNMENT**

There being no further business, T.Rapp motioned to adjourn. The meeting adjourned at 6:53 p.m.



Submitted by Brenda Fuglsang, Secretary  
Plan & Zoning Commission



PLAN AND ZONING COMMISSION  
December 20, 2022  
6 : 30 PM

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ORIGINATING DEPARTMENT:  
Planning and Building

COUNCIL GOAL:

ACTION REQUESTED:  
Motion

LEGAL:

SUBJECT:  
1001 SW Ordinance Road - Aim High Automotive Site Plan

EXECUTIVE SUMMARY:  
See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:






PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:  
**Action:** Consider MOTION to approve the site plan for 1001 SW Ordinance Road, Aim High Automotive, subject to City Council approval of the public storm sewer vacation, public ingress/egress easement vacation, and replacement public storm sewer easement.

ADDITIONAL INFORMATION:

## ATTACHMENTS:

Click to download
 <a href="#">Aerial Map</a>
 <a href="#">Staff Report</a>
 <a href="#">Applicant Letter</a>
 <a href="#">Site Plan</a>
 <a href="#">Building Elevations</a>



N



1 inch = 75 feet

Date: 11/8/2022

**1001 SW Ordinance Road**  
**Aim High Automotive**

 **Ankeny**  
*bringing it all together.*



*Plan and Zoning Commission  
Staff Report*

*Meeting Date: December 20, 2022*

**Agenda Item:** 1001 SW Ordinance Road – Aim High Automotive – Site Plan  
**Report Date:** December 14, 2022  
**Prepared By:** Derek Silverthorn *ESC*  
Associate Planner

**Staff Recommendation:**

That the Plan and Zoning Commission approve the site plan for 1001 SW Ordinance Road, Aim High Automotive, subject to City Council approval of the public storm sewer vacation, public ingress/egress easement vacation, and replacement public storm sewer easement.

**Project Summary:**

The property at 1001 SW Ordinance Road is located south of SW Ordinance Road and west of SW Des Moines Street, on Lot 1, John Deere Place Plat 4 and Outlot Z, John Deere Place Plat 5. The 0.62-acre site is zoned M-1, Light Industrial District; and is surrounded by properties to the south, east, and west which are zoned the same, while properties to the north are zoned R-2, One-Family and Two-Family Residence District. The proposed development includes a 2,100 square-foot building addition to the west of the existing 3,024 square-foot building, new pavement for drive aisles and 16 additional parking stalls, landscaping, storm sewer, and associated site improvements.

**Project Report:**

The site will maintain its existing access from SW Ordinance Road, and the existing pavement will be expanded to accommodate 16 new parking stalls along the eastern portion of the site and access to the new building addition. Headlight screening is provided along SW Ordinance Road and SW Des Moines Street, and sufficient pavement shading and open space landscaping is provided throughout the site.

The site will maintain its existing water main and sanitary sewer connections with six-inch water main and six-inch sanitary sewer provided along SW Ordinance Road. The existing 15-inch and 30-inch storm sewer along the south and west portions of the site will be rerouted to accommodate the new building addition. The portion of the existing public storm sewer easement that conflicts with the proposed building addition is currently under consideration to be vacated by City Council, and a relocated public storm sewer easement will be provided to avoid the proposed building addition. Stormwater for the proposed development will continue to be directed southwesterly off-site through the 30-inch storm sewer, ultimately outletting into Saylor Creek.

The proposed 2,100 square-foot building addition will be a single story with a maximum height of 23'5" to the uppermost point—four feet taller than the existing 3,024 square-foot portion of the building. The building addition provides three bay doors for interior automotive repair, and meets the required building material standards with a stone base and board and batten metal panels. The building provides eight additional interior parking spaces, totaling 24 parking spaces provided on-site. The building and site otherwise generally conform to all other applicable requirements.

**Site Plan Worksheet  
1001 SW Ordnance Road  
Aim High Automotive**

The site plan regulations in the zoning ordinance have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

**A. Site Development**

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The site will maintain its existing access from SW Ordnance Road, and the existing pavement will be expanded to accommodate 16 new parking stalls along the eastern portion of the site and access to the new building addition.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan generally conforms with the open space and parking requirements of the Code, and enhances the existing streetscape along SW Ordnance Road.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site will maintain its existing access from SW Ordnance Road, and the existing pavement will be expanded to accommodate new parking stalls along the eastern portion of the site and access to the new building addition. No sidewalks are provided with this development. The ADA accessible parking stall will have a painted crosswalk leading to the entrance of the building.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The site will maintain its existing access from SW Ordnance Road, and the existing pavement will be expanded to accommodate new parking stalls along the eastern portion of the site and access to the new building addition.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

The proposed parking stalls along the eastern portion of the site will have headlight screening provided along the SW Ordnance Road and SW Des Moines Street frontages.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

There is no new trash enclosure or other outdoor storage area proposed on this site.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

- 8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Site lighting will be directed away from adjoining property and downward.

- 9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

The existing 15-inch and 30-inch storm sewer along the south and west portions of the site will be rerouted to accommodate the new building addition. The portion of the existing public storm sewer easement that conflicts with the proposed building addition is currently under consideration to be vacated by City Council, and a relocated public storm sewer easement will be provided to avoid the proposed building addition. Stormwater for the proposed development will continue to be directed southwesterly off-site through the 30-inch storm sewer, ultimately outletting into Saylor Creek.

- 10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The site will maintain its existing water main and sanitary sewer connections with six-inch water main and six-inch sanitary sewer provided along SW Ordinance Road.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The site provides 44% of open space, and does not detract from the existing streetscape along SW Ordinance Road and SW Des Moines Street.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

Headlight screening is provided along SW Ordinance Road and SW Des Moines Street, and required pavement shading and open space landscaping is provided throughout the site.

## **B. Building Design**

- 1. Buildings shall have good scale and maintain or enhance the established scale of neighboring buildings and sites.**

The proposed 2,100 square-foot building addition will be a single story with a maximum height of 23'5" to the uppermost point—four feet taller than the existing 3,024 square-foot portion of the building. The scale and position of the proposed building is appropriate for its proximity to neighboring residential properties.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The building addition meets the required building material standards with a stone base and board and batten metal panels, and is characteristic of similar uses along SW Ordnance Road.

**All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There is no rooftop mechanical equipment or other work areas to be screened on this site.

- 3. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

There is only one proposed building on this site, and the submitted elevations are compatible with adjacent development.

## **C. Signs**

- 1. All signs shall have good scale and proportion in relationship to its site and function, as well as the signage and use of neighboring properties.**

There are no signs shown on the submitted plans; however, any proposed sign designs and allowances will be determined with future sign permits.

- 2. Building signs shall be designed as an integral architectural element of the building.**

There are no building signs shown on the submitted plans; however, any proposed sign designs and allowances will be determined with future sign permits.

- 3. Ground signs shall be designed to provide elements compatible with the building design and architectural elements.**

There are no new ground signs shown on the submitted plans; however, any proposed sign designs and allowances will be determined with future sign permits.

4. **Each sign shall be designed in a manner not to compete for attention with signs on adjoining premises.**

All signs submitted for permit in the future shall comply with Chapter 195: Signs.

#### **D. Factors for Evaluation**

**The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:**

1. **Conformance to Design Standards and other applicable code requirements.**

The submitted plans generally conform to the written regulations of the City.

2. **Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The building meets all setbacks required by Code, and is appropriate in relation to adjacent development.

3. **Layout and utilization of building, parking, driveways, and open spaces.**

The site will maintain its existing access from SW Ordinance Road, and the existing pavement will be expanded to accommodate new parking stalls along the eastern portion of the site and access to the new building addition. Open space is provided around the perimeter of the site, and does not detract from the existing streetscape along SW Ordinance Road and SW Des Moines Street.

4. **Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**

The proposed 2,100 square-foot building addition will be a single story with a maximum height of 23'5" to the uppermost point—four feet taller than the existing 3,024 square-foot portion of the building. The building addition provides three bay doors for interior automotive repair, and meets the required building material standards with a stone base and board and batten metal panels. The proposed scale and building materials complement adjacent development along SW Ordinance Road.

5. **Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**

It appears that the impacts on these utility systems can be accommodated adequately.



November 22, 2022

City of Ankeny  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50023

**RE: Aim High Automotive Addition Site Plan  
Approval Letter**

Planning and Building Director, Planning and Zoning Commission, and Honorable Mayor and Members of the City Council:

On behalf of Aim High Automotive, LLC, we asking for your approval of the site plan for the Aim High Automotive Addition located at 1001 SW Ordinance Road. This property consists of two parcels and is a total of 0.62 acres

The owner proposes to add a 2,100 square foot addition to the west of the existing 3,000 sf auto repair shop. Parking and pavement improvements are also proposed with the project. A portion of public storm sewer is proposed to be re-routed that is currently within the footprint of the expansion.

We respectfully request the City's review and approval of the site plan to allow the project to proceed. If you should have any questions or require any additional information, please feel free to contact me to discuss such items further.

Thank you very much for your time and consideration.

Sincerely,

**Adam Schoeppner, PLS**  
**NILLES ASSOCIATES, INC.**

# AIM HIGH AUTOMOTIVE ADDITION

## 1001 SW ORDNANCE ROAD, ANKENY, IOWA

### SITE PLAN

#### NAI #22151



#### EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

#### SPECIFICATION REFERENCE

THE 2022 IOWA SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE CITY OF ANKENY STANDARD SPECIFICATIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

#### LEGEND

Existing / Proposed	Existing / Proposed	Address
IR	Round iron rebar	1234
IP	Round iron pipe	1234
PCC	Portland cement concrete	Address
ACC	Asphaltic cement concrete	Spot elevation
FL	Pipe flowline elevation	Sanitary sewer manhole
RCP	Reinforced concrete pipe	Cleanout
CMP	Corrugated metal pipe	Storm sewer manhole
CPP	Corrugated plastic pipe	Storm sewer intake
PVC	Polyvinyl chloride pipe	Storm sewer beehive
CIP	Cast iron pipe	Flared end section
BB	Back of curb to back of curb	Water hydrant
P.U.E.	Public utility easement	Water valve
I.E.E.	Ingress & Egress easement	Water service shut-off
M.E.C.	MidAmerican Energy Company	Water main manhole
S.S.E.	Sanitary Sewer easement	Monitoring well
S.T.S.E.	Storm Sewer easement	Yard hydrant
S.W.F.E.	Surface water flowage easement	Well
W.E.	Water main easement	Gas meter
	Subject boundary line	Gas valve
	Section line	Air conditioning unit
	Proposed boundary line	Electric manhole
	Existing boundary line	Electric meter
	Future boundary line	Electric pedestal
	Underlying boundary line	Electric transformer
	Proposed easement line	Utility hand hole
	Existing easement line	Utility pole
	Setback line	Utility pole with light
	Barbed wire fence line	Light pole
	Chain-link fence line	Ground up light
	Straw Wattle	Guy wire
	Silt fence	Traffic signal
	Sanitary sewer & size	Traffic signal with light
	Storm sewer and size	Traffic manhole
	Water main and size	Communication pedestal
	Gas main & size	Telephone booth
	Overhead electric & wires	TV pedestal
	Overhead communication	Billboard sign
	Underground electric	Street sign
	Underground television	Down spout
	Underground communication	Tree shrub
	Contour elevation	Deciduous tree
	Swale flowline	and trunk diameter
	Edge of water	Coniferous tree
	Edge of tree dripline	and trunk diameter
	Construction limits	
	Construction fence	

#### BENCHMARKS

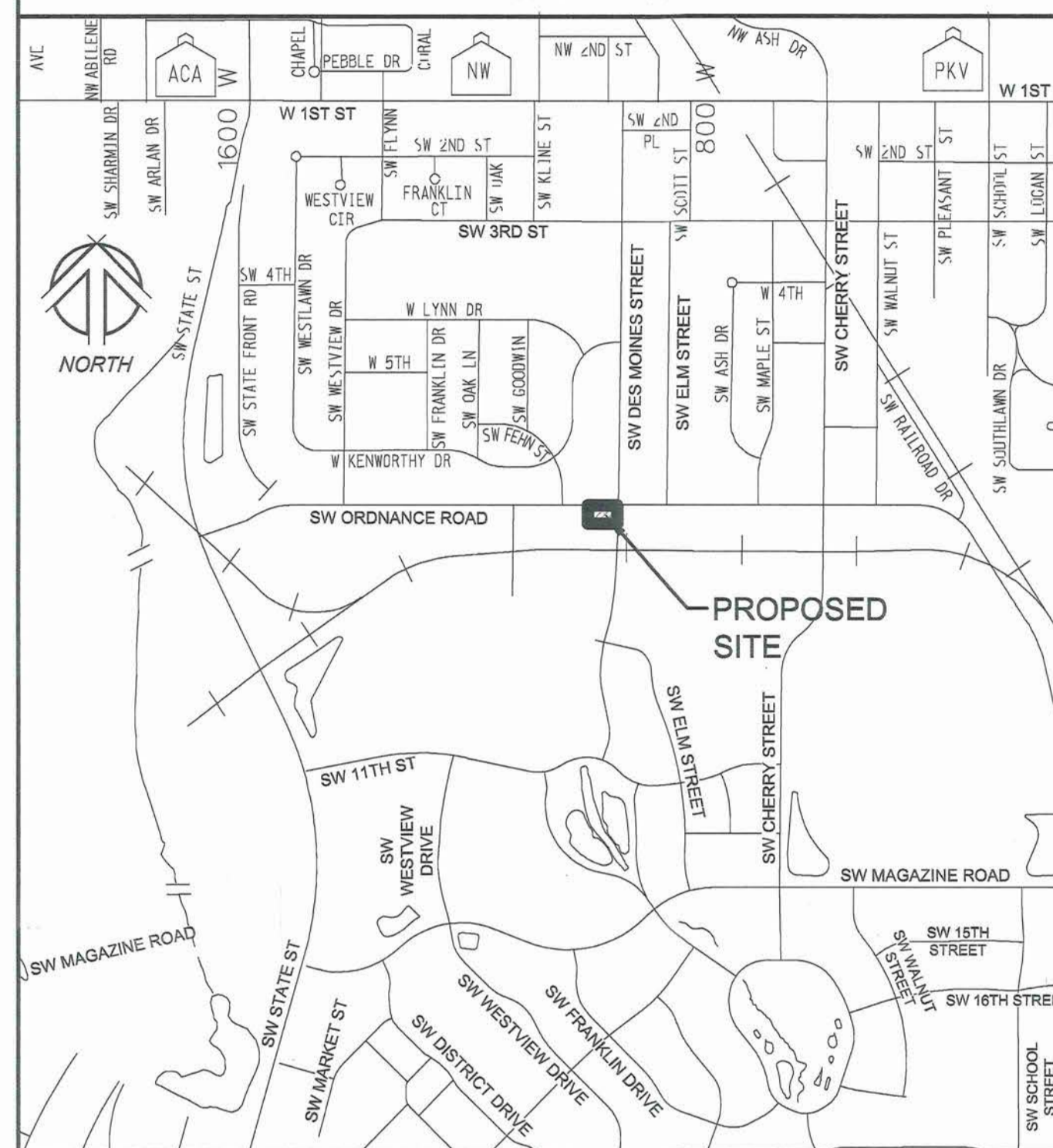
- TOP OF RIM OF THE SANITARY SEWER MANHOLE LOCATED IN THE CURB ISLAND, WEST OF THE INTERSECTION OF SW MAGAZINE ROAD AND SW STATE STREET. ELEVATION = 962.10 FEET (NAVD89)

#### GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND:
  - CITY OF ANKENY
  - BILL DOYLE, AIM HIGH AUTOMOTIVE
- ALL MATERIALS AND CONSTRUCTION RELATED TO WORK CONDUCTED AS PART OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE 2022 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS, AND DETAILS SHOWN ON THIS PLAN UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REMOVAL, REPLACEMENT, OR REINSTALLATION OF ANY ITEM, BOTH ON- AND OFF-SITE, ADVERSELY AFFECTED BY FAILURE TO FOLLOW SAID SPECIFICATIONS, REPORTS, AND PLANS.
- CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE INTENT OF THE WORK TO BE COMPLETED AND TO ADDRESS ANY QUESTIONS, CONCERNS, CONFLICTS, DISCREPANCY OR OTHER ISSUES THAT MAY AFFECT CONSTRUCTION WITH OWNER AND ENGINEER AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY ISSUE ENCOUNTERED DURING CONSTRUCTION THAT MAY AFFECT PROPOSED DESIGN. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF, AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE AND STORM DRAINS DISTURBED DURING CONSTRUCTION. RECONNECTIONS SHALL BE CONSIDERED INCIDENTAL TO PROJECT COST. NOTIFY CITY OF ANKENY AND NILLES ASSOCIATES PRIOR TO RECONNECTION SO THAT LOCATION OF RECONNECTION CAN BE DOCUMENTED AND INCLUDED ON RECORD DRAWINGS. REPAIRS TO TILE LINES ARE TO BE VERIFIED BY CITY OF ANKENY PERSONNEL.
- SIGNS SHALL CONFORM TO THE CITY OF ANKENY SIGN ORDINANCE.
- DETAILS AND NOTES INCLUDED WITHIN THESE PLANS SHALL BE USED FOR CONSTRUCTION. FOR ITEMS WITH NO DETAILS OR NOTES INCLUDED WITHIN THIS PLANS SET, FOLLOW SUDAS DETAILS AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCY IS FOUND, NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING.
- COORDINATE ALL WORK ACTIVITIES WITH ANY OTHER CONSTRUCTION PROJECTS IN THE AREA.
- ANY DAMAGE TO PROPERTY THAT OCCURS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES OR ACTIONS SHALL BE REPAIRED AND RESTORED IN KIND.
- THE CONTRACTOR SHALL PROTECT UTILITY POLES NEAR CONSTRUCTION ACTIVITIES AS REQUIRED.
- FOR ALL WORK, THE CONTRACTOR SHALL PROVIDE ALL FIELD QUALITY CONTROL AND TESTING AS PER SUDAS. PROVIDE ENGINEER TESTING RESULTS.
- PROVIDE TO THE OWNER, ALL SHOP DRAWINGS FOR MATERIALS INCORPORATED IN THE WORK SUPPLIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS SITE.
- CONTRACTORS ON-SITE SHALL BE RESPONSIBLE FOR DAILY CLEAN-UP OF SEDIMENT AND DEBRIS TRACKED OR WASHED ONTO PUBLIC RIGHTS-OF-WAY AND AREAS OUTSIDE PROJECT LIMITS.
- DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY THE CITY OF ANKENY, AND NILLES ASSOCIATES BEFORE THE SITE IS FURTHER DISTURBED.

#### VICINITY MAP

SCALE: 1" = 1000'





- ## TAGGED NOTES

- A. PROPERTY BOUNDARY LINE.
- B. EXISTING GRAVEL DRIVE
- C. EXISTING STORM SEWER EASEMENT TO BE VACATED THROUGH PROPOSED BUILDING ADDITION.
- D. PROVIDE PARKING STALL AND LANE STRIPING AS SHOWN PER SUDAS 8020 AND IDOT SECTION 2527.
- E. NO CURB THROUGH THIS AREA.
- F. ACCESSIBLE STALL SIGNS IN ACCORDANCE WITH ANSI A117-1-09 SECTION 502.7, 12" BEHIND SIDEWALK. SEE DETAIL D-1 ON SHEET DT-1.
- G. REMOVE EXISTING WOOD FENCE.
- H. ACCESSIBLE ROUTE.



REVISIONS:

1.)	11/11/2022 - REVISIONS PER CITY OF ANKENY COMMENTS
2.)	11/21/2022 - REVISIONS PER CITY OF ANKENY COMMENTS
3.)	12/01/2022 - REVISIONS PER CITY OF ANKENY COMMENTS
4.)	12/09/2022 - REVISIONS PER CITY OF ANKENY COMMENTS
5.)	
6.)	
7.)	

NOTICE: NILLES ASSOCIATES, INC., WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE ENGINEERING INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

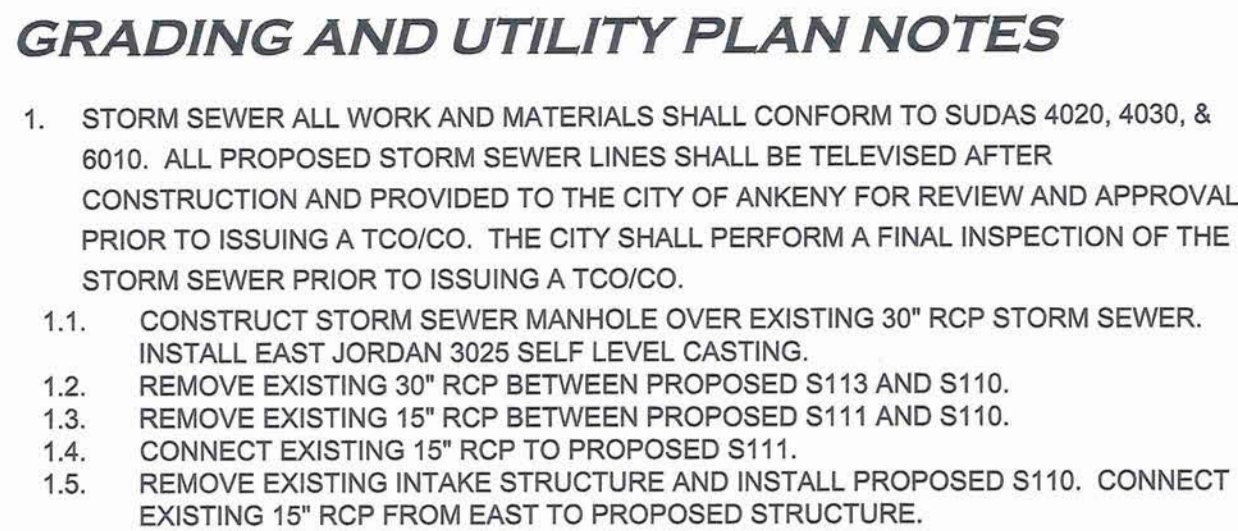
AIM HIGH AUTOMOTIVE ADDITION  
ANKENY, IOWA

---

DIMENSION PLAN

DESCRIPTION:	
NAI NO.:	22151
DATE:	12/9/2022
DRAWN BY:	ADS
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	DP-1
SHEET NO.:	2/5

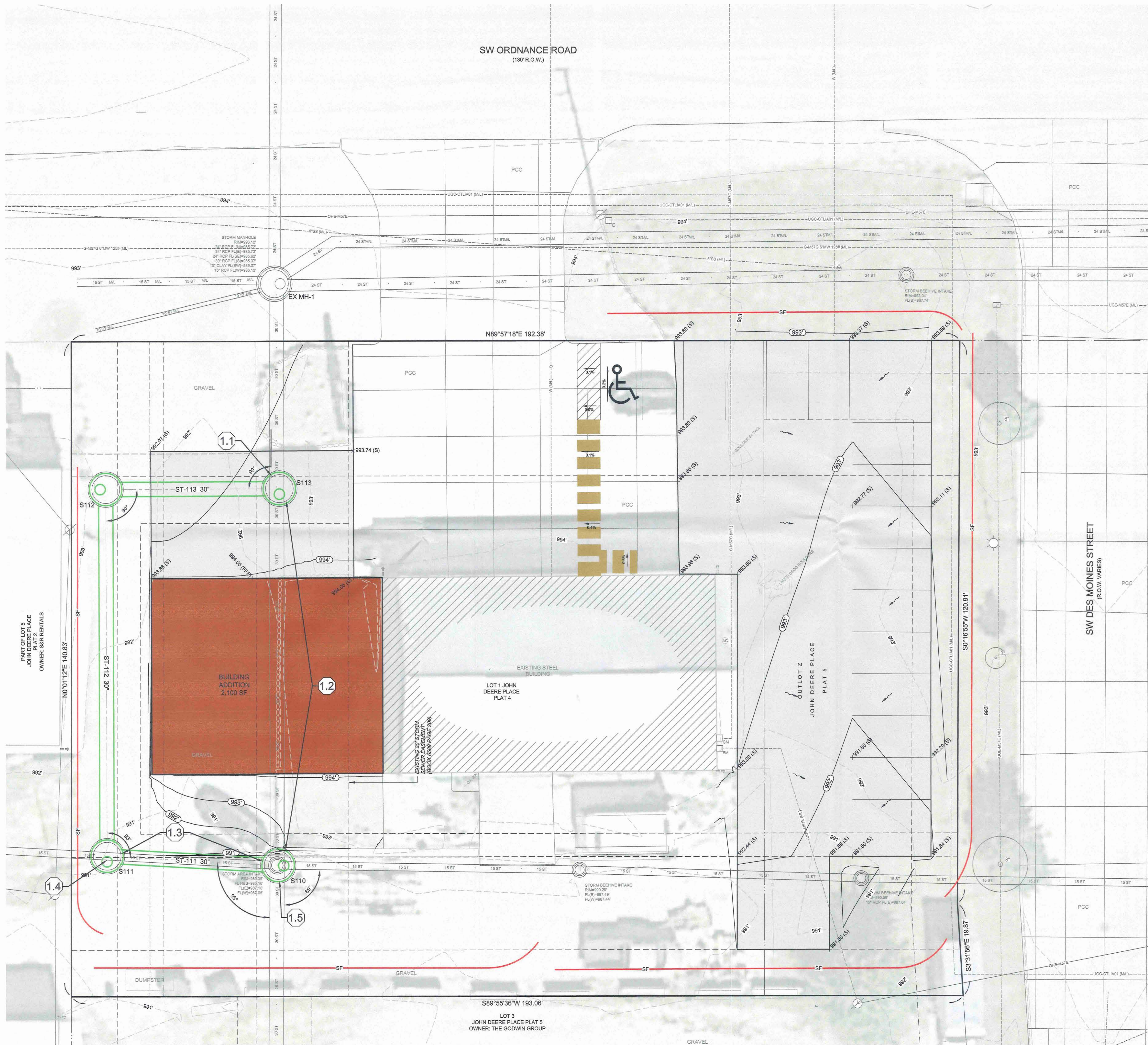
**NILES ASSOCIATES**  
1933 SW MAGAZINE ROAD  
ANKENY, IOWA 50024-2555  
(515) 985-0123 phone • (515) 985-3322 fax  
Civil Engineering • Land Surveying  
Landscape Architecture



TC - TOP OF CURB ELEVATION  
S - TOP OF SLAB ELEVATION  
M - MATCH EXISTING ELEVATION

STORM STRUCTURE TABLE			
NAME	DESCRIPTION	RIM/TC	INVERT
S110	SW-401 72" CIRCULAR STORM SEWER MANHOLE	991.90	INV 984.75 (ST-111) INV 984.75 (EX ST-SOUTH)
S111	SW-401 72" CIRCULAR STORM SEWER MANHOLE	991.00	INV 984.87 (ST-112) INV 984.87 (ST-113)
S112	SW-401 72" CIRCULAR STORM SEWER MANHOLE	992.81	INV 985.07 (ST-113) INV 985.07 (ST-112)
S113	SW-401 72" CIRCULAR STORM SEWER MANHOLE	992.42	INV 985.16 (Pipe - (6)) INV 985.16 (ST-113)

NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT
ST-111	30" RCP	37 LF	0.32%	984.87	984.75
ST-112	30" RCP	79 LF	0.25%	985.07	984.87
ST-113	30" RCP	38 LF	0.25%	985.16	985.07



**PRELIMINARY - NOT FOR CONSTRUCTION**

REVISIONS:

- 1.) 11/11/2022 - REVISIONS PER CITY OF ANKENY COMMENTS
- 2.) 11/12/2022 - REVISIONS PER CITY OF ANKENY COMMENTS
- 3.) 12/9/2022 - REVISIONS PER CITY OF ANKENY COMMENTS
- 4.)
- 5.)
- 6.)
- 7.)

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# AIM HIGH AUTOMOTIVE ADDITION

ANKENY, IOWA

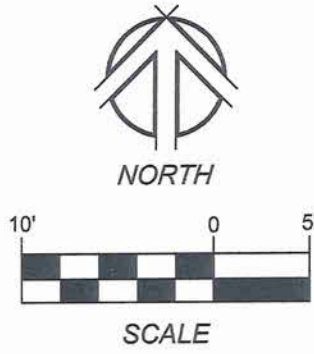
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## GRADING & UTILITY PLAN

PROJECT NAME:

NAI NO.:	22151
DATE:	12/9/2022
DRAWN BY:	ADS
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	GP-1
SHEET NO.:	3 / 5

**NILLES ASSOCIATES**  
1933 SW MAGAZINE ROAD  
ANKENY, IOWA 50023-2555  
(515) 965-0123 phone - (515) 965-3322 fax  
Civil Engineering - Land Surveying  
Landscape Architecture



GENERAL LANDSCAPING NOTES

- PLANT MATERIAL**
- ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9030 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS) OMITTING PARTS 2.06 AND 3.08 (TREE WRAPPING) AND SUBJECT TO THE FOLLOWING NOTES AS WELL AS PLANTING DETAILS SHOWN ON DETAILS SHEET DT-1.
  - NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
  - PLANTINGS SHALL MEET THE MINIMUM SIZES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
  - ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
  - PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTION.
  - DECIDUOUS TREES IN EXCESS OF 2" CALIPER AND CONIFEROUS TREES IN EXCESS OF 6 FEET IN HEIGHT SHALL BE STAKED OR GUYED. STAKING PROCEDURE SHALL ENSURE TRUNKS ARE PROTECTED FROM DAMAGE. STRAPS OR WIRES SHALL NOT BE OVERLY TIGHTENED TO ALLOW FOR SOME LATERAL TRUNK MOVEMENT.
- SEEDING AND SOODING**
- ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIALTY PLANTING AREAS SHALL BE SEEDED AS DIRECTED BY THE PLAN.
  - LAWN SEEDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9010 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS). SEED SHALL BE TYPE 1 PERMANENT LAWN SEED MIX (SUDAS SECTION 2.02 A).
- MULCH**
- ALL PLANTING BEDS DESIGNATED FOR MULCH INCLUDING AREAS AROUND TREES & SHRUBS SHALL BE 4" DEPTH SHREDDED HARDWOOD - 4" DIAMETER (TREES) AND 2" DIAMETER (SHRUBS). A PRE-EMERGENT SUCH AS "PREEN" OR APPROVED EQUAL HERBICIDE SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER MULCHING.

LANDSCAPE PLAN NOTES

- PROPERTY BOUNDARY LINE.
- EXISTING MONUMENT SIGN.
- RELOCATE EXISTING LARGE BOULDERS AS DIRECTED BY OWNER.
- SHREDDED HARDWOOD MULCH IN CONTINUOUS PLANTING BED ALONG SHRUB SCREEN.
- REPLACE EXISTING GRAVEL WITH TOPSOIL AND MULCH AROUND TREE AND SHRUBS WITH A MINIMUM AREA OF 80 SQUARE FEET (8' X 10').

LANDSCAPING CALCULATIONS

PAVEMENT SHADING TREES  
GROSS PAVED AREA X 2 = REQUIRED SHADED AREA.  
REQUIRED SHADED AREA / 706 = TOTAL OF SHADING TREES REQUIRED.  
GROSS PAVED AREA = 10,008 SF  
10,008 X 2 = 20,016 SF  
20,016 / 706 = 28.35 TREES REQUIRED

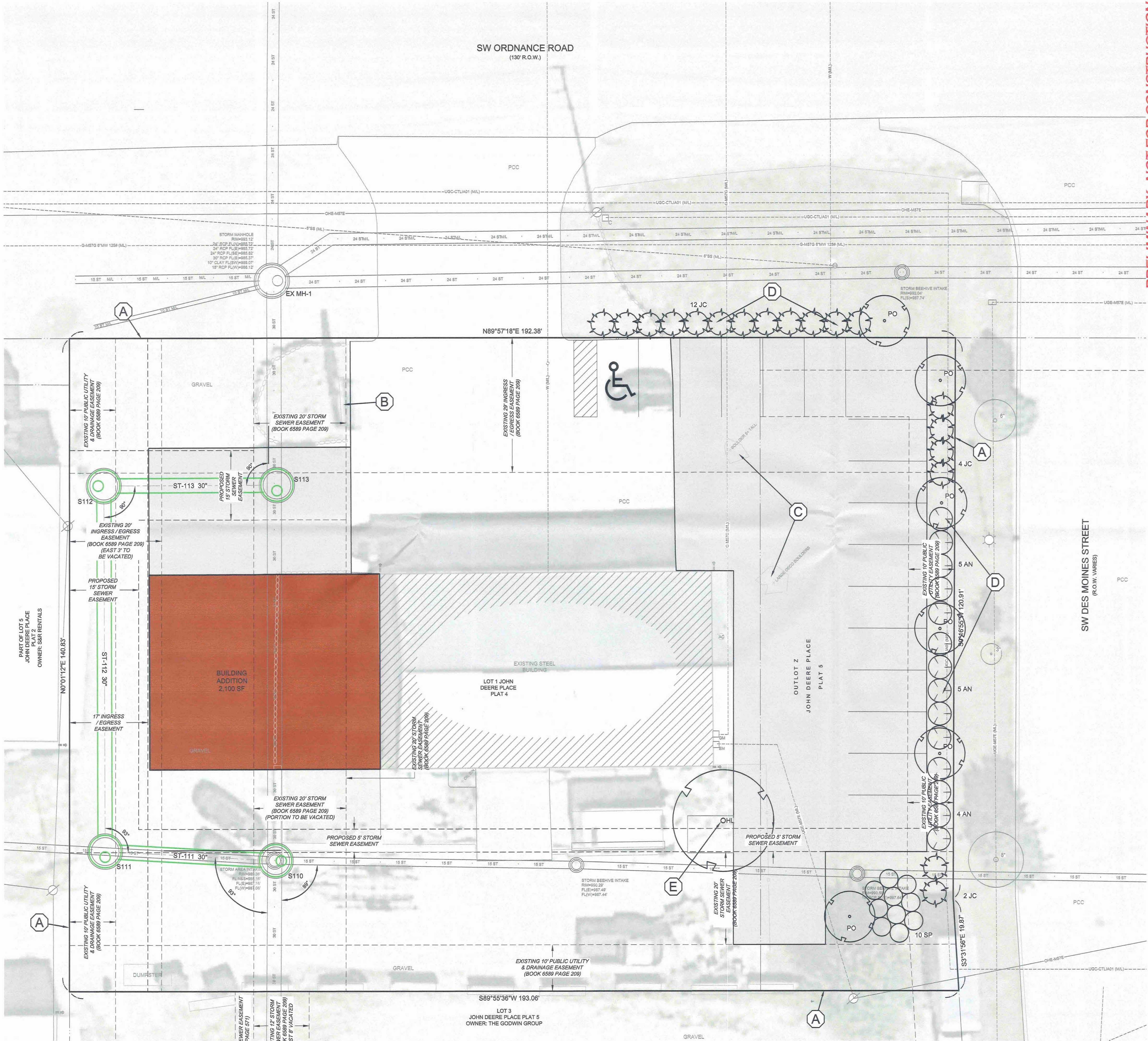
7 TREES COUNTED AT 353 SF WITHIN 15' OF PAVING ON 1 SIDE.  
706 + 1412 = 2,471 SF OF SHADING PROVIDED (24.6%)

OPEN SPACE REQUIREMENT  
TWO OVERSTORY TREES AND 6 SHRUBS FOR EVERY 3,000 SF OF REQUIRED OPEN SPACE.  
TOTAL LOT AREA X 2 = REQUIRED OPEN SPACE  
TOTAL LOT AREA = 27,052 SF  
27,052 X 2 = 54,104 SF  
54,104 / 3,000 = 18.03 (2 PLANT UNITS REQUIRED)  
REQUIRED QUANTITY PROVIDED QUANTITY  
2 X 2 = 4 TREES 7 TREES  
2 X 6 = 12 SHRUBS 12 SHRUBS

PLANTING SCHEDULE

TREES & SHRUBS

Key	Common / Scientific name	Minimum Size	No.	Root/Comment
HL	Skyline Honeylocust <i>Gleditsia inaequalis</i> f. <i>inermis</i> 'Skyline'	2" Caliper	1	B&B or Container
PO	Princeton Sentry Ginkgo <i>Ginkgo biloba</i> 'Princeton Sentry'	1 1/2" - 2" Caliper	6	B&B or Container
JC	Sea Green Juniper <i>Juniperus chinensis</i> 'Sea Green'	30" Height	18	Container
AN	Amber Jubilee Ninebark <i>Physocarpus opulifolius</i> 'Jubilee'	30" Height	14	Container
SP	Gold Flame Spiraea <i>Spiraea japonica</i> 'Goldflame'	15-18" Height	10	Container



PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS:  
1) 11/1/2022 - REVISIONS PER CITY OF ANKENY COMMENTS  
2) 11/21/2022 - REVISIONS PER CITY OF ANKENY COMMENTS  
3) 12/8/2022 - REVISIONS PER CITY OF ANKENY COMMENTS  
4) 12/8/2022 - REVISIONS PER CITY OF ANKENY COMMENTS  
5) 12/8/2022 - REVISIONS PER CITY OF ANKENY COMMENTS  
6) 12/8/2022 - REVISIONS PER CITY OF ANKENY COMMENTS  
7) 12/8/2022 - REVISIONS PER CITY OF ANKENY COMMENTS

NOTES:  
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6. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTION.  
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AIM HIGH AUTOMOTIVE ADDITION

ANKENY, IOWA

LANDSCAPE PLAN

PROJECT NAME

NAI NO.: 22151

DATE: 12/9/2022

DRAWN BY: ADS

CHECKED BY: JTN

SHEET SIZE: 24" X 36"

SHEET TITLE: LP-1

SHEET NO.: 4/5







PLAN AND ZONING COMMISSION

December 20, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

---

ACTION REQUESTED:

Motion

---

LEGAL:

---

SUBJECT:

1509 N Ankeny Boulevard - Earl May Nursery and Garden Center Greenhouse Addition Site Plan

---

EXECUTIVE SUMMARY:

See attached staff report.

---

FISCAL IMPACT: **No**

---

STAFF RECOMMENDATIONS:

---

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

---

PUBLIC OUTREACH EFFORTS:

---

ACTION REQUESTED:

**Action:** Consider MOTION to approve the site plan for 1509 N Ankeny Boulevard, Earl May Nursery and Garden Center Greenhouse Addition.






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ADDITIONAL INFORMATION:

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ATTACHMENTS:

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Click to download	
	<a href="#">Aerial Map</a>
	<a href="#">Staff Report</a>
	<a href="#">Applicant Letter</a>
	<a href="#">Site Plan</a>
	<a href="#">Elevations</a>



1 inch = 125 feet  
Date: 12/13/2022

**Earl May Nursery & Garden Center Greenhouse Addition**  
**1509 N Ankeny Blvd**





*Plan and Zoning Commission  
Staff Report*

*Meeting Date: December 20, 2022*

---

**Agenda Item:** 1509 N Ankeny Blvd - Earl May Garden Center Greenhouse Addition Site Plan  
**Report Date:** December 14, 2022  
**Prepared by:** Laura Hutzell *ELC*  
Associate Planner

**Staff Recommendation:**

That the Plan and Zoning Commission approve the site plan for 1509 N. Ankeny Blvd, Earl May Garden Center Greenhouse addition.

**Project Summary:**

The subject site is 2 acres (+/-) and is located on Lot 1, Earl May Plat 1, east of N Ankeny Blvd and west of NE Grant Street. The site is zoned C-2, General Retail and Highway Oriented Commercial District. The proposed development is an 1,824 square-foot (38' x 48') commercial greenhouse addition to the existing garden center.

The proposed site plan includes site improvements for the addition of a greenhouse building, associated parking and updated landscaping. 55 of the required 60 parking spaces are provided, including three accessible parking spaces. The applicant is requesting a 10% reduction in parking per Section 191.01(2) of the Ankeny Municipal Code. The landscaping shown on the proposed site plan complies with all applicable regulations.

The proposed greenhouse structure will be a two-bay gabled greenhouse consisting of aluminum and galvanized steel frame with glazing (plexiglass). The proposed addition will have a three-foot split face CMU base to match the existing building.

No additional signage is proposed with this site plan.

**Site Plan Worksheet**  
**Earl May Garden Center Greenhouse Addition**

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

**A. Site Development**

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

Existing access to the site is provided off of N Ankeny Blvd via a shared access road along the western boundary of the site. There is also an existing through driveway along the north side of the site, which provides additional access from NE Grant Street. The primary building façade, which includes the proposed greenhouse addition, is oriented to the west facing N Ankeny Blvd. The proposed greenhouse addition meets all setbacks required by code.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan complies with the landscaping and parking lot requirements of the code.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides for adequate vehicle parking and circulation. The proposed site plan provides 55 of the required 60 parking spaces, including three accessible parking spaces. The applicant has requested a 10% reduction in parking as reflected on the proposed site plan per section 191.01(2) of the Ankeny City Municipal Code. The site also provides adequate pedestrian circulation from parking areas to the greenhouse addition.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

Access is provided off of N. Ankeny Blvd via a shared access road along the western boundary of the site. There is also an existing through driveway along the north side of the site, which provides additional access from NE Grant Street. A recent traffic memo reflects the estimated trips generated, and does not surpass the threshold requiring a traffic study.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

The parking lot is located on the west side of the existing building. The site plan reflects 55 of the required 60 parking stalls. The applicant is requesting a 10% reduction in parking as reflected on the proposed site plan per section 1941.01 (2) of the Ankeny Municipal code.

6. **Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

No new service areas are proposed. There is a loading dock at the rear of the existing building. The proposed greenhouse addition utilizes overhead doors for customer entrance and the loading and unloading of product. There is an existing dumpster on site.

7. **All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

8. **Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Site lighting will be directed away from adjoining property and downward.

9. **The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm water is detained on-site, flowing into the existing storm sewer system along N. Ankeny Blvd.

10. **Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

Utilities to this site are existing. Water and sanitary sewer services are typical of this type of commercial project. The site connects to an existing 8" water service along N. Ankeny Blvd and a 6" sanitary sewer service along NE Grant street.

11. **Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The majority of the open space on the site is being provided to the west and east of the proposed building, along N. Ankeny Blvd and NE Grant Street.

12. **Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed parking lot shading requirements conform to the open space requirements of the code.

## **B. Building Design**

- 1. Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

The proposed greenhouse addition is a single-story structure, and is compatible with the architecture of the existing building.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The proposed materials are a combination of greenhouse glazing (plexiglass) and a 3-foot split face CMU base. Materials proposed have been selected for suitability to the specific use and type of building proposed (greenhouse).

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There are no new services areas proposed with this project. An existing dumpster is on site.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

The proposed greenhouse addition is compatible with the architecture of the existing building. The proposed addition will have a three-foot split face CMU base to match the existing building.

**C. Signs** – No new signage is proposed with this submittal.

## **D. Factors for Evaluation**

**The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:**

- 1. Conformance to Design Standards and other applicable code requirements.**

The plans submitted generally conform to the written regulations of the City.

- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**

The site layout is compatible with setbacks.

- 3. Layout and utilization of building, parking, drive-ways, and open spaces.**

The 1,824 square-foot addition and the circulation system for traffic is appropriate.

- 4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**

The proposed greenhouse is a single-story structure, materials proposed have been selected for suitability to the specific use and type of building proposed (greenhouse).

- 5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**

It appears that the impacts on these utility systems can be accommodated adequately.



December 8, 2022

Planning & Zoning Commission and City Council  
City of Ankeny  
1210 NW Prairie Ridge Drive  
Ankeny, IA 50023

Re: Earl May Nursery & Garden Center Greenhouse Addition - 1509 N Ankeny Blvd

Dear Commission and Council,

On behalf of Earl May Garden Centers, we are requesting approval of a greenhouse addition to their garden center located at 1509 North Ankeny Boulevard. The addition consists of a 38' x 48' addition to the southwest corner of their existing facility constructed as a typical commercial greenhouse. The structure will have a 3' split face CMU base to match the existing building and a two-bay gabled greenhouse consisting of aluminum and galvanized steel frame and glazing to complete the envelope.

Recent sales have decreased from previous years and in an effort to improve the customer experience, merchandise quality and presentation the Owner is choosing to make this investment in their current facility. The hope is that they will have a chance to recapture the sales they have lost in this marketplace.

If you have any questions, please feel free to call. We look forward to hearing from you.

Thank you.

Sincerely,

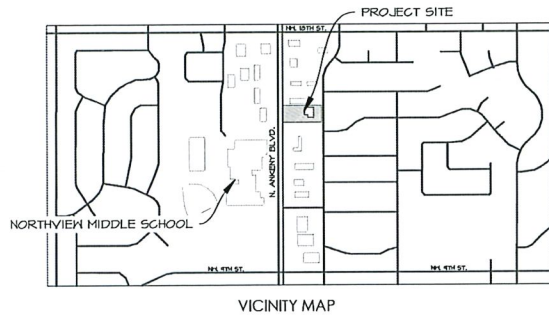


Jeffrey S. Harris AIA, LEED AP  
Principal

RECEIVED

DEC 09 2022

CITY OF ANKENY



PROJECT ADDRESS  
1504 N ANKENY BLVD.

OWNER/APPLICANT  
HANS ENTERPRISES LC  
2098 HANIT RD  
SHEVANDOAH, IA 51601-4059

ARCHITECT  
RMH ARCHITECTS  
1615 GOLDEN ASPEN DR UNIT 110  
AMES, IA 50010

LOT SIZE  
81,220 SF/2.00 ACRES

ZONING  
C-2

LEGAL DESCRIPTION  
LT 1 EARL MAY PLAT 1

#### OPEN SPACE LANDSCAPING REQ

TOTAL SITE AREA: 81,224 SF  
OPEN SPACE REQ - 20%: 16,245 SF  
OPEN AREA PROVIDED: 40,841 SF

PLANT UNITS REQ - 1/3,000 SF: 5.8  
OPEN SPACE PLANT UNIT x 2: 12 TREES  
OPEN SPACE PLANT UNIT x 6: 35 SHRUBS

#### PARKING AREA LANDSCAPING

GROSS PAVED AREA: 32,491 SF  
REQUIRED SHADED AREA: 6,492 SF  
SHADE TREES REQ @ 700 SF EA: 10 REQUIRED

#### OVERALL LANDSCAPING REQ

TOTAL TREES REQUIRED: 22  
EXISTING TREES: 16  
ADDITIONAL TREES REQUIRED: 6  
OPEN SPACE SHRUBS REQUIRED: 35

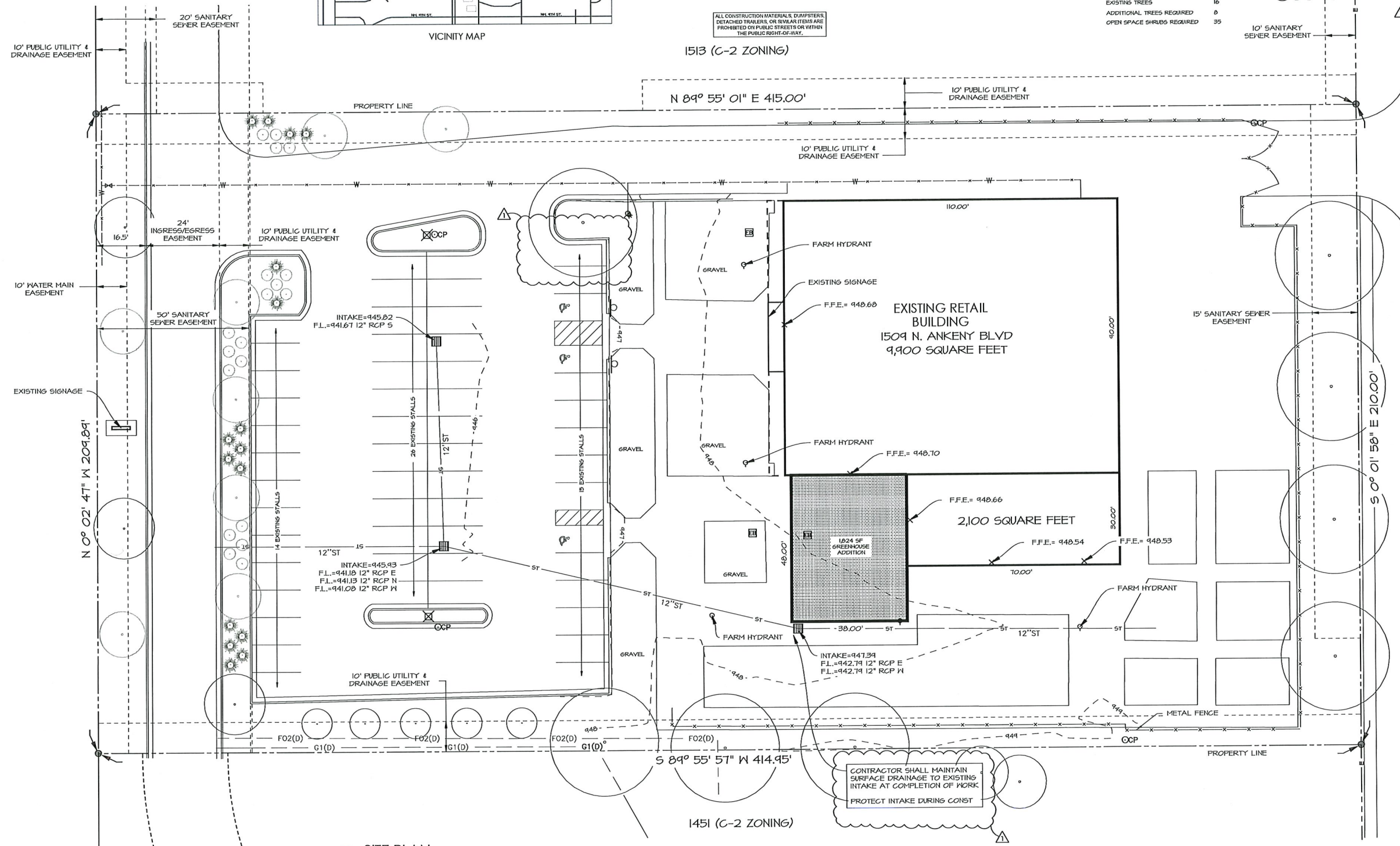
#### BUILDING AREA/USE

ONE STORY RETAIL GARDEN CENTER  
EXISTING STORE: 9,900 SQUARE FEET  
EXISTING GREENHOUSE: 2,100 SQUARE FEET  
GREENHOUSE ADDITION: 1,824 SQUARE FEET  
TOTAL SQUARE FOOTAGE: 13,824 SQUARE FEET

#### PARKING REQUIREMENTS

STALLS REQUIRED EXISTING: 1/200 SF: 415  
STALLS REQUIRED ADDITION: 1/400 SF: 98  
TOTAL PARKING REQUIRED: 60  
EXISTING PARKING PROVIDED: 55

APPLICANT IS REQUESTING A 10% REDUCTION TO OVERALL PARKING REQUIREMENT.



1 SITE PLAN  
1/16" = 1'-0"



1615 Golden Aspen Drive  
Suite 110  
Ames, Iowa 50010

515 292 6075 Phone  
515 292 6370 Fax

mail@rmharchitects.com

www.rmharchitects.com

Project Number  
22035

Print Record  
Review 11/14/22

Revision Record  
Plan Review Comments 12/9/22

Consultant

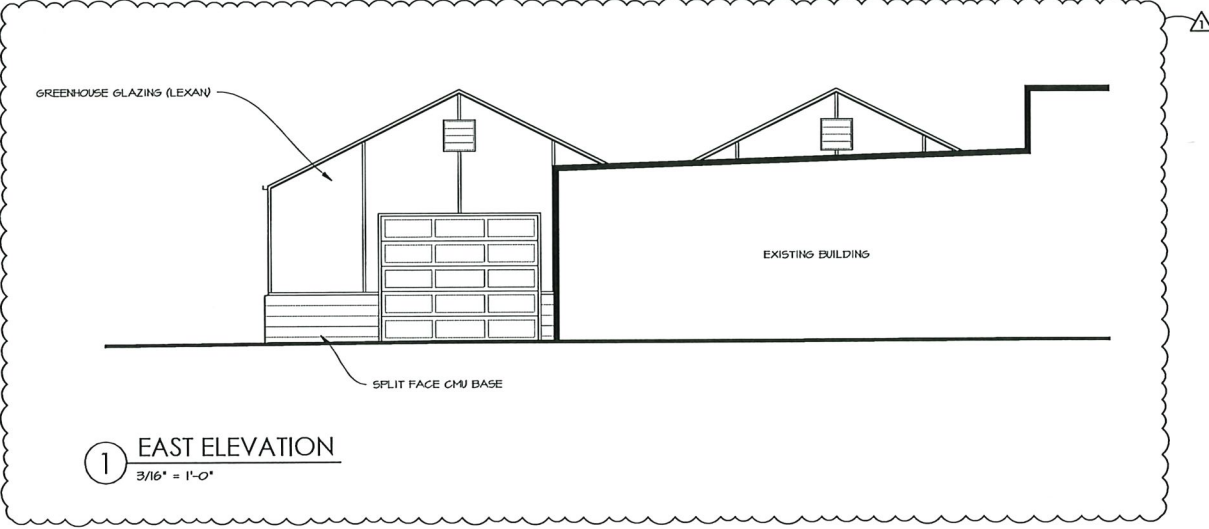
EARL MAY GARDEN CENTER  
1509 NORTH ANKENY BLVD  
ANKENY, IOWA  
GREENHOUSE ADDITION

SITE PLAN

DEC 2021

A1.0





1 EAST ELEVATION  
3/16" = 1'-0"

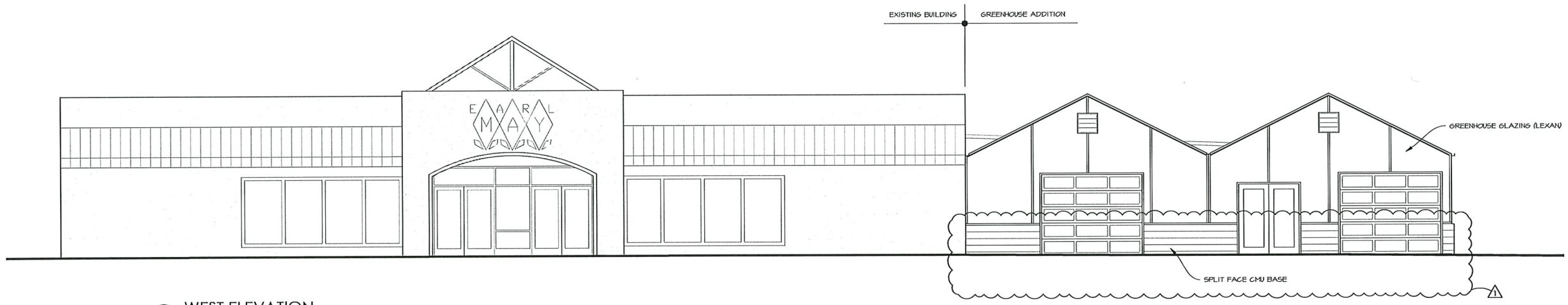
PROJECT ADDRESS  
1504 N ANKENY BLVD.  
OWNER/APPLICANT  
HMS ENTERPRISES LC  
2694 HART RD  
SHENANDOAH, IA 51601-4053  
ARCHITECT  
RMH ARCHITECTS  
1615 GOLDEN ASPEN DR UNIT 110  
AMES, IA 50010

LOT SIZE  
0.120 SF/2.00 ACRES  
ZONING  
C-2  
LEGAL DESCRIPTION  
LT 1 EARL MAY PLAT 1

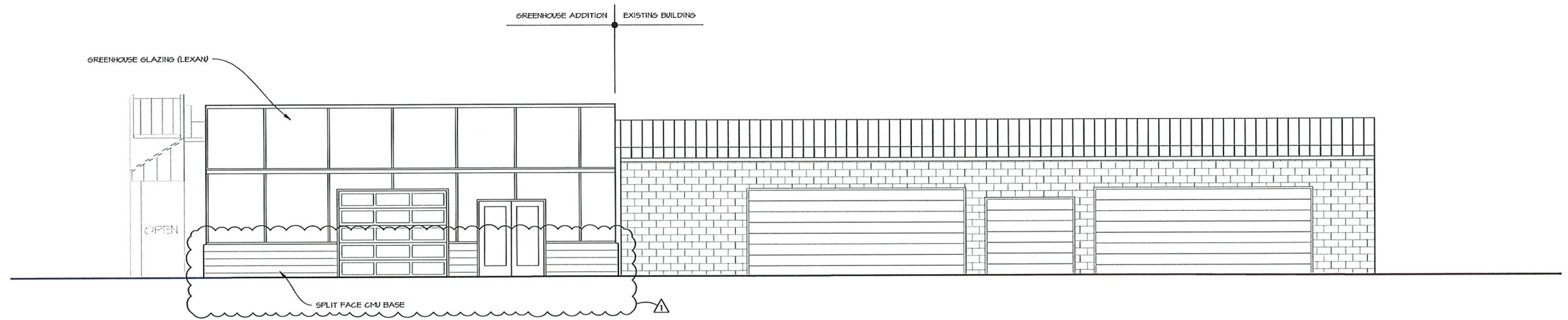
BUILDING AREA/USE  
ONE STORY RETAIL GARDEN CENTER  
EXISTING TOTAL 12,000 SQUARE FEET  
GREENHOUSE ADDITION 1,624 SQUARE FEET  
TOTAL SQUARE FOOTAGE 13,624 SQUARE FEET

PARKING REQUIREMENTS  
STALLS REQUIRED EXISTING 1/300 SF 40  
STALLS REQUIRED ADDITION 1/300 SF 6  
TOTAL PARKING REQUIRED 46  
EXISTING PARKING PROVIDED 55

MATERIAL SUMMARY	
WEST ELEVATION	
TOTAL AREA:	631 SF
SPLIT FACE CMU:	60 SF 10%
GREENHOUSE GLAZING:	363 SF 57%
OPENINGS:	200 SF 32%
SOUTH ELEVATION	
TOTAL AREA:	800 SF
SPLIT FACE CMU:	60 SF 10%
GREENHOUSE GLAZING:	142 SF 50%
OPENINGS:	120 SF 32%
EAST ELEVATION	
TOTAL AREA:	250 SF
SPLIT FACE CMU:	25 SF 10%
GREENHOUSE GLAZING:	145 SF 58%
OPENINGS:	80 SF 32%



2 WEST ELEVATION  
3/16" = 1'-0"



3 SOUTH ELEVATION  
3/16" = 1'-0"



1615 Golden Aspen Drive  
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Project Number  
22035

Print Record  
Review 11/14/22

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Plan Review Comments 12/9/22

Consultant

EARL MAY GARDEN CENTER  
1509 NORTH ANKENY BLVD  
ANKENY, IOWA  
GREENHOUSE ADDITION  
EXTERIOR ELEVATIONS







PLAN AND ZONING COMMISSION  
December 20, 2022  
6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:  
Planning and Building

COUNCIL GOAL:  
Ensure Economic Vitality

ACTION REQUESTED:  
Motion

LEGAL:

SUBJECT:  
2006 S. Ankeny Boulevard - DMACC ISO Rated Facility Site Plan

EXECUTIVE SUMMARY:  
See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:






PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:  
**Action:** Consider MOTION to approve the site plan for 2006 S. Ankeny Boulevard, DMACC ISO Rated Facility.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	<a href="#">Aerial Map</a>
	<a href="#">Staff Report</a>
	<a href="#">Applicant Letter</a>
	<a href="#">Site Plan</a>
	<a href="#">Elevations</a>



N



1 inch = 261 feet

Date: 12/13/2022

**DMACC ISO Rated Facility**  
**2006 S. Ankeny Blvd.**

 **Ankeny**  
*bringing it all together.*



*Plan and Zoning Commission  
Staff Report*

*Meeting Date: December 20, 2022*

---

**Agenda Item:** 2006 S. Ankeny Blvd - DMACC ISO Rated Facility Site Plan  
**Report Date:** December 14, 2022  
**Prepared by:** Laura Hutzell *ESC*  
Associate Planner

**Staff Recommendation:**

That the Plan and Zoning Commission approve the site plan for the DMACC ISO Rated Facility Site Plan.

**Project Summary:**

Des Moines Area Community College (DMACC) is proposing a three-story, ISO Rated Facility at the campus located at 2006 S. Ankeny Blvd. The training facility for DMACC's Fire Science Program will recreate conditions using non-live fire that firefighters may experience in land-based fires, such as high-rise buildings or two-story homes. The location of the structure will be along the northeastern boundary of the DMACC Campus just west of Ankeny Blvd and North of DMACC Blvd at the site of an old, unused tennis court just west of Building 14.

The proposed structure is built from three (8'x 40') ISO steel freight containers and one 8x20' container. The containers will be stacked and secured using concrete footings. The structure is 40' in length and 29' high. The structure can be configured/customized to create up to 1,840 sq. ft. of training space.

No parking or landscaping is required or included with this project.

The DMACC campus zoning is U-1, Conservation and Public Utility District. This district is intended to provide for open space and the development of major public utility facilities where required to serve the needs of the community. Any use erected or maintained by a public agency is permitted.

**Site Plan Worksheet**  
**2006 S. Ankeny Boulevard- ISO Fire Rated Facility**

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

**A. Site Development**

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The proposed structure is located on the northeastern boundary of the DMACC campus, west of the Diesel Building (Building 14). The site currently sits as an unused tennis court and is not adjacent to any public streets. Access to the site is provided via a private drive entrance off of DMACC Blvd.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**  
The site plan complies with the landscaping and parking lot requirements of the code.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides for adequate parking and circulation. The proposed site plan does not include any additional parking spaces as parking is not required for this project. There is an existing sidewalk on the south end of the proposed site that is utilized for bicycle and pedestrian traffic in the area.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

No changes to how the site is accessed are being proposed. Access is provided via a private drive entrance off of DMACC Blvd.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

There are a number of parking lots adjacent to the site, however no parking changes to the site are proposed with this project.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

Landscaping is not required with this proposed project.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services are underground.

8. **Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

There is no lighting planned for the site. Any nearby site lighting is directed away from adjoining property and downward.

9. **The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Storm water detention for this area of campus goes to the DMACC pond.

10. **Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

This site is serviced with private water. The site also has private sanitary sewer services.

11. **Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

DMACC has ample open space available to the public.

12. **Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

Landscaping is not required for this project.

#### **B. Building Design**

1. **Buildings shall have good scale and maintain or enhance the established scale of buildings and sites of neighboring buildings and sites.**

The structure height varies, but the highest point will be 29 feet. Other DMACC buildings are similar in height.

2. **Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The proposed materials for this structure is steel framed ISO Freight containers and are considered suitable for the type of facility and the design in which it is to be used.

3. **All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There is no mechanical equipment, or service areas proposed with this project. Materials consists of multiple steel ISO freight containers with associated equipment, including ladders, doors, and railings.

4. **Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

There is only one proposed structure on this site.

**C. Signs** - There is no signage planned for this project.

**D. Factors for Evaluation**

**The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:**

- 1. Conformance to Design Standards and other applicable code requirements**  
The plans submitted conform to the written regulations of the City. A floodplain permit will be required before construction, as a small portion of this project sits within the 100-year flood plain. The applicant is currently working with city staff to pursue this permit.
- 2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.**  
The site layout is compatible with setbacks.
- 3. Layout and utilization of building, parking, drive-ways, and open spaces.**  
The layout and circulation system for traffic is appropriate.
- 4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.**  
The proposed structure varies in height and will be a maximum of 29 feet. The proposed structure is similar in scale to the surrounding DMACC buildings.
- 5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.**  
It appears that the impacts on these utility systems can be accommodated adequately.



**SNYDER**  
& ASSOCIATES

IOWA | MISSOURI | NEBRASKA | SOUTH DAKOTA | WISCONSIN

December 9, 2022

Planning and Zoning Commission & City Council  
City of Ankeny  
220 West 1st Street  
Ankeny, Iowa 50021

RE: DMACC ISO RATED FACILITY  
SITE PLAN RESUBMITTAL  
S&A PROJECT NO. 122.0760.01

Dear Members of the Planning and Zoning Commission:

On behalf of DMACC, please find accompanying the revised Site Plan and associated information for the above referenced project. These documents have been prepared in accordance with the City of Ankeny's standards and specifications. We respectfully request the City's review and approval of the documents. The development is proposed for a proposed fire training facility proposed to begin in the Spring of 2023.

Please find accompanying the following items:

- 6 copies of the Site Plan
- 6 copies of the Colored Elevation

Please feel free to contact me at your convenience should you have any questions or comments. Thanks.

Sincerely,  
SNYDER AND ASSOCIATES, INC.

Eric D. Cannon, P.E.

Cc: File

RECEIVED

DEC 09 2022

CITY OF ANKENY

2727 SW SNYDER BOULEVARD | P.O. BOX 1159 | ANKENY, IA 50023-0974  
P: 515-964-2020 | F: 515-964-7938 | SNYDER-ASSOCIATES.COM

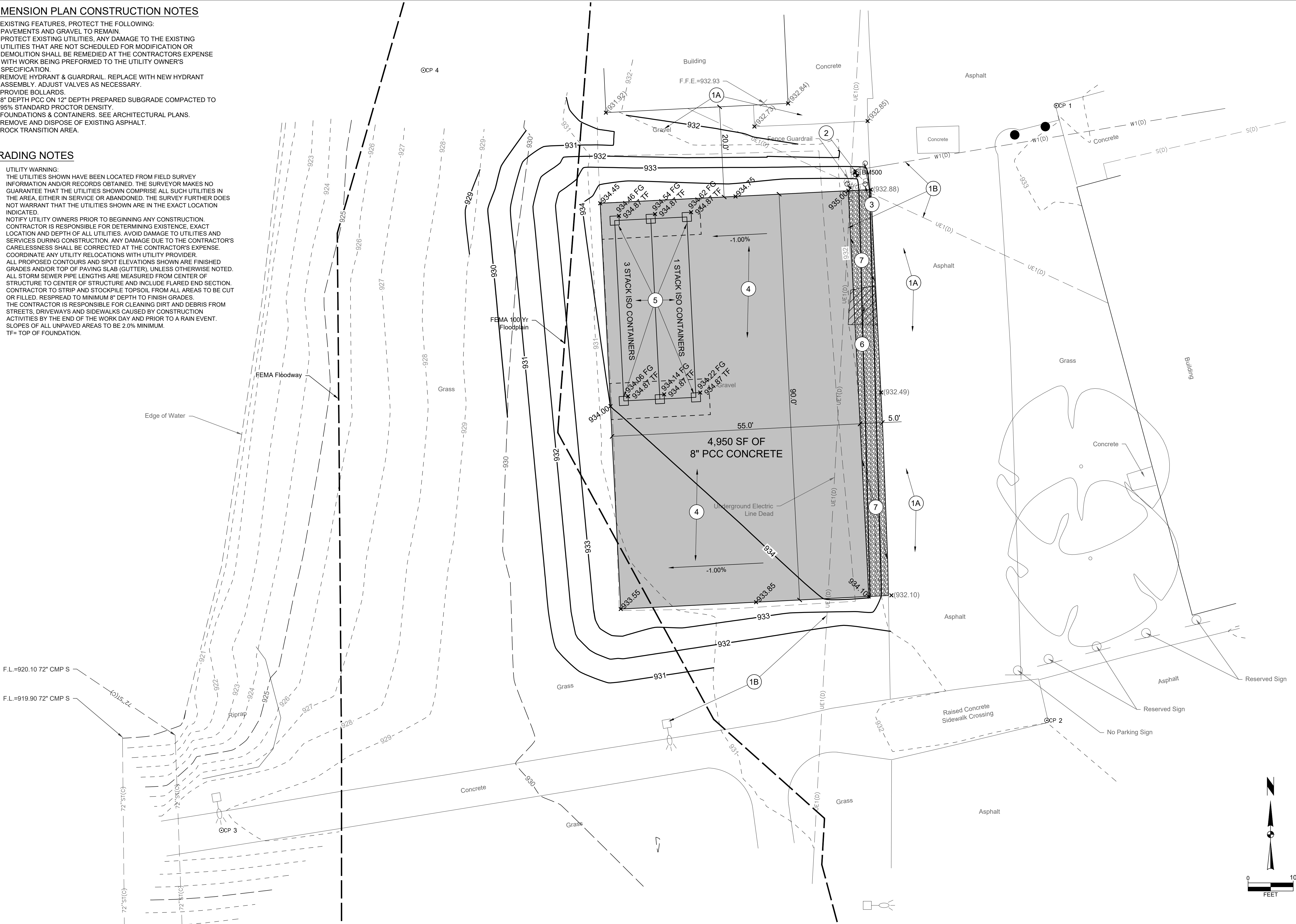


DIMENSION PLAN CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
  - PAVEMENTS AND GRAVEL TO REMAIN.
  - PROTECT EXISTING UTILITIES, ANY DAMAGE TO THE EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR DEMOLITION SHALL BE REMEDIED AT THE CONTRACTORS EXPENSE WITH WORK BEING PREFORMED TO THE UTILITY OWNER'S SPECIFICATION.
- REMOVE HYDRANT & GUARDRAIL. REPLACE WITH NEW HYDRANT ASSEMBLY. ADJUST VALVES AS NECESSARY.
- PROVIDE BOLLARDS
- 8" DEPTH PCC ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- FOUNDATIONS & CONTAINERS. SEE ARCHITECTURAL PLANS.
- REMOVE AND DISPOSE OF EXISTING ASPHALT.
- ROCK TRANSITION AREA.

GRADING NOTES

- UTILITY WARNING:  
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE ANY UTILITY RELOCATIONS WITH UTILITY PROVIDER.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM STREETS, DRIVEWAYS AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY AND PRIOR TO A RAIN EVENT.
- SLOPES OF ALL UNPAVED AREAS TO BE 2.0% MINIMUM.
- TF= TOP OF FOUNDATION.



DMACC ISO RATED FACILITY

DIMENSION & GRADING PLAN

ANKENY, IOWA

SNYDER & ASSOCIATES, INC. |



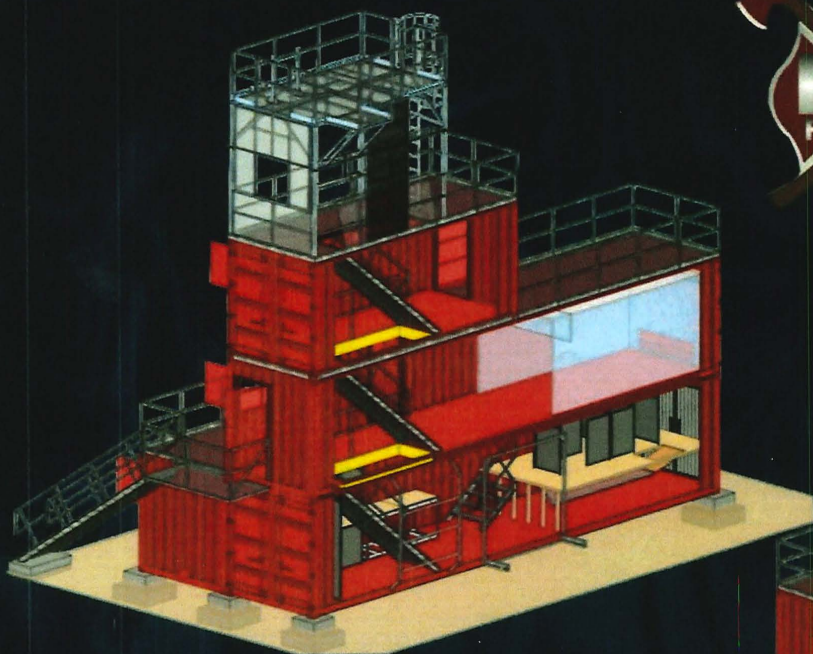
Project No: 122.0760.01

Sheet C200

REVISED PER CITY COMMENTS	DATE	BY
2	12-08-22	LJM
REVISED PER OWNER COMMENTS	DATE	BY
1	12-02-22	LJM
MARK	REVISION	DATE
Engineer: KMM	Checked By: EDC	Scale: 1" = 10'
Technician: LJM	Date: 11-17-22	T-R-S: TTN-RRW-SS

Sheet C200

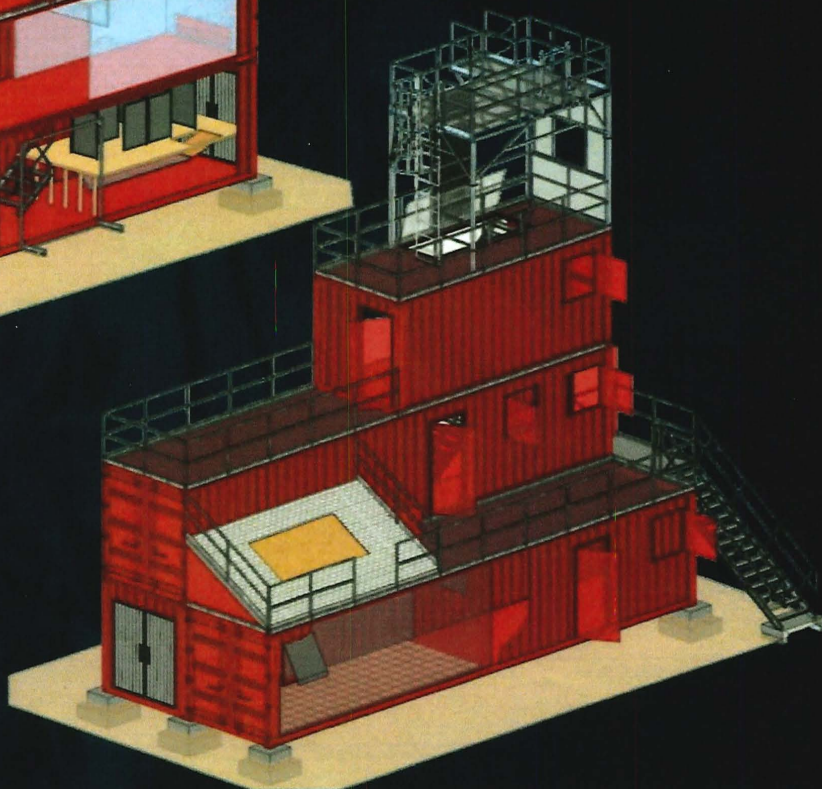
2727 S.W. SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com



West Coast: Phoenix, AZ  
 East Coast: Long Island, NY  
 1-877-268-8303  
[www.FireTrainingStructures.com](http://www.FireTrainingStructures.com)

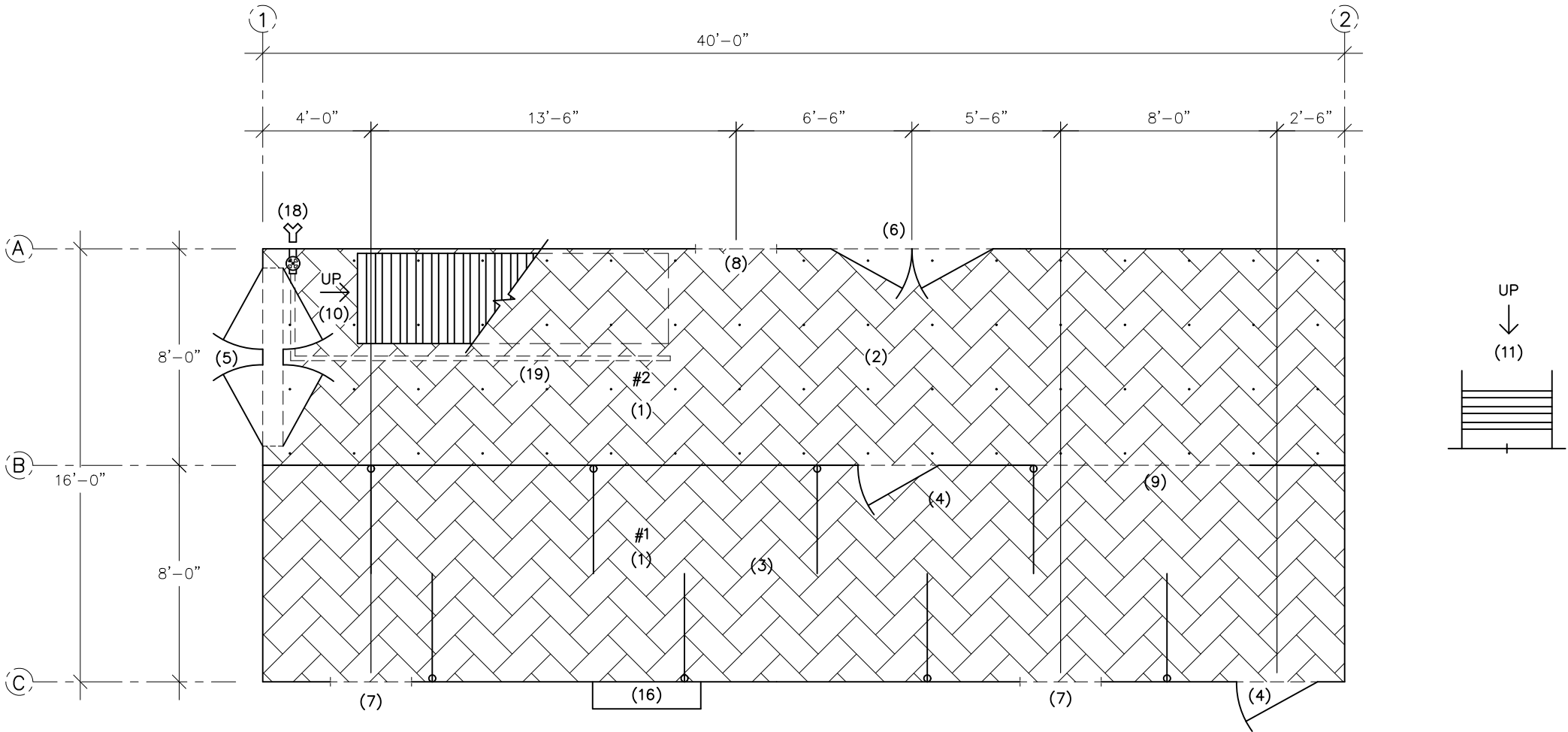
- 3 – 40' CONTAINERS
- 1 – 20' CONTAINER
- 2 – BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
- WALL BREACH PROP
- INTERIOR STAIRS
- EXTERIOR STAIRS
- ACTIVE ROOF
- OSHA COMPLIANT GUARDRAIL SYSTEM
- RAPPELLING TOWER
- STANDPIPE SYSTEM
- SPRINKLER SYSTEM
- PITCHED ROOF PROP
- FORCED ENTRY DOOR
- REBAR CUTTING PROP
- GARAGE DOOR PROP
- PERSONNEL DOORS
- DENVER WINDOW

## BULLHEAD SYSTEM



PLAN NOTES:

1. 40FT CONTAINER WITH WOOD FLOOR. EXTERIOR PAINT COLOR TO BE DETERMINED WITH DRAINAGE WEEP HOLES.
2. STANDARD RECONFIGURABLE SCBA MAZE SYSTEM.
3. 4FT WIDE X 8FT TALL STEEL PIVOTING WALL.
4. STANDARD PERSONNEL DOOR
5. 4 DOOR FORCED ENTRY AND CUTTING DOOR SYSTEM.
6. GARAGE DOOR CUTTING PROP.
7. 3FT X 3FT STANDARD WINDOW.
8. DENVER DRILL WINDOW.
9. 4FT X 8FT WALL BREACH PROP.
10. RESIDENTIAL COMPLIANT INTERIOR STAIRS AND HANDRAIL SYSTEM.
11. RESIDENTIAL COMPLIANT GALVANIZED EXTERIOR STAIR SYSTEM.
12. STAIR OPENING WITH HATCH COVER AND GUARD RAILING.
13. 12FT LONG X 8FT WIDE X 3FT TALL PITCHED ROOF PROP WITH 4FT X 8FT VENTILATION PROP, CHAIN RAILING AT CONTAINER EDGE, AND TWO ANCHORS.
14. 4FT X 4FT CEILING PULL PROP. AN INSULATED LID SHALL BE PROVIDED WHEN NOT IN USE.
15. GALVANIZED BAR GRATING, GUARDRAIL, AND TOE-KICK.
16. REBAR CUTTING PROP.
17. CONCRETE FOOTINGS BY OTHERS.
18. 2.5" DIA. STANDPIPE WITH SIAMESE FDC CONNECTION AT GROUND LEVEL, HOSE CONNECTION AT CONTAINER INTERIOR LEVELS AND ROOF LEVEL (NST THREADS). DRAIN PORT SHALL BE PROVIDED.
19. ¾"DIAMETER SPRINKLER PIPE WITH TWO SPRINKLER HEADS AND BALL VALE AT EACH BURN ROOM, SLOPE FOR DRAINAGE.



1ST FLOOR PLAN

SYMBOL KEY		HATCH KEY	
	• FDC CONNECTION		• WOOD FLOOR
	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		



REVISION

DES MOINES, IA  
TRAINING FACILITY

JOB NO.	DES MOINES, IA
DRAWN	JED
ENGINEER	PTB
DATE	11-3-2022

SCALE NTS

PLAN

SHEET

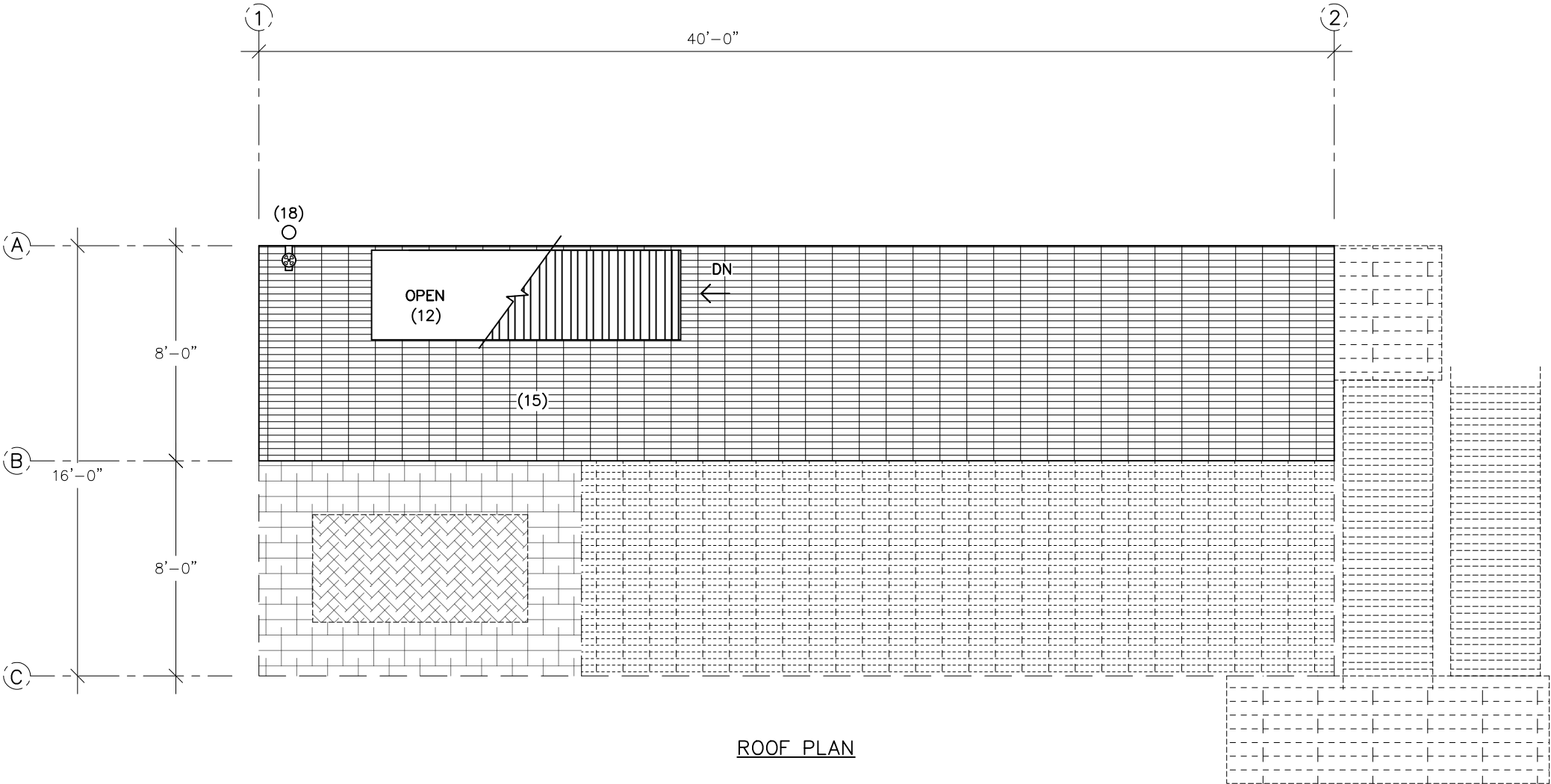
FAB-1





PLAN NOTES:

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SYMBOL KEY		HATCH KEY	
	• FDC CONNECTION		• WOOD FLOOR
	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		

FIRE TRAINING STRUCTURES, L.L.C.

1005 NORTH 50TH STREET  
PHOENIX, AZ 85008  
T: (602) 268-6156  
WWW.FIRETRAININGSTRUCTURES.COM



REVISION

DES MOINES, IA  
TRAINING FACILITY

JOB NO.	DES MOINES, IA
DRAWN	JED
ENGINEER	PTB
DATE	11-3-2022

SCALE NTS

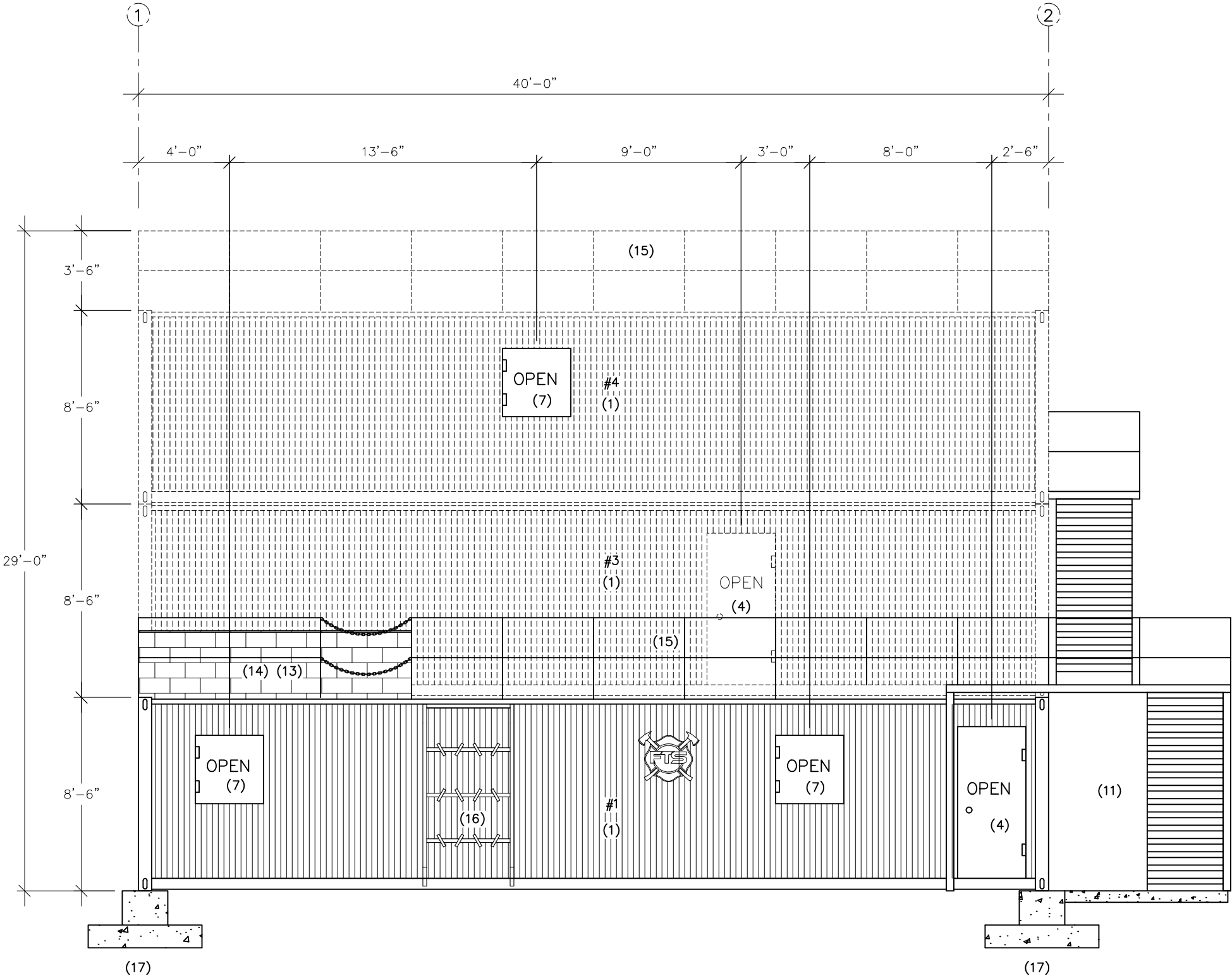
PLAN

SHEET

FAB-4

PLAN NOTES:

1. 40FT CONTAINER WITH WOOD FLOOR. EXTERIOR PAINT COLOR TO BE DETERMINED WITH DRAINAGE WEEP HOLES.
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GRIDLINE C EXTERIOR ELEVATION

SYMBOL KEY		HATCH KEY	
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	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		

FIRE TRAINING STRUCTURES, L.L.C.

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REVISION

DES MOINES, IA  
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JOB NO.	DES MOINES, IA
DRAWN	JED
ENGINEER	PTB
DATE	11-3-2022

SCALE NTS

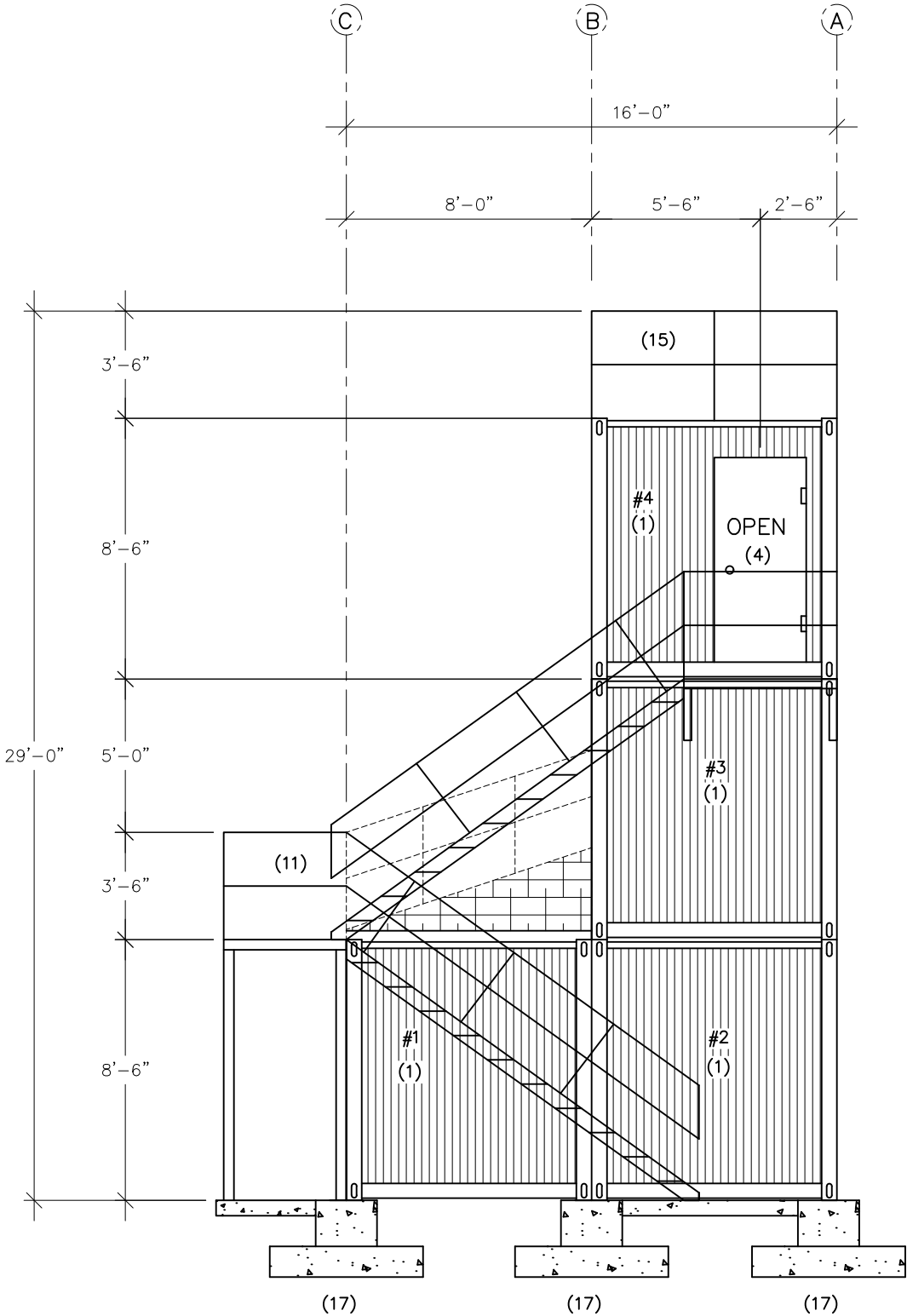
ELEVATION

SHEET

FAB-5

PLAN NOTES:

1. 40FT CONTAINER WITH WOOD FLOOR. EXTERIOR PAINT COLOR TO BE DETERMINED WITH DRAINAGE WEEP HOLES.
2. STANDARD RECONFIGURABLE SCBA MAZE SYSTEM.
3. 4FT WIDE X 8FT TALL STEEL PIVOTING WALL.
4. STANDARD PERSONNEL DOOR
5. 4 DOOR FORCED ENTRY AND CUTTING DOOR SYSTEM.
6. GARAGE DOOR CUTTING PROP.
7. 3FT X 3FT STANDARD WINDOW.
8. DENVER DRILL WINDOW.
9. 4FT X 8FT WALL BREACH PROP.
10. RESIDENTIAL COMPLIANT INTERIOR STAIRS AND HANDRAIL SYSTEM.
11. RESIDENTIAL COMPLIANT GALVANIZED EXTERIOR STAIR SYSTEM.
12. STAIR OPENING WITH HATCH COVER AND GUARD RAILING.
13. 12FT LONG X 8FT WIDE X 3FT TALL PITCHED ROOF PROP WITH 4FT X 8FT VENTILATION PROP, CHAIN RAILING AT CONTAINER EDGE, AND TWO ANCHORS.
14. 4FT X 4FT CEILING PULL PROP. AN INSULATED LID SHALL BE PROVIDED WHEN NOT IN USE.
15. GALVANIZED BAR GRATING, GUARDRAIL, AND TOE-KICK.
16. REBAR CUTTING PROP.
17. CONCRETE FOOTINGS BY OTHERS.
18. 2.5" DIA. STANDPIPE WITH SIAMESE FDC CONNECTION AT GROUND LEVEL, HOSE CONNECTION AT CONTAINER INTERIOR LEVELS AND ROOF LEVEL (NST THREADS). DRAIN PORT SHALL BE PROVIDED.
19. 3/4"DIAMETER SPRINKLER PIPE WITH TWO SPRINKLER HEADS AND BALL VALE AT EACH BURN ROOM, SLOPE FOR DRAINAGE.



GRIDLINE 2  
EXTERIOR ELEVATION

SYMBOL KEY	HATCH KEY
• FDC CONNECTION	• WOOD FLOOR
• STANDPIPE VALVE	• STEEL FLOOR
• GFCI RECEPTACLE	• BRICK OVER STEEL
• LIGHT SWITCH	• BAR GRATING
• 100W LIGHT	• CONTAINER ROOF
• 150W LED EXTERIOR FLOOD LIGHT	

FIRE TRAINING STRUCTURES, L.L.C.

1005 NORTH 50TH STREET  
PHOENIX, AZ 85008  
T: (602) 268-6156  
WWW.FIRETRAININGSTRUCTURES.COM



REVISION

DES MOINES, IA  
TRAINING FACILITY

JOB NO.	DES MOINES, IA
DRAWN	JED
ENGINEER	PTB
DATE	11-3-2022

SCALE

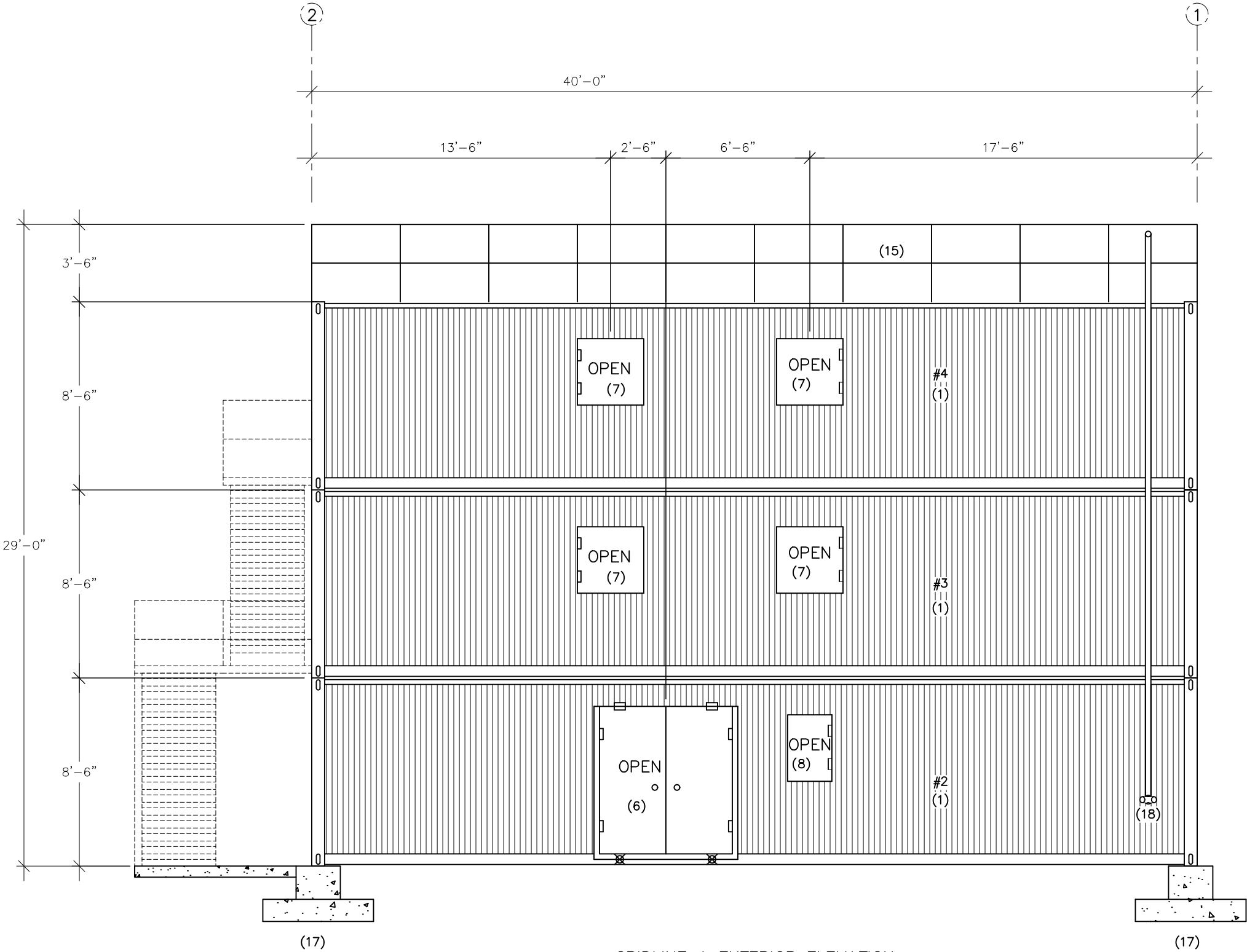
NTS

ELEVATION

SHEET

FAB-6

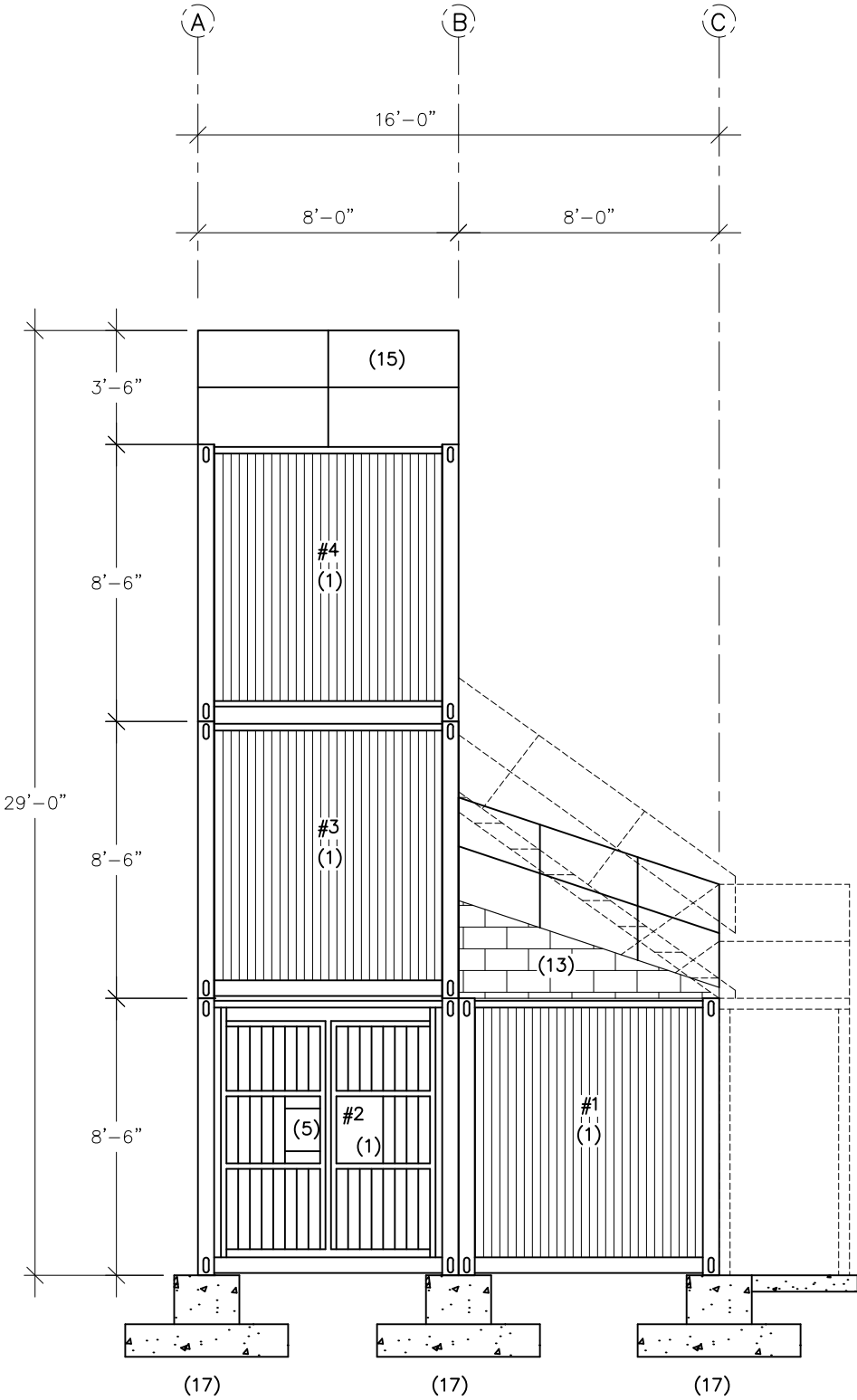
- PLAN NOTES:
- 40FT CONTAINER WITH WOOD FLOOR. EXTERIOR PAINT COLOR TO BE DETERMINED WITH DRAINAGE WEEP HOLES.
  - STANDARD RECONFIGURABLE SCBA MAZE SYSTEM.
  - 4FT WIDE X 8FT TALL STEEL PIVOTING WALL.
  - STANDARD PERSONNEL DOOR
  - 4 DOOR FORCED ENTRY AND CUTTING DOOR SYSTEM.
  - GARAGE DOOR CUTTING PROP.
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  - DENVER DRILL WINDOW.
  - 4FT X 8FT WALL BREACH PROP.
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  - RESIDENTIAL COMPLIANT GALVANIZED EXTERIOR STAIR SYSTEM.
  - STAIR OPENING WITH HATCH COVER AND GUARD RAILING.
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  - ¾"DIAMETER SPRINKLER PIPE WITH TWO SPRINKLER HEADS AND BALL VALE AT EACH BURN ROOM, SLOPE FOR DRAINAGE.



SYMBOL KEY		HATCH KEY	
	• FDC CONNECTION		• WOOD FLOOR
	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		

PLAN NOTES:

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2. STANDARD RECONFIGURABLE SCBA MAZE SYSTEM.
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GRIDLINE 1  
EXTERIOR ELEVATION

SYMBOL KEY		HATCH KEY	
	• FDC CONNECTION		• WOOD FLOOR
	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
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REVISION

DES MOINES, IA  
TRAINING FACILITY

JOB NO.	DES MOINES, IA
DRAWN	JED
ENGINEER	PTB
DATE	11-3-2022

SCALE NTS

ELEVATION

SHEET

FAB-8



PLAN AND ZONING COMMISSION

December 20, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

---

ACTION REQUESTED:

Motion

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LEGAL:

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SUBJECT:

Hubbell Realty Company, on behalf of NGR, Inc., request to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District

---

EXECUTIVE SUMMARY:

See attached staff report.

---

FISCAL IMPACT: **No**

---

STAFF RECOMMENDATIONS:

---

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

The Plan and Zoning Commission held a public hearing for the proposed rezoning at their meeting on December 6, 2022.

---

PUBLIC OUTREACH EFFORTS:

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ACTION REQUESTED:







**Action:** Consider MOTION to recommend City Council approval of the request by Hubbell Realty Company, on behalf of NGR, Inc., to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District.

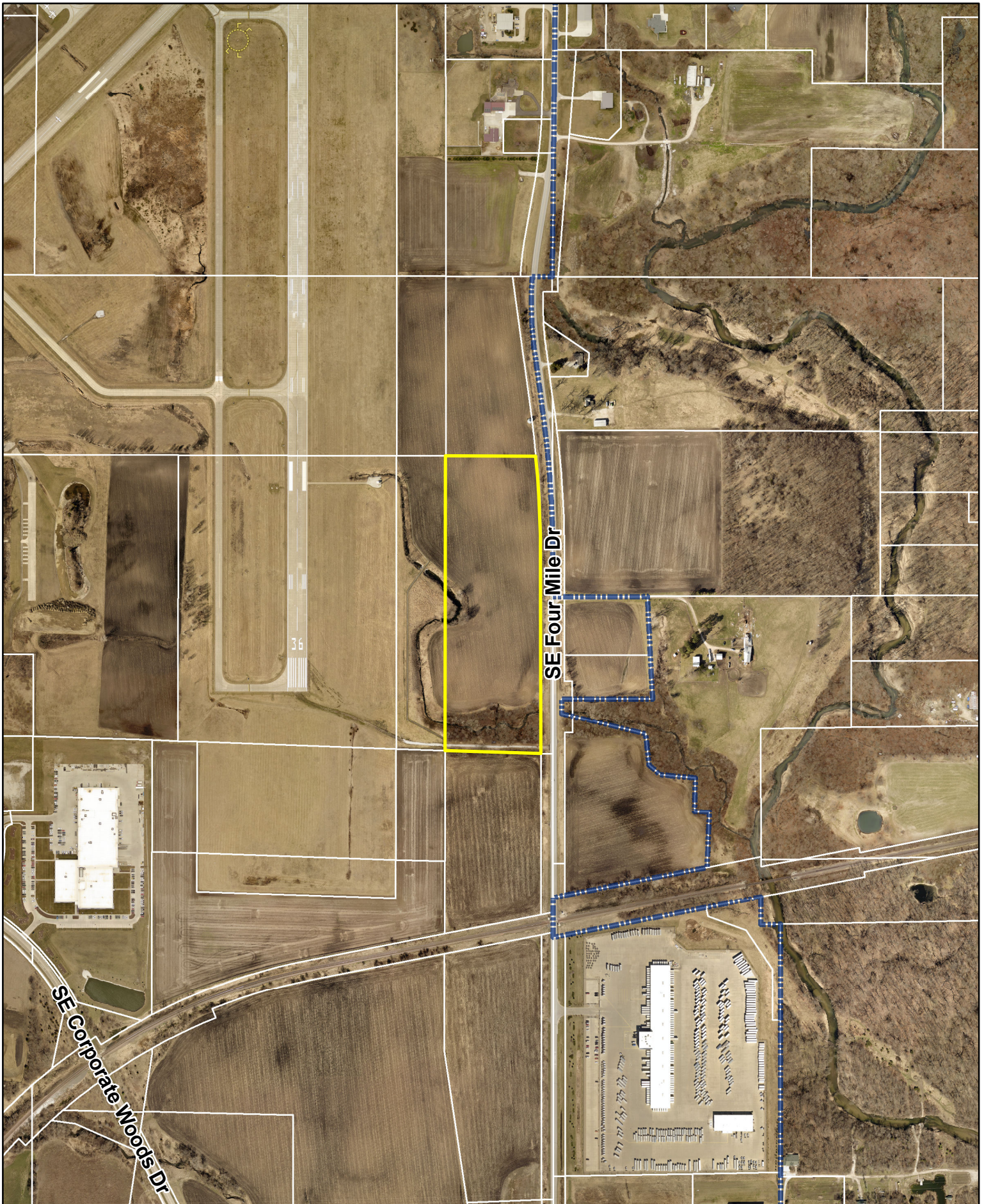
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ADDITIONAL INFORMATION:

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ATTACHMENTS:

Click to download
 <a href="#">Aerial Map</a>
 <a href="#">Staff Report</a>
 <a href="#">Applicant Letter</a>
 <a href="#">Rezoning Exhibit</a>
 <a href="#">Zoning Map</a>
 <a href="#">Future Land Use Map</a>





*Plan and Zoning Commission  
Staff Report*

*Meeting Date: December 20, 2022*

**Agenda Item:** NGR West Rezoning – Action  
**Report Date:** December 15, 2022  
**Prepared By:** Bryan Morrissey *ESL*  
Associate Planner

**Staff Recommendation**

That the Plan & Zoning Commission recommend City Council approval of the request by Hubbell Realty Company, on behalf of NGR, Inc., to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District.

**Project Report**

The applicant, Hubbell Realty Company, on behalf of NGR, Inc., is requesting to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District.

The area subject to the proposed rezoning consist of one parcel and totals approximately 16.74 acres (+/-) in size. The subject area is generally located north of SE Corporate Woods Drive and immediately west of SE Four Mile Drive near the Ankeny Regional Airport. The property is currently zoned R-1, One-Family Residence District, a zoning classification that was assigned to the property when it was annexed into Ankeny. Surrounding properties to the north, south, and east are zoned M-1, Light Industrial District, while the property to the west is zoned U-1, Conservation and Public Utility District (Ankeny Regional Airport).

The proposed rezoning aligns with the *Ankeny Plan 2040 Future Land Use Map* which identifies the subject area as being suitable for Airport Business Park uses. Per the *Ankeny Plan 2040*, the M-1, Light Industrial District is listed as being a compatible zoning district within the Airport Business Park future land use classification. Examples of common uses allowed within the M-1 District include, but are not limited to warehousing, storage, distribution centers, wholesale, and the processing of materials.

The applicant has submitted the required rezoning petitions consisting of the signatures of more than 50% of the land area subject to the rezoning, as well as the signatures of the owners of at least 60% of the land area within 250' of the subject property. Notifications of the public hearing were sent to the surrounding property owners on November 23, 2022; and a legal notice of the proposed rezoning was published in the Des Moines Register on November 25<sup>th</sup>, 2022. Additionally, the zoning ordinance requires the applicant to post on-site notification of the public hearing that displays the time, date, and location of the meeting to inform the public of the proposed changes. The required signage was posted by the applicant on Tuesday, November 30<sup>th</sup>, providing the required seven days of notice prior to the public hearing.

**Public Hearing**

The Plan & Zoning Commission held a public hearing for the proposed rezoning on December 6, 2022. There were no questions or comments from the public during the meeting. A complete recap of the public hearing can be found in the minutes from the meeting.



6900 Westown Parkway  
West Des Moines, IA 50266  
www.hubbellrealty.com  
515-243-3228  
FAX 515-280-2000

October 17, 2022

Community Development Department  
City of Ankeny  
1210 NW Prairie Ridge Drive  
Ankeny, IA 50023

To whom it may concern,

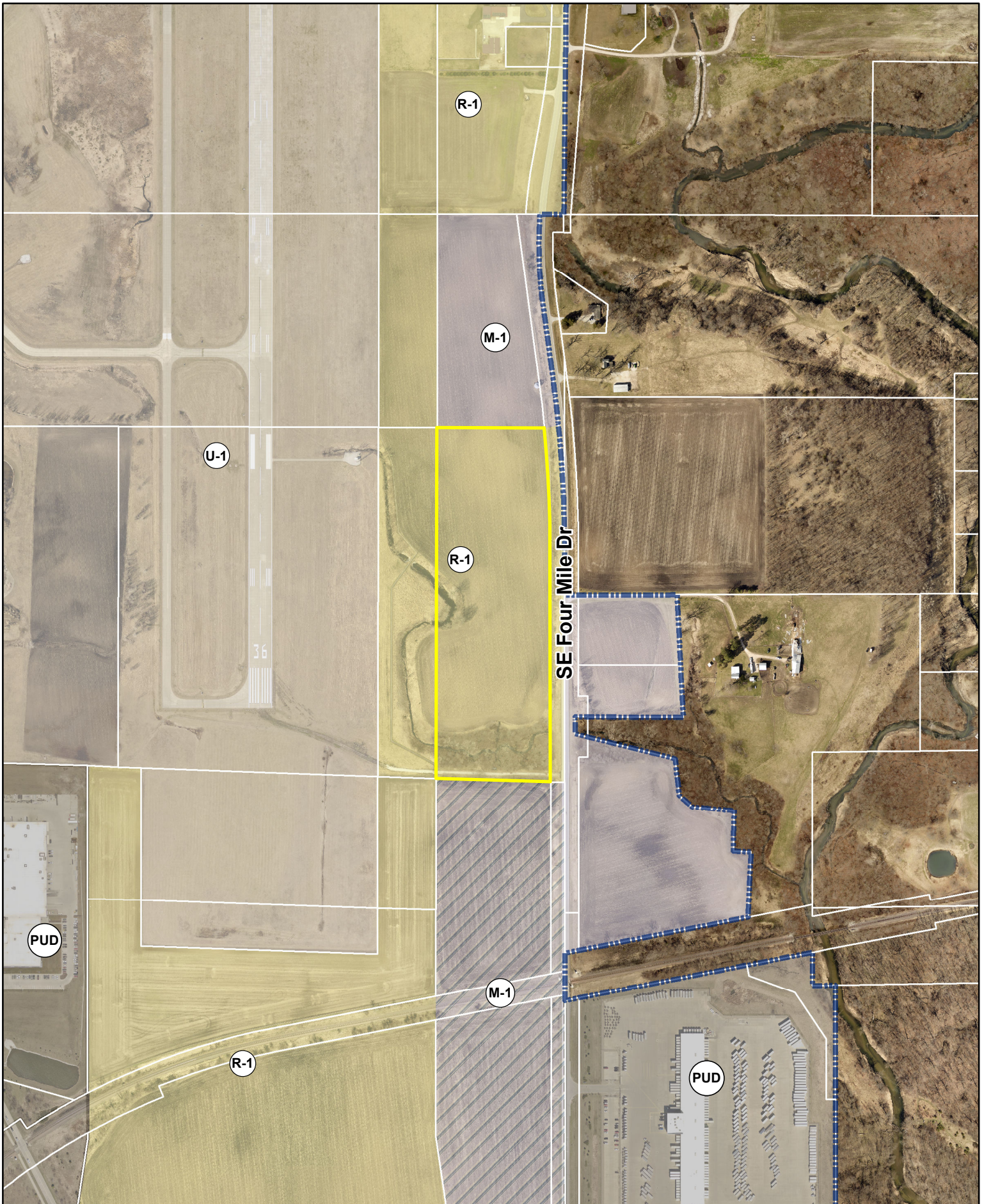
By direction of the current property owner, NGR, Inc., Hubbell Realty Company would like to request rezoning parcel 18100001001070 from R-1 (One-Family Residence District) to M-1 (Light Industrial District); see attached map exhibit for further details. The current use of this property is agricultural cropland with a future intended use as warehouse/logistics facility similar to existing structures in the area.

We have started collecting petitions from adjacent property owners and expect to have those forms submitted to city staff ahead of the forthcoming Planning and Zoning Commission deadline. Should you have any questions or concerns regarding this rezoning request, please don't hesitate to call or email our team at the contact listed below.

Best regards,

Clint Sloss  
HUBBELL DEVELOPMENT SERVICES  
6900 Westown Parkway, West Des Moines, IA 50266  
O: 515 280 2061 | M: 712 308 2484 | F: 515 280 2000  
[clint.sloss@hubbellrealty.com](mailto:clint.sloss@hubbellrealty.com)







N



1 inch = 525 feet

Date: 11/30/2022

## NGR West - Future Land Use



PLAN AND ZONING COMMISSION

December 20, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

---

ACTION REQUESTED:

Motion

---

LEGAL:

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SUBJECT:

Request to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map for property owned by Bricktowne Piper LC., from High Density Residential to Neighborhood Commercial.

---

EXECUTIVE SUMMARY:

See attached staff report.

---

FISCAL IMPACT: **No**

---

STAFF RECOMMENDATIONS:

---

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

The Plan and Zoning Commission held a Public Hearing at their meeting on December 6, 2022.

---

PUBLIC OUTREACH EFFORTS:

---

ACTION REQUESTED:







**Action:** Consider MOTION to recommend City Council approval of the request by Bricktowne Piper LC., to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by Bricktowne Piper LC., from High Density Residential to Neighborhood Commercial.

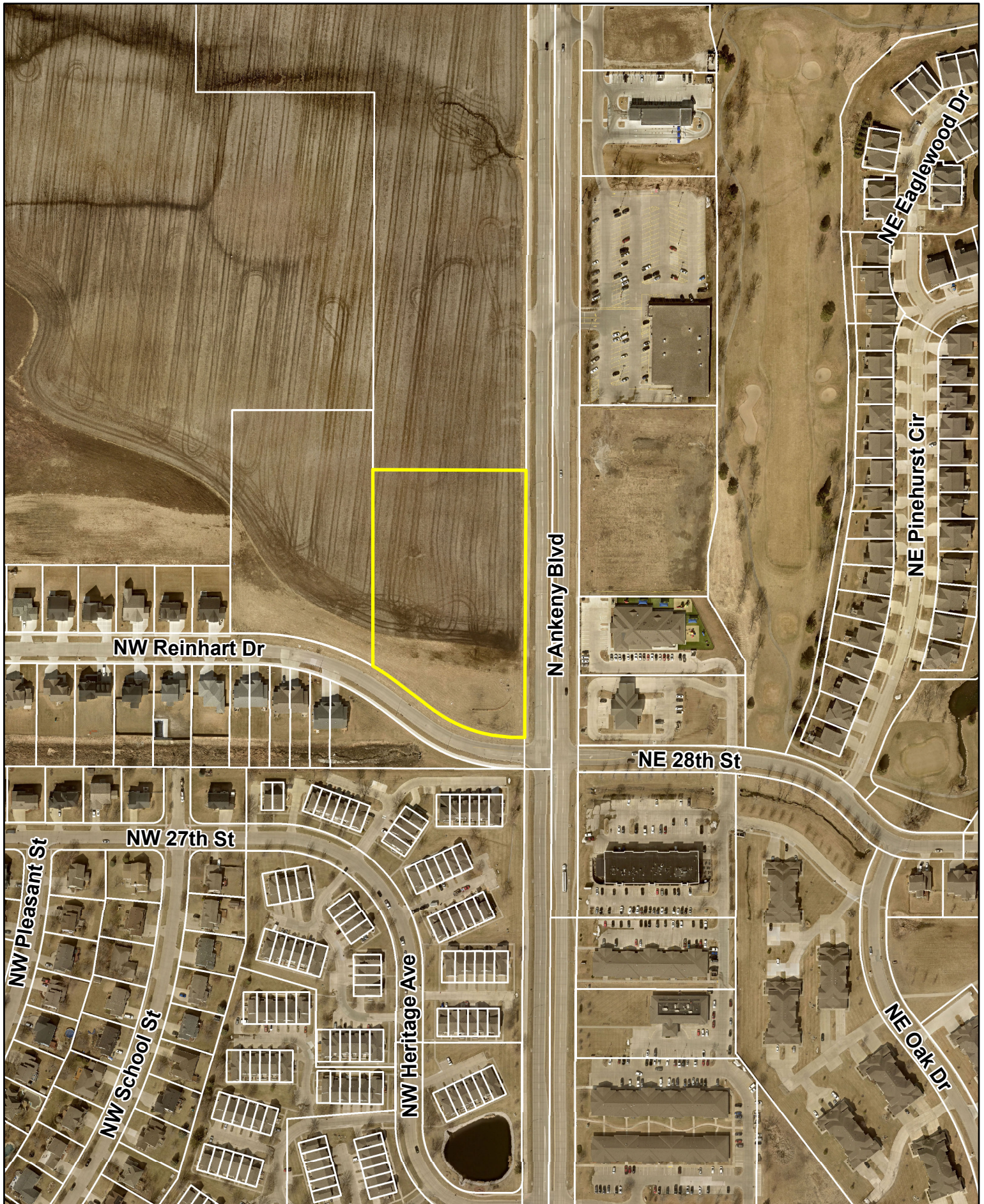
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ADDITIONAL INFORMATION:

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ATTACHMENTS:

<b>Click to download</b>
 <a href="#">Aerial Map</a>
 <a href="#">Staff Report</a>
 <a href="#">Exhibit</a>
 <a href="#">Future Land Use Map</a>
 <a href="#">Applicant Letter</a>
 <a href="#">Current Zoning Map</a>



1 inch = 275 feet

Date: 12/15/2022

**Bricktowne Piper Property  
Future Land Use Plan Amendment**



*city of*  
**Ankeny**

*bringing it all together*

*Plan and Zoning Commission  
Staff Report*

*Meeting Date: December 20, 2022*

---

**Agenda Item:** Bricktowne Piper Property Rezoning and Land Use Amendment – Action  
**Report Date:** December 14, 2022  
**Prepared By:** Ryan Kirschman  
Planner I

*ETC*

**Staff Recommendation**

That the Plan and Zoning Commission recommend City Council Approval of the request by Bricktowne Piper LC., to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by Bricktowne Piper LC. from High Density Residential to Neighborhood Commercial.

That the Plan and Zoning Commission recommend City Council Approval of the request by Bricktowne Piper LC., to rezone the property from R-3, Multiple Family Residence District to C-2 General Retail & Highway Oriented Business District.

**Project Report**

Bricktowne Piper LC. is requesting a rezoning and Future Land Use Plan Amendment on a portion of property located west of North Ankeny Boulevard and north of NW Reinhart Drive. The subject parcel is 8.04 acres, the applicants request is for the eastern portion which is 4.23 acres.

The owner is requesting an amendment to the Ankeny Plan 2040, Comprehensive Plan, Figure 12.10 Ankeny Future Land Use Plan Map. The current future land use designation is High Density Residential and the owner is proposing to modify this to Neighborhood Commercial. The rest of the property to the west will remain High Density Residential, the property to the north is zoned commercial along with the property across North Ankeny Boulevard that is currently undeveloped.

In conjunction with the Land Use Plan Amendment, the applicant, Bricktowne Piper LC. is also requesting to rezone the subject parcel to C-2 General Retail & Highway Oriented Business District. This does not currently align with the Ankeny 2040 Future Land Use Plan. The zoning would be compatible with the proposed Future Land Use Plan Amendment. The remaining portion of the property and properties to the south are zoned R-3 Multiple Family Residence District, the properties to the north and east are zoned C-2 General Retail & Highway Oriented Business District.

The applicant submitted the required rezoning petitions for the subject property. Notification for both the Land Use Plan Amendment and rezoning were mailed to all properties within 350' of

the subject area, legal notice was posted in the Des Moines Register, and public notification signage was posted on the property.

### **Public Hearing**

The Plan and Zoning Commission held a public hearing for the rezoning on December 6, 2022. During the public hearing there was discussion regarding the projects from City Staff, the applicant's representative, and a member of the public. A complete recap of the discussions and questions can be found in the minutes from the meeting. Additionally, members of the public raised the following questions and concerns:

### **How will the property be accessed?**

There will be access to the property from the south off of NW Reinhart Drive (a collector street), there will be no access to the subject property via N. Ankeny Boulevard. Prior to development the applicant will be required to conduct a traffic memo and potential impact study for the site which will be reviewed by city staff along with the site plan.

### **What will be built on the site?**

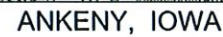
Another question the commission asked was, what will be built on the site. The applicant's representative stated that the specific development plan was unknown at this time.

### **Summary:**

The proposed land use amendment is consistent with the adjacent properties to the north and east along N. Ankeny Boulevard. Therefore, staff recommends that the Plan and Zoning Commission recommend City Council approval to amend the Ankeny Plan 2040, Comprehensive Plan, Figure 12.10 Ankeny Future Land Use Plan Map from High Density Residential to Neighborhood Commercial.

The proposed rezoning will be consistent with the proposed Land Use designation as shown in the 2040 Comprehensive Plan. Therefore, staff recommends that the Plan and Zoning Commission recommend City Council approval to rezone property from R-3, Multiple Family Residence District to C-2 General Retail & Highway Oriented Business District.

SCALE 1"=2000'

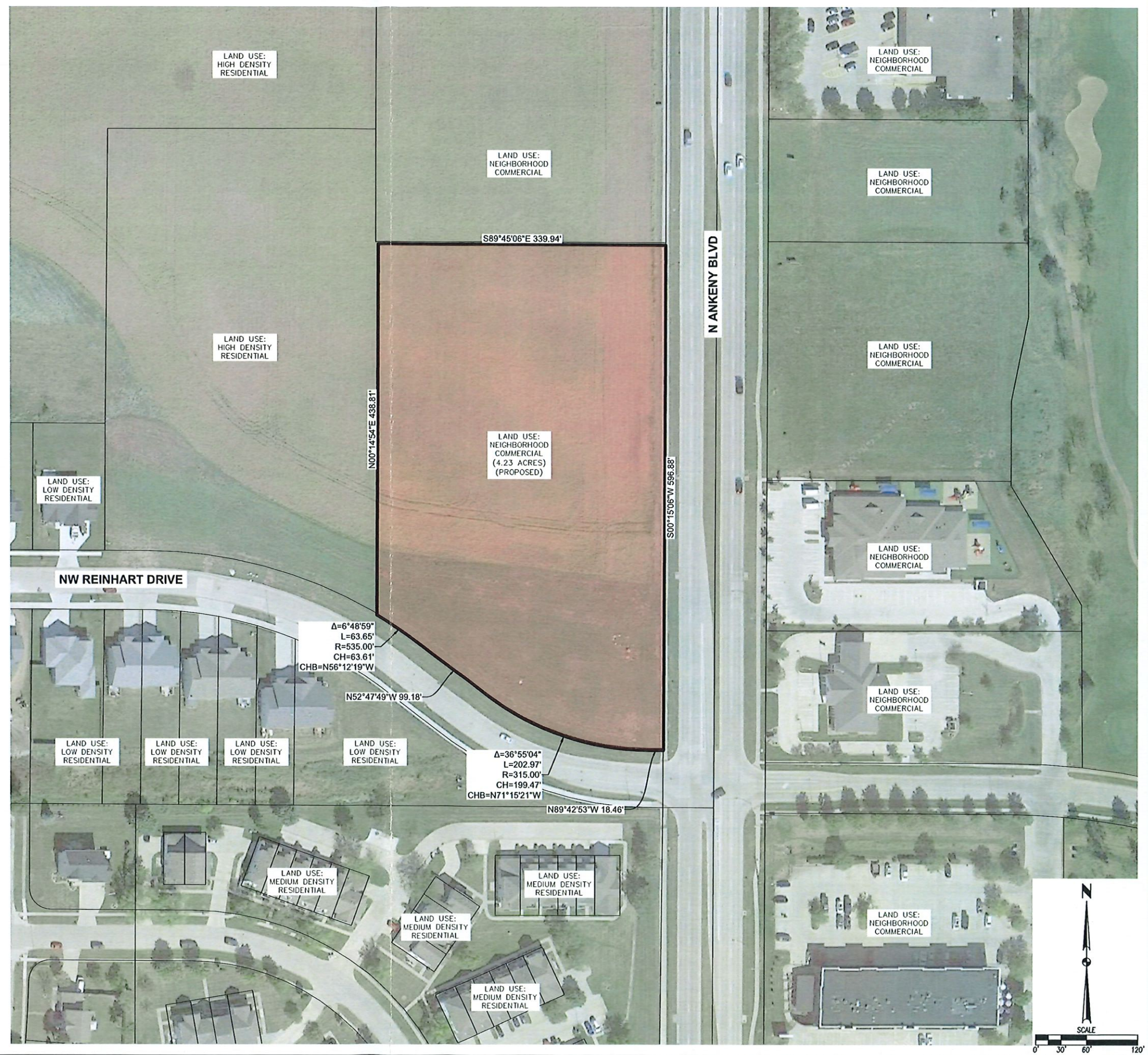


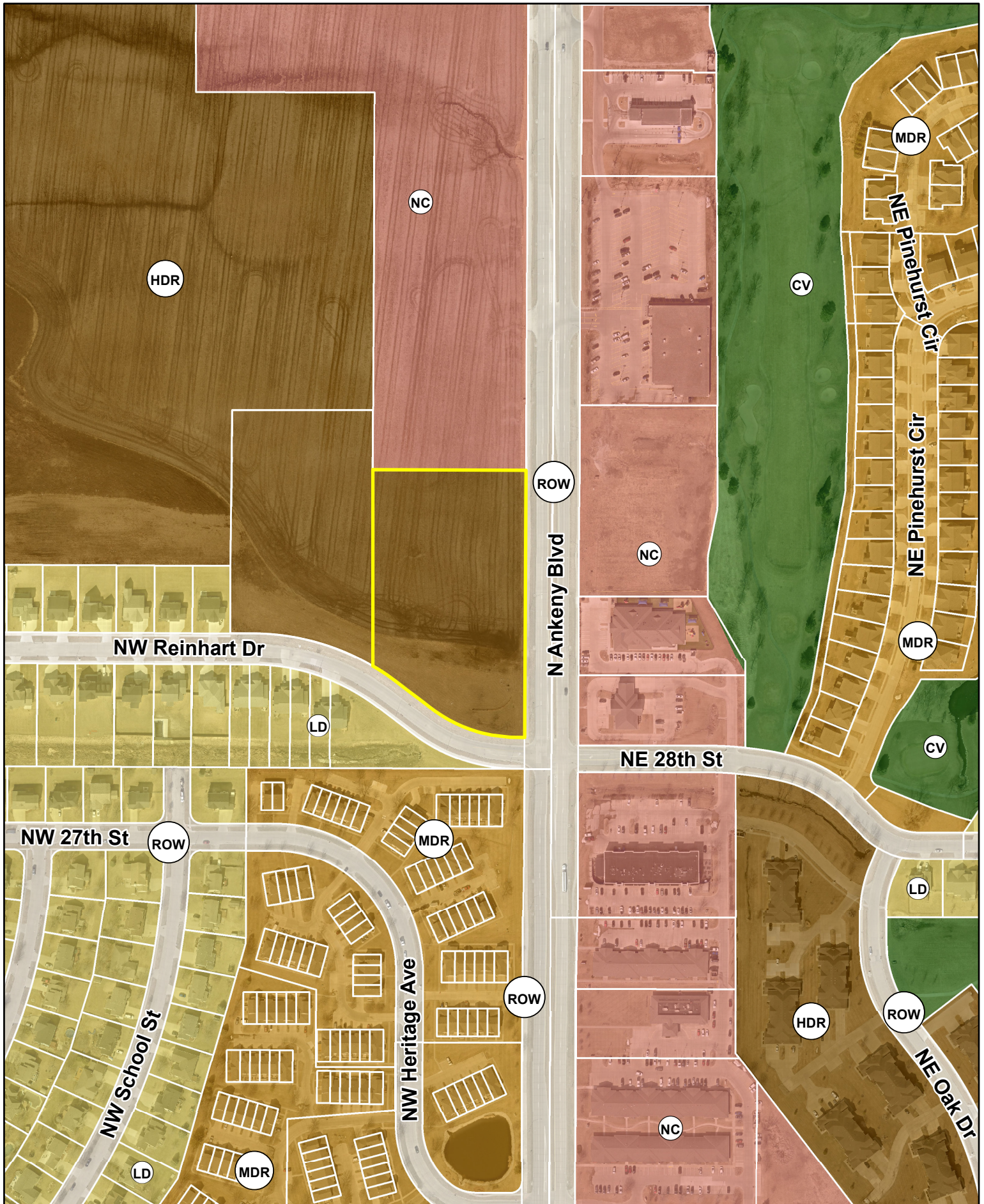
BRICKTOWNE PIPER LC  
CONTACT: DICKSON JENSEN  
4611 MORTENSEN ROAD, SUITE 106  
AMES, IA 50014  
PH. (515) 233-2752

EXISTING:	HIGH DENSITY RESIDENTIAL
PROPOSED:	NEIGHBORHOOD COMMERCIAL

A PART OF OUTLOT 'Z', PIPER PROPERTIES PLAT 1, AN OFFICIAL PLAT IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID OUTLOT '2'; THENCE NORTH 89°42'53" WEST ALONG THE SOUTHERLY LINE OF SAID OUTLOT '2', 18.46 FEET; THENCE WESTERLY CONTINUING ALONG SAID SOUTHERLY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 315.00 FEET, WHOSE ARC LENGTH IS 202.97 FEET AND WHOSE CHORD BEARS NORTH 71°15'21" WEST, 199.47 FEET; THENCE NORTH 52°47'49" WEST CONTINUING ALONG SAID SOUTHERLY LINE, 99.18 FEET; THENCE NORTHWESTERLY CONTINUING ALONG SAID SOUTHERLY LINE AND A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 535.00 FEET, WHOSE ARC LENGTH IS 63.65 FEET AND WHOSE CHORD BEARS NORTH 56°12'19" WEST, 63.61 FEET; THENCE NORTH 00°14'54" EAST, 438.81 FEET TO THE NORTHERLY LINE OF SAID OUTLOT '2'; THENCE SOUTH 89°45'06" EAST ALONG SAID NORTHERLY LINE, 339.94 FEET TO THE NORTHEAST CORNER OF SAID OUTLOT '2'; THENCE SOUTH 00°15'06" WEST ALONG THE EASTERLY LINE OF SAID OUTLOT '2', 596.88 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.23 ACRES (184,207 SQUARE FEET). THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.





N



1 inch = 275 feet

Date: 12/15/2022

# **Bricktowne Piper Property** **Future Land Use Plan Amendment**



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,  
PLANNERS & SURVEYORS

October 28, 2022

Honorable Mayor, City Council & Planning & Zoning Commission  
c/o Eric Carstens  
City of Ankeny  
Community Development Department  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50023

RE: Piper Property – Comprehensive Plan Amendment

Honorable Mayor, City Council and Planning & Zoning Commission;

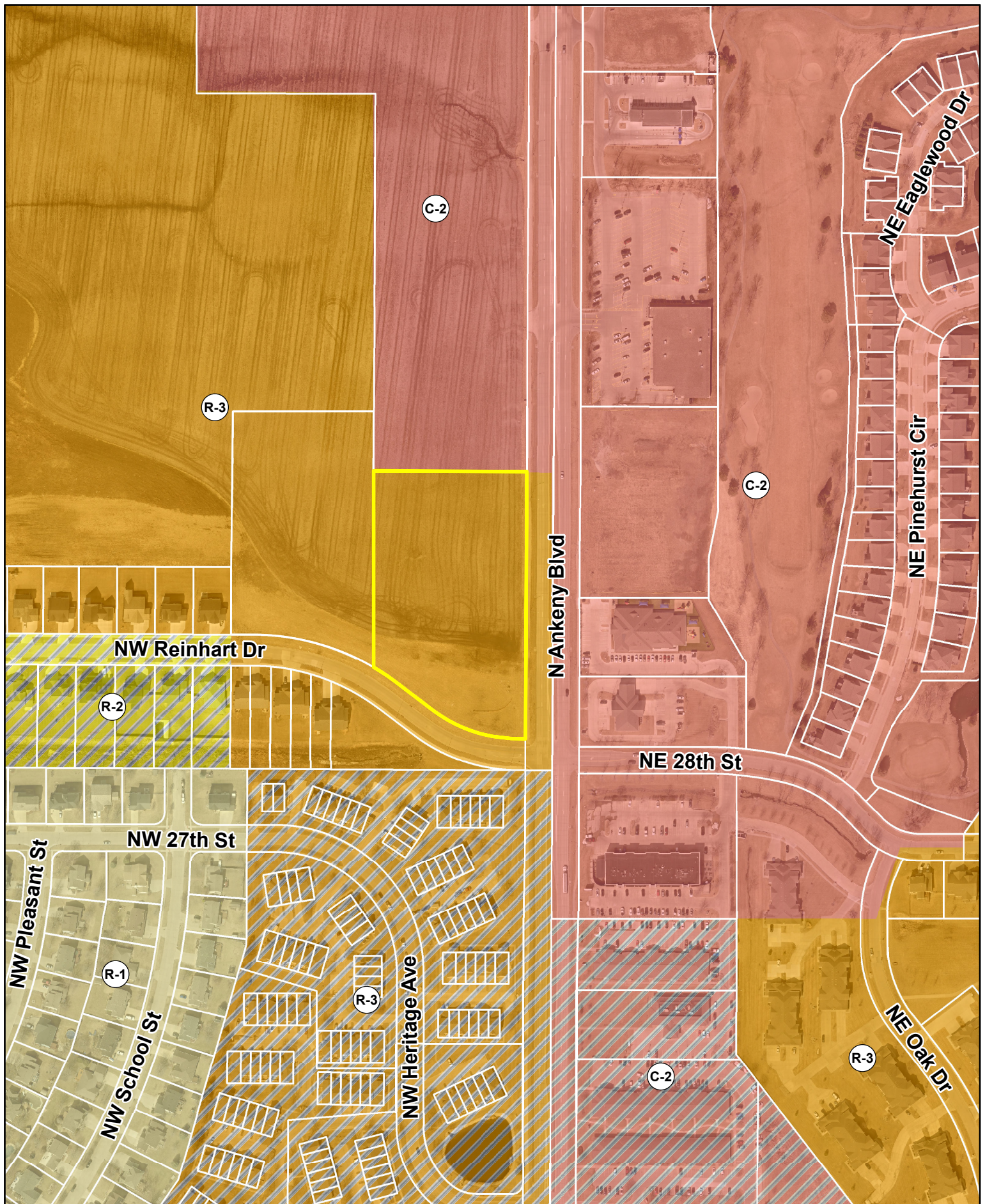
On behalf of Bricktowne Piper LC, we submit herewith the following request to modify the city's comprehensive plan on approximately 4.23 acres from High Density Residential to Neighborhood Commercial. The property directly north and east of N. Ankeny Boulevard is currently planned for or developed as commercial property. This small parcel sits between a collector and principal arterial roadway and would blend into what is already zoned as commercial to the north creating a consistent zoning from the two major intersections of NW 36<sup>th</sup>/N. Ankeny Blvd and NW Reinhart Drive/N. Ankeny Blvd. A commercial land use would be an appropriate transition along the busy corridor stepping into high density residential as you go west into the property. Please accept this submittal for the next available Planning & Zoning and City Council meetings. Let me know if you have any questions or require any further information to complete your review. Thanks.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC

Erin K. Ollendike, P.E.

cc: Dickson Jensen, Bricktowne Piper LC



1 inch = 275 feet

Date: 12/15/2022

# Bricktowne Piper Property Future Land Use Plan Amendment





PLAN AND ZONING COMMISSION

December 20, 2022

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

---

ACTION REQUESTED:

Motion

---

LEGAL:

---

SUBJECT:

Bricktowne Piper LC., request to rezone property from R-3 Multiple Family Residence District to C-2, General Retail and Highway Oriented Business District.

---

EXECUTIVE SUMMARY:

See attached staff report.

---

FISCAL IMPACT: **No**

---

STAFF RECOMMENDATIONS:

---

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

The Plan and Zoning Commission held a public hearing for the proposed rezoning at their meeting on December 6, 2022.

---

PUBLIC OUTREACH EFFORTS:

---

ACTION REQUESTED:







**Action:** Consider MOTION to recommend City Council approval of the request by Bricktowne Piper LC., to rezone property from R-3 Multiple Family Residence District to C-2, General Retail and Highway Oriented Business District.

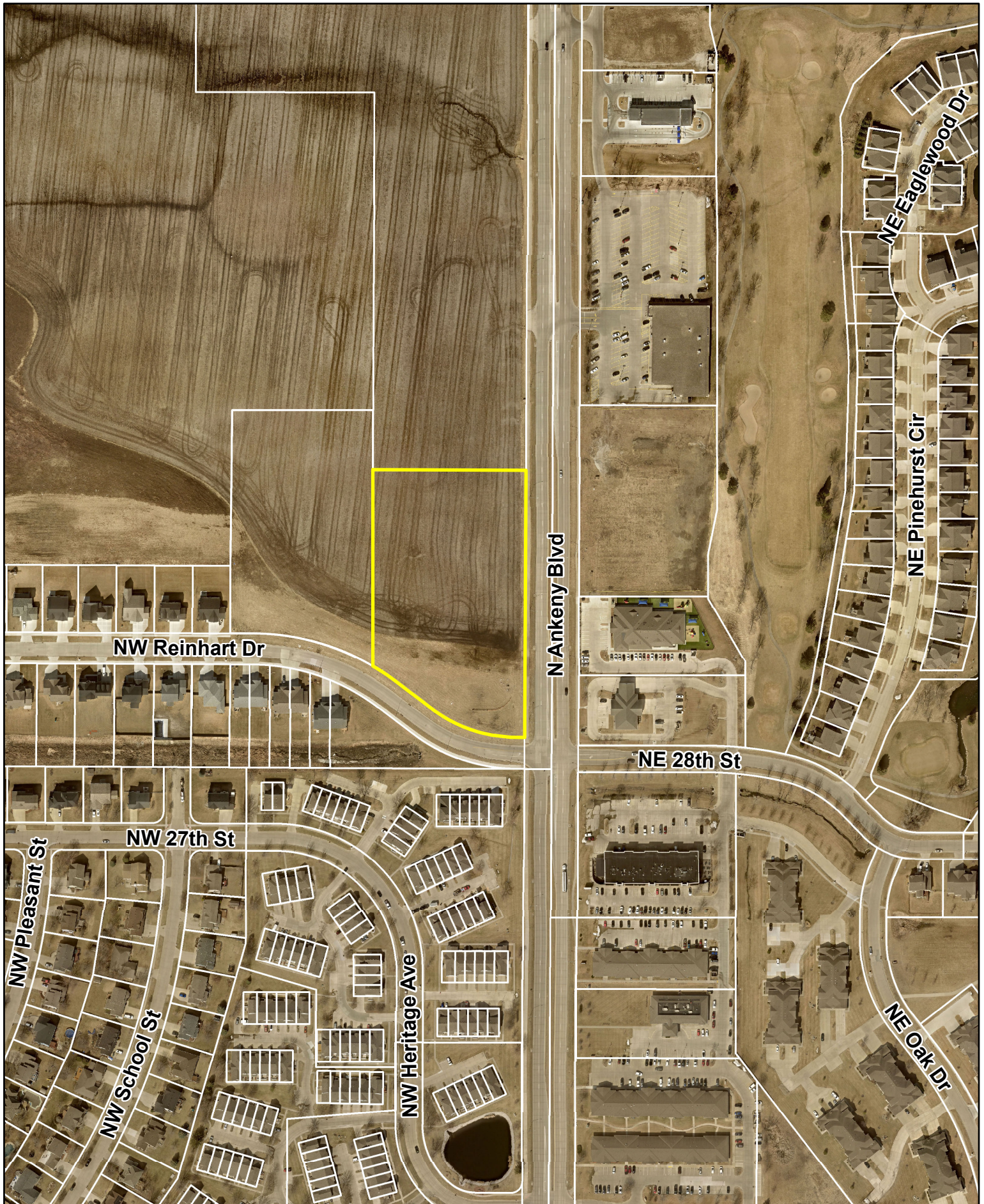
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ADDITIONAL INFORMATION:

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ATTACHMENTS:

Click to download
 <a href="#">Aerial Map</a>
 <a href="#">Staff Report</a>
 <a href="#">Applicant Letter</a>
 <a href="#">Rezoning Exhibit</a>
 <a href="#">Current Zoning Map</a>
 <a href="#">Future Land Use Map</a>



N



1 inch = 275 feet

Date: 12/15/2022

**Bricktowne Piper Property - Rezoning**



*city of*  
**Ankeny**

*bringing it all together*

*Plan and Zoning Commission  
Staff Report*

*Meeting Date: December 20, 2022*

---

**Agenda Item:** Bricktowne Piper Property Rezoning and Land Use Amendment – Action  
**Report Date:** December 14, 2022  
**Prepared By:** Ryan Kirschman  
Planner I

*ETC*

**Staff Recommendation**

That the Plan and Zoning Commission recommend City Council Approval of the request by Bricktowne Piper LC., to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by Bricktowne Piper LC. from High Density Residential to Neighborhood Commercial.

That the Plan and Zoning Commission recommend City Council Approval of the request by Bricktowne Piper LC., to rezone the property from R-3, Multiple Family Residence District to C-2 General Retail & Highway Oriented Business District.

**Project Report**

Bricktowne Piper LC. is requesting a rezoning and Future Land Use Plan Amendment on a portion of property located west of North Ankeny Boulevard and north of NW Reinhart Drive. The subject parcel is 8.04 acres, the applicants request is for the eastern portion which is 4.23 acres.

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In conjunction with the Land Use Plan Amendment, the applicant, Bricktowne Piper LC. is also requesting to rezone the subject parcel to C-2 General Retail & Highway Oriented Business District. This does not currently align with the Ankeny 2040 Future Land Use Plan. The zoning would be compatible with the proposed Future Land Use Plan Amendment. The remaining portion of the property and properties to the south are zoned R-3 Multiple Family Residence District, the properties to the north and east are zoned C-2 General Retail & Highway Oriented Business District.

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### **What will be built on the site?**

Another question the commission asked was, what will be built on the site. The applicant's representative stated that the specific development plan was unknown at this time.

### **Summary:**

The proposed land use amendment is consistent with the adjacent properties to the north and east along N. Ankeny Boulevard. Therefore, staff recommends that the Plan and Zoning Commission recommend City Council approval to amend the Ankeny Plan 2040, Comprehensive Plan, Figure 12.10 Ankeny Future Land Use Plan Map from High Density Residential to Neighborhood Commercial.

The proposed rezoning will be consistent with the proposed Land Use designation as shown in the 2040 Comprehensive Plan. Therefore, staff recommends that the Plan and Zoning Commission recommend City Council approval to rezone property from R-3, Multiple Family Residence District to C-2 General Retail & Highway Oriented Business District.



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,  
PLANNERS & SURVEYORS

October 28, 2022

Honorable Mayor, City Council & Planning & Zoning Commission  
c/o Eric Carstens  
City of Ankeny  
Planning & Building Department  
1210 NW Prairie Ridge Drive  
Ankeny, Iowa 50021

RE: Piper Properties Commercial Rezoning

Honorable Mayor, City Council and Planning & Zoning Commission;

On behalf of Bricktowne Piper LC, we submit herewith the following rezoning request to rezone approximately 4.23 acres located northwest of the intersection of N. Ankeny Boulevard and NW Reinhart Drive. The existing zoning on the property is R-3 Multiple-Family Residential and we are requesting to rezone to C-2 General Retail & Highway Oriented Commercial Business District. Please accept this submittal for the next available Planning & Zoning and City Council meetings. Let me know if you have any questions or require any further information to complete your review. Thanks.

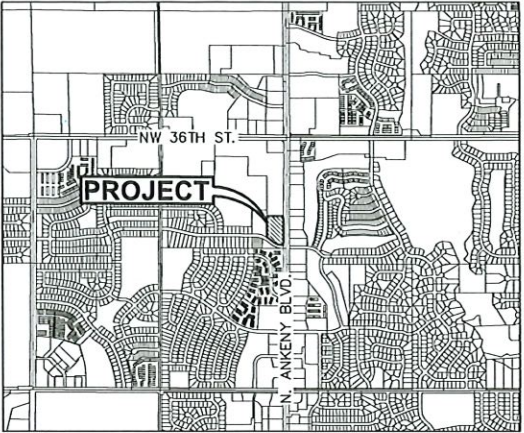
Sincerely,

CIVIL DESIGN ADVANTAGE, LLC

Erin K. Ollendike, P.E.

VICINITY MAP

SCALE 1"=2000'



ANKENY, IOWA

OWNER / APPLICANT

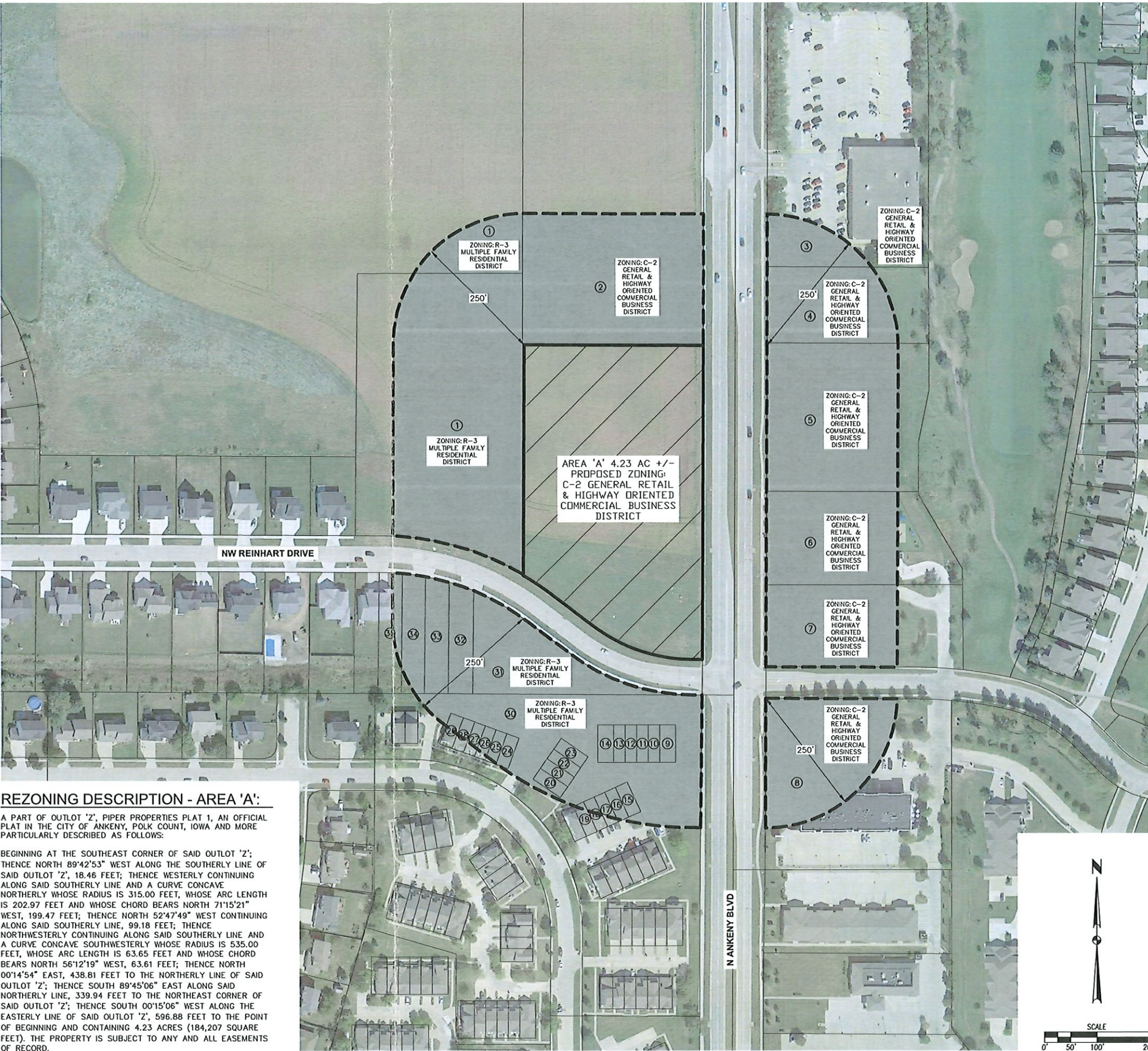
BRICKTOWNE PIPER LC  
CONTACT: DICKSON JENSEN  
4611 MORTENSEN ROAD, SUITE 106  
AMES, IA 50014  
PH. (515) 233-2752

ZONING:

EXISTING: R-3 MULTIPLE FAMILY RESIDENTIAL DISTRICT  
PROPOSED: C-2 GENERAL RETAIL & HIGHWAY ORIENTED COMMERCIAL BUSINESS DISTRICT

ADJACENT OWNERSHIP:

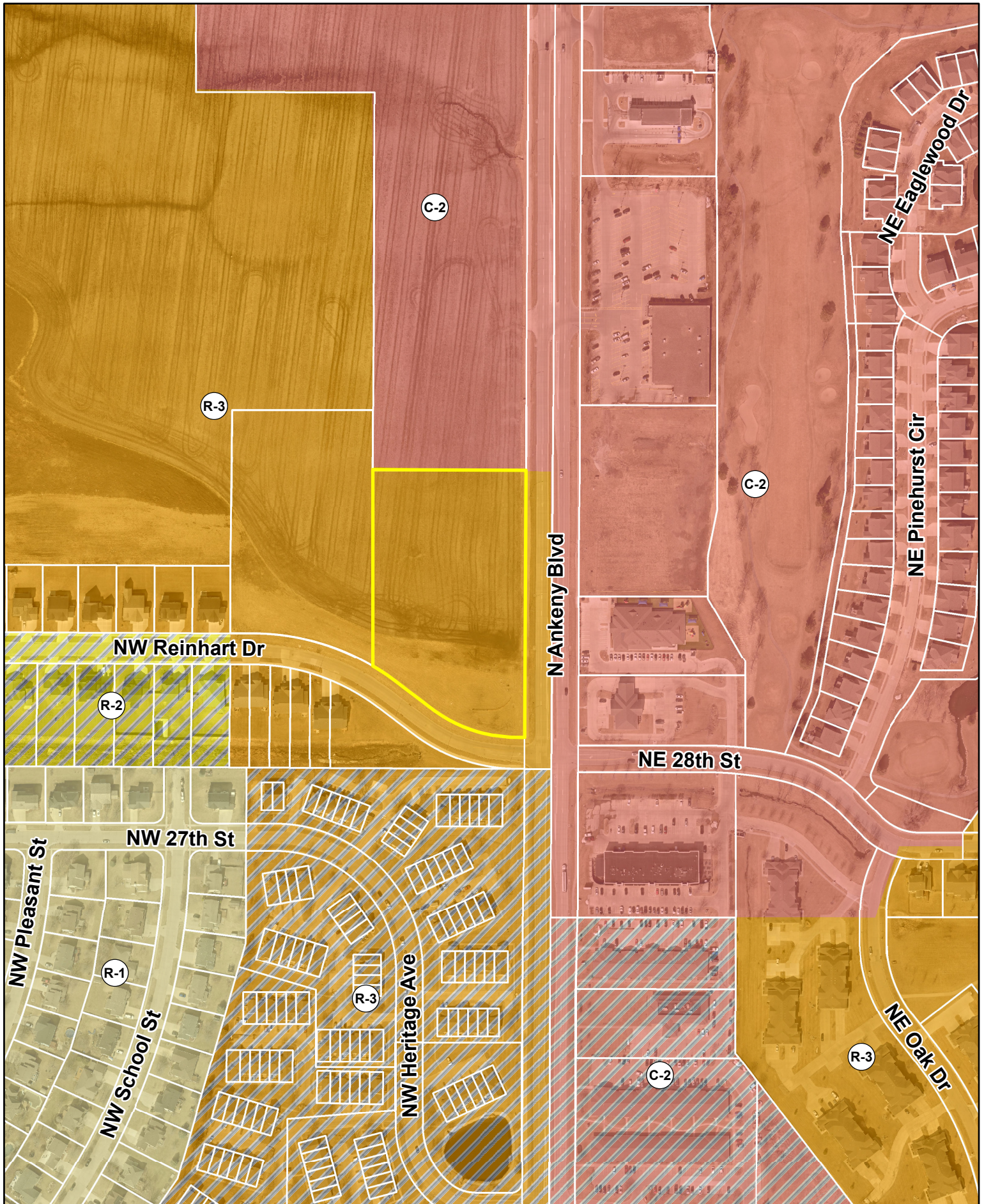
	OWNER	ACRES	PERCENT	CONSENTING
1	BRICKTOWNE PIPER LC	3.34	22.77%	X
2	NORTH ANKENY BOULEVARD LLC	1.95	13.27%	X
3	FAREWAY STORES INC	0.32	2.19%	X
4	JAM INVESTMENT OF ANKENY LLC	0.78	5.29%	
5	WILLIAM B KIMBERLEY REVOCABLE TRUST	1.62	11.02%	
6	WILMOT INVESTMENTS LLC	1.02	6.94%	X
7	CENTRAL BANK	0.90	6.11%	X
8	KIMBERLEY COMMERCIAL LLC	1.11	7.57%	
9	LINDA SICKERSON	0.05	0.33%	
10	CHAD BORSHEIM	0.04	0.24%	
11	LUCAS A BORST	0.04	0.24%	
12	DANIEL & SUSAN KALEY	0.04	0.24%	
13	ELIZABETH J HOLLAND	0.04	0.24%	
14	BRUCE A COOK	0.05	0.33%	
15	LA VAUN C SCHAEFFER	0.04	0.24%	
16	ADAM J & REBECCA A WEBER	0.03	0.21%	
17	AMANDA E MCDANIEL	0.02	0.16%	
18	BAILEY PEASE & DYLAN HEACOCK	0.01	0.10%	
19	CHARLES & SHELBY PHIPPEN	0.00	0.03%	
20	SHANNON LINCOLN	0.04	0.24%	
21	ANNA E SCHWEERS	0.03	0.21%	
22	MICHAEL C GETTEMY	0.03	0.21%	
23	CHERYL V BOSE	0.04	0.24%	
24	KEVIN & SHERI L MCGINNIS	0.04	0.24%	
25	MARIAN & MARK LEE	0.03	0.20%	
26	DOUGLAS D DICKINSON	0.03	0.17%	
27	JOHN E & LYNN R BYRNE	0.02	0.15%	
28	DALE E & SHERRY SCHROEDER	0.02	0.12%	
29	BRADY S NORTH	0.02	0.11%	
30	GEORGETOWN TOWNHOME ASSOCIATION	1.56	10.59%	
31	NANCY M WOODIN REVOCABLE TRUST	0.74	5.05%	X
32	JOLYNN H & MATTHEW D FREY	0.21	1.44%	X
33	TERRIL N SESKER	0.23	1.54%	X
34	CHARLES & TAMMIE CUNNINGHAM	0.22	1.50%	X
35	JENSS LLC	0.06	0.43%	X
		14.68	100.00%	61.24%



REZONING DESCRIPTION - AREA 'A':

A PART OF OUTLOT 'Z', PIPER PROPERTIES PLAT 1, AN OFFICIAL PLAT IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID OUTLOT 'Z'; THENCE NORTH 89°42'53" WEST ALONG THE SOUTHERLY LINE OF SAID OUTLOT 'Z', 18.46 FEET; THENCE WESTERLY CONTINUING ALONG SAID SOUTHERLY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 315.00 FEET, WHOSE ARC LENGTH IS 202.97 FEET AND WHOSE CHORD BEARS NORTH 71°15'21" WEST, 199.47 FEET; THENCE NORTH 52°17'49" WEST CONTINUING ALONG SAID SOUTHERLY LINE, 99.18 FEET; THENCE NORTHWESTERLY CONTINUING ALONG SAID SOUTHERLY LINE AND A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 535.00 FEET, WHOSE ARC LENGTH IS 63.65 FEET AND WHOSE CHORD BEARS NORTH 56°12'19" WEST, 63.61 FEET; THENCE NORTH 00°14'54" EAST, 438.81 FEET TO THE NORTHERLY LINE OF SAID OUTLOT 'Z'; THENCE SOUTH 89°45'06" EAST ALONG SAID NORTHERLY LINE, 339.94 FEET TO THE NORTHEAST CORNER OF SAID OUTLOT 'Z'; THENCE SOUTH 00°15'06" WEST ALONG THE EASTERLY LINE OF SAID OUTLOT 'Z', 596.88 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.23 ACRES (184,207 SQUARE FEET). THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.



N



1 inch = 275 feet

Date: 12/15/2022

## Bricktowne Piper Property - Rezoning

