



Meeting Agenda

Plan and Zoning Commission

Wednesday, January 4, 2023

6:30 PM

Ankeny City Council Chambers

1250 SW District Drive, Second Floor, Ankeny, Iowa

Glenn Hunter, Chair

Ted Rapp, Vice Chair

Trina Flack
Randall Weisheit

Lisa West

Annette Renaud
Todd Ripper

Plan and Zoning Commission regular meetings are held at 6:30 p.m. on the first and third Tuesdays of each month, following the Monday City Council meetings. All Plan and Zoning meetings are open to the public. Assistive Listening Devices (ALD) are available for persons with impaired hearing.

CALL TO ORDER:

A. ROLL CALL:

B. AMENDMENTS TO AGENDA:

Consider MOTION to approve and accept the January 4, 2023 agenda with/without amendments.

C. COMMUNICATIONS:

Correspondence received from the following individuals regarding Public Hearing Item #3: James Krohse, 6734 NE Berwick Drive, Raymond McPherson, 6800 NE Berwick Drive, Roger and Sandra Penn, 6806 NE Berwick Drive, William Pearce, 6868 NE Berwick Drive, and Susan Kristein, 6870 NE Berwick Drive.

D. CITIZEN'S REQUEST:

E. CONSENT AGENDA ITEMS:

1. Minutes

Consider MOTION to approve and accept the December 20, 2022 minutes of the Plan and Zoning Commission meeting.

2. 1450 SW Tradition Drive - Rocket Carwash Site Plan

Consider MOTION to approve the site plan for 1450 SW Tradition Drive, Rocket Carwash.

Consider MOTION to approve the recommendations for Consent Agenda Item(s) #1 - #2.

F. REMOVED CONSENT AGENDA ITEMS:

G. PUBLIC HEARINGS:

Public Hearings are held during Plan and Zoning's regular meetings. The Chairperson opens the hearing with a statement of the subject being considered and asks if there is anyone present who wishes to speak for or against the proposed item. The Chairperson may require a time limit on the number of minutes each member of the public may speak, normally five minutes. Members of the public who wish to speak will be requested to step forward to the podium and must state their name and address. At the conclusion of all public testimony and questions and comments from the Commission on a subject, the public hearing will be closed and the item will be placed on the next agenda for the next regular meeting. At that meeting City Staff will present their report and the Commission will deliberate and act on the subject.

3. Hubbell Realty Company, on behalf of NGR, Inc., request to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District

Consider MOTION to close the public hearing, and receive and file documents.

H. BUSINESS ITEMS:

4. Albaugh Four Mile Industrial Preliminary Plat

Consider MOTION to recommend City Council approval of Albaugh Four Mile Industrial Preliminary Plat.

I. OLD BUSINESS:

J. REPORTS:

1. January 3, 2023 City Council Report - Staff

2. Director's Report

Tentative agenda items for January 18, 2023

3. Commissioner's Reports

K. MISCELLANEOUS ITEMS:

January 17, 2023 - 5:30 p.m. City Council Representative: Staff

L. ADJOURNMENT:

Consider MOTION to adjourn the meeting.



PLAN AND ZONING COMMISSION

January 4, 2023

6 : 30 PM

 **Print**

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Correspondence received from the following individuals regarding Public Hearing Item #3: James Krohse, 6734 NE Berwick Drive, Raymond McPherson, 6800 NE Berwick Drive, Roger and Sandra Penn, 6806 NE Berwick Drive, William Pearce, 6868 NE Berwick Drive, and Susan Kristein, 6870 NE Berwick Drive.

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

ADDITIONAL INFORMATION:

ATTACHMENTS:

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December 10, 2022

RECEIVED
12-20-2022

City of Ankeny

Honorable Mayor and City Council

Plan and Zoning Commission

As a home owner whose property directly abuts the property currently zoned as R-1 that you are seeking to rezone as M-1, **we strongly oppose this rezoning and will not sign the petition you mailed to us.**

No city should allow any property zoned as M-1 to abut R-1 property. A number of the metro area communities, Johnston & Grimes, as examples, require a buffer between R-1 and M-1 properties. So should the City of Ankeny.

I doubt any of your own properties abut land zoned M-1. You should not expect any R-1 property owner to be infringed in this manner.

James A Krohse



6734 NE Berwick Drive
Ankeny, IA 50021

RECEIVED
12-13-2022

Bryan Morrissy
Ankeny Planning and Zoning Commission
1220 NW Prairie Ridge Drive
Ankeny, Iowa 50023

As residents bordering parcel 190/00054-002-000, described by Hubbell Development Services in their request for our support as "parcel directly south of 6953 NE 29th St., Ankeny, Iowa 50021; frontage of -845' along NE 29th St, lot extends -1,595' eastward" we oppose the proposed rezoning from residential to industrial.

1. Industrial and residential zoning areas are incompatible;
2. The proximity of industrial installations would clearly damage our residential area property values and violate the lifestyle expectations that factored into our reasons for choosing to live here.
3. The parcel for which the zoning change is proposed shares with our property a climax riparian ecology forest, exhibiting all its plant and animal features, and stretching along the banks of a major stream, Four Mile Creek. This unique ecology would necessarily be damaged by industrial construction and usage, whereas it has been protected as part of private residential ownership for 180 years.

Signed

Raymond J. McPherson

Dec 12, 2022
Date

Address

6800 N.E. Bunnick Dr

Bryan Morrissy
Ankeny Planning and Zoning Commission
1220 NW Prairie Ridge Drive
Ankeny, Iowa 50023

RECEIVED
12-16-2022

As residents bordering parcel 190/00054-002-000, described by Hubbell Development Services in their request for our support as "parcel directly South of 6953 NE 29th St., Ankeny, Iowa 50021; frontage of -845' along NE 29th St, lot extends -1,595' eastward, we feel it is too close to our residential property and should not be rezoned.

This letter is to convey our opposition to the proposed rezoning of the above described property. We believe to change the zoning from residential to industrial will endanger the unique nature of the wooded area of the eastern part of said parcel, and threaten the pristine wooded area of the western section of our property which contains part of the Four Mile Creek corridor.

Respectfully submitted for your consideration.

Roger A. Penn
Roger A. Penn

12-13-2022
Date

Sandra E. Penn
Sandra E. Penn

12-13-2022
Date

RECEIVED
12-13-2022

Bryan Morrissy
Ankeny Planning and Zoning Commission
1220 NW Prairie Ridge Drive
Ankeny, Iowa 50023

As residents bordering parcel 190/00054-002-000, described by Hubbell Development Services in their request for our support as "parcel directly south of 6953 NE 29th St., Ankeny, Iowa 50021; frontage of -845' along NE 29th St, lot extends -1,595' eastward" we oppose the proposed rezoning from residential to industrial.

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Signed William Pearce 12-7-2022

Address 6868 NE Beaver Creek Drive Ankeny

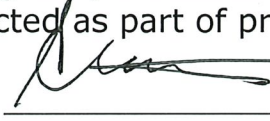
Bryan Morrissey
Ankeny Planning and Zoning Commission
1220 NW Prairie Ridge Drive
Ankeny, Iowa 50023

RECEIVED
12-13-2022

"As residents bordering parcel 190/00054-002-000, described by Hubbell Development Services in their request for our support as "parcel directly south of 6953 NE 29th St., Ankeny, Iowa 50021; frontage of -845' along NE 29th St, lot extends -1,595' eastward" we oppose the proposed rezoning from residential to industrial.

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3. The parcel for which the zoning change is proposed shares with our property a climax riparian ecology forest, exhibiting all its plant and animal features, and stretching along the banks of a major stream, Four Mile Creek. This unique ecology would necessarily be damaged by industrial construction and usage, whereas it has been protected as part of private residential ownership for 180 years."

Signed

 Susan Kuestein

Date 12/7/22

Address

6870 NE Berwick Dr Ankeny, Iowa 50021



PLAN AND ZONING COMMISSION

January 4, 2023

6 : 30 PM

 Print

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Minutes

EXECUTIVE SUMMARY:

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to approve and accept the December 20, 2022 minutes of the Plan and Zoning Commission meeting.

ADDITIONAL INFORMATION:

ATTACHMENTS:

[Click to download](#)

Meeting Minutes

Plan & Zoning Commission Meeting

Tuesday, December 20, 2022

Ankeny City Council Chambers, Second Floor
1250 SW District Drive, Ankeny, Iowa

CALL TO ORDER

Vice Chair T.Rapp called the December 20, 2022 meeting of the Plan & Zoning Commission to order at 6:30 p.m.

ROLL CALL

Members present: Trina Flack, Annette Renaud, Ted Rapp, Todd Ripper, Lisa West and Randy Weisheit.
Absent: Glenn Hunter. Staff present: E.Jensen, D.Silverthorn, B.Morrissey, L.Hutzell, R.Kirschman, B.Fuglsang

AMENDMENTS TO THE AGENDA

Motion by T.Flack to approve the December 20, 2022 agenda without amendments. Second by T.Ripper. All voted aye. Motion carried 6 – 0.

COMMUNICATIONS

There were no communications.

CITIZEN'S REQUEST

There were no requests.

CONSENT AGENDA ITEMS

Item #1. Minutes

Motion to approve and accept the December 6, 2022 minutes of the Plan and Zoning Commission meeting.

Item #2. 1001 SW Ordinance Road - Aim High Automotive Site Plan

Motion to approve the site plan for 1001 SW Ordinance Road, Aim High Automotive, subject to City Council approval of the public storm sewer vacation, public ingress/egress easement vacation, and replacement public storm sewer easement.

Item #3. 1509 N Ankeny Boulevard - Earl May Nursery and Garden Center Greenhouse Addition Site Plan

Motion to approve the site plan for 1509 N Ankeny Boulevard, Earl May Nursery and Garden Center Greenhouse Addition.

Item #4. 2006 S. Ankeny Boulevard - DMACC ISO Rated Facility Site Plan

Motion to approve the site plan for 2006 S. Ankeny Boulevard, DMACC ISO Rated Facility.

Motion by A.Renaud to approve the recommendations for Consent Agenda Item #1 - #4. Second by L.West. All voted aye. Motion carried 6 – 0.

PUBLIC HEARINGS

There were no public hearings.

BUSINESS ITEMS

Item #5. Hubbell Realty Company, on behalf of NGR, Inc., request to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District

B.Morrissey reported that the applicant, Hubbell Realty Company, is requesting to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District. He stated the area subject to the proposed rezoning consists of one parcel and totals approximately 16.74 acres. The property is generally located north of SE Corporate Woods Drive and immediately west of SE Four Mile Drive; and is currently zoned R-1, One-Family Residence District. The surrounding properties to the north, south, and east are zoned M-1, Light Industrial District, while the property to the west is zoned U-1, Conservation and Public Utility District. He noted that the proposed rezoning aligns with the Ankeny Plan 2040 Future Land Use Map. B.Morrissey noted that the M-1, Light Industrial District is listed as being a compatible zoning district within the Airport Business Park future land use classification and provided examples of common uses allowed within the M-1 District. He shared the

applicant has submitted the required rezoning petitions and all legal notifications for the rezoning have been met. During the public hearing there were no comments or questions from the public regarding the request. Staff recommends that the Plan and Zoning Commission recommend City Council approval of the request by Hubbell Realty Company, on behalf of NGR, Inc., to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District.

The applicant/representative had nothing further to share with the Commission.

Motion by T.Flack to recommend City Council approval of the request by Hubbell Realty Company, on behalf of NGR, Inc., to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District. Second by R.Weisheit. All voted aye. Motion carried 6 – 0.

Item #6. Request to amend The Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map for property owned by Bricktowne Piper, LC from High Density Residential to Neighborhood Commercial

Item #7. Bricktowne Piper, LC request to rezone property from R-3, Multiple-Family Residence District to C-2, General Retail and Highway Oriented Business District

R.Kirschman reported Bricktowne Piper, LC is requesting an amendment to The Ankeny Plan 2040, Comprehensive Plan, Figure 12.10 Ankeny Future Land Use Plan Map and to rezone 4.23-acres of an 8.04-acre parcel located west of N Ankeny Boulevard and north of NW Reinhart Drive. He stated the current future land use designation is High Density Residential and the owner is proposing to modify this to Neighborhood Commercial. R.Kirschman shared that Bricktowne Piper, LC is also requesting to rezone 4.23-acres of an 8.04-acre parcel from R-3, Multiple-Family Residence District to C-2, General Retail and Highway Oriented Business District. He noted that the applicant submitted the required rezoning petitions and all legal notifications were met for both the Land Use Plan amendment and rezoning request. R.Kirschman provided information to address the questions that were raised during the public hearing, which included the access point for the property and what was anticipated to be built on the site. R.Kirschman stated that the proposed land use amendment is consistent with the adjacent properties to the north and east along N. Ankeny Boulevard; therefore, staff recommends that the Plan and Zoning Commission recommend City Council approval to amend the Ankeny Plan 2040, Comprehensive Plan, Figure 12.10 Ankeny Future Land Use Plan Map from High Density Residential to Neighborhood Commercial. He stated the proposed rezoning will be consistent with the proposed Land Use designation as shown in the 2040 Comprehensive Plan; and therefore, staff recommends that the Plan and Zoning Commission recommend City Council approval to rezone property from R-3, Multiple Family Residence District to C-2 General Retail & Highway Oriented Business District.

Erin Ollendike, Civil Design Advantage, 4121 NW Urbandale Drive, Urbandale representing the developer had nothing further to share with the Commission.

Motion by T.Ripper to recommend City Council approval of the request by Bricktowne Piper LC., to amend the Ankeny Plan 2040 Comprehensive Plan, Figure 12.10, Future Land Use Map, reclassifying property owned by Bricktowne Piper LC., from High Density Residential to Neighborhood Commercial. Second by T.Flack. All voted aye. Motion carried 6 – 0.

Motion by A.Renaud to recommend City Council approval of the request by Bricktowne Piper LC., to rezone property from R-3 Multiple Family Residence District to C-2, General Retail and Highway Oriented Business District. Second by R.Weisheit. All voted aye. Motion carried 6 – 0.

REPORTS

City Council Meeting

E.Jensen reported on the December 19, 2022 City Council meeting.

Director's Report

E.Jensen presented the tentative agenda items for the January 4, 2023 Plan and Zoning Commission meeting and said that there will be a public hearing for a rezoning request by NGR, Inc.

Commissioner's Reports

There were no reports.

MISCELLANEOUS ITEMS

January 3, 2023 – 5:30 p.m. City Council Meeting Representative: Staff

ADJOURNMENT

There being no further business, T.Rapp motioned to adjourn. The meeting adjourned at 6:45 p.m.



Submitted by Brenda Fuglsang, Secretary
Plan & Zoning Commission



PLAN AND ZONING COMMISSION

January 4, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

1450 SW Tradition Drive - Rocket Carwash Site Plan

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:






ACTION REQUESTED:

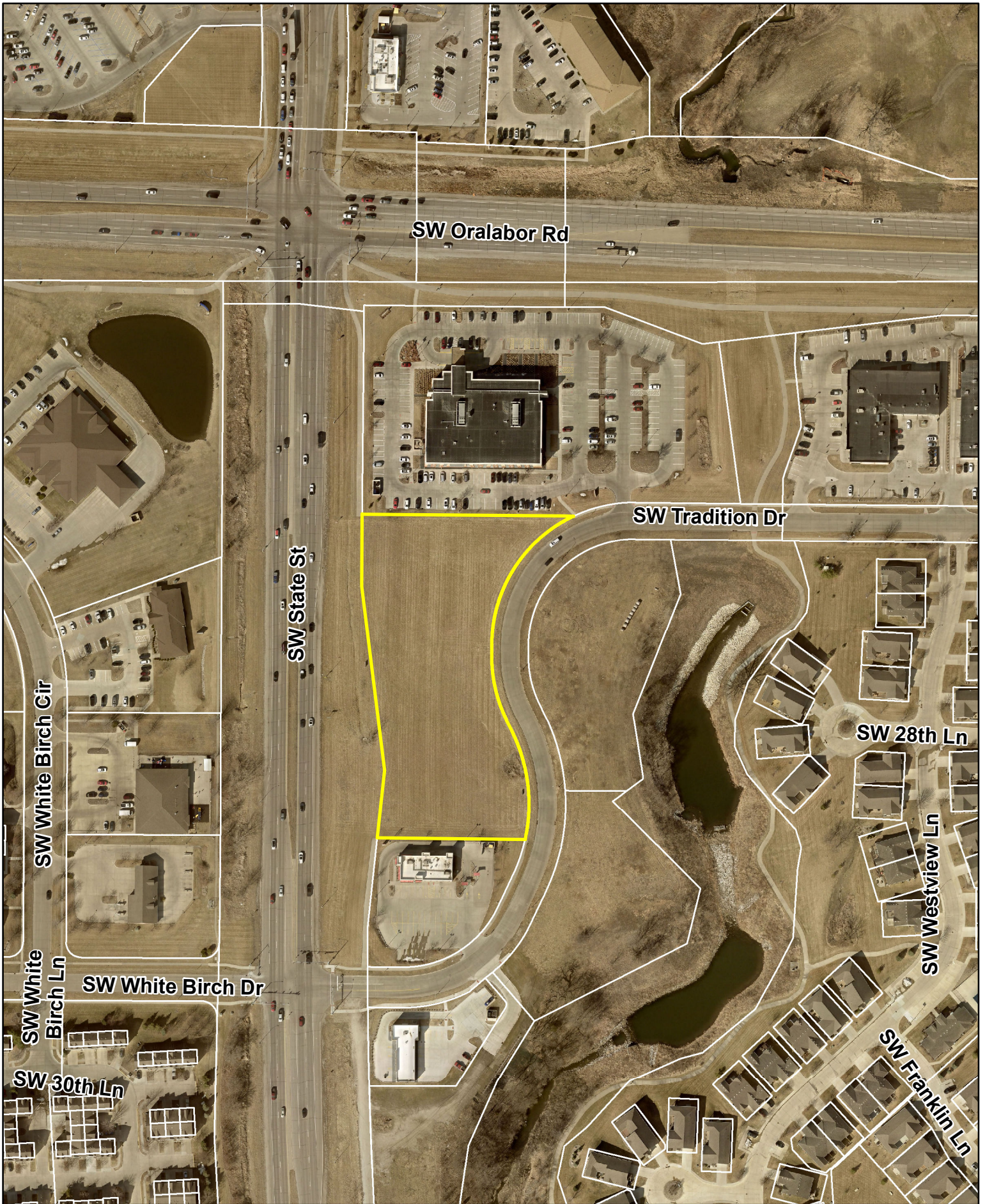
Action: Consider MOTION to approve the site plan for 1450 SW Tradition Drive, Rocket Carwash.

ADDITIONAL INFORMATION:

ATTACHMENTS:

[Click to download](#)

 Aerial Map
 Staff Report
 Applicant Letter
 Site Plan
 Elevations



N



1 inch = 200 feet

Date: 12/29/2022

**1450 SW Tradition Drive
Rocket Carwash**

Ankeny
bringing it all together.

Agenda Item: 1450 SW Tradition Drive – Site Plan
Report Date: December 29, 2022
Prepared by: Jake Heil
Associate Planner

ESL

Staff Recommendation:

That the Plan and Zoning Commission approves the site plan for 1450 SW Tradition Drive, Rocket Carwash.

Project Summary:

The subject property is located at 1450 SW Tradition Drive and is generally located south of SE Oralabor Road, east of SW State Street and west of SW Tradition Drive; on Lot 4 Tradition Plat 1. The parcel is 1.65 Acres (+/-). The site is zoned Tradition PUD. The surrounding properties to the north, east, south and west are similarly zoned. The proposed development includes a new 6,130 sf conveyer fed carwash, 23 vacuum stalls, parking, trash/vacuum enclosures and associated site improvements.

The proposed site will have a sole access point at the southeast corner of the site, providing access to SW Tradition Drive. Parking for the site requires 1 space for every 3 employees on the maximum shift plus reservoir capacity equal to 5 times the capacity of the washing operation. The proposed site plan meets the requirements with 23 total vacuum stalls with 2 being ADA accessible, and 4 regular parking stalls.

The proposed 6,130 sf building will be 35 feet in height at the uppermost point, and will be constructed of brick, EIFS, architectural concealed metal wall panels, and glass. The proposed building materials conform to the Tradition PUD and Section 192.02.3.B, providing over 70% primary materials on the west, south and east elevations. The submitted site plan proposes the building to be located towards the west side of the site, with the parking and vacuum stalls on the east side of the site. The site does propose three trash/vacuum enclosures to be located south of the proposed building and parking. The landscaping on the proposed site plan complies with applicable regulations, with additional screening where necessary.

New utility service connections and stormwater management area will be installed with this development. The proposed site will utilize a 4-inch water line on site that will connect to the existing 8-inch water service along SW Tradition Drive. 6-inch sanitary sewer service will connect to the existing 8-inch main along SW Tradition Drive, which will carry wastewater easterly off-site to the Saylor Creek Lift Station along SW Ankeny Road, and ultimately into the Rock Creek Trunk Sewer. Stormwater for the proposed site generally drains to the southeast corner of the site. Stormwater then feeds into a 48-inch Storm Sewer Main that runs along the south border of the site, which then flows east to a series of stormwater detention basins. From these basins, stormwater flows south where it will drain into an unnamed creek, stormwater continues flowing south and east along the unnamed creek which ultimately flows into the Des Moines River.

Site Plan Worksheet
1450 SW Tradition Drive – Rocket Carwash – Site Plan

The site plan regulations in the zoning code have a variety of design standards and factors for review. The following worksheet is intended to provide staff's comments related to this project and those items.

A. Site Development

- 1. The orientation, alignment, spacing, and placement of a building, driveway, parking area and/or service area on the site shall be compatible with and complimentary to buildings and sites in the neighboring area.**

The primary building façade is oriented to the east. The site provides a sole access point to SW Tradition Drive in the southeast corner of the site. The proposed building and parking areas meet all code requirements and compliments buildings in the neighboring area.

- 2. The site shall be planned to be compatible with the streetscape that is prevalent in the area.**

The site plan complies with the landscaping and parking lot requirements of the code.

- 3. The site shall provide for adequate parking and circulation for vehicles, bicycles and pedestrians. This includes safe bicycle and pedestrian movement from public walks to the building and from parking areas to the building.**

The site provides for adequate parking and circulation. Parking for the site requires 1 space for every 3 employees on the maximum shift plus reservoir capacity equal to 5 times the capacity of the washing operation. The proposed site plan meets the requirements with 23 total vacuum stalls with 2 being ADA accessible, and 4 regular parking stalls. The site also provides improvements for safe pedestrian and bicycle access around and through the site.

- 4. The site shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion or decrease safety on the site or surrounding public streets. Studies of the traffic impact shall be provided if deemed necessary by the Community Development Director.**

The proposed site will have a sole access point along SW Tradition Drive. The proposed site and use should not increase congestion or decrease safety on the site or surrounding public streets.

- 5. Parking areas shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to reduce their impact on public ways and adjoining properties.**

The primary parking for the site is located on the east side of the proposed building. The proposed parking meets the requirements for off street parking as stated in Chapter 194.01. Headlight screening was added to the site along both SW Tradition Drive and SW State Street.

- 6. Service areas; loading and unloading docks, delivery areas, dumpsters, outside storage areas and large storm water detention basins shall be treated with decorative elements, building wall extensions, plantings, berms, or other means so as to screen from view from public ways and adjoining properties.**

The site does propose a trash enclosure located south of the proposed parking. The trash enclosure will be constructed of brick matching the proposed building. The trash enclosure is further screened by shrubs and trees.

- 7. All newly installed utility lines shall be underground and entry fixtures located away from high use areas or screened in an approved manner.**

All services to the building will be underground.

- 8. Exterior lighting, when used, shall enhance the building design and the adjoining landscape. All lighting should be appropriate to the use of the building and surrounding properties with intensity of illumination limited to its intended use and not as an attraction to the site. Lighting shall be directed to eliminate impacts on adjoining sites.**

Site lighting will be directed away from adjoining property and downward.

- 9. The design shall provide adequate provisions for surface and subsurface drainage. Storm water detention, drainage and storm sewer improvements shall be designed to reduce the danger of erosion, flooding, landslide or other endangerment of surrounding property.**

Stormwater for the proposed site generally drains towards the southeast corner of the site. Stormwater then drains into a 48-inch Storm Sewer Main that runs along the south border of the site, which then flows east to a series of stormwater detention basins. From these basins, stormwater flows south where it will drain into an unnamed creek, stormwater continues flowing south and east along the unnamed creek which ultimately flows into the Des Moines River.

- 10. Utility connections to water and sanitary sewer lines shall be designed so as to not overload existing public utility lines. Studies of system loading shall be provided if deemed necessary by the Community Development Director.**

The proposed site will utilize a 4-inch water line on site that will connect to the existing 8-inch water service along SW Tradition Drive. 6-inch sanitary sewer service will connect to the existing 8-inch main along SW Tradition Drive, which will carry wastewater easterly off-site to the Saylor Creek Lift Station along SW Ankeny Road, and ultimately into the Rock Creek Trunk Sewer.

- 11. Site design should provide open space in areas visible to the public. A majority of the required open space should be located in front and side yards.**

The site meets open space requirements, with the majority of the open space along the west and south sides of the site.

- 12. Landscaping shall enhance architectural features and contribute to the beauty and utility of a development. Existing trees should be protected whenever possible to maintain the maturity of the site.**

The proposed parking lot shading and open space landscaping conform to the landscape requirements of the Code.

B. Building Design

- 1. Buildings shall have good scale and maintain or enhance the established scale of neighboring buildings and sites.**

The proposed building maintains the established scale of neighboring buildings and sites.

- 2. Materials selected for buildings shall provide compatible textures and colors as those of neighboring buildings.**

The proposed building will be constructed of brick, EIFS, architectural concealed metal wall panels, and glass. These proposed materials meet the design standards set out in the code and Tradition PUD. This building will maintain the established design relationship with neighboring buildings and sites.

- 3. All mechanical equipment or other utility hardware on roof, ground, or buildings, refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from or located as not to be visible from public view, using materials consistent with the building and site.**

There is no proposed utility hardware on the roof. All proposed trash and vacuum enclosures have the necessary screening.

- 4. Multiple buildings on the same site shall provide for compatible and complimentary design and materials.**

The proposed building compliments the design and materials used on the site and adjacent sites.

C. Signs

Locations of signs have been shown on the submitted plans; however final design and allowances will be determined with future sign permits.

D. Factors for Evaluation

The following factors and characteristics, which affect the function and appearance of a development, should govern the Plan and Zoning Commission's evaluation of a site plan submission:

- 1. Conformance to Design Standards and other applicable code requirements**

The plans submitted conform to the written regulations of the City.

2. Location of the building(s), and the relationship to the development site and neighboring buildings and sites.

The location of the building is toward the west side of the site. The proposed building and site development match the neighboring buildings and uses.

3. Layout and utilization of building, parking, drive-ways, and open spaces.

The site provides for adequate vehicular parking and circulation, as well as uninhibited on-site pedestrian movement.

4. Architectural character, including scale, style, color and type of material, of the building and signage as it relates to the neighborhood.

The proposed façade is compatible with the surrounding neighborhood.

5. Impact on sanitary sewer, storm sewer, drainage, water, and street systems.

It appears that the impacts on these utility systems can be accommodated adequately.



December 22, 2022

City of Ankeny
Attn: Jake Heil
1210 NW Prairie Ridge Drive
Ankeny, IA 50023

RE: P&Z and Council Request

Dear Planning Department,

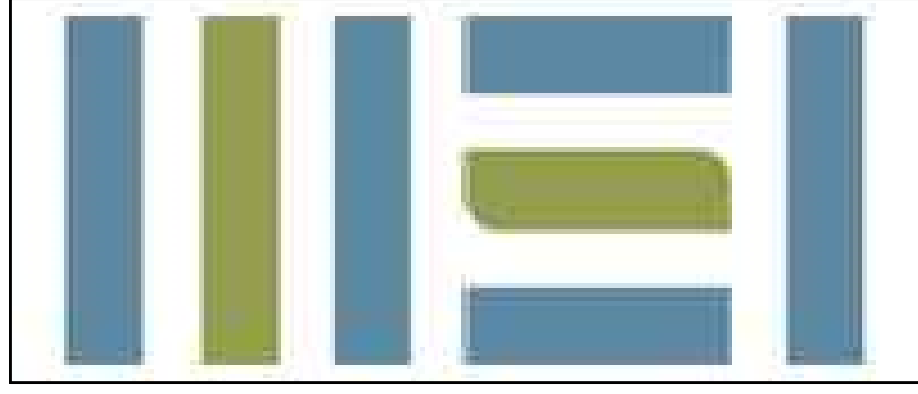
Rocket Carwash intends to build a 6130 square foot single tunnel carwash at 1450 SW Tradition Drive. This will be our second ground up carwash in Iowa. We have worked through the second round of City comments and are submitting our responses today with the intention of being on the January 4, 2023 Planning and Zoning agenda. We are seeking P&Z approval so we can continue working towards a Spring start date.

We are requesting the City of Ankeny reimburse Rocket Carwash for 331' feet of trail along the East boundary of the site, adjacent to State Street. The reimbursement we are asking the City and City Council for is \$3,475.50.

Thank you for your consideration.

Sincerely,

Angie Pfannkuch
Owner's Rep for RCW



SHEET INDEX

SHEET#	DESCRIPTION
C1.00	COVER SHEET
C1.01	SURVEY PLAN
C1.02	DEMOLITION PLAN
C1.03	SITE LAYOUT PLAN
C1.04	GRADING PLAN
C1.05	GRADING PLAN
C1.06	GRADING PLAN
C1.07	UTILITY PLAN
C1.08	STORM WATER POLLUTION PREVENTION PLAN
C1.09	STORM WATER POLLUTION PREVENTION PLAN
C1.10	STORM WATER POLLUTION PREVENTION PLAN
C1.11	VEHICLE TURNING RADIUS PLAN
L1.00	LANDSCAPING PLAN
L1.01	LANDSCAPING DETAILS

ADDRESS/LEGAL DISCRIPTION:

1450 SW. TRADITION DRIVE ANKENY, IA. 50023

LOT 4, TRADITION PLAT1, AN OFFICIAL PLAT, CITY OF ANKENY, POLK COUNTY, IOWA, PARCEL '2022-48'

APPLICANT:

TREVOR BROWN
(205)205-4208
1450 SW TRADITION DR.
CARWASH RE, LLC.
ANKENY, IA 50023

OWNER:

PREMIER CREDIT UNION
800 9TH ST
DES MOINES, IA 50309-1202

PRINCIPAL USE: VEHICLE SALES AND SERVICE-VEHICLE MAINT/REPAIR
BUILDING TYPE: STOREFRONT

FIRM PREPARING SITE PLAN:

REGA ENGINEERING INC.
601 OLD CHENEY ROAD SUITE A,
LINCOLN NE. 68512
P: 402-484-7342
DAN ROSENTHAL, P.E.

AREA OF LOT:

AREA OF TRACT: 71,875 SQ. FT. OR 1.65 ACRES, MORE OR LESS

OPEN SPACE CALCULATIONS:

C-2 ZONING REQUIREMENTS APPLIED PER TRADITION PUD
AREA OF SITE: 71,856 SF
MINIMUM OPEN SPACE REQUIREMENT (20%): 14,371 SF.(20% PROVIDED)

SHEET NOTES

- THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
- MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE CITY OF ANKENY DEVELOPMENT ENGINEERING PRIOR TO INSTALLATION/CONSTRUCTION.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.
- ALL PLANTING BEDS SHALL INCLUDE NON-LIVING PERMEABLE MATERIALS SUCH AS MULCH, AND NOT INCLUDING ROCK.
- ALL THE CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.
- SIDEWALK/DRIVE APPROACH PERMIT IS REQUIRED.

- ALL WORK IN THE CITY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH 2022 EDITION OF SUDAS AND THE CITY OF ANKENY GENERAL SUPPLEMENTAL SPECIFICATIONS TO SUDAS EFFECTIVE AT THE TIME OF PLAN APPROVAL.

IMPERVIOUS AREA OF LOT:

PROPOSED IMPERVIOUS AREA: 48820.81 SQ. FT. ERU=13

PARKING REQUIREMENTS

TOTAL EMPLOYEES ON LARGEST SHIFT = 4 EMPLOYEES

TOTAL EMPLOYEE STALLS PROVIDED = 4 STALLS

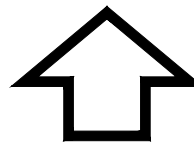
CARWASH-CONVEYOR TYPE: 1 SPACE FOR EVERY 3 EMPLOYEES ON THE MAXIMUM SHIFT PLUS RESERVOIR CAPACITY EQUAL TO 5 TIMES THE CAPACITY OF THE WASHING OPERATION.

ADA VACUUM STALL = 2 STALL

TOTAL VACUUM STALLS = 23 STALLS

SURVEY NOTE:

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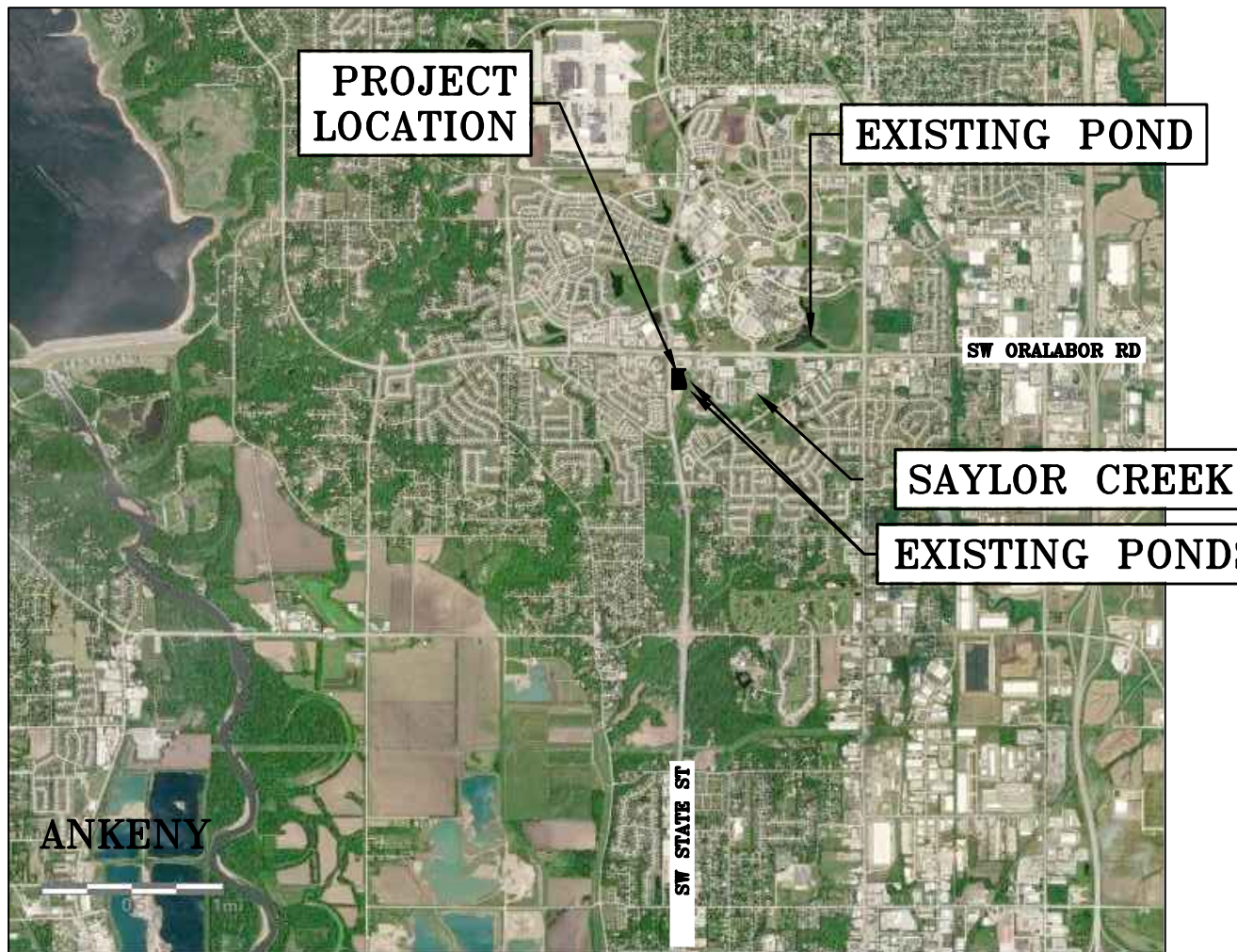


NORTH

SCALE 1" = 20'

20 0 20 40 60 Feet

SUBMITTAL DATE: OCTOBER 21, 2022



SCALE 1": 1 MILE

VICINITY MAP
SEC. 34, T80N, R24W



NORTH

ZONING DESIGNATION/PROPERTY USE

"PUD" PLANNED UNIT DEVELOPMENT.
PROPERTY IS WITHIN ZONE CONDITIONS C-2 (GENERAL RETAIL AND HIGHWAY ORIENTED COMMERCIAL DISTRICT) OF THE HIGHWAY 415 (SW STATE ST.)

Zoning Information			
STATUS		STATUS	
ITEM	REQUIRED	PROPOSED	
PERMITTED USE	PUD	CAR WASH	Contact info: DEB GERVAIS SENIOR PLANNER CITY OF ANKENY IA (515)963-3558
MIN. LOT AREA	N/A	71,875 S.F.	
MIN. FRONTAGE	NONE REQUIRED	xx FEET	
MAX. SITE COVERAGE	80%	73% (PROP.)	
MIN. SETBACKS FRONT	30 FEET	30 FEET	
MIN. SETBACKS SIDE	0 FEET	0 FEET	Notes: Because there may be a need for interpretation of the applicable zoning codes, we refer you to the town of ANKENY, IA for zoning laws and applicable codes.
MIN. SETBACKS REAR	35 FEET	35 FEET	
MAX BUILDING HEIGHT	45.0' / 3-STORY	45.0' / 1-STORY	
PARKING REGULAR	2 SPACES	4 SPACES	
PARKING HANDICAP	2 SPACES	2 SPACES	
PARKING TOTAL	2 SPACES	6 SPACES	

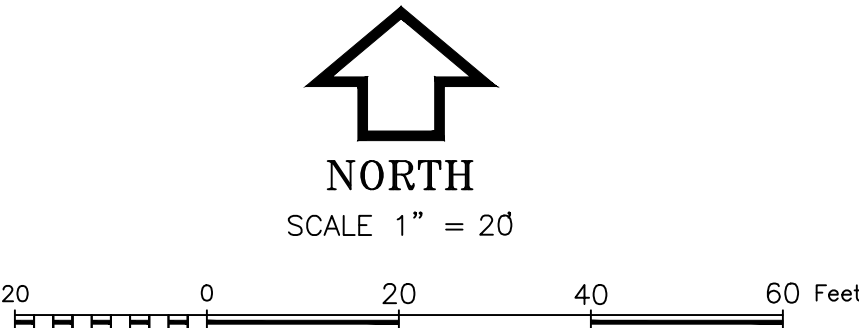
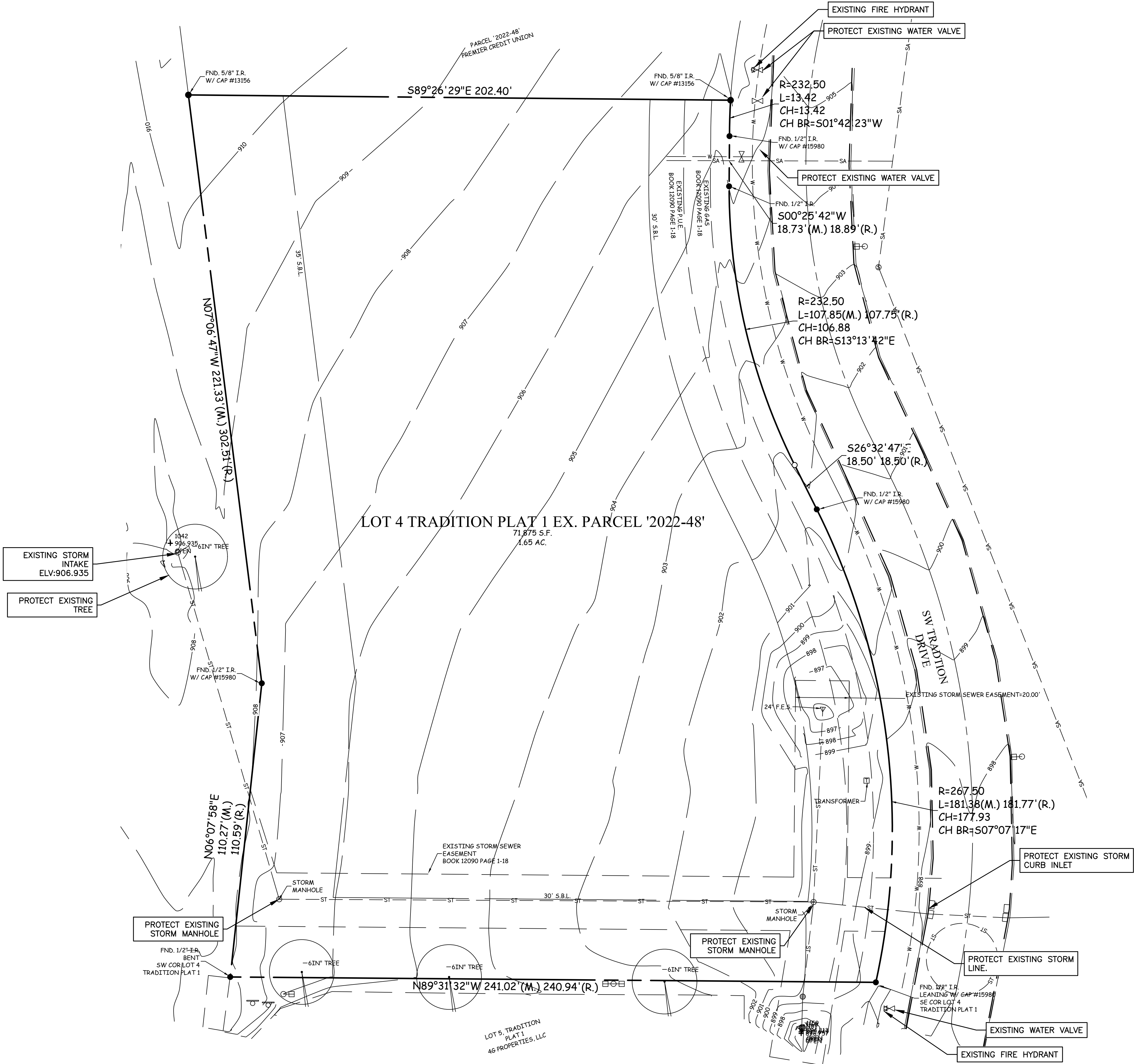
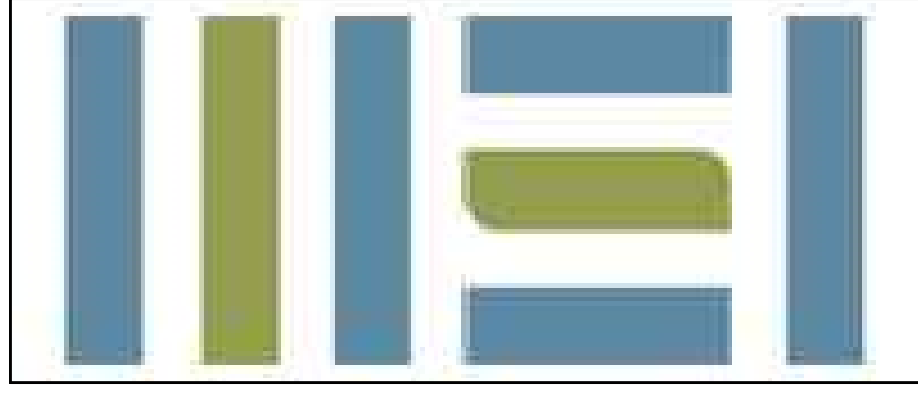
BENCHMARKS(AS PROVIDED)

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CONCRETE TRAFFIC SIGNAL BASE @S.W. CORNER
ORALABOR & S.E. STATE ST.
EL=920.282
BENCHMARK #2, CUT TRIANGLE S. NOSE OF ISLAND,
N.SIDE ORALABOR & SW.STATE ST.
EL=920.837



1-800-292-6989
www.iowaonecall.com





LEGEND

----- - PROPERTY LINE (ASSUMED)

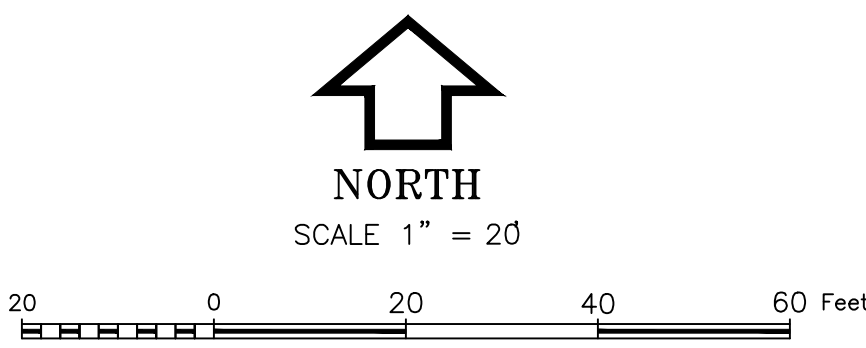
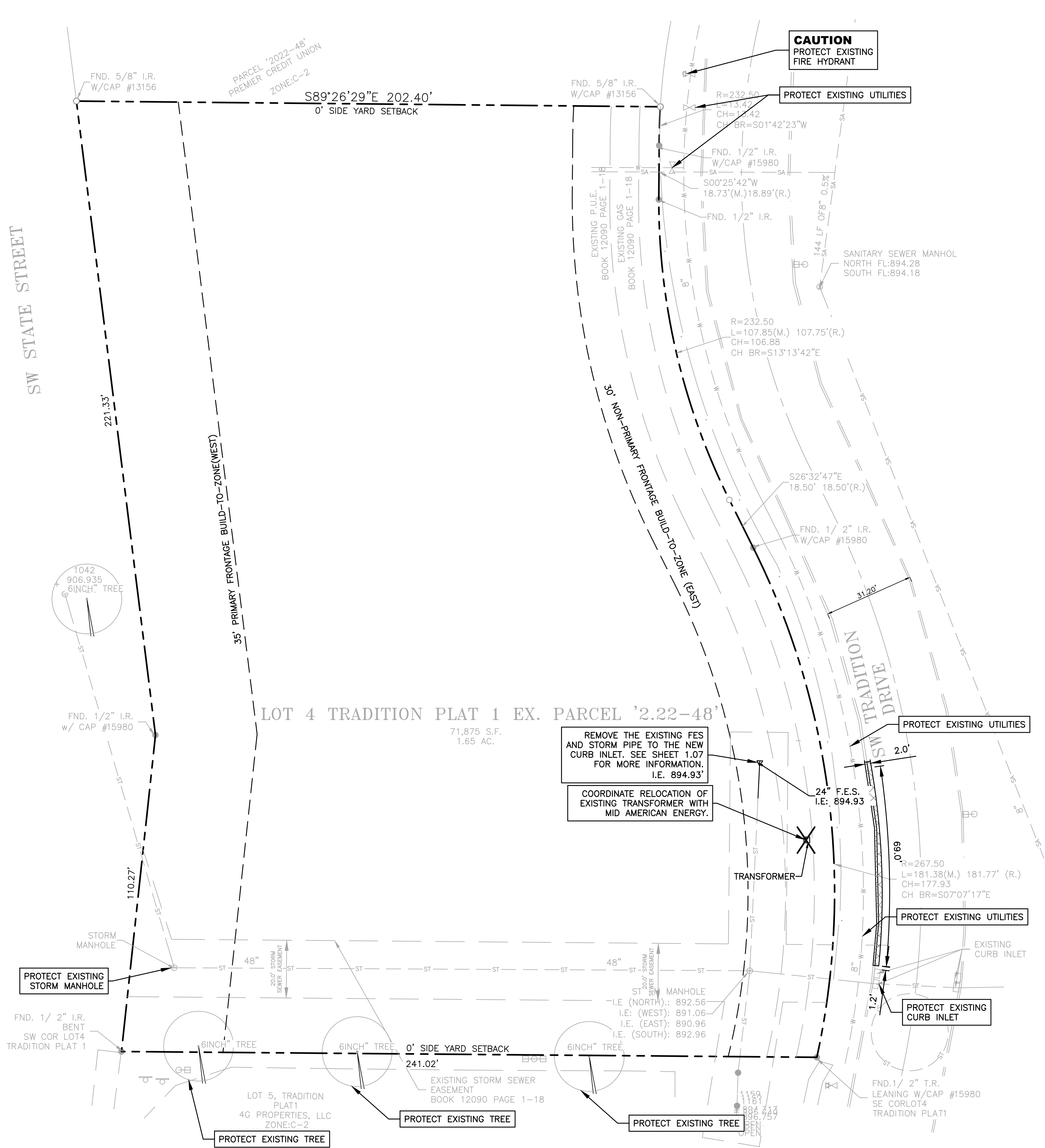
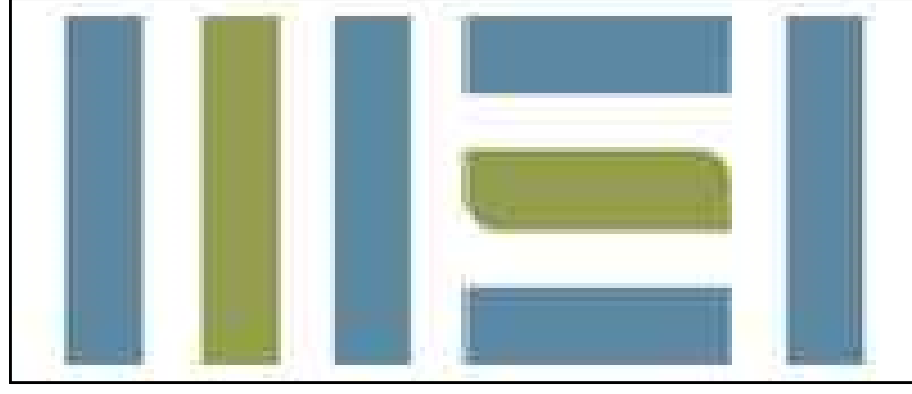
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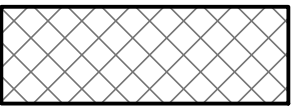
SURVEY NOTE:

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LEGEND



- PAVEMENT REMOVAL



- PROPERTY LINE (ASSUMED)



- REMOVE ITEMS

DEMOLITION NOTES:

1. PROTECT ALL SIDEWALKS/PAVEMENT NOT SHOWN FOR REMOVAL. CONTRACTOR SHALL REPAIR ALL DAMAGED SIDEWALK AT NO COST TO THE OWNER.
2. PROTECT ALL UTILITIES NOT BEING AFFECTED BY THE DEMOLITION. ANY DAMAGE OR ACCIDENTAL REMOVAL OF UTILITIES SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
3. COORDINATION OF ITEMS REMOVED BY OTHERS SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROTECT ALL LANDSCAPING AREAS (TREES, IRRIGATION, DECORATIVE BRICK, ETC.) OUTSIDE OF DEMOLITION AREA NEAR STREET UNLESS OTHERWISE NOTED. ANY DAMAGE SHALL BE REPLACED AT THE COST OF THE CONTRACTOR.
5. REMOVE PAVEMENT TO THE NEAREST CONTRACTION JOINTS. SAW CUT PAVEMENT FULL DEPTH.

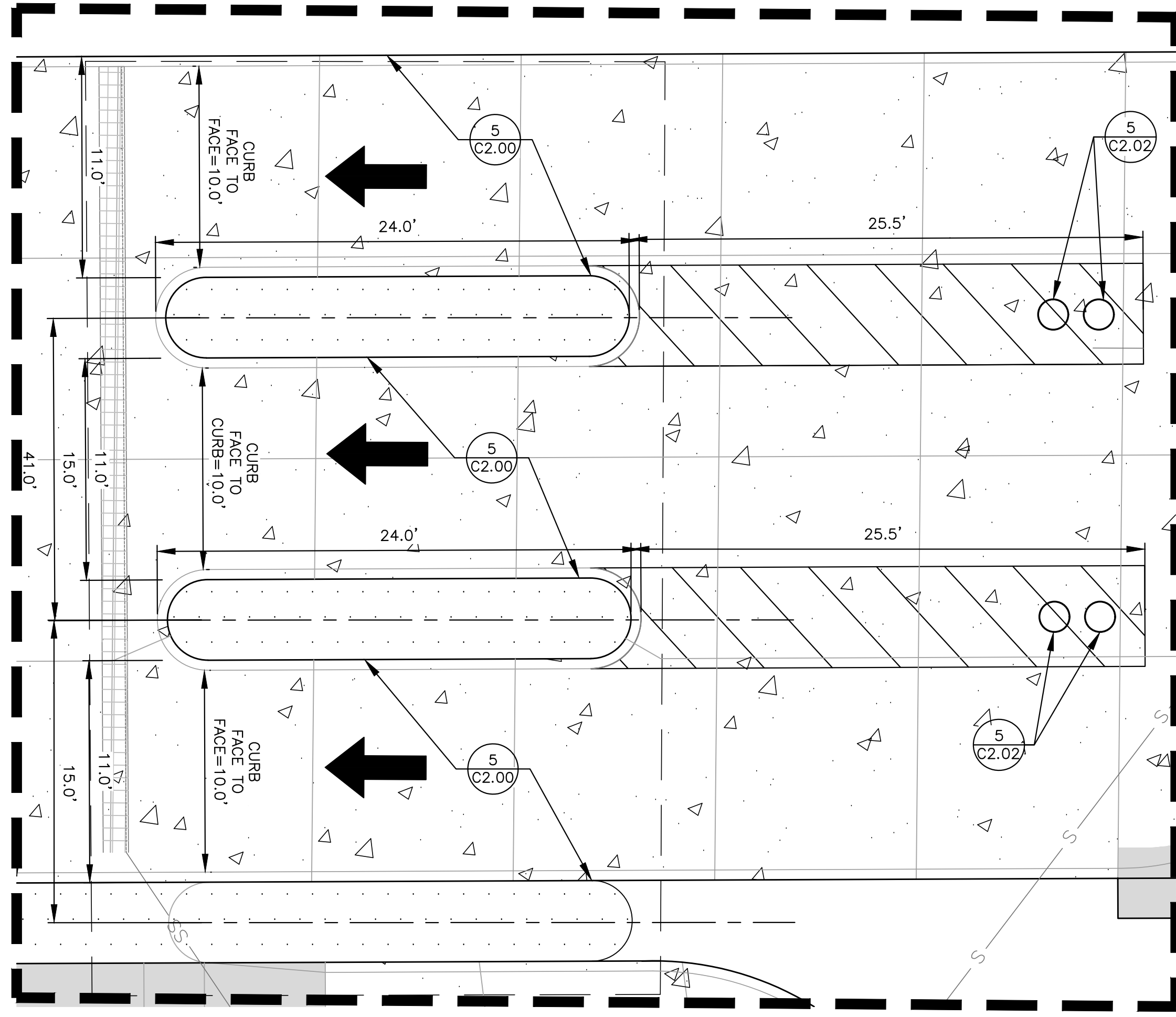
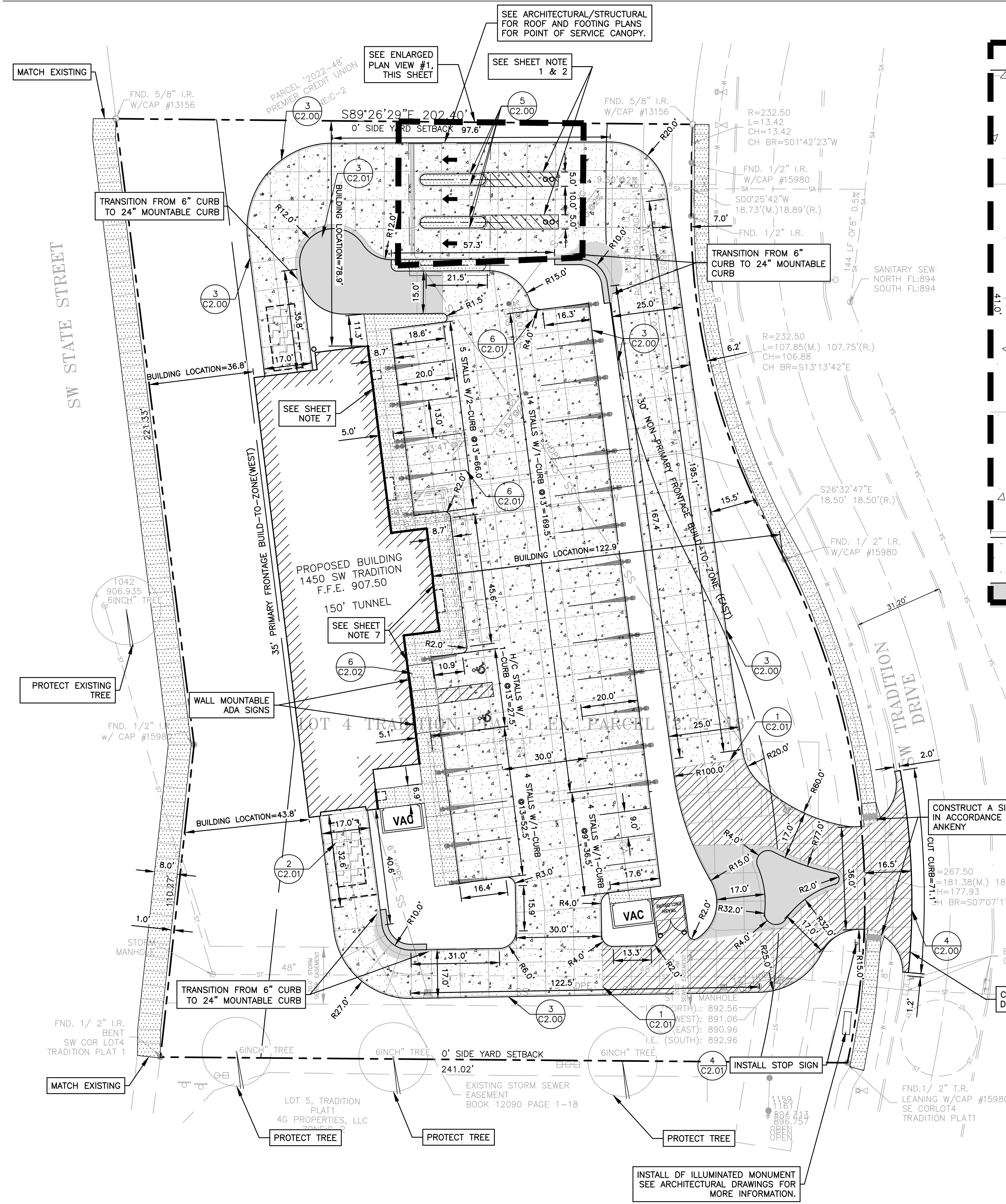
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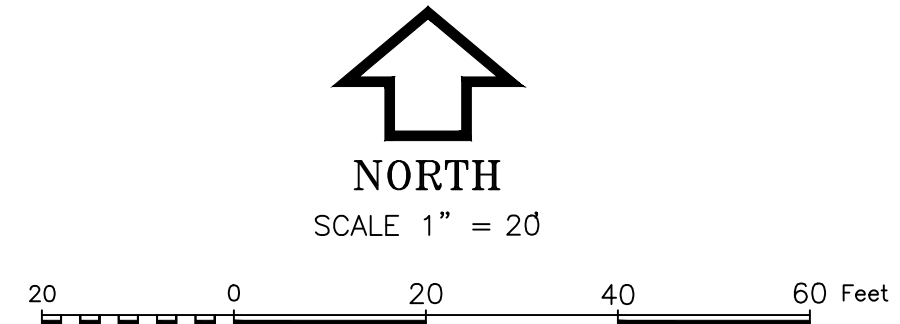
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NOTE:
POINT OF SALES EQUIPMENT SHOWN ON FOR ISLANDS IS FOR REFERENCE ONLY.
CONTRACTOR SHALL COORDINATE WITH INSTALLER FOR FINAL PRODUCT. THE
ARCHITECTURAL PLANS FOR FURTHER INFORMATION.

ENLARGED PLAN VIEW #1
SCALE : 1"=5'



LEGEND

- 7" CONCRETE PAVEMENT (1 C2.00, 6 C2.00)
- 6" CONCRETE PAVEMENT (1 C2.00, 6 C2.00)
- 6" STAMPED/COLORED CONCRETE (SEE PROJECT SPECIFICATIONS)
- 4" CONCRETE PAVEMENT (2 C2.00)
- SNOW MELT SYSTEM (2 C2.01)
- PROPERTY LINE (ASSUMED)
- STRUCTURAL STOOP, PROVIDE 1/2" EXPANSION JOINT w/POLYURETHANE SEALANT (SEE STRUCTURAL PLANS)
- PIPE BOLLARD (5 C2.02)
- PAINTED TRAFFIC ARROW

SHEET NOTES

- PAINTED UNLOADS AND ISLANDS ARE 4" WIDE STRIPE, COLOR YELLOW. 2' O.C. @ 45'.
- PAINT SHALL BE ACRYLIC RESIN LEAD AND CHROMIUM FREE WATERBORNE TRAFFIC PAINT OR VOC COMPLIANT ALKYD RESIN LEAD AND CHROMIUM FREE TRAFFIC PAINT.
- UNDER NO CIRCUMSTANCES SHALL FACE OF CURB BE PAINT STRIPPED.
- CURE TO BE REMOVED PRIOR TO APPLICATION OF PAINT STRIPING.
- ALL PAINT STRIPING SHALL BE 4" IN WIDTH, COLOR YELLOW.
- SEE ARCHITECTURAL PLANS FOR FURTHER INFORMATION ON BUILDING.
- 1/2" PREFORMED EXPANSION JOINT WITH SEALANT ALONG BUILDING.
- VACUUM EQUIPMENT AND DESIGN LAYOUT BY OTHERS.

PARKING REQUIREMENTS

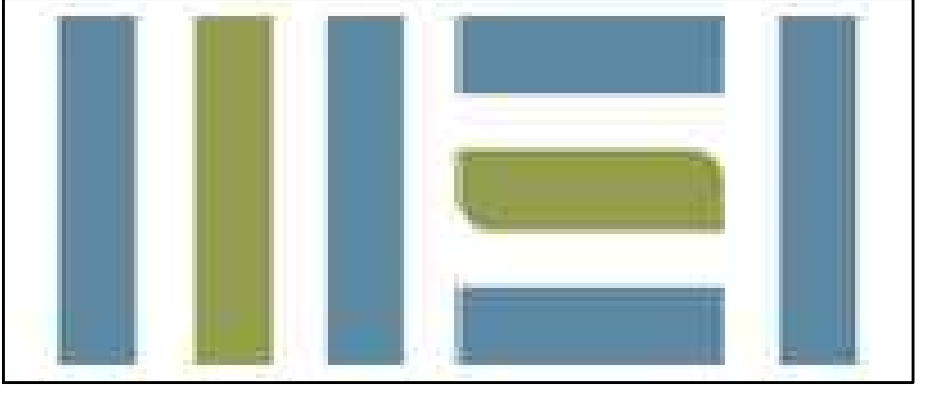
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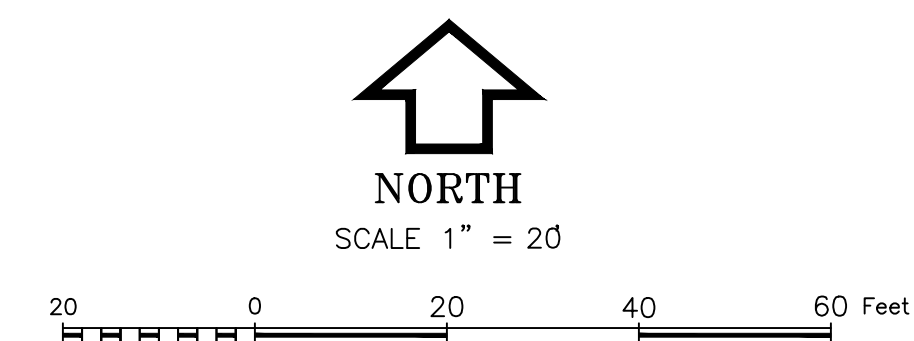
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— — 906 — — — — — EXISTING CONTOURS

— — 906 — — — — — PROPOSED CONTOURS

TC XXXX.XX — — — — — TOP OF CURB SPOT ELEVATION

TRC XXXX.XX — — — — — TOP OF ROLLOVER CURB SPOT ELEVATION

GUT XXXX.XX — — — — — CURB GUTTER ELEVATION

P XXXX.XX — — — — — PAVEMENT SPOT ELEVATION

G XXXX.XX — — — — — SPOT GROUND ELEVATION

TW XXXX.XX — — — — — TOP OF WALL SPOT ELEVATION

BW XXXX.XX — — — — — BOTTOM OF RETAINING WALL (FINISH GRADE AT FACE OF WALL)

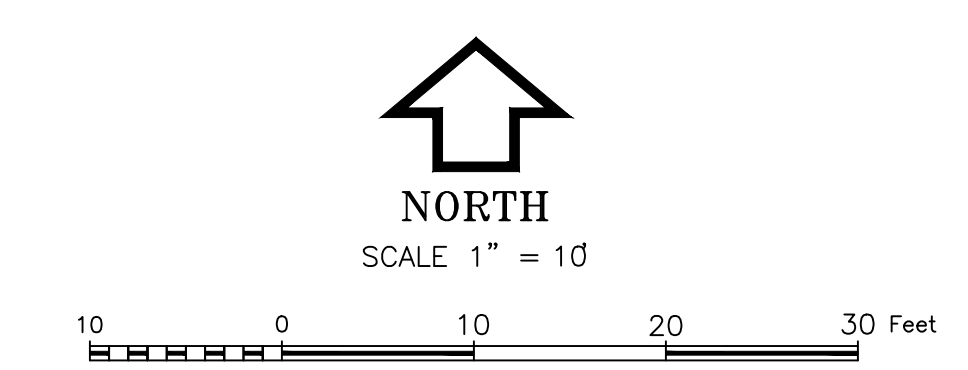
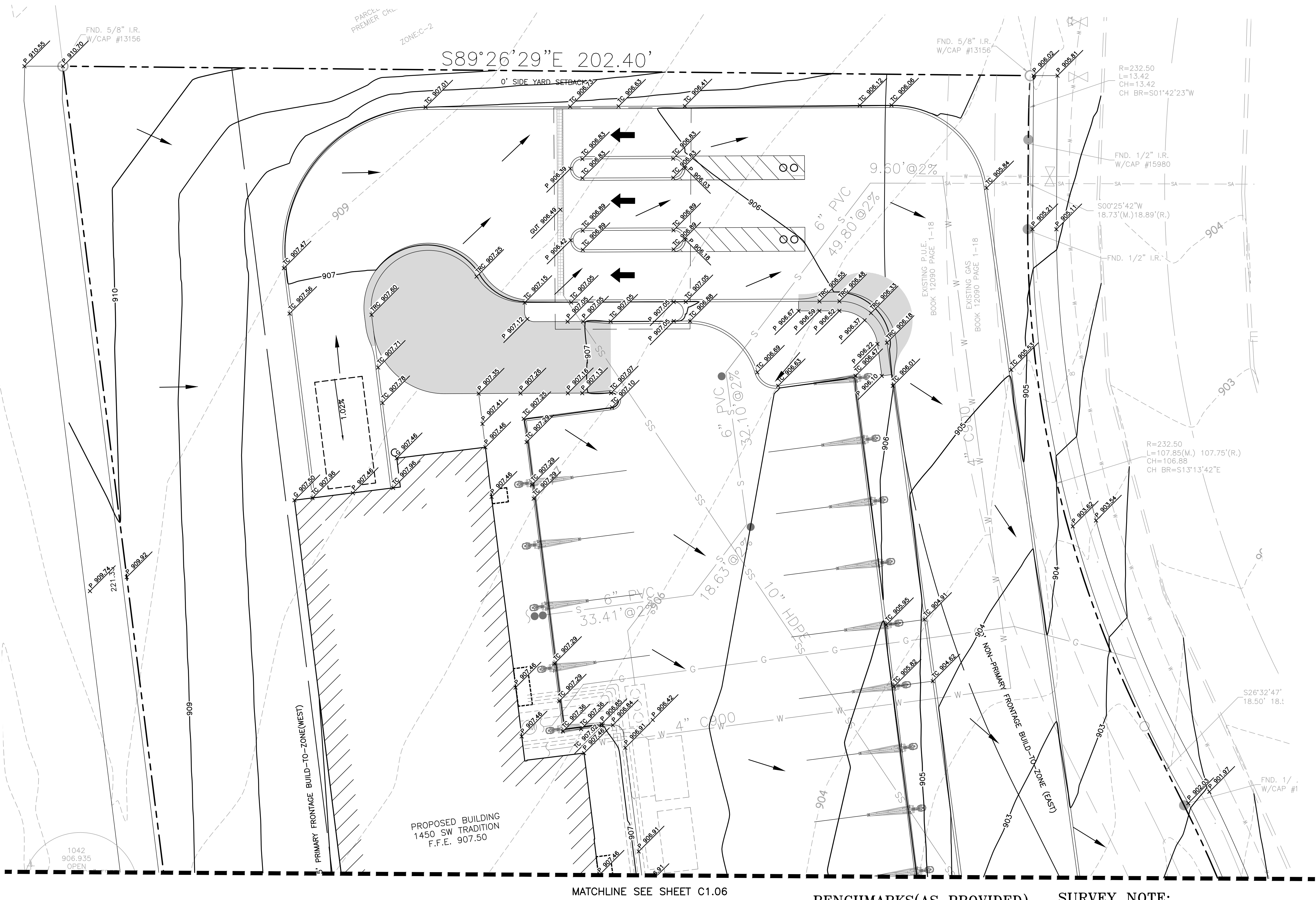
TC MATCH — — — — — TOP OF CURB TO MATCH TOP OF CURB EXISTING ELEVATION

P MATCH — — — — — PAVEMENT TO MATCH EXISTING PAVEMENT ELEVATION

—————> — — — — — DIRECTION OF FLOW

1. THIS SURVEY WAS COMPLETED BY COOPER CRAWFORD & ASSOCIATES, RPLS 131556. THE DESIGN OF THIS PROJECT IS BASED ON A TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED TO REGA ENGINEERING BY THE CLIENT. REGA ENGINEERING ACCEPTS NO RESPONSIBILITY FOR ACTUAL FIELD CONDITIONS OF TOPOGRAPHIC FEATURES AND ANY NEGATIVE AFFECTS SAID TOPOGRAPHIC SURVEY HAS ON THE DESIGN AND CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL FIELD VERIFY ALL NECESSARY ELEVATIONS AND HORIZONTAL CONTROL BEFORE COMMENCING WORK.





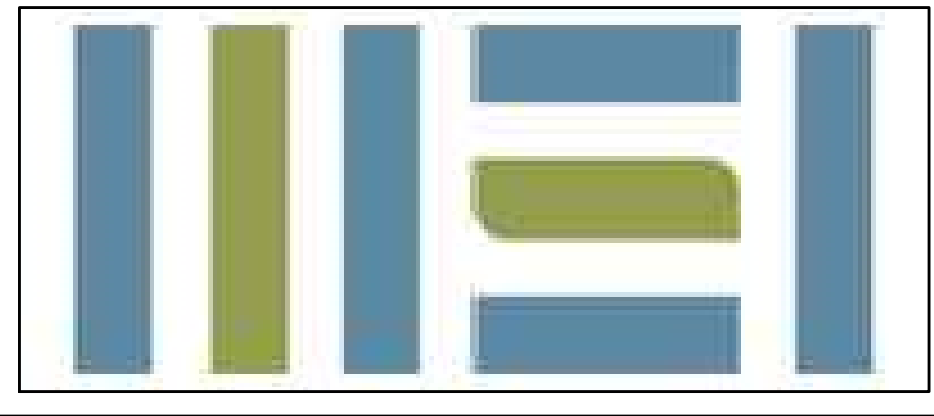
- LEGEND**
- PROPERTY LINE
 - - - 906 - - - EXISTING CONTOURS
 - 906 — PROPOSED CONTOURS
 - TC XXXX.XX TOP OF CURB SPOT ELEVATION
 - TRC XXXX.XX TOP OF ROLLOVER CURB SPOT ELEVATION
 - GUT XXXX.XX CURB GUTTER ELEVATION
 - P XXXX.XX PAVEMENT SPOT ELEVATION
 - G XXXX.XX SPOT GROUND ELEVATION
 - TW XXXX.XX TOP OF WALL SPOT ELEVATION
 - BW XXXX.XX BOTTOM OF RETAINING WALL (FINISH GRADE AT FACE OF WALL)
 - TC MATCH TOP OF CURB TO MATCH TOP OF CURB EXISTING ELEVATION
 - P MATCH PAVEMENT TO MATCH EXISTING PAVEMENT ELEVATION
 - ➔ DIRECTION OF FLOW

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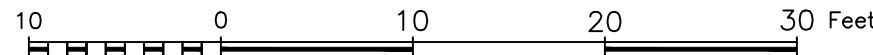
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MATCHLINE SEE SHEET C1.05



SCALE 1" = 10'

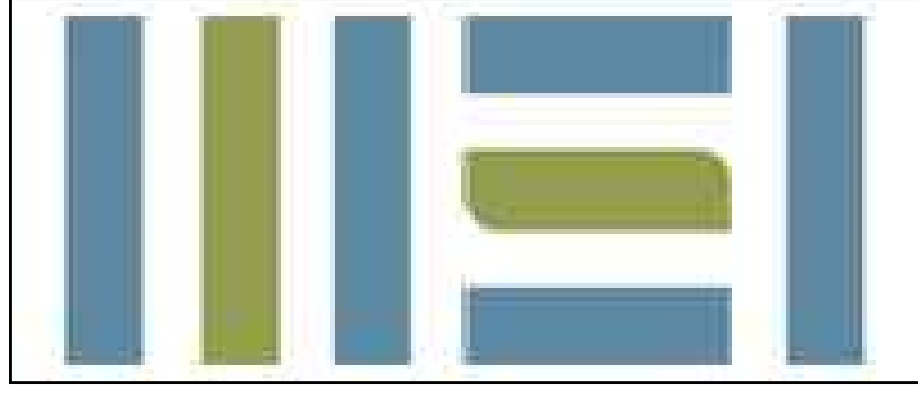


LEGEND

- PROPERTY LINE
- - - 906 - - - EXISTING CONTOURS
- 906 — PROPOSED CONTOURS
- TC XXXX.XX TOP OF CURB SPOT ELEVATION
- TRC XXXX.XX TOP OF ROLLOVER CURB SPOT ELEVATION
- GUT XXXX.XX CURB GUTTER ELEVATION
- P XXXX.XX PAVEMENT SPOT ELEVATION
- G XXXX.XX SPOT GROUND ELEVATION
- TW XXXX.XX TOP OF WALL SPOT ELEVATION
- BW XXXX.XX BOTTOM OF RETAINING WALL (FINISH GRADE AT FACE OF WALL)
- TC MATCH TOP OF CURB TO MATCH TOP OF CURB EXISTING ELEVATION
- P MATCH PAVEMENT TO MATCH EXISTING PAVEMENT ELEVATION
- > DIRECTION OF FLOW

ROCKET CARWASH
ANKENY IA.
GRADING PLAN

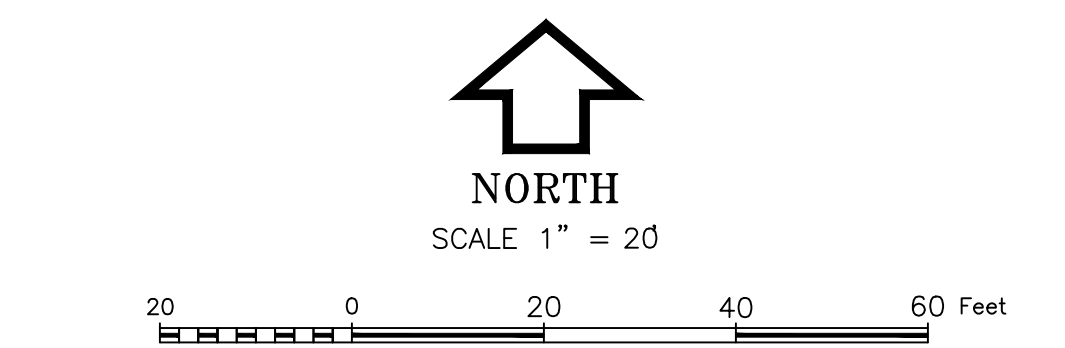
C1.06



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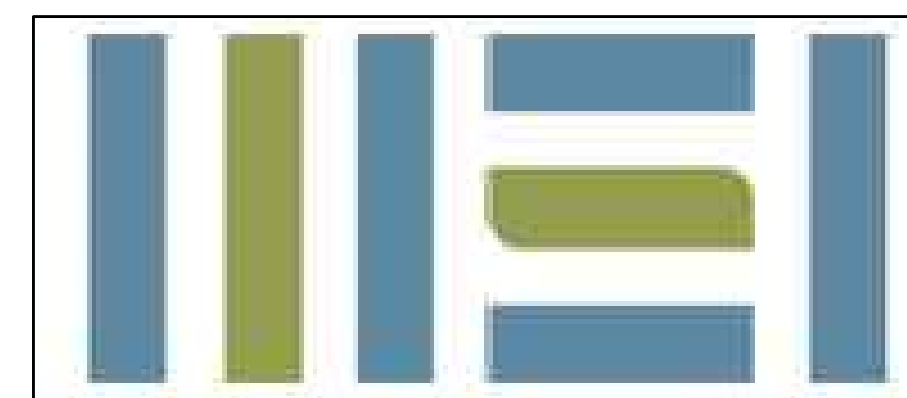


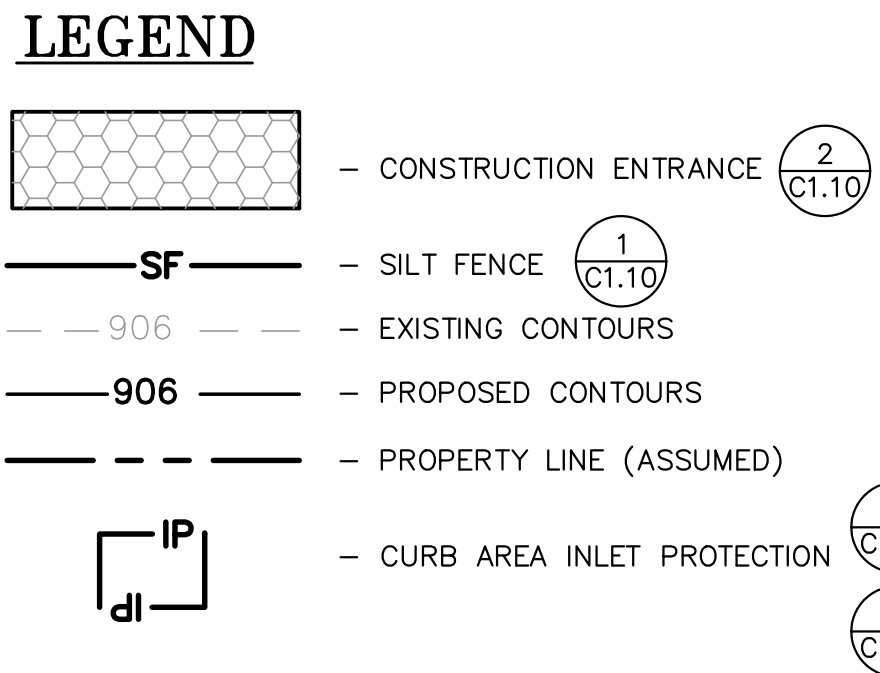
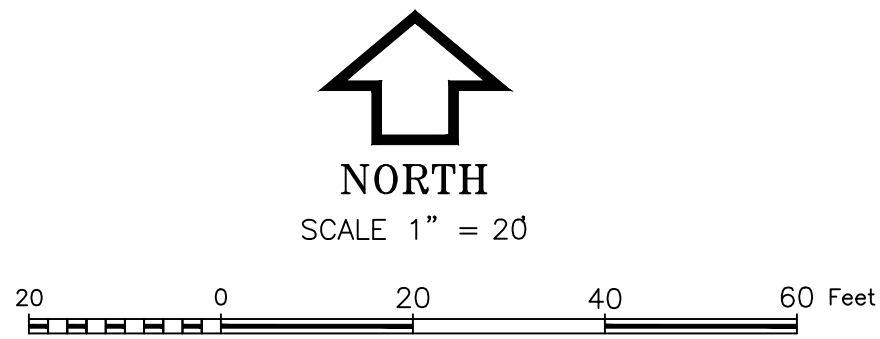
	- PROPERTY LINE
	- SANITARY SEWER LINE
	- WATER LINE
	- PROPOSED STORM SEWER LINE
	- FIRE HYDRANT
	- WATER VALVE
	- STORM SEWER INLET
	- SANITARY CLEANOUT
	- GAS LINE
	- GAS METER

1. ALL UTILITIES TERMINATE 5'-0" OUTSIDE BUILDING. FOR CONTINUATION INSIDE BUILDING, SEE MECH./ELEC. PLANS.
2. CONTRACTOR SHALL COORDINATE GAS LINE AND GAS METER CONNECTIONS WITH MIDAMERICAN ENERGY COMPANY.
3. COVER ELEVATIONS FOR 2'x3" NYLOPLAST CURB INLETS ARE AT THE GUTTER.
4. ALL SANITARY PIPE SHALL BE SOLID WALL SCHEDULE 40 PVC WITH CLEAN OUTS EVERY 100' MAX.
5. REDUCE WATERLINE TO 3" INSIDE BUILDING.
6. CONTRACTOR TO COORDINATE WITH MIDAMERICAN ON THE DRIVE ALONG THE EAST PROPERTY LINE WHICH IS IN THE ELECTRICAL EASEMENT.
7. THE SANITARY ELEVATIONS IS ASSUMED. THE CONTRACTOR SHALL CONFIRM THE ELEVATIONS BEFORE THE INSTALLATION. THE CITY CONFIRMED THAT SERVICE LINE DEEP BETWEEN 8' TO 9'.
8. ADJUST THE EXISTING STORM SEWER MANHOLES TO PROPOSED FINISHED GRADE PER THE RIM ELEVATION PROVIDED ON THE GRADING SHEET.

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BUILD AN ABOVE-GRADE WASHOUT WITH FILTER RING AT LEAST 10 FEET WIDE BY 10 FEET LONG AND SIZE IT TO CONTAIN ALL LIQUID AND SOLID WASTE. MAINTAIN A 4-INCH FREEBOARD AT ALL TIMES, CLEAN OUT AS NECESSARY. MAKE THE STRUCTURES FROM STAKED CONCRETE BLOCK, DOUBLE - OR TRIPLE-LINED WITH PLASTIC SHEETING OF AT LEAST 10-MIL THICKNESS THAT HAS NO HOLES OR TEARS.

SWPPP NOTES

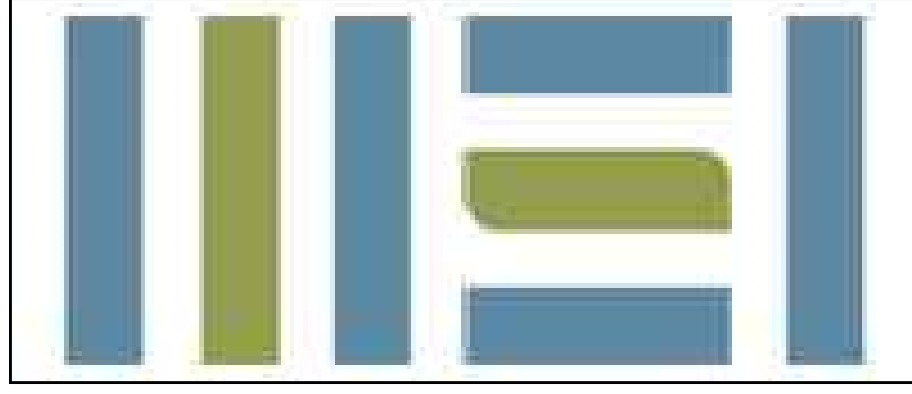
1. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AN ACCURATE SET OF STORM WATER PREVENTION POLLUTION PLANS (SWPPP) ON SITE DURING THE TIME OF THEIR WORK.
2. THE CONTRACTOR SHALL ADHERE TO TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES ON THIS SITE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES THROUGHOUT THE PROJECT. ANY AND ALL FINES ASSOCIATED WITH EROSION CONTROL VIOLATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
4. ALL MEASURES SHOWN ON THE STORM WATER PREVENTION POLLUTION PLAN (SWPPP) SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE.
5. ALL SEDIMENT AND EROSION CONTROL PRACTICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24 HOUR PERIOD BY THE CONTRACTOR AND MUST BE DOCUMENTED AND KEPT ON SITE FOR ACCESSIBILITY. THE CONTRACTOR SHALL COMPLETE WEEKLY REPORT AND PROVIDE REPORT TO ARCHITECT. ANY CHANGES MADE TO THE SWPPP SHALL BE REDLINED AND INITIALED ON THE PLANS BY THE CONTRACTOR.
6. ANY NECESSARY REPAIRS OR CLEAN UP TO MAINTAIN THE EFFECTIVENESS OF THE BEST MANAGEMENT PRACTICES SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR ON SITE.
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
8. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE HALF THE HEIGHT OF THE SILT FENCE.
9. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR ON SITE, IN A CONDITION, WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON THE PUBLIC RIGHT OF WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITION DEMANDS.

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SANITARY WASTE MANAGEMENT
SM-1

DESCRIPTION AND PURPOSE
PROPER SANITARY WASTE MANAGEMENT PREVENT THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM SANITARY WASTE BY PROVIDING CONVENIENT, WELL-MAINTAINED FACILITIES, AND ARRANGING FOR REGULAR SERVICE AND DISPOSAL.

SUITABLE APPLICATIONS
SANITARY WASTE MANAGEMENT PRACTICES ARE SUITABLE FOR USE AT ALL CONSTRUCTION SITES THAT USE TEMPORARY OR PORTABLE SANITARY WASTE SYSTEMS.

LIMITATIONS
NONE IDENTIFIED.

IMPLEMENTATION
ONLY CONTRACT WITH A SUPPLIER OF TEMPORARY SANITARY WASTE FACILITIES THAT DISPOSES OF OR TREATS THE WASTE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

- TEMPORARY SANITARY FACILITIES WILL BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES AND FROM TRAFFIC CIRCULATION, AND IN A CONVENIENT LOCATION.
- WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES WILL BE SECURED TO PREVENT OVERTURNING.
- WASTEWATER WILL NOT BE DISCHARGED OR BURIED WITHIN THE PROJECT SITE.
- SANITARY FACILITIES WILL BE MAINTAINED IN GOOD WORKING ORDER BY A LICENSED SERVICE.
- REGULAR WASTE COLLECTION BY A LICENSED HAULER WILL BE ARRANGED BEFORE FACILITIES OVERFLOW.

EDUCATION
- EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS WILL BE EDUCATED ON SANITARY WASTE STORAGE, DISPOSAL PROCEDURES AND THE POTENTIAL DANGERS TO HUMANS AND THE ENVIRONMENT FROM SANITARY WASTES
- A CONTINUING EDUCATION PROGRAM WILL INDOCTRINATE NEW EMPLOYEES.

INSPECTION AND MAINTENANCE
- INSPECT AND VERIFY THAT TEMPORARY SANITARY FACILITIES ARE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. WHILE CONSTRUCTION ACTIVITIES ARE UNDER WAY, INSPECT WEEKLY.
- ARRANGE FOR REGULAR WASTE COLLECTION.
- IF HIGH WINDS ARE EXPECTED, PORTABLE SANITARY FACILITIES WILL BE SECURED WITH SPIKES OR WEIGHED DOWN TO PREVENT OVER TURNING.

SOLID WASTE MANAGEMENT
SM-2

DESCRIPTION AND PURPOSE
SOLID WASTE MANAGEMENT PROCEDURES AND PRACTICES HAVE BEEN DESIGNED TO PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER OR CONSTRUCTION EQUIPMENT. BY PROVIDING DESIGNATED WASTE COLLECTION CONTAINERS, ARRANGING FOR REGULAR DISPOSAL, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

SUITABLE APPLICATIONS
- SOLID WASTE GENERATED FROM TREES AND SHRUBS REMOVED DURING LAND CLEARING, DEMOLITION OF EXISTING STRUCTURES (RUBBLE), AND BUILDING CONSTRUCTION.
- SCRAP OR SURPLUS CONSTRUCTION WASTES AND BUILDING MATERIALS INCLUDING SCRAP METALS, RUBBER, PLASTIC, GLASS PIECES, PACKAGING MATERIALS AND MASONRY PRODUCTS.
- DOMESTIC WASTES INCLUDING FOOD CONTAINERS SUCH AS BEVERAGE CANS, COFFEE CUPS, PAPER BAGS, PLASTIC WRAPPERS, AND CIGARETTES.

LIMITATIONS
- TEMPORARY STOCKPILING OF CERTAIN CONSTRUCTION WASTES MAY NOT NECESSITATE STRINGENT DRAINAGE RELATED CONTROLS DURING THE NON-RAINY SEASON.

IMPLEMENTATION
THE FOLLOWING STEPS WILL BE DONE TO KEEP A CLEAN SITE AND REDUCE STORMWATER POLLUTION:
- USE ONLY WATERTIGHT DUMPSTERS ONSITE.
- PROVIDE AN ADEQUATE NUMBER OF CONTAINERS WITH LIDS OR COVERS TO KEEP RAIN OUT AND TO PREVENT LOSS OF WASTES WHEN IT IS WINDY.
- LOCATE CONTAINERS IN A COVERED AREA OR IN A SECONDARY CONTAINMENT.
- COLLECT SITE LITTER REGULARLY, ESPECIALLY DURING RAINY AND WINDY CONDITIONS.
- ARRANGE FOR REGULAR WASTE COLLECTION BEFORE CONTAINERS OVERFLOW.
- CLEAN UP IMMEDIATELY IF A CONTAINER DOES SPILL.

EDUCATION
- PROHIBIT LITTERING BY EMPLOYEES, SUBCONTRACTORS, AND VISITORS.
- DUMPSTERS WILL BE LOCATED AT LEAST 50 FT FROM DRAINAGE FACILITIES AND WATERCOURSES AND WILL NOT BE LOCATED IN AREAS PRONE TO FLOODING OR PONDING.
- THE CONTRACTOR'S SUPERINTENDENT WILL OVERSEE AND ENFORCE PROPER SOLID WASTE MANAGEMENT PROCEDURES AND PRACTICES.
- THE CONTRACTOR'S SUPERINTENDENT WILL INSTRUCT EMPLOYEES AND SUBCONTRACTORS ON IDENTIFICATION OF SOLID WASTE AND HAZARDOUS WASTE.
- THE CONTRACTOR'S SUPERINTENDENT WILL REQUIRE THAT EMPLOYEES AND SUBCONTRACTORS FOLLOW SOLID WASTE HANDLING AND STORAGE PROCEDURES.
- THE CONTRACTOR'S SUPERINTENDENT WILL MAKE SURE THAT TOXIC LIQUID WASTES (USED OILS, SOLVENTS, AND PAINTS) AND CHEMICALS (ACIDS, PESTICIDES, ADDITIVES, CURING COMPOUNDS) ARE NOT DISPOSED OF IN DUMPSTERS DESIGNATED FOR CONSTRUCTION DEBRIS.

INSPECTION AND MAINTENANCE
- THE CONTRACTOR'S SUPERINTENDENT WILL VERIFY THAT DUMPSTER IS IN BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. WHILE ACTIVITIES ASSOCIATED WITH THE BMP ARE UNDERWAY, INSPECT WEEKLY AND VERIFY CONTINUED BMP IMPLEMENTATION.
- THE CONTRACTOR'S SUPERINTENDENT WILL INSPECT CONSTRUCTION DUMPSTER'S AREA REGULARLY.
- THE CONTRACTOR'S SUPERINTENDENT WILL ARRANGE FOR REGULAR WASTE COLLECTION.

MATERIAL DELIVERY AND STORAGE
SM-3

DESCRIPTION AND PURPOSE
PREVENT, REDUCE, OR ELIMINATE THE DISCHARGE OF POLLUTANTS FROM MATERIAL DELIVERY AND STORAGE TO THE STORMWATER SYSTEM, STREAMS OR LAKES BY STORING MATERIALS IN DESIGNATED AREAS, INSTALLING SECONDARY CONTAINMENT, CONDUCTING REGULAR INSPECTIONS, MINIMIZING THE STORAGE OF HAZARDOUS MATERIALS ONSITE, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

SUITABLE APPLICATIONS
THESE PROCEDURES WILL BE USED AT ALL CONSTRUCTION SITES WITH DELIVERY AND STORAGE OF ERODIBLE, HAZARDOUS, OIL BASED, OR OTHER POLLUTING MATERIALS.

IMPLEMENTATION
THE FOLLOWING STEPS WILL BE TAKEN TO MINIMIZE RISK.
DELIVERIES:
- DELIVERIES WILL BE LOCATED AWAY FROM TRAFFIC.
- MATERIAL DELIVERED AND STORED WILL BE LOCATED NEAR THE SITE ENTRANCES (LOT LEVEL NEAR PROPOSED DRIVE WAY) AND AWAY FROM AREA OR CURB INLETS, STREAMS, OR WATERWAYS.
- IF POSSIBLE DELIVERY AREAS WILL BE IN LOCATIONS THAT ARE TO BE PAVED.
STORAGE:
- TEMPORARY STORAGE WILL BE LOCATED AWAY FROM TRAFFIC.
- AN UP-TO-DATE INVENTORY OF ALL STORED MATERIAL WILL BE KEPT.
- CHEMICALS, DRUMS OR BAGGED MATERIAL WILL BE ON A PALLET, INSIDE A SECONDARY CONTAINMENT (EARTHEN DIKE, HORSE TROUGH, OR WADING POOL FOR NON-REACTIVE MATERIALS).
- CHEMICALS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS.

PRACTICES
- AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN UP MATERIAL WILL BE KEPT NEAR STORAGE AREAS.
- DRUMMED, BARRELED, OR BAGGED MATERIALS WILL BE INDOORS WITHIN EXISTING STRUCTURES WHEN AVAILABLE.
- A TEMPORARY CONTAINMENT FACILITY WILL:
* BE DESIGNED TO PROVIDE FOR A SPILL OF 10% OF THE TOTAL STORED, OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER, WHICHEVER IS GREATER.
* BE DESIGNED SO THAT MATERIAL USED TO CONTAIN A SPILL SHOULD BE IMPERVIOUS TO THE STORED MATERIAL FOR A MINIMUM CONTACT TIME OF 72 HOURS.
* BE MAINTAINED FREE OF SPILLS OR ACCUMULATED RAINFALL.
* HAVE SPACE BETWEEN THE STORED MATERIAL, AND ACCESS FOR EMERGENCY RESPONSE.
* NOT STORE INCOMPATIBLE MATERIALS (I.E. AMMONIA & CHLORINE) IN THE SAME CONTAINMENT.
* DRUMS, BARRELS OR BAGS, STORED OUTDOORS, WILL BE TARPED DURING NON-WORKING HOURS.
- STOCK PILES WILL BE LOCATED A MINIMUM OF 50FT FROM CONCENTRATED FLOWS IN STORMWATER, DRAINAGE COURSES, AND UNPROTECTED INLETS (AREA OR CURB)
* ACTIVE STOCKPILES WILL BE PROTECTED IN ACCORDANCE WITH THE FOLLOWING PRACTICES:
+ RUNOFF WILL BE CONTROLLED USING BERMS, DIKES, FIBER ROLLS, SILT FENCE OR OTHER APPROPRIATE CONTROLS.
* INACTIVE STOCKPILES WILL BE PROTECTED IN ACCORDANCE WITH THE FOLLOWING PRACTICES:
+ STOCKPILES WILL BE VEGETATIVELY COVERED OR TARPED.
+ RUNOFF WILL BE CONTROLLED USING BERMS, DIKES, FIBER ROLLS, SILT FENCE OR OTHER APPROPRIATE CONTROLS.

EDUCATION
- EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS WILL BE EDUCATED ON DELIVERY AND STORAGE PROCEDURES AND THEIR RESPONSIBILITIES.

INSPECTION AND MAINTENANCE
- INSPECTIONS WILL BE CONDUCTED TO VERIFY THAT ALL MEASURES ARE IN PLACE AND FUNCTIONING.
- REPAIRS &/OR REPLACEMENT OF CONTROLS AND COVERS AS NEEDED.



SITE INFORMATION			
ROCKET CARWASH	1450 SW TRADITION DR		
Project Name	Address		
xxxx	ANKENY	POLK	
Subdivision Name	City	County	
41° 42' 01.76"	-93° 37' 12.75"	IOWA	50023
Latitude	Longitude	State	Zip Code
Total Site Area (Acres)	1.65 Ac.		
Disturbed Area (Acres)	1.02 Ac.		
Undisturbed Area (Acres)	0.00 Ac.		
Impervious Area Before Construction (%)	0	Runoff Coefficient Before Construction	0.2
Impervious Area After Construction (%)	69.2	Runoff Coefficient After Construction	0.66

CONSTRUCTION ACTIVITIES & SCHEDULE	
ACTIVITY	SCHEDULE
INSTALL ALL BMP'S NEEDED AND ASSOCIATED WITH THE GRADING PHASE SUCH AS STABILIZED CONSTRUCTION ENTRANCES, SILT BASINS, RISER PIPES, OUTLET PIPES, SILT TRAPS, SILT FENCE, DIVERSIONS, TERRACES, AND ETCETERA.	PRIOR TO ANY STRIPPING OF EXISTING VEGETATION OR GRADING.
PROCEED WITH STRIPPING OF EXISTING VEGETATION AND GRADING IN ACCORDANCE WITH THE GRADING PLAN BUT DISTURBING NO MORE THAN IS NECESSARY.	AFTER INSTALLING ALL BMP'S NEEDED AND ASSOCIATED WITH THE GRADING PHASE, FURTHERMORE, INSPECTOR APPROVAL MUST BE OBTAINED BEFORE THE START OF ANY STRIPPING OF EXISTING VEGETATION OR GRADING
PROCEED WITH INFRASTRUCTURE INSTALLATION.	INFRASTRUCTURE INSTALLATION MUST OCCUR PRIOR TO ANY LOT DEVELOPMENT.
IMPLEMENT THE INSTALLATION OF TEMPORARY SEEDING, PERMANENT SEEDING, AND/OR MULCHING.	STABILIZATION MEASURES MUST BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
IMPLEMENT THE INSTALLATION ALL BMP'S NEEDED AND ASSOCIATED WITH THE BUILDING PHASE.	BUILDING PHASE BMP'S MUST BE INSTALLED CONCURRENTLY WITH LOT DEVELOPMENT.
PROCEED WITH REMOVAL OF BMP'S.	BMP'S MAY NOT BE REMOVED UNTIL EACH IMPACTED DRAINAGE BASIN HAS BEEN FULLY DEVELOPED, FULL DEVELOPMENT SHALL MEAN INSTALLATION OF PAVEMENTS, BUILDINGS, AND UTILITIES, LANDSCAPING, AND FULLY ESTABLISHED PERMANENT SEEDING. FURTHERMORE, INSPECTOR APPROVAL MUST BE OBTAINED BEFORE THE REMOVAL OF ANY BMP'S.

GENERAL NOTES:

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES AND STORM WATER MANAGEMENT PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE IOWA NRD MANUAL OF EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT STANDARDS, AND APPROVED SUPPLEMENTS, OR THE FEDERAL WATER POLLUTION CONTROL ACT AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM(NPDES).
- FOLLOWING SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN (7) CALENDAR DAYS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ANY OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WHICH ARE NOT BEING USED FOR MATERIAL STORAGE OR ON WHICH ACTUAL EARTH MOVING ACTIVITIES ARE BEING PERFORMED.
- THIS EROSION CONTROL PLAN MEETS OR EXCEEDS THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM(NPDES) STANDARDS. THE OWNER OR THE OWNERS AGENT SHALL BE RESPONSIBLE FOR ALL PERMIT FEES AS REQUIRED FOR REVIEW AND ACCEPTANCE PRIOR TO BEGINNING ANY CONSTRUCTION. IT SHALL BE THE OWNERS RESPONSIBILITY WHETHER A CONTRACTOR INSTALLS THE EROSION CONTROL MEASURES TO HAVE THE SILT FENCE, CONSTRUCTION ENTRANCE AND OTHER EROSION CONTROL MEASURES EITHER SHOWN ON THE PLANS, LISTED OR AS DETERMINED BY THE LOCAL GOVERNING BODY INSTALLED PRIOR TO ANY CONSTRUCTION OPERATIONS BEGINNING. IT SHALL BE THE OWNERS RESPONSIBILITY TO HAVE THE SILT FENCE, CONSTRUCTION ENTRANCE AND OTHER EROSION CONTROL MEASURES SHOWN ON THE PLANS, LISTED OR AS DETERMINED BY THE LOCAL GOVERNING BODY INSPECTED TO IDENTIFY MAINTENANCE NEEDS AND/OR STORM WATER POLLUTION PREVENTION PLAN(SWPPP) DEFICIENCIES AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT OF 0.5 INCH OR MORE, EXCEPT WHEN WINTER FREEZE-UP CONDITIONS PRECLUDE RUN-OFF. THE OWNER OR OWNERS AGENT SHALL CONDUCT WEEKLY INSPECTIONS FROM THE BEGINNING OF THE PROJECT AND THROUGHOUT THE DURATION OF THE PROJECT OR UNTIL THE THIRD MOWING. THIS MINIMUM INSPECTION FREQUENCY DOES NOT RELIEVE THE OWNER OF MAINTENANCE RESPONSIBILITIES DURING INTERIM PERIODS.
- THE UNDERSIGNED CERTIFIES THIS PLAN HAS BEEN DESIGNATED IN ACCORDANCE WITH FEDERAL NPDES GUIDELINES AND APPROVED EROSION, SEDIMENT AND STORM WATER ORDINANCES, PROGRAMS, REGULATIONS, STANDARDS AND CRITERIA OF THE CITY OF ANKENY AND THE IOWA NRD.

STREET CLEANING / SWEEPING
SM-4

DESCRIPTION AND PURPOSE
STREET CLEANING AND MAINTENANCE INCLUDES THE USE OF FRONT-END LOADERS, SHOVELS AND SWEEPERS TO REMOVE TRACKED SEDIMENT FROM THE STREETS AND PAVED SURFACES. STREET CLEANING PREVENTS SEDIMENT FROM ENTERING STORM DRAINS AND LOADING SEDIMENT BASINS AND /OR RECEIVING STREAMS.

SUITABLE APPLICATIONS
STREET CLEANING WILL BE DONE ANYWHERE SEDIMENT IS TRACKED FROM A SITE ONTO A PUBLIC OR PRIVATE PAVED STREET OR SURFACE, TYPICALLY AT POINTS OF ENTRY. FLUSHING SEDIMENT OFF OF THE SURFACE INTO THE STORM SYSTEM WILL NEVER BE AN ACCEPTABLE PRACTICE.

IMPLEMENTATION
THE FOLLOWING STEPS WILL BE TAKEN TO KEEP THE STREETS CLEAN:
- ACCESS POINTS WILL BE LIMITED AND CLEANING EFFORTS TO BE FOCUSED AND EFFECTIVE.
- ENTRANCE POINTS WILL BE EVALUATED DAILY FOR TRACK-OUT.
- VISIBLE SEDIMENT TRACKING WILL BE CLEANED OR SWEEP DAILY
- KICK BROOMS OR DRY SWEEPING WILL NOT BE USED; THESE SPREAD THE DIRT, AND GENERATE DUST.
- IF SEDIMENT IS NOT MIXED WITH DEBRIS OR TRASH, IT WILL BE INCORPORATED BACK INTO THE PROJECT SITE.

EDUCATION
- EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS WILL BE EDUCATED ON TRACK-OUT AND STREET CLEANING PROCEDURES, AND THEIR RESPONSIBILITIES.
- A CONTINUING EDUCATION PROGRAM WILL INDOCTRINATE NEW EMPLOYEES.

INSPECTION AND MAINTENANCE
THE FOLLOWING STEPS WILL BE TAKEN:
- EVALUATE ACCESS POINTS DAILY FOR SEDIMENT TRACKING.
- WHEN TRACKED OR SPILLED SEDIMENT IS FOUND ON PAVED SURFACES, IT WILL BE REMOVED DAILY. DURING TIMES OF HEAVY TRACK-OUT, SUCH AS DURING RAINS, CLEANING MAY BE DONE SEVERAL TIMES THROUGHOUT THE DAY.
- UNKNOWN SPILLS OR OBJECTS WILL NOT BE MIXED WITH THE SEDIMENT.
- IF SEDIMENT IS MIXED WITH OTHER POLLUTANTS, IT WILL BE DISPOSED OF PROPERLY AT AN AUTHORIZED LANDFILL.

MAINTENANCE SCHEDULE

THE FOLLOWING MAINTENANCE SCHEDULE HAS BEEN PROVIDED. THE INSPECTOR MUST PERFORM THE INSPECTIONS. THE OPERATOR/CONTRACTOR SHALL ALSO PERFORM ALL NEEDED MAINTENANCE. FURTHERMORE, ALL EROSION CONTROL FEATURE REQUIRING MAINTENANCE MAY NOT BE LISTED BELOW. THE OPERATOR/CONTRACTOR AND INSPECTOR MUST PERFORM THEIR RESPECTIVE DUTIES ON ALL BMP'S THAT ARE NOT LISTED BELOW AS WELL.

- CONSTRUCTION ENTRANCE** – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANUP OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCE.
- STRAW BALE BARRIERS** – THE MAINTENANCE MEASURES ARE AS FOLLOWS: (2.1) STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL; (2.2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES; (2.3) NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY; (2.4) SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE/HALF THE HEIGHT OF ANY BARRIER; AND (2.5) ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- SILT FENCE** – THE MAINTENANCE MEASURES ARE AS FOLLOWS: (3.1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY; (3.2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING; (3.3) SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED IMMEDIATELY; (3.4) SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE/HALF THE HEIGHT OF ANY BARRIER; AND (3.5) ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- STORM DRAIN INLET PROTECTION** – THE MAINTENANCE MEASURES ARE AS FOLLOWS: (4.1) STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY; (4.2) STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- TEMPORARY DIVERSION DIKE** – THE MEASURE SHALL BE INSPECTED AFTER EVERY STORM AND REPAIRS MADE TO THE DIKE, FLOW CHANNEL, OUTLET OR SEDIMENT TRAPPING FACILITY, AS NECESSARY. ONCE EVERY TWO WEEKS, WHETHER A STORM EVENT HAS OCCURRED OR NOT, THE MEASURE SHALL BE INSPECTED AND REPAIRS MADE IF NEEDED. DAMAGES CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY MUST BE REPAIRED BEFORE THE END OF EACH WORKING DAY.
- TEMPORARY FILL DIVERSION** – SINCE THE PRACTICE IS TEMPORARY AND UNDER MOST SITUATIONS WILL BE COVERED THE NEXT WORKING DAY, THE MAINTENANCE REQUIRED SHOULD BE LOW. IF THE PRACTICE IS TO REMAIN IN USE FOR MORE THAN ONE DAY, AN INSPECTION SHALL BE MADE AT THE END OF EACH WORK DAY AND REPAIRS MADE TO THE MEASURE IF NEEDED. THE OPERATOR/CONTRACTOR SHOULD AVOID THE PLACEMENT OF ANY MATERIAL OVER THE STRUCTURE WHILE IT IS IN USE. CONSTRUCTION TRAFFIC SHOULD NOT BE PERMITTED TO CROSS THE STRUCTURE.
- TEMPORARY SEDIMENT TRAP** – THE MAINTENANCE MEASURES ARE AS FOLLOWS: (7.1) SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN VOLUME OF THE WET STORAGE. SEDIMENT REMOVAL FROM THE BASIN SHALL BE DEPOSITED IN SUCH A MANNER AS TO AVOID EROSION AND CAUSE SEDIMENTATION PROBLEMS; (7.2) FILTER STONE SHALL BE REGULARLY CHECKED TO ENSURE THAT FILTRATION PERFORMANCE IS MAINTAINED. STONE CHOKED WITH WITH SEDIMENT SHALL BE REMOVED AND CLEANED OR REPLACED; AND (7.3) THE STRUCTURE SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE HEIGHT OF THE STRUCTURE SHOULD BE CHECKED TO ENSURE THAT ITS CENTER IS AT LEAST ONE FOOT BELOW THE TOP OF EMBANKMENT.
- TEMPORARY SEDIMENT BASIN** – THE BASIN EMBANKMENT SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE EMERGENCY SPILLWAY SHOULD BE CHECKED REGULARLY TO ENSURE THAT ITS LINING IS WELL ESTABLISHED AND EROSION RESISTANT. THE BASIN SHOULD BE CHECKED AFTER EACH RUNOFF PRODUCING RAINFALL FOR SEDIMENT CLEANOUT AND TRASH REMOVAL. WHEN THE SEDIMENT REACHES THE CLEANOUT LEVEL, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF.
- TEMPORARY SEEDING** – AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT SOIL EROSION WILL BE RESEEDD AS SOON AS SUCH AREAS ARE IDENTIFIED. CONTROL WEEDS BY MOWING.
- PERMANENT SEEDING** – THE MAINTENANCE MEASURES ARE AS FOLLOWS: (10.1) IN GENERAL, A STAND OF VEGETATION CANNOT BE DETERMINED TO BE FULLY ESTABLISHED UNIT IT HAS BEEN MAINTAINED FOR ONE FULL YEAR AFTER PLANTING; (10.2) NEW SEEDLINGS SHALL BE SUPPLIED WITH ADEQUATE MOISTURE. SUPPLY WATER AS NEEDED, ESPECIALLY LATE IN THE SEASON, IN ABNORMALLY HOT OR DRY CONDITIONS, OR ON ADVERSE SITES. WATER APPLICATIONS SHALL BE CONTROLLED TO PREVENT EXCESSIVE RUNOFF; (10.3) INSPECT ALL SEEDD AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS AND RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE; (10.3a) IF STAND IS INADEQUATE FOR EROSION CONTROL, OVERSEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY SPECIFIED; (10.3b) IF STAND IS 60% DAMAGED, RE-ESTABLISH FOLLOWING SEEDBED AND SEEDING RECOMMENDATIONS; (10.3c) IF STAND HAS LESS THAN 40% COVER, RE-EVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER. THE SOIL MUST BE TESTED TO DETERMINE IF ACIDITY OR NUTRIENT IMBALANCES ARE RESPONSIBLE, REESTABLISH THE STAND FOLLOWING SEEDBED AND SEEDING RECOMMENDATIONS.
- MULCHING** – ALL MULCHES AND SOIL COVERINGS SHOULD BE PERIODICALLY INSPECTED (PARTICULARLY AFTER RAINSTORMS) TO DETERMINE WHERE EROSION IS OBSERVED IN MULCHED AREAS. ADDITIONAL MULCH SHOULD BE APPLIED. NETS AND MATS SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, REINSTALL NETTING OR MATTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSES ARE FIRMLY ESTABLISHED, WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTINGS, INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE; REPAIR AS NEEDED.
- SOIL STABILIZATION BLANKETS, MATTING** – ALL SOIL STABILIZATION BLANKETS AND MATTING SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION, PARTICULARLY AFTER RAIN STORMS TO CHECK FOR EROSION AND UNDERMINING. ANY DISLOCATION OR FAILURE SHOULD BE REPAIRED IMMEDIATELY. IF WASHOUTS OR BREAKAGE OCCURS, REINSTALL THE MATERIAL AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. CONTINUE TO MONITOR THESE AREAS UNTIL WHICH TIME THEY BECOME PERMANENTLY STABILIZED. AT THAT TIME AN ANNUAL INSPECTION SHOULD BE ADEQUATE.
- STREET CLEANING/SWEEPING** – THE MAINTENANCE MEASURES ARE AS FOLLOWS: (13.1) EVALUATE ACCESS POINTS DAILY FOR SEDIMENT TRACKING; (13.2) WHEN TRACKED OR SPILLED SEDIMENT IS FOUND ON PAVED SURFACES, IT WILL BE REMOVED DAILY. DURING TIMES OF HEAVY TRACKOUT, SUCH AS DURING RAINS, CLEANING MAY BE DONE SEVERAL TIMES DURING THE DAY; (13.3) UNKNOWN SPILLS OR OBJECTS WILL NOT BE MIXED WITH THE SEDIMENT; AND (13.4) IF SEDIMENT IS MIXED WITH OTHER POLLUTANTS, IT WILL BE DISPOSED OF PROPERLY AT AN AUTHORIZED LANDFILL.
- WATER MAIN FLUSHING** – UTILITY CONTRACTOR SHALL COORDINATE WATER MAIN FLUSHING LOCATION WITH OWNER. ENSURE APPROPRIATE EROSION CONTROL MEASURES ARE USED.

VEHICLE AND EQUIPMENT FUELING
SM-5

DESCRIPTION AND PURPOSE
VEHICLE EQUIPMENT FUELING PROCEDURES AND PRACTICES ARE DESIGNED TO PREVENT FUEL SPILLS AND LEAKS, AND REDUCE OR ELIMINATE CONTAMINATION OF STORMWATER. THIS WILL BE ACCOMPLISHED BY FUELING AS OUTLINED BELOW, IMPLEMENTING SPILL CONTROL AND TRAINING EMPLOYEES AND REQUIRING SUBCONTRACTORS TO HAVE PERSONNEL TRAINED IN PROPER FUELING PROCEDURES.

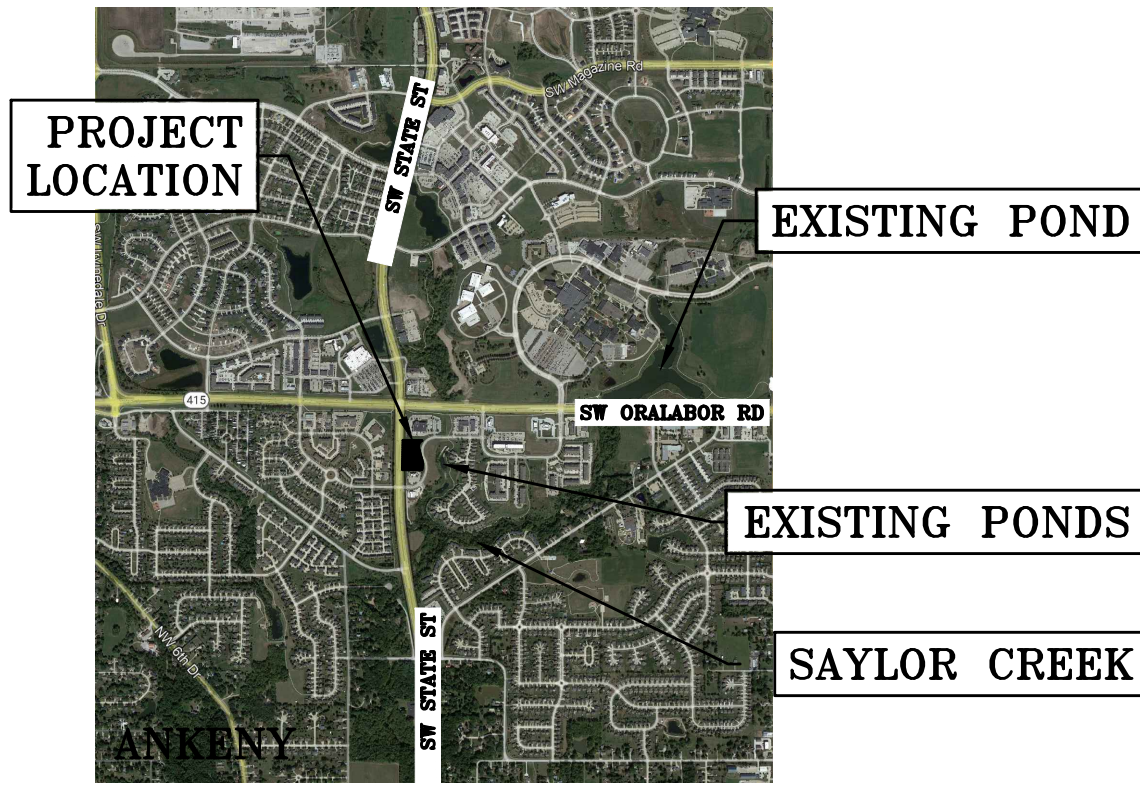
SUITABLE APPLICATIONS
FUELING MANAGEMENT PRACTICES ARE SUITABLE FOR USE AT ALL CONSTRUCTION SITES THAT USE FUELING TANKS OR FUELING TRUCK SYSTEMS.

LIMITATIONS
- WITH THE EXCEPTION OF TRACKED EQUIPMENT SUCH AS BULLDOZERS AND LARGE EXCAVATORS, MOBILE CONSTRUCTION EQUIPMENT WILL BE TRANSPORTED TO DESIGNATED FUELING AREAS.

IMPLEMENTATION
- OFFSITE-FUELING STATIONS WILL BE USED AS MUCH AS POSSIBLE.
- "TOPPING-OFF" OF FUEL TANKS WILL BE DISCOURAGED.
- ABSORBENT SPILL CLEANUP MATERIALS AND SPILL KITS WILL BE AVAILABLE IN FUELING AREAS OR ON FUELING TRUCKS, AND WILL BE DISPOSED OF PROPERLY AFTER USE.
- DRIP PANS OR ABSORBENT PADS WILL BE USED DURING FUELING, UNLESS THE FUELING IS PERFORMED OVER AN IMPERMEABLE SURFACE IN A DEDICATED FUELING AREA.
- ABSORBENT MATERIALS WILL BE USED ON SMALL SPILLS. SPILLS WILL NOT BE HOSED DOWN OR BURIED. USED ADSORBENT MATERIALS WILL BE REMOVED PROMPTLY AND DISPOSED OF PROPERLY.
- FUELING WILL TAKE PLACE IN AREAS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF, AND WILL BE LOCATED AT LEAST 50 FT AWAY FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES. DESIGNATED FUELING AREAS WILL BE IDENTIFIED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- PROTECTED FUELING AREAS WITH BERMS OR DIKES TO PREVENT RUN-ON, RUNOFF, AND TO CONTAIN SPILLS.
- NOZZLES USED IN FUELING WILL BE EQUIPPED WITH AN AUTOMATIC SHUTOFF TO CONTROL DRIPS. FUELING OPERATIONS WILL NOT BE LEFT UNATTENDED.
- ALL REQUIREMENTS WILL BE OBSERVED FOR ANY STATIONARY ABOVE GROUND STORAGE TANKS.

EDUCATION
- EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS WILL BE EDUCATED ON VEHICLE EQUIPMENT FUELING, SPILL CLEANUP, DISPOSAL PROCEDURES AND THE POTENTIAL DANGERS TO THE ENVIRONMENT.
- A CONTINUING EDUCATION PROGRAM WILL INDOCTRINATE NEW EMPLOYEES.

INSPECTION AND MAINTENANCE
- VEHICLES AND EQUIPMENT WILL BE ROUTINELY INSPECTED FOR LEAKS. LEAKS WILL BE REPAIRED IMMEDIATELY OR PROBLEM VEHICLES OR EQUIPMENT WILL BE REMOVED FROM THE PROJECT SITE.
- AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS WILL BE AVAILABLE.
- SPILLS WILL BE IMMEDIATELY REMOVED AND CLEANUP MATERIALS WILL BE PROPERLY DISPOSED OF. IF MOBILE FUELING OPERATION IS USED, SUPPLIER WILL HAVE SPILL EQUIPMENT AND PROCEDURES ON TRUCK. IF STATIONARY FUEL STORAGE IS USED, SITE MANAGER WILL HAVE THE EQUIPMENT AND PROCEDURES ON SITE.



VICINITY MAP
SEC. 34, TN80N, R24E
OCTOBER 21, 2022
REGA PROJECT NO.201280
SITE DEVELOPMENT: 1.65 ACRES

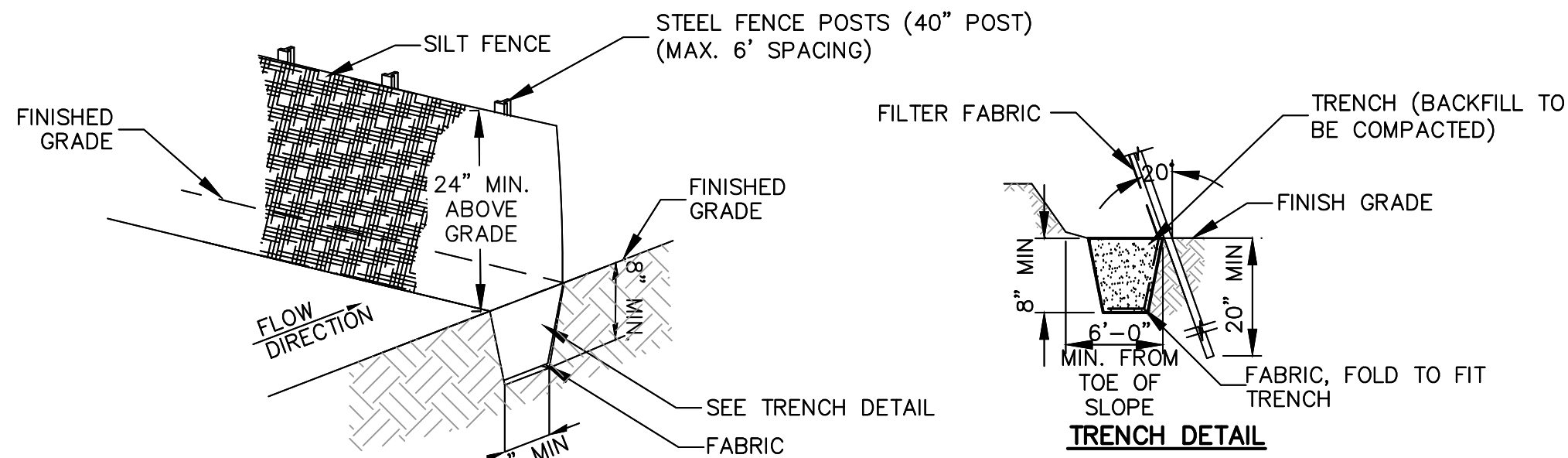
APPLICANT	DESIGNER
TERRACON CONSULTANTS INC. 601 SW 7TH ST. M. DES MOINES, IA – 50309.	DANIEL ROSENTHAL, P.E. REGA ENGINEERING GROUP INC. 601 OLD CHENEY ROAD, STE A LINCOLN, NE 68512 P: 402-484-7342 F: 402-484-7344 DAN@regaeng.com

CONTRACTOR	INSPECTOR
TBD	TBD

BEST MANAGEMENT PRACTICES (BMP)

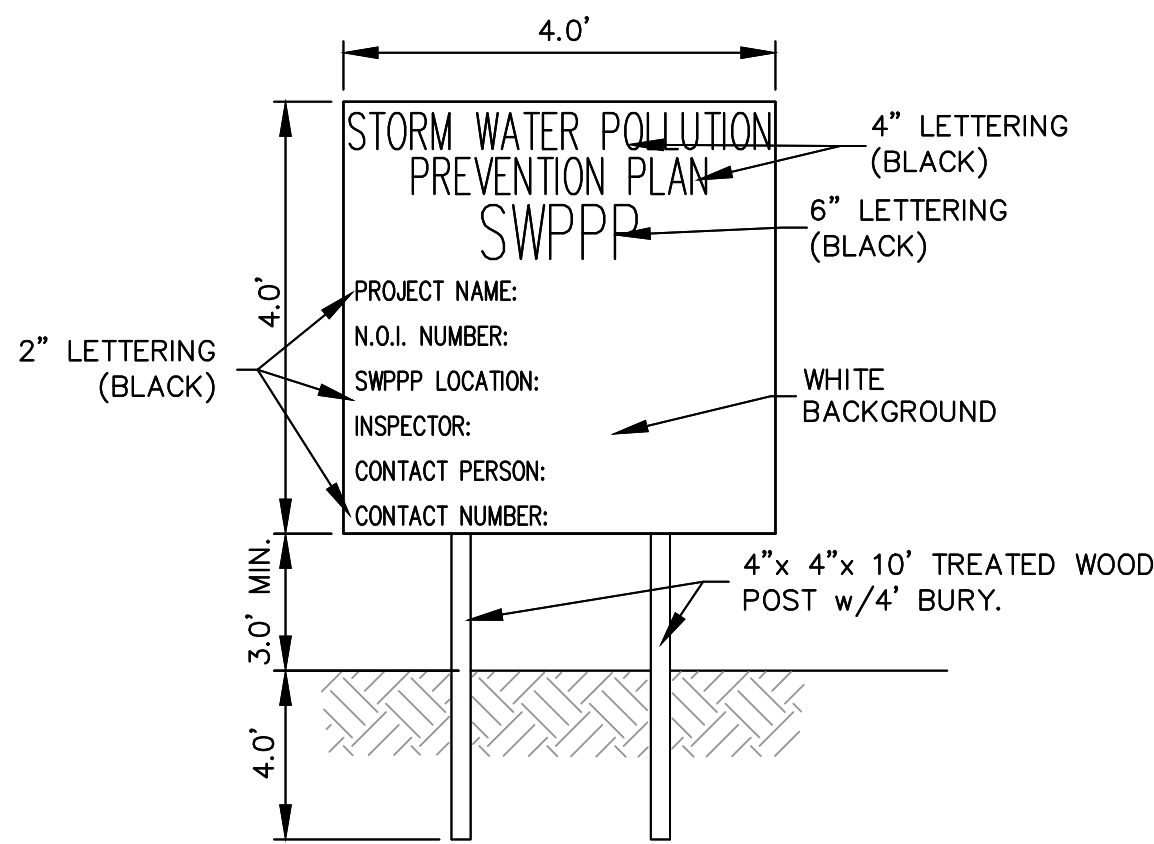
FIGURE	NAME
	FABRIC SILT FENCE SSECM
	STABILIZED CONSTRUCTION ENTRANCE SSECM
	BIORETENTION CELL
SM-1	SANITARY WASTE MANAGEMENT SMPG EXHIBIT "F"
SM-2	SOLID WASTE MANAGEMENT
SM-3	MATERIAL DELIVERY AND STORAGE
SM-4	STREET CLEANING / SWEEPING SMPG EXHIBIT "I"
SM-5	VEHICLE AND EQUIPMENT FUELING





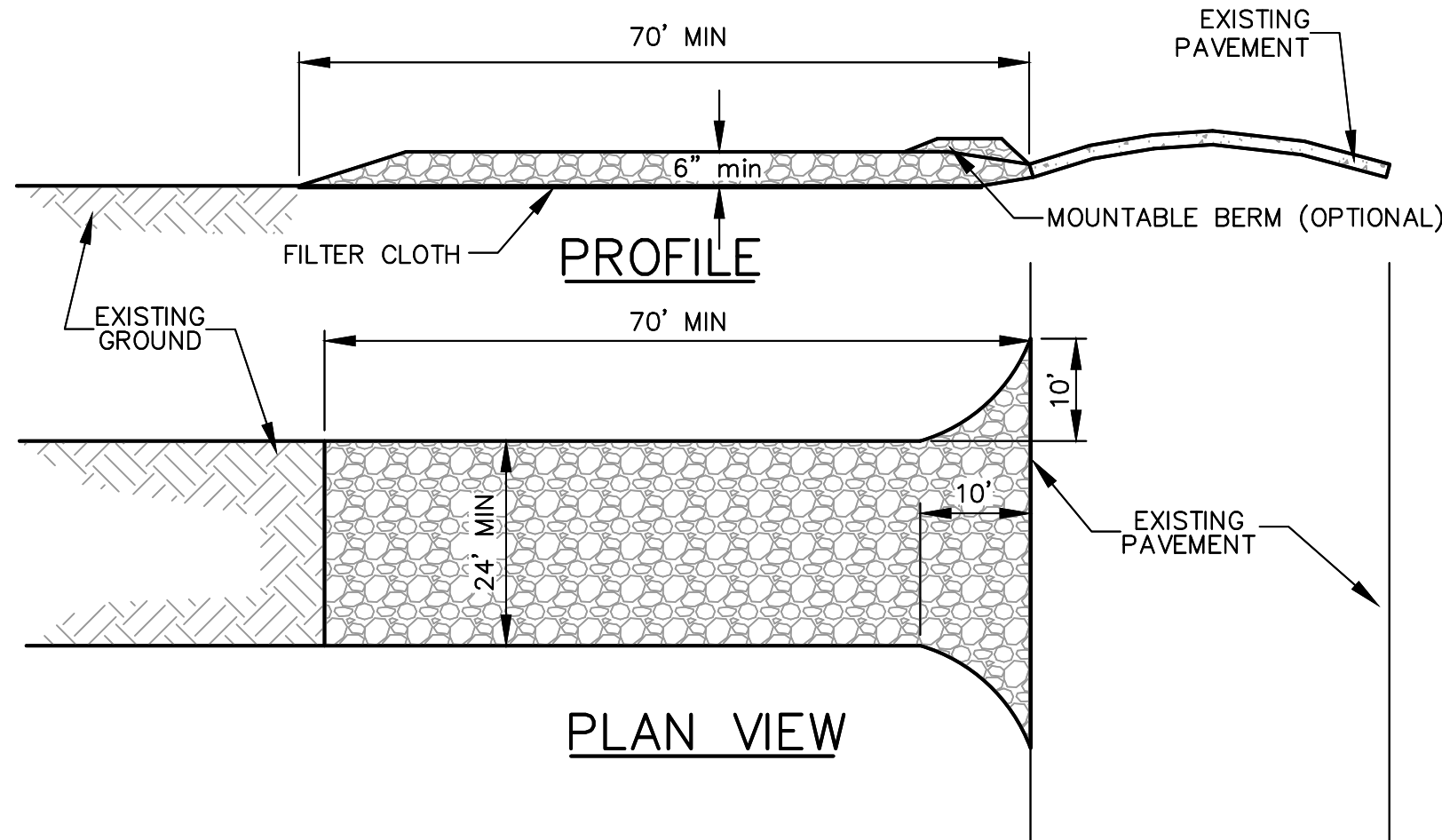
- NOTES:
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED AT A 20° ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
 2. SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER SO THAT DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW
 3. SILT FENCE SHALL BE SECURELY FASTENED TO EACH STEEL FENCE POST.
 4. IF WOVEN WIRE SUPPORT IS UTILIZED, IT SHALL BE ATTACHED SECURELY TO THE STEEL FENCE POSTS WITH WIRE TIES. SILT FENCE SHALL BE ATTACHED TO THE WOVEN WIRE SUPPORT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. WOVEN WIRE SUPPORT SHALL BE EMBEDDED A MINIMUM OF 8" IN THE TRENCH.
 5. BACKFILL SHALL BE COMPACTED USING A MECHANICAL OR PNEUMATIC TAMPER.
 6. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 7. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 8. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE UNIFORMLY DISTRIBUTED ON THE SOURCE AREA PRIOR TO TOPSOILING.
 9. MATERIAL OF SILT FENCE SHALL BE POLYPROPYLENE FABRIC OR NYLON REINFORCED WITH POLYESTER NETTING.
 10. MATERIAL OF SILT FENCE SHALL HAVE MULLEN BURST STRENGTH GREATER THAN 150 PSI. THE EDGES SHALL BE TREATED TO PREVENT UNRAVELING.

1 SILT FENCE DETAIL
C1.10 NO SCALE



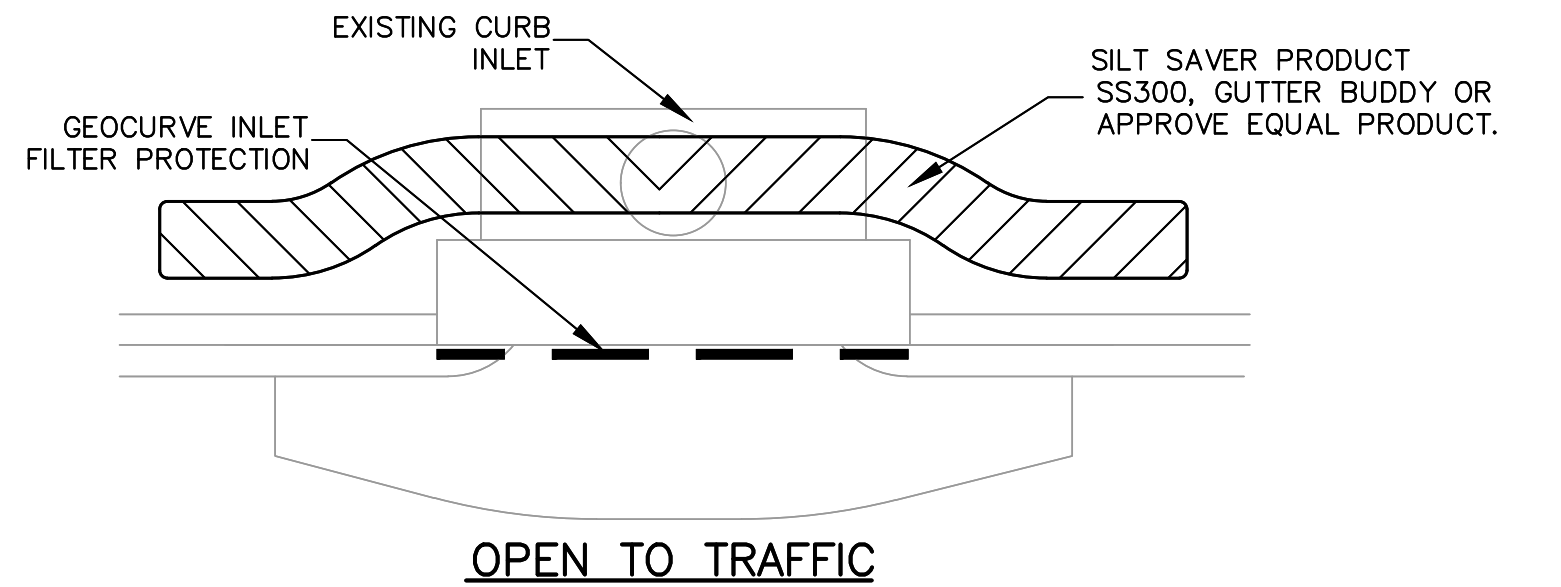
- NOTES:
1. SIGN TO BE CONSTRUCTED OF RIGID MATERIAL SUCH AS PLYWOOD OR OUTDOOR SIGN MATERIAL. LETTERING AND SIGN PAINT SHALL BE SUCH TO BE PROTECTED FROM THE ELEMENTS. SIGN SHALL BE LOCATED ON PUBLIC RIGHT OF WAY OR EASEMENT.
 2. SIGN SHALL BE LOCATED NEAR THE ENTRANCE TO THE SITE AND VISIBLE BY THE GENERAL PUBLIC, AND SHALL NOT BE AN OBSTRUCTION OR SAFETY HAZARD.
 3. ALL POSTED DOCUMENTS MUST BE MAINTAINED AT ALL TIMES THROUGH OUT CONSTRUCTION AND UNTIL THE NOTICE OF TERMINATION IS FILED FOR THE PERMIT.
 4. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE SIGN THROUGH OUT CONSTRUCTION AND REMOVE SIGN COMPLETELY AFTER CONSTRUCTION.

4 SWPPP SIGN DETAIL
C1.10 NO SCALE



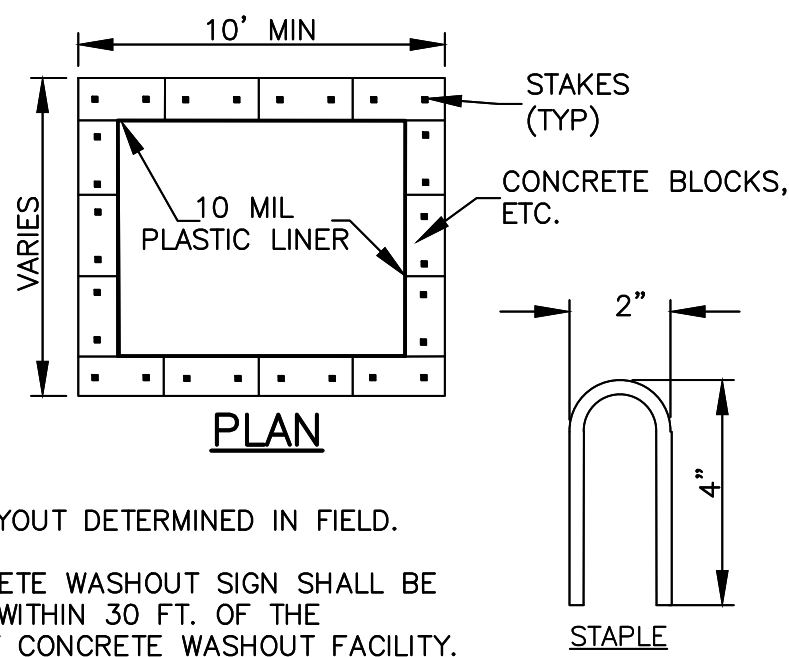
- NOTES:
1. STONE SIZE – USE 2" MINIMUM, BUT NOT MORE THAN 3.5" CLEAN CRUSHED STONE.
 2. LENGTH – AS REQUIRED, BUT NOT LESS THAT 70 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS – NOT LESS THAT SIX (6) INCHES.
 4. WIDTH – TWENTY FOUR (24) FOOT MINIMUM, BUT NOT LESS THAT THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5H:1V SLOPES WILL BE PERMITTED.
 7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS–OF–WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT–OF–WAYS MUST BE REMOVED IMMEDIATELY.
 8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS–OF–WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
 10. ONLY ONE CONSTRUCTION ENTRANCE IS SHOWN ON THE PLAN. IF CONTRACTOR ELECTS TO HAVE TWO ACCESS POINTS, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT BOTH ACCESS POINTS.

2 STABILIZED CONSTRUCTION ENTRANCE
C1.10 NO SCALE

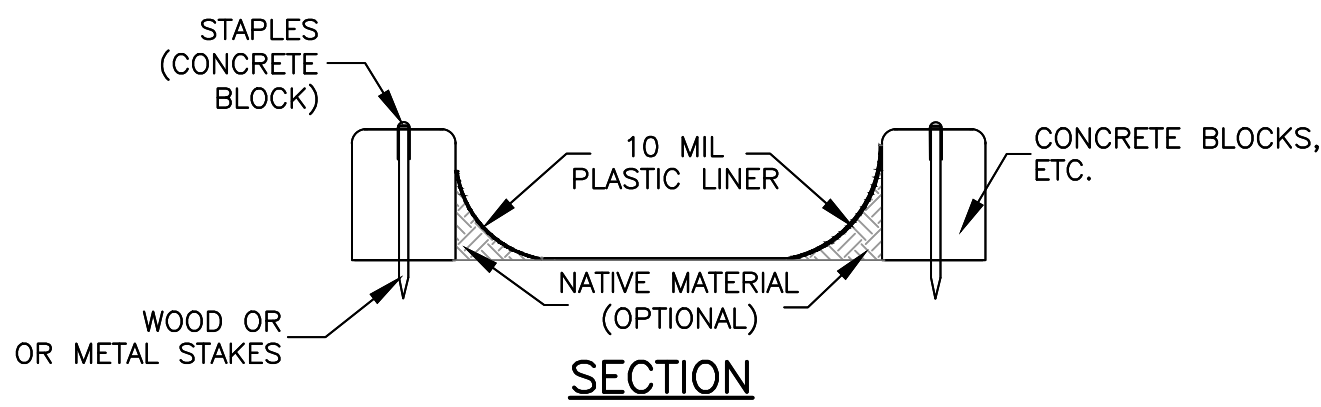


- NOTES:
1. USE SILT SAVER PRODUCT SS300, GUTTER BUDDY OR APPROVE EQUAL PRODUCT.
 2. REPLACE EROSION CONTROL AS REQUIRED.

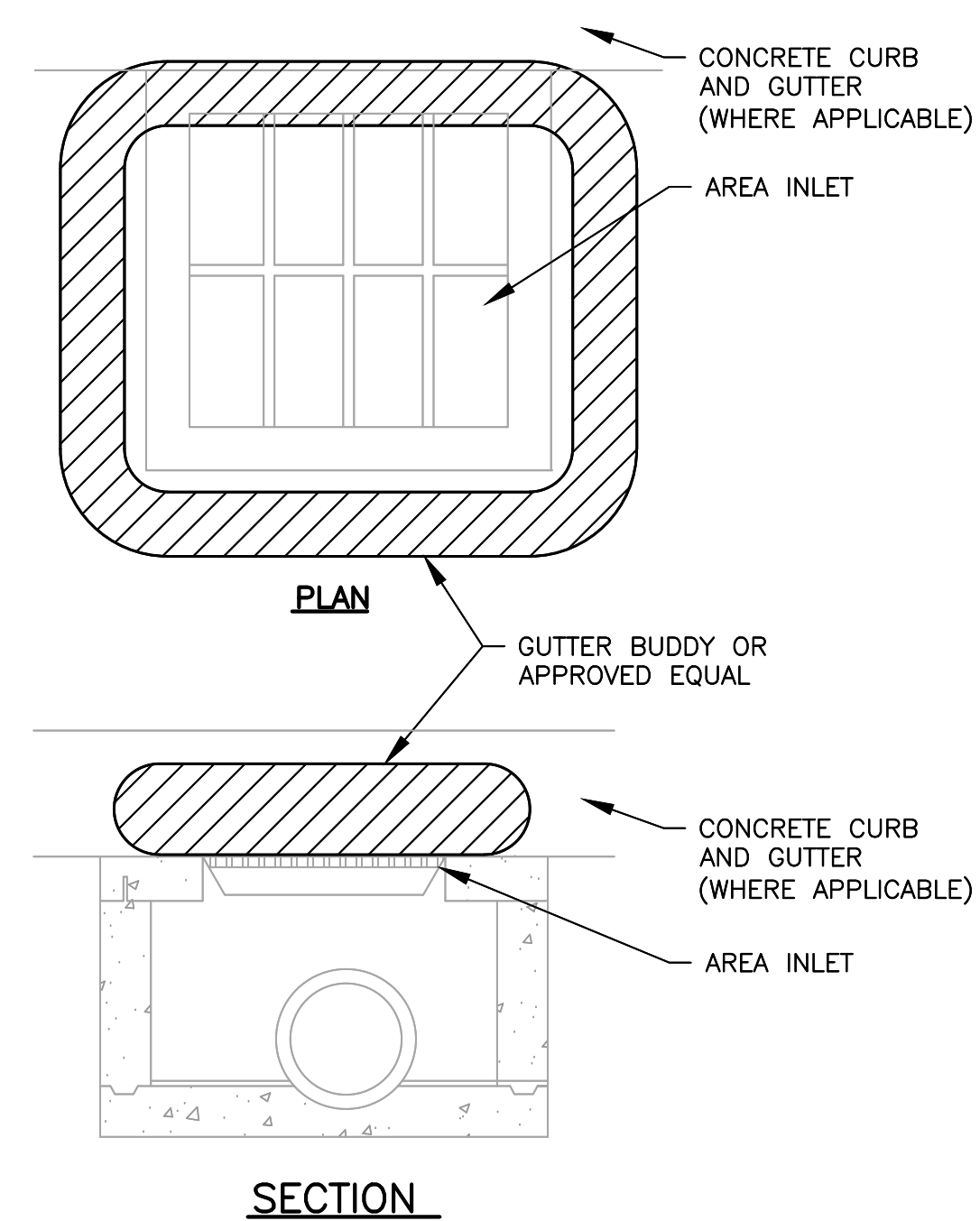
3 CURB INLET PROTECTION
C1.10 NO SCALE



- NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

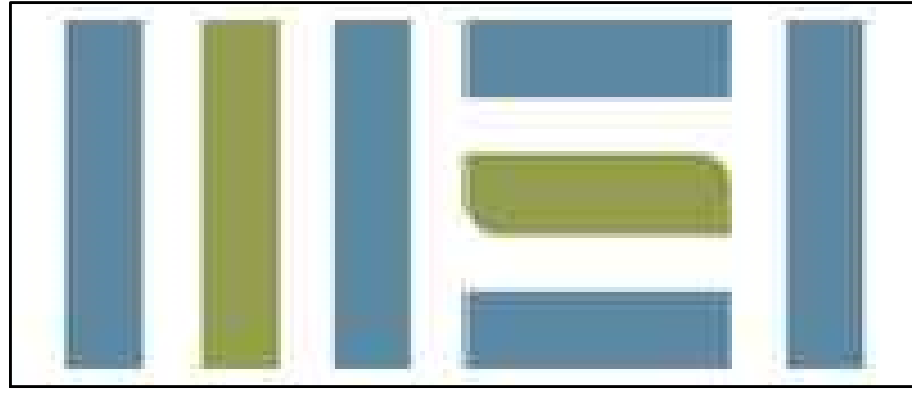


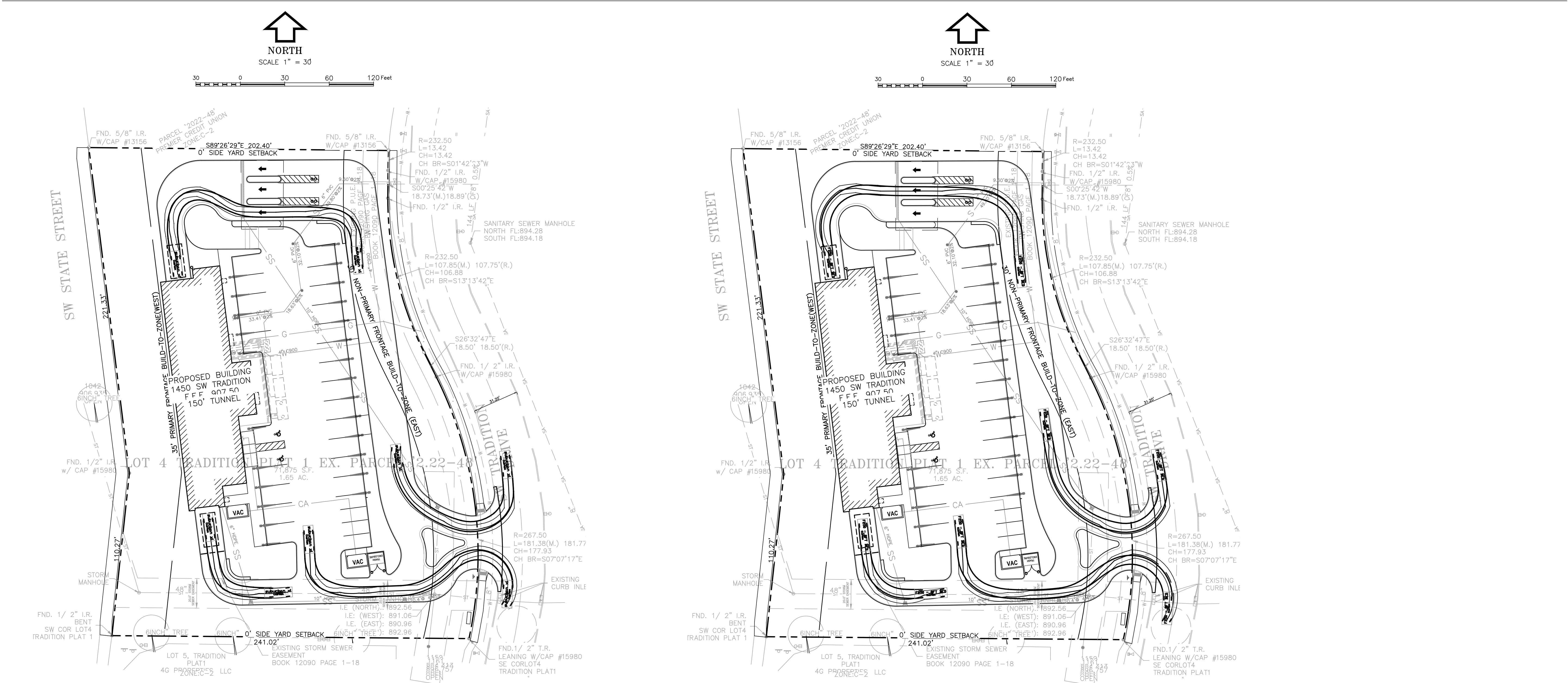
5 TEMP. CONCRETE WASHOUT
C1.10 NO SCALE

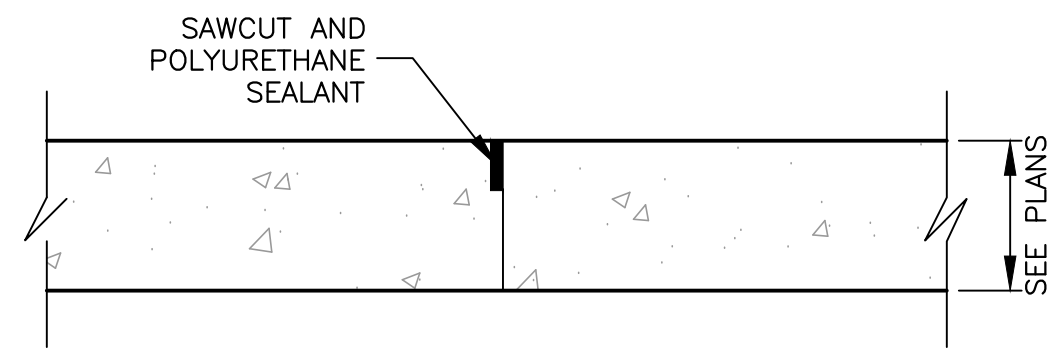


- NOTES:
1. USE SILT SAVER PRODUCT SS300, GUTTER BUDDY OR APPROVED EQUAL PRODUCT.
 2. REPLACE EROSION CONTROL AS REQUIRED.
 3. INSTALL AS PER MANUFACTURERS SPECIFICATIONS

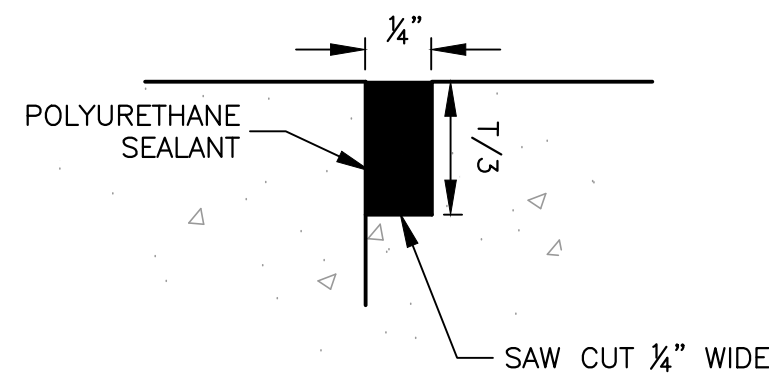
6 AREA INLET PROTECTION
C1.10 NO SCALE



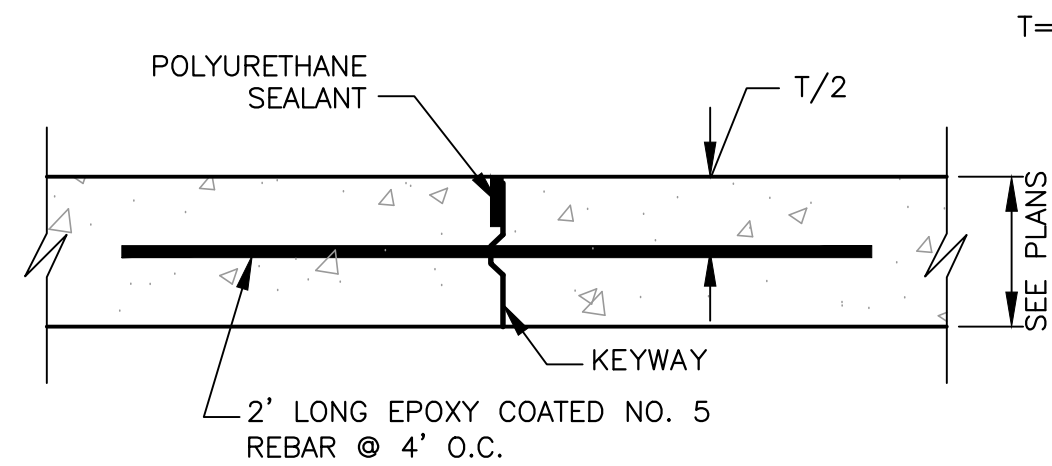




LONGITUDINAL/TRANSVERSE JOINT



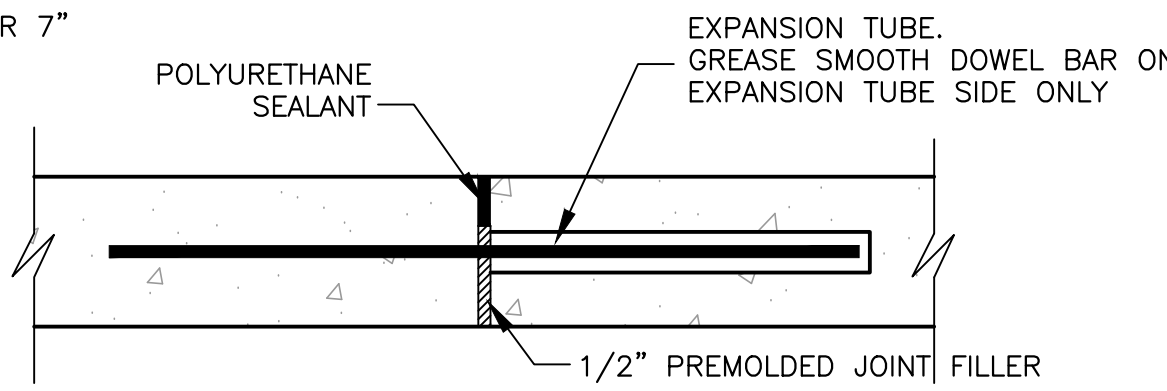
SAW CUT AND JOINT SEALANT



CONSTRUCTION JOINT

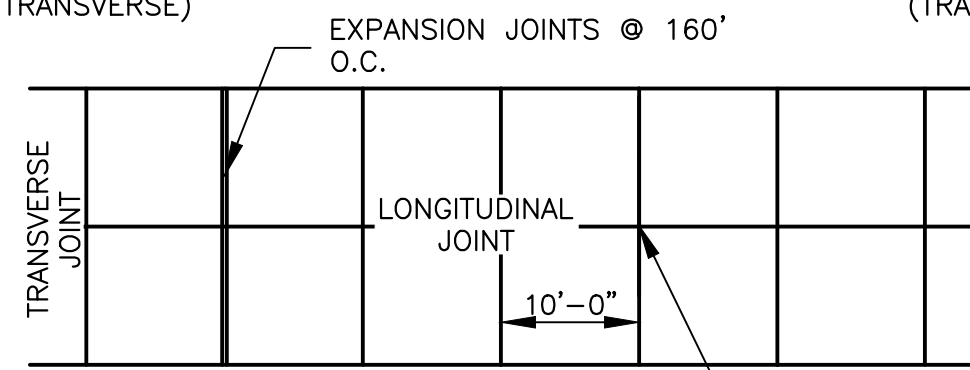
(LONGITUDINAL AND TRANSVERSE)

T=6" OR 7"



EXPANSION JOINT

(TRANSVERSE JOINT)



PLAN VIEW

CONCRETE PAVING

SAW JOINTS AT 10'-0" O.C.,
SAW JOINTS SAME DAY AS
POUR

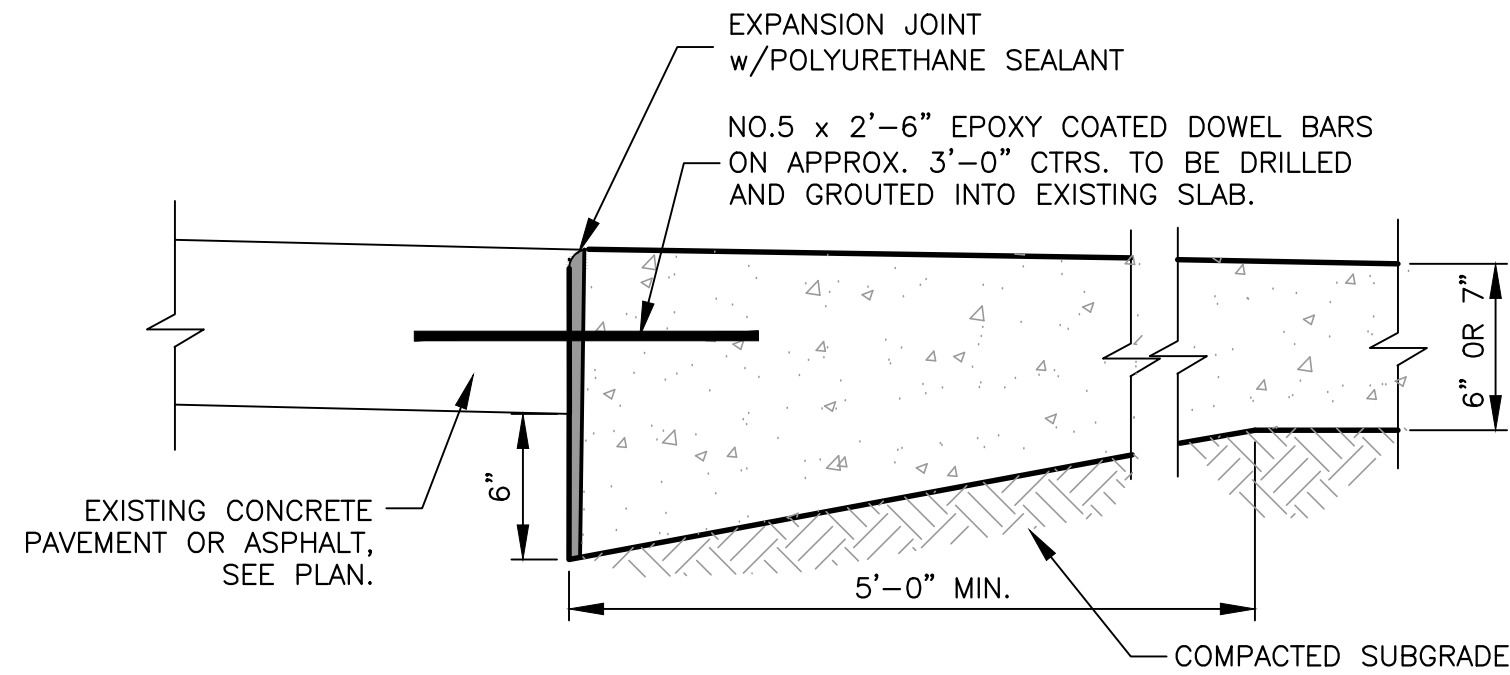
NOTES:

1. PROVIDE EXPANSION JOINT IN CONCRETE PAVEMENT AND CURB AND GUTTER AT THE SAME LOCATION.
2. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION APPROVED PRODUCTS LIST.
3. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER, PRIOR TO CONSTRUCTION, A CONCRETE PAVEMENT JOINTING PLAN FOR REVIEW AND APPROVAL. MAXIMUM SPACING ON A TRANSVERSE JOINT SHALL BE DETERMINED BY THE THICKNESS OF PAVEMENT, CONTACT ENGINEER.

1
C2.00

CONCRETE PAVING JOINT DETAILS

NO SCALE



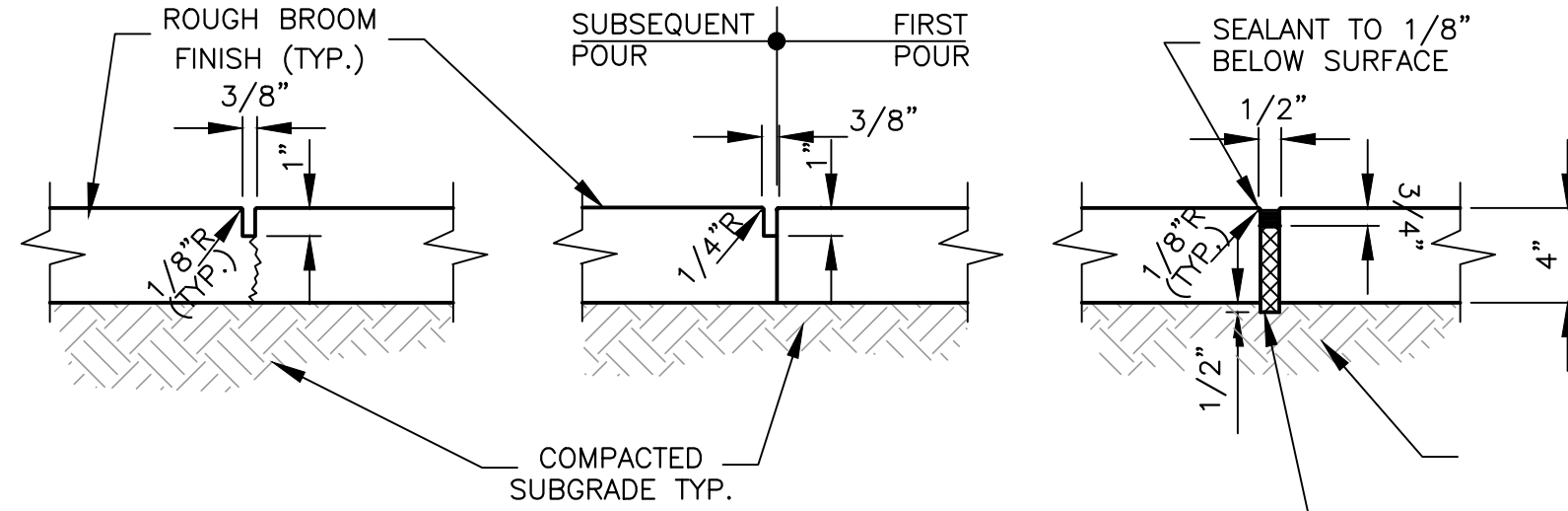
NOTES:

1. DOWEL BARS ARE TO BE INSTALLED WHERE NEW CONCRETE PAVEMENT IS PLACED ADJACENT TO EXISTING CONCRETE PAVEMENT.
2. APPLY DOWEL BARS WHERE HEAVY TRAFFIC WILL BE CROSSING.
3. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

4
C2.00

THICKENED EDGE CONCRETE PAVEMENT w/REBAR

NO SCALE



CONTRACTION JOINT

MAXIMUM SPACING =
WIDTH OF THE WALK
UNLESS INDICATED
OTHERWISE ON PLANS

CONSTRUCTION JOINT

USE ONLY WHERE
CONSTRUCTION JOINTS
WOULD OCCUR

EXPANSION JOINT

SPACE AS SHOWN ON LAYOUT
PLAN (@ 40' MAX.) AND
WHERE ABUTTING ALL
STRUCTURES, PAVEMENT AND
CURBS

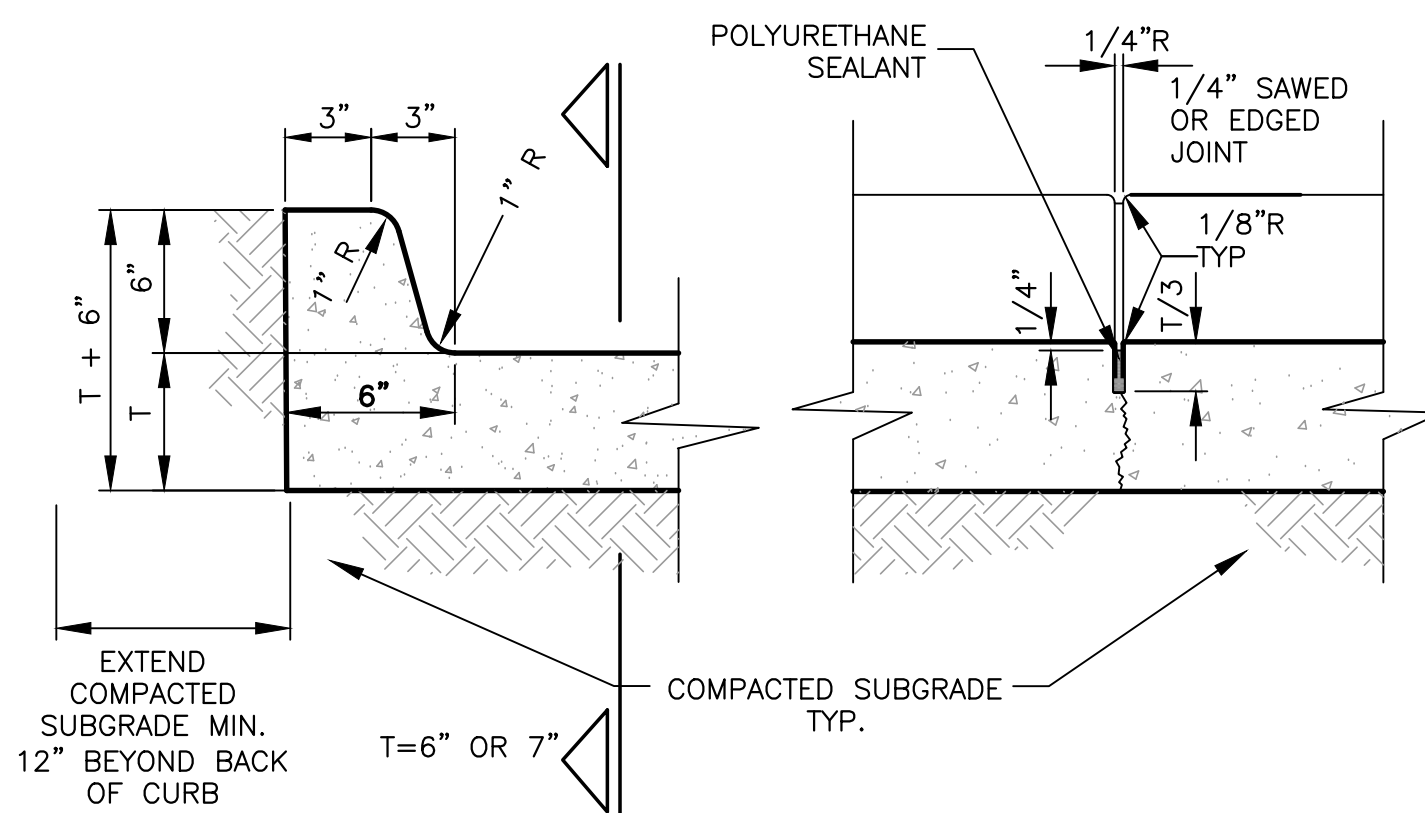
NOTES:

1. WHEN ABUTTING EXISTING SIDEWALK, MATCH EXISTING PATTERN LOCATION OF CONTROL AND EXPANSION JOINTS UNLESS OTHERWISE INDICATED.
2. PROVIDE 1/2" E.J. WITH SEALANT WHEN ABUTTING BACK OF CURB AND STRUCTURES.
3. ALL SIDEWALKS SLOPE AT 2% AWAY FROM BUILDING OR TOWARD CURBS UNLESS SHOWN OTHERWISE.
4. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

2
C2.00

CONCRETE SIDEWALK JOINT DETAILS

NO SCALE



INTEGRAL CURB SECTION

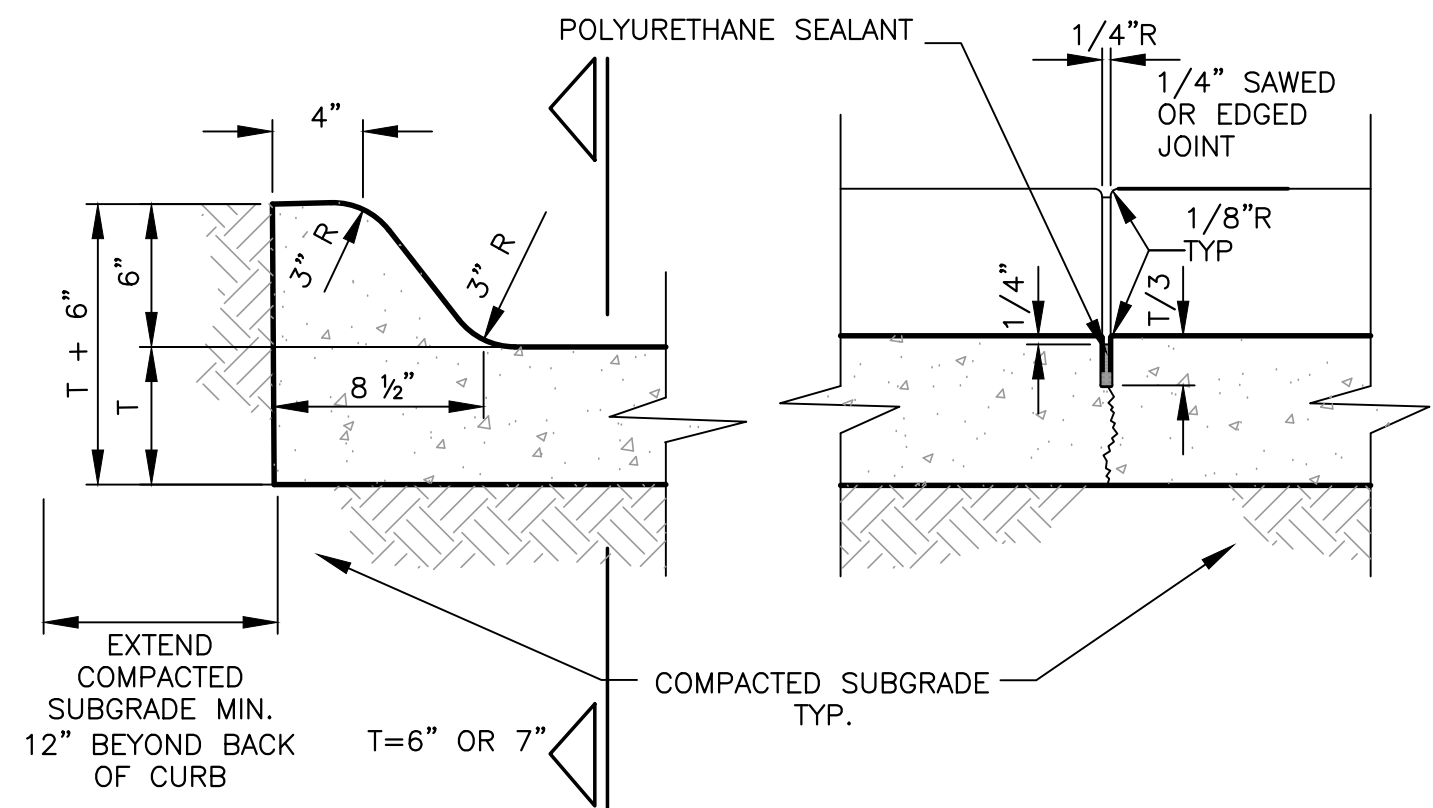
SECTION CONTRACTION JOINT

INTEGRAL CURB AT PAY STATION ISLANDS

5
C2.00

INTEGRAL CURB DETAIL

NO SCALE



INTEGRAL CURB SECTION

SECTION CONTRACTION JOINT

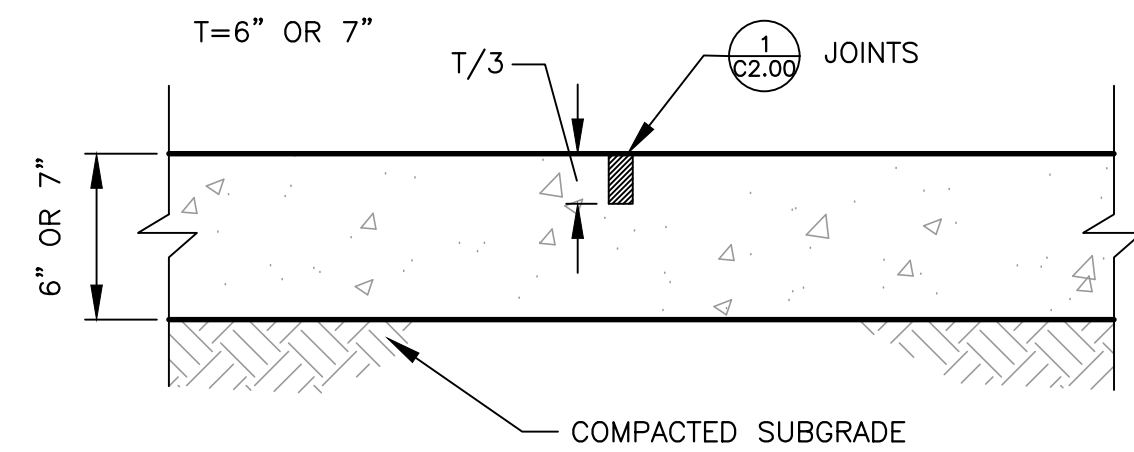
NOTES:

1. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

3
C2.00

INTEGRAL CURB DETAIL

NO SCALE



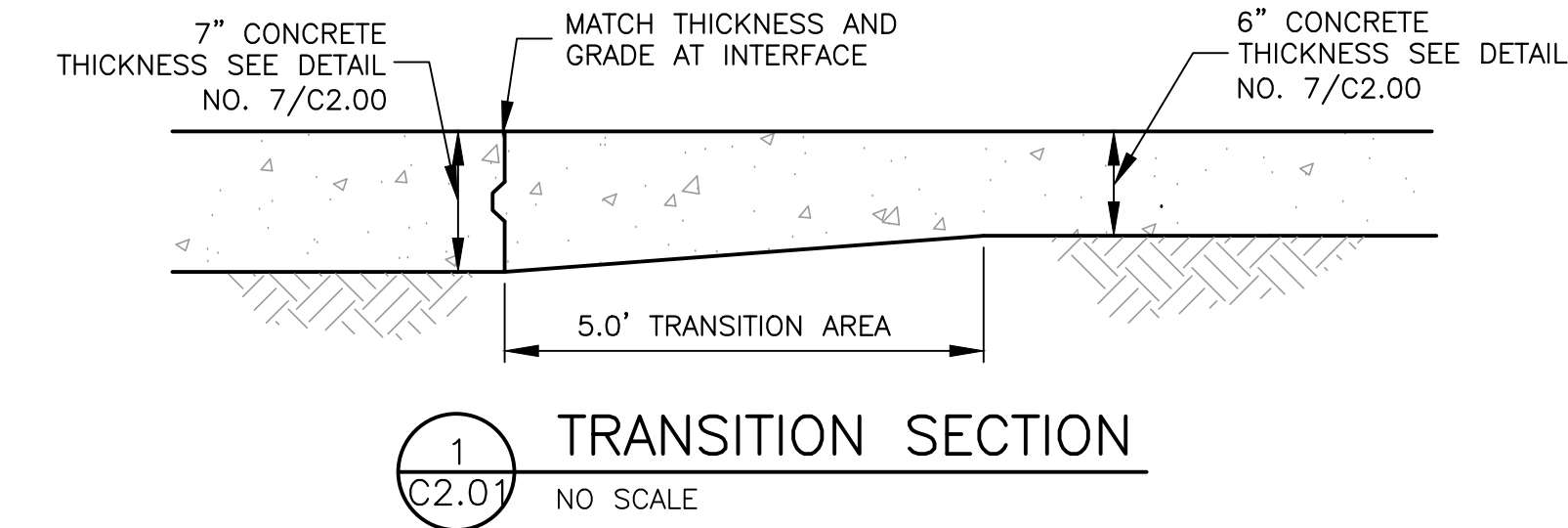
NOTES:

1. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

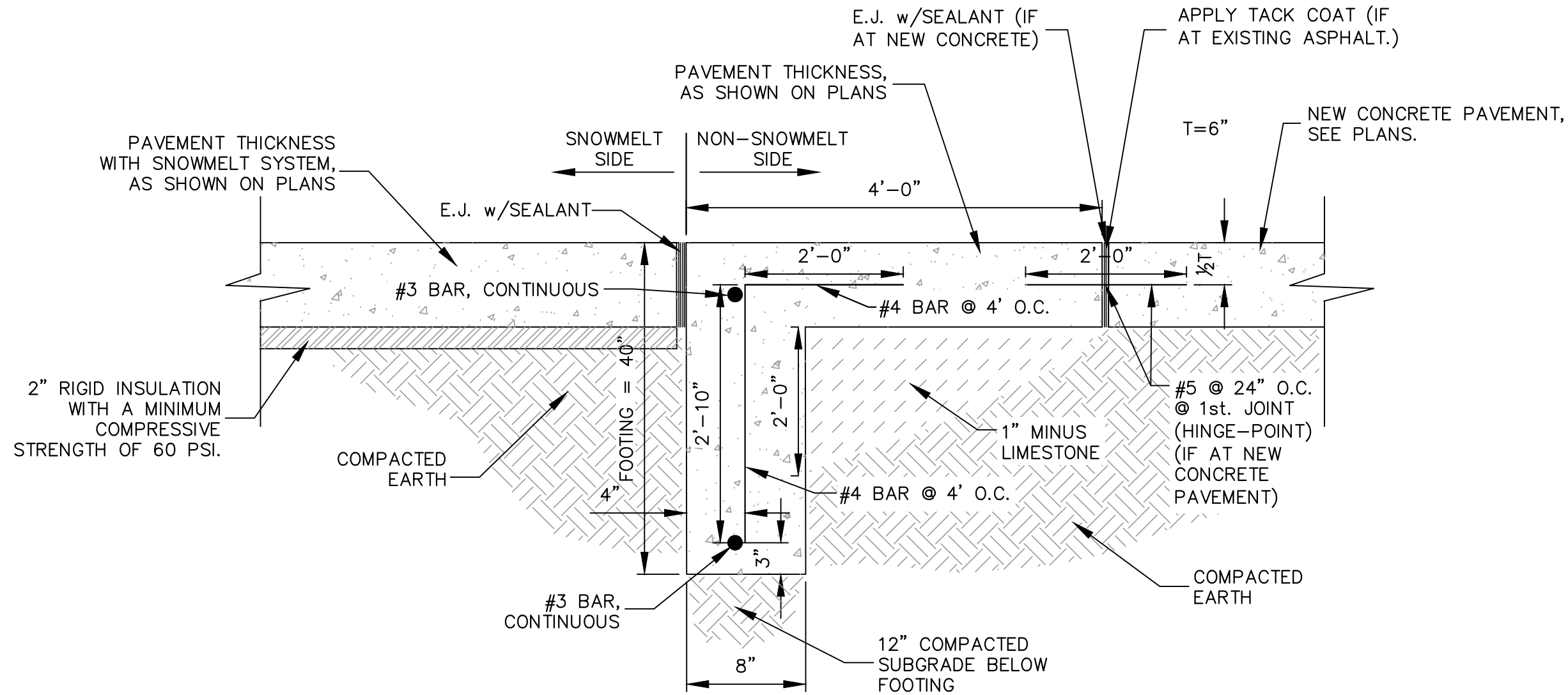
6
C2.00

6" OR 7" CONCRETE PAVEMENT

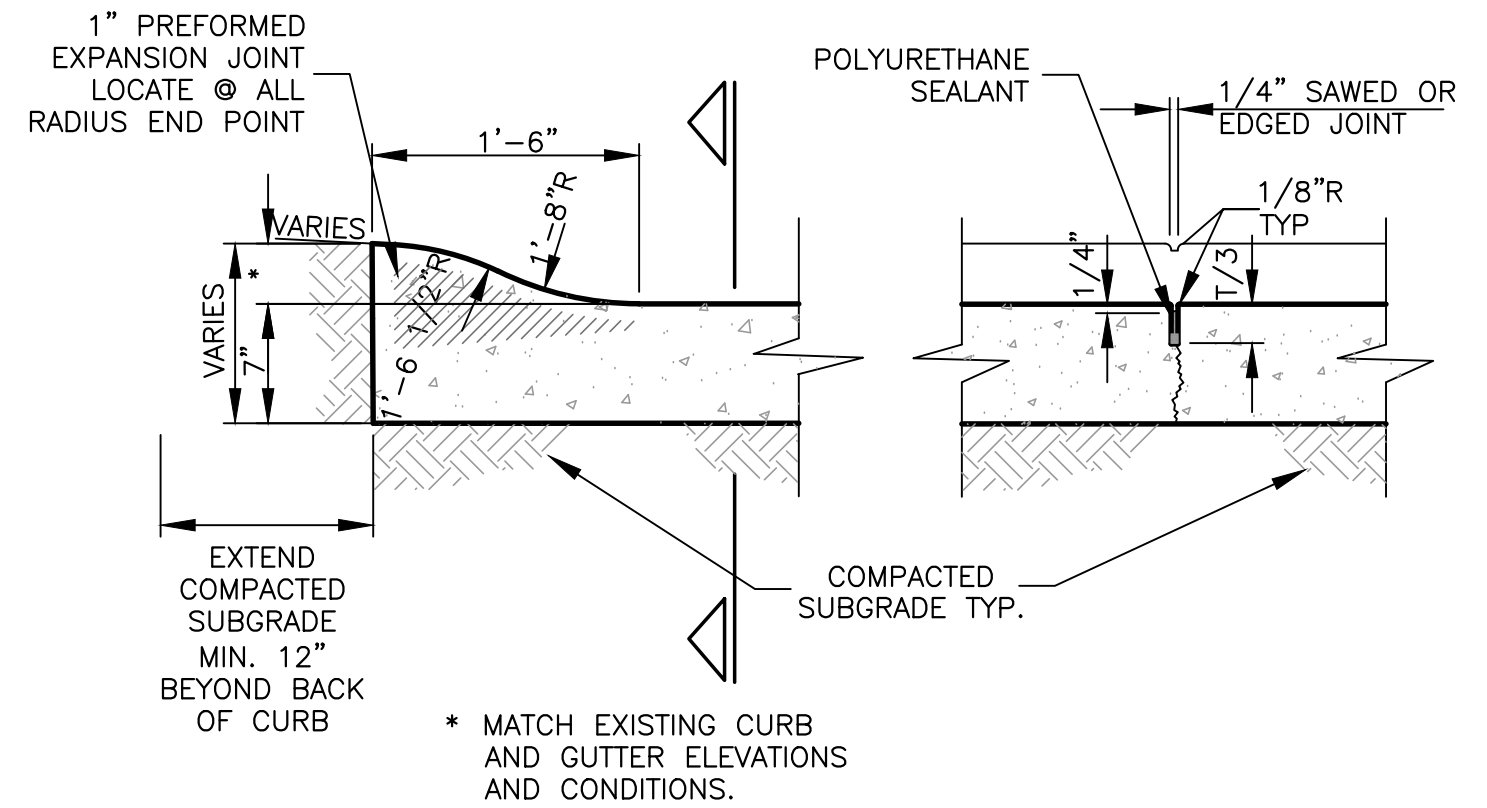
NO SCALE



1 TRANSITION SECTION
C2.01 NO SCALE



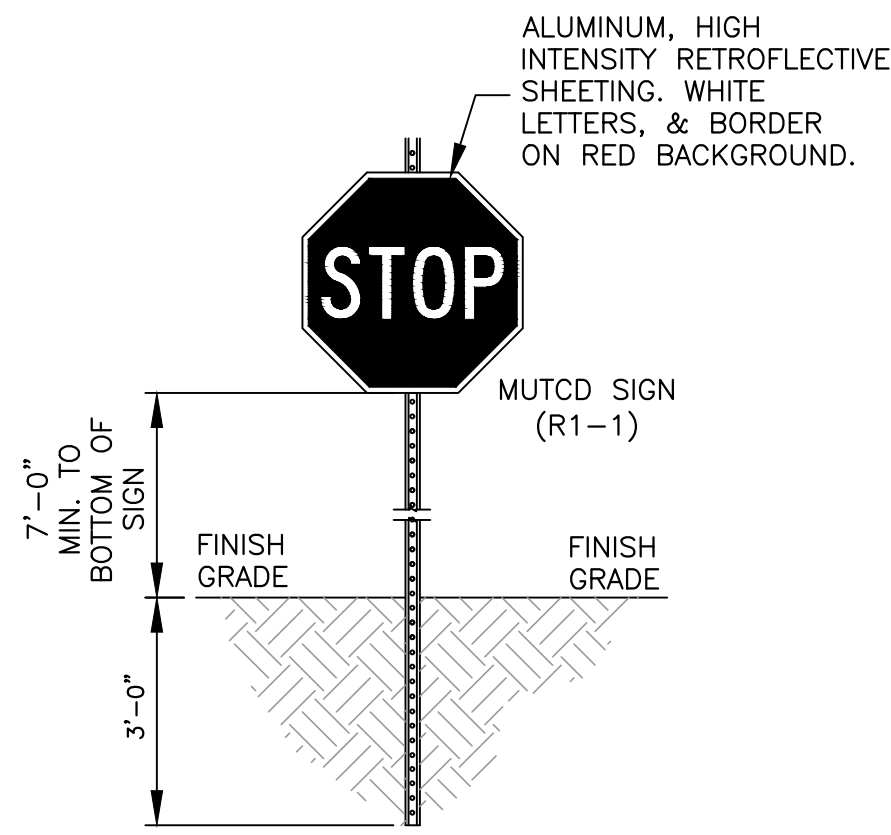
2 FROST FOOTING TYP.
C2.01 NO SCALE



INTEGRAL CURB SECTION SECTION CONTRACTION JOINT

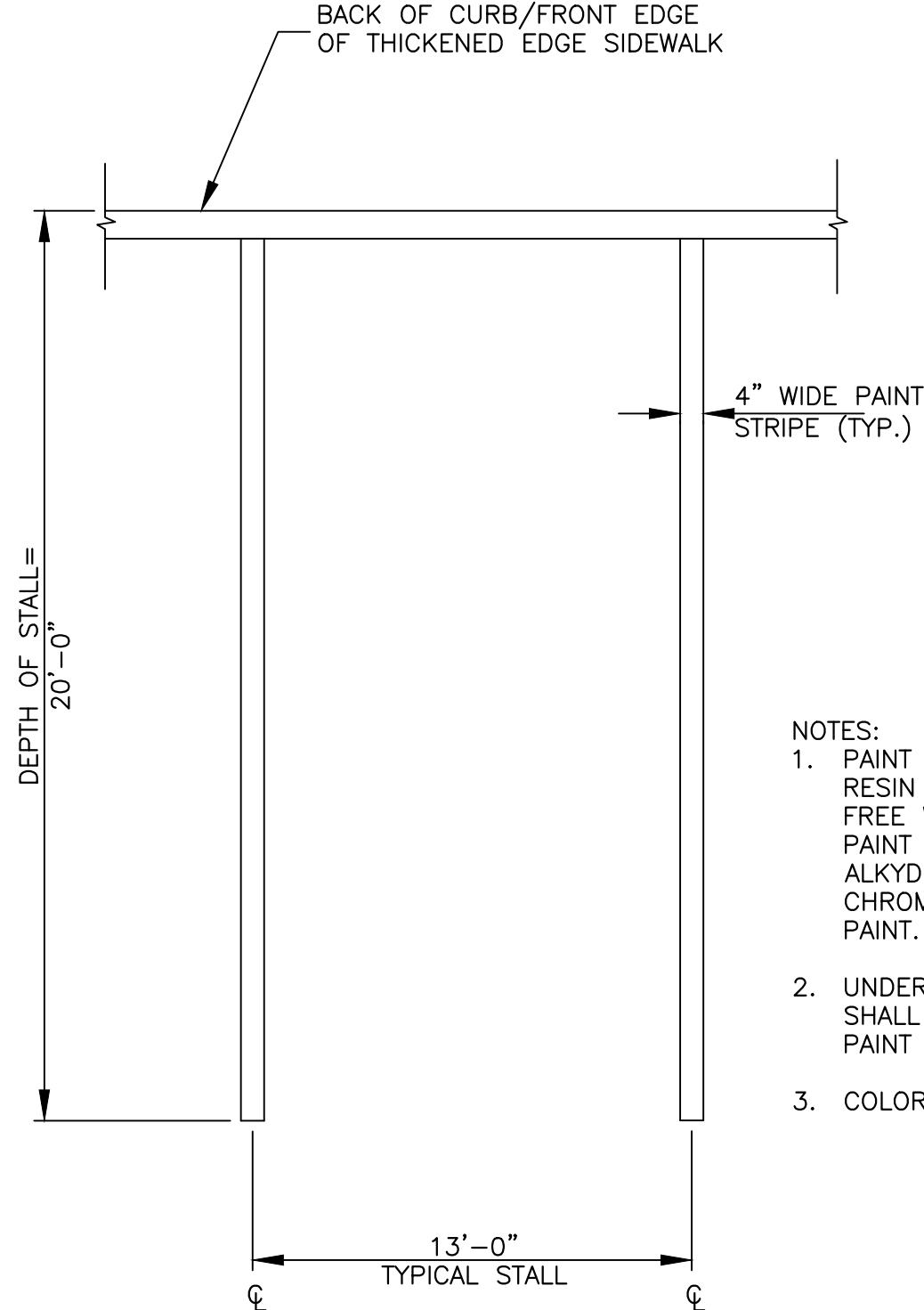
NOTES:
1. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING NDOT APPROVED PRODUCTS LIST.

3 MOUNTABLE CURB DETAIL
C2.01 NO SCALE



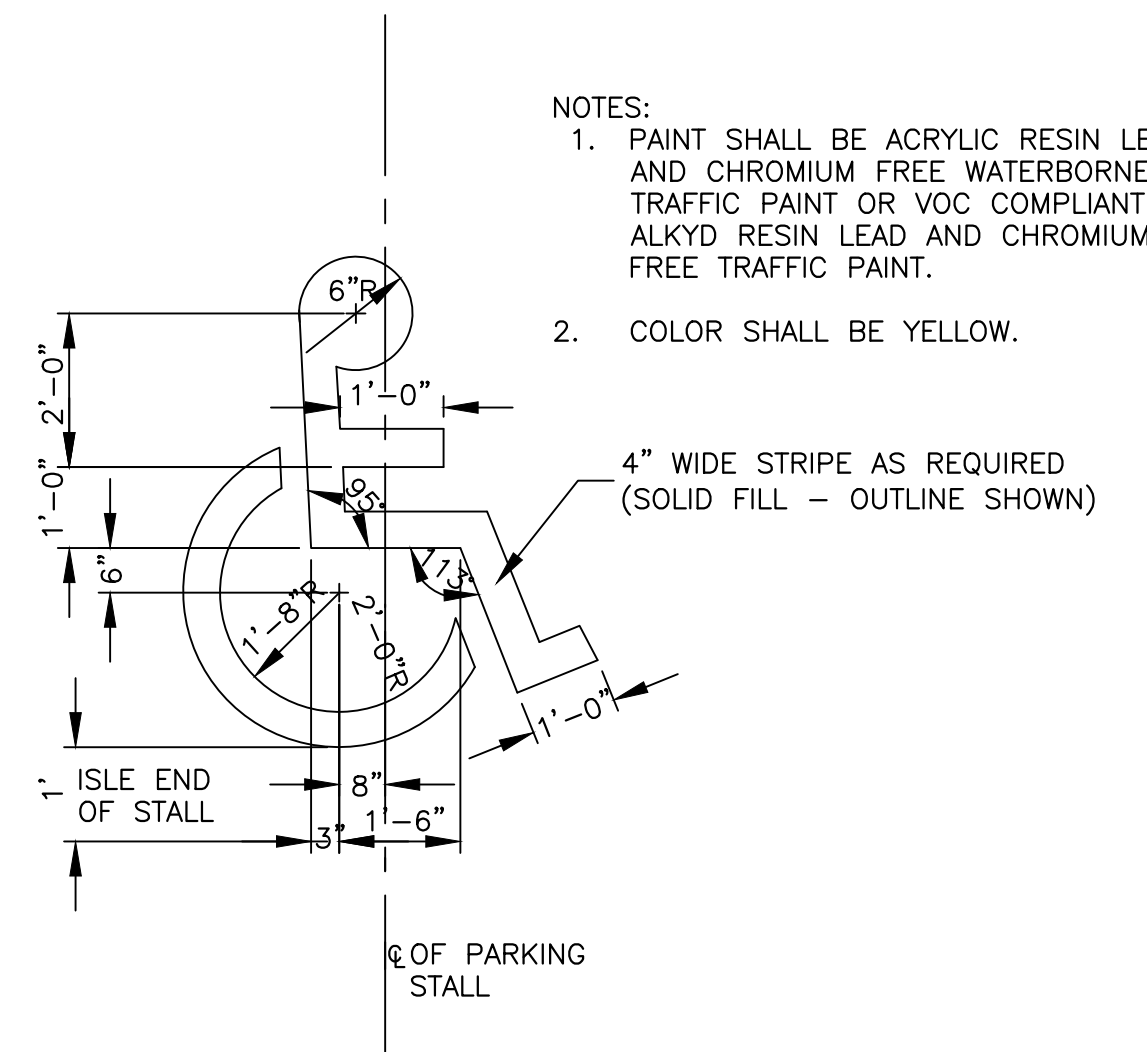
NOTE:
1. SIGNS SHALL BE ALUMINUM WITH HIGH INTENSITY RETROREFLECTIVE SHEETING.
2. POSTS, IF USED, SHALL BE 14' LONG (MINIMUM) HOT-ROLLED HIGH TENSILE RAIL STEEL, PERFORATED WITH 3/8" HOLES AT 1" CENTERS, FINISHED WITH GREEN BAKED ENAMEL.
3. VERIFY WITH OWNER ON SIZE OF SIGNS.

4 STOP SIGN
C2.01 NO SCALE



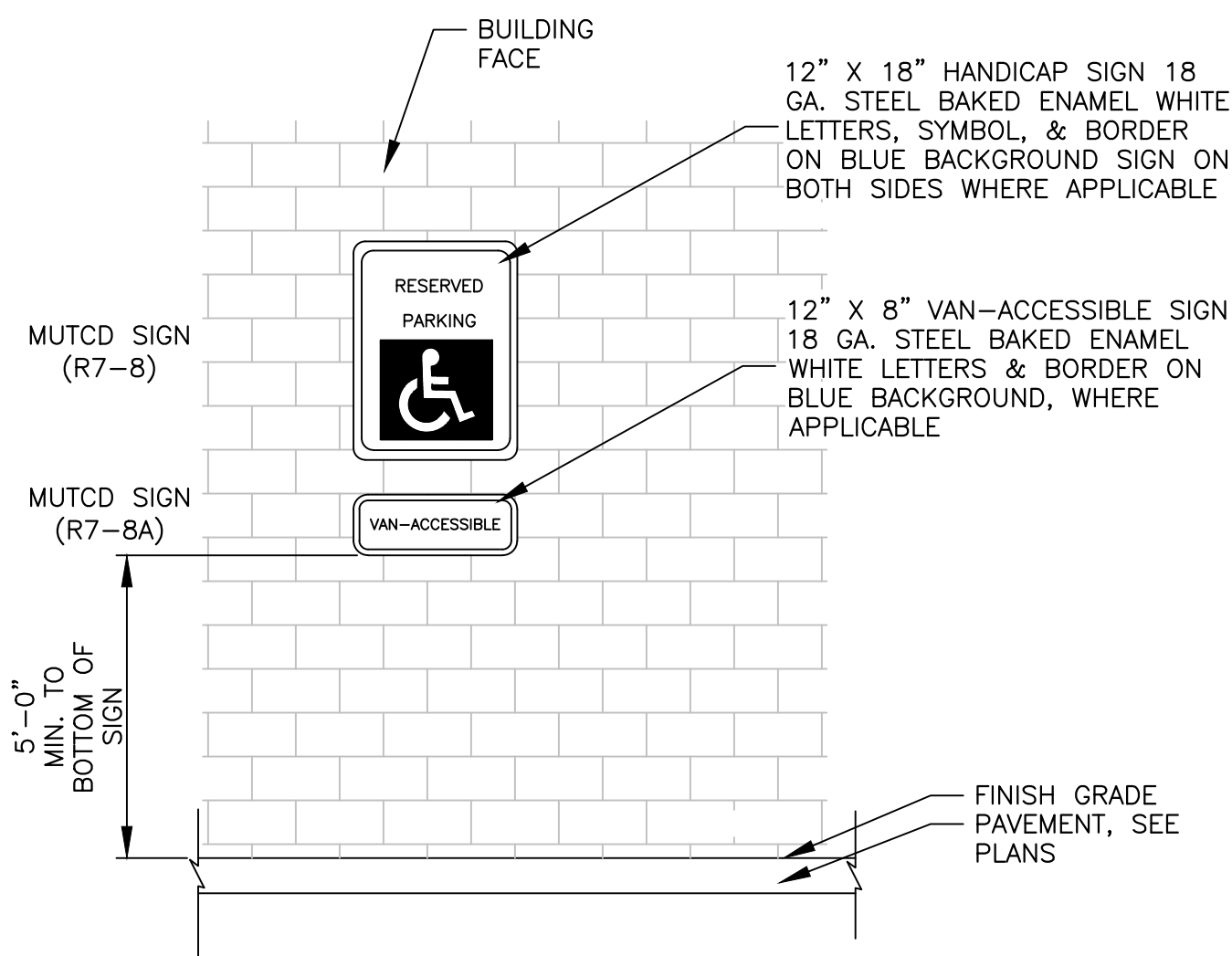
NOTES:
1. PAINT SHALL BE ACRYLIC RESIN LEAD AND CHROMIUM FREE WATERBORNE TRAFFIC PAINT OR VOC COMPLIANT ALKYD RESIN LEAD AND CHROMIUM FREE TRAFFIC PAINT.
2. UNDER NO CIRCUMSTANCES SHALL FACE OF CURB BE PAINT STRIPPED.
3. COLOR SHALL BE YELLOW.

5 PARKING STALL PAINT STRIPING
C2.01 NO SCALE

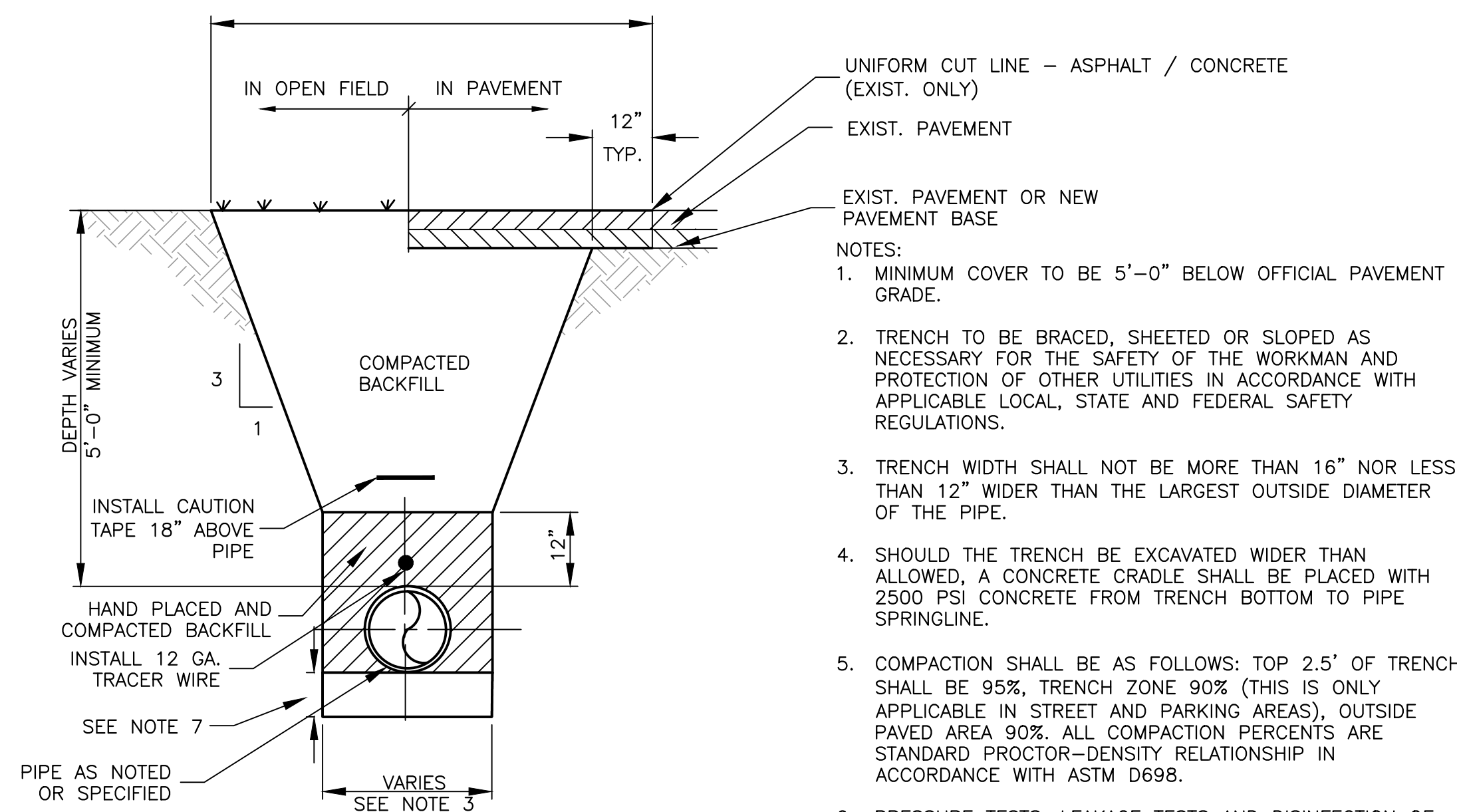


NOTES:
1. PAINT SHALL BE ACRYLIC RESIN LEAD AND CHROMIUM FREE WATERBORNE TRAFFIC PAINT OR VOC COMPLIANT ALKYD RESIN LEAD AND CHROMIUM FREE TRAFFIC PAINT.
2. COLOR SHALL BE YELLOW.

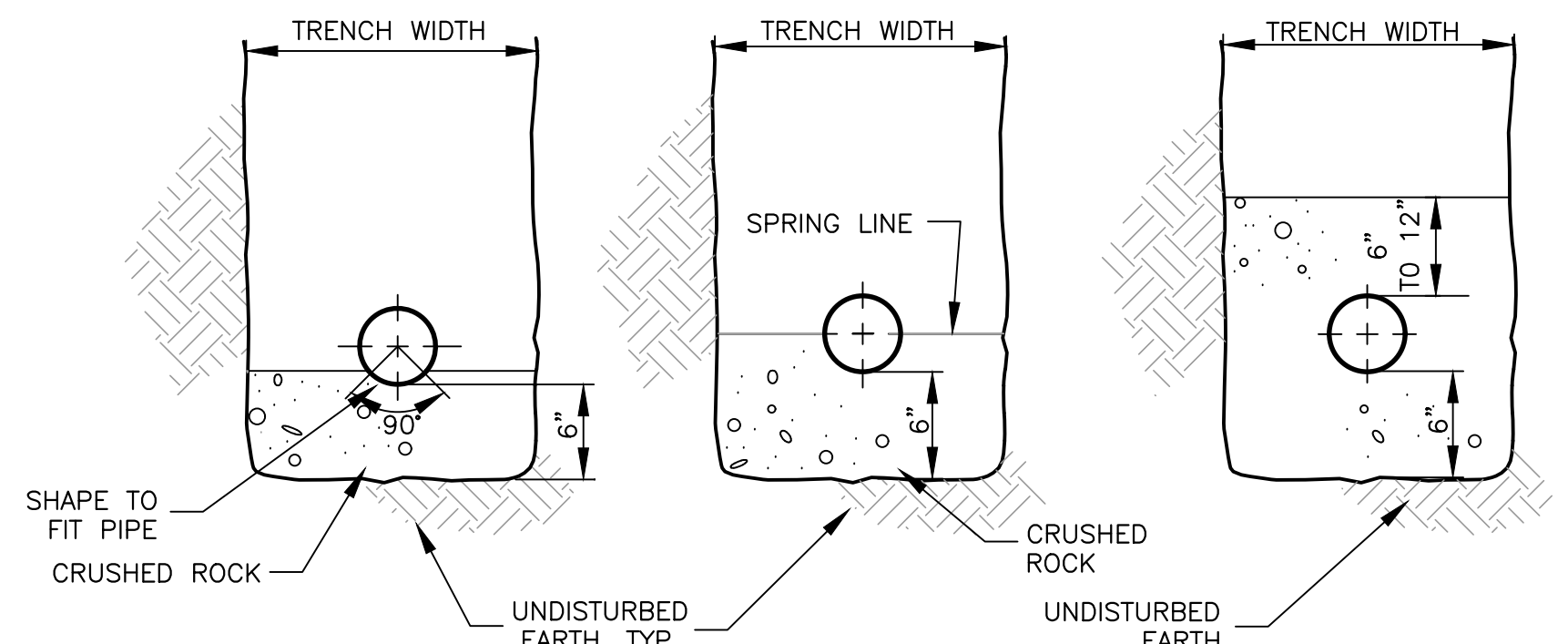
6 HANDICAP PAVEMENT SYMBOL
C2.01 NO SCALE



1
C2.02
HANDICAP SIGN,
WALL MOUNTED
NO SCALE



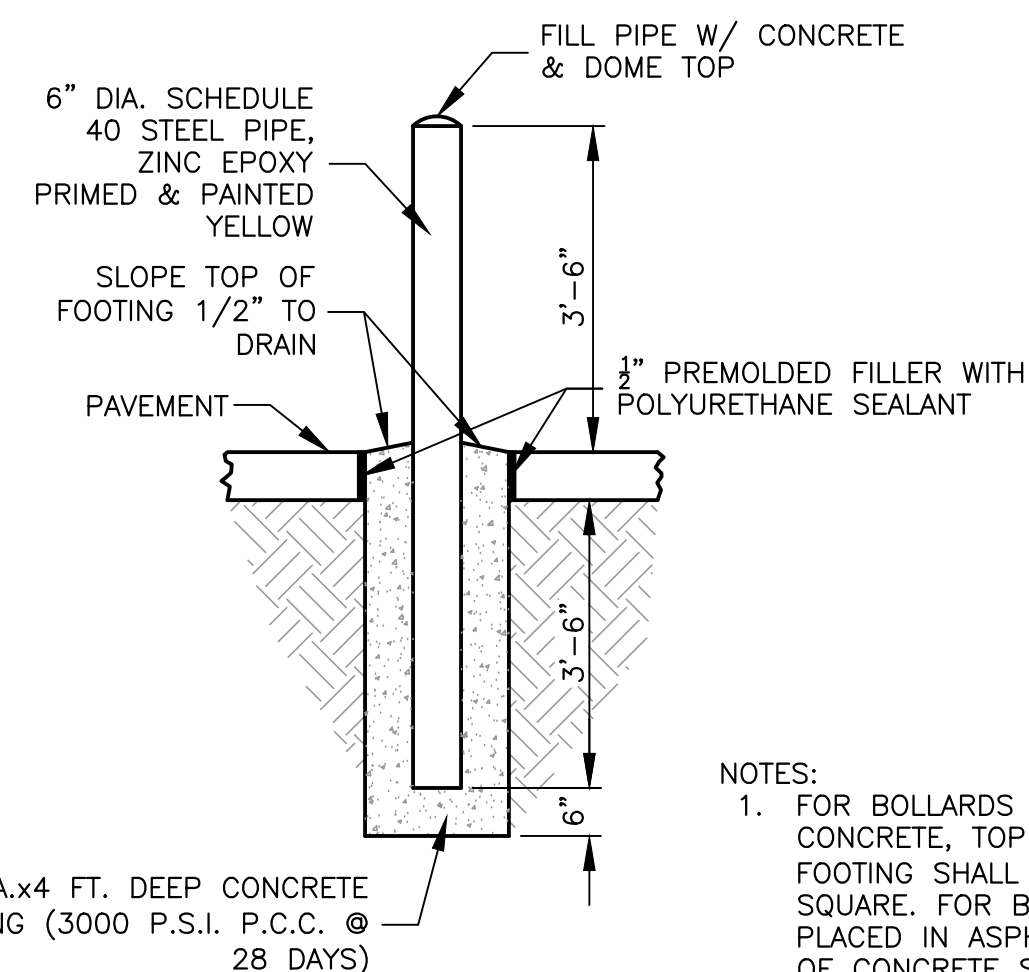
4
C2.02
PIPE ENVELOPE-WATER
NO SCALE



DIP OR RCP
ABS OR PVC
(COMPOSITE WALL)
ABS, PVC, OR HDPE
(SOLID WALL)

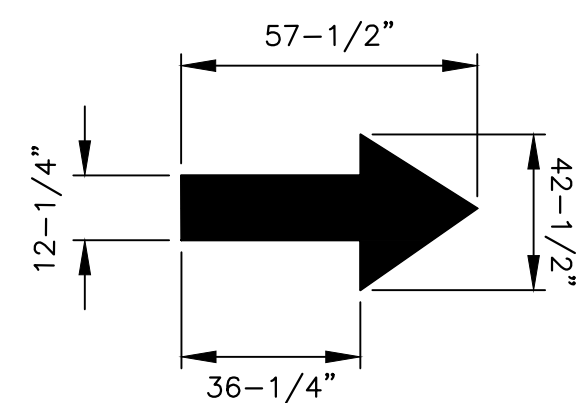
- NOTES:
1. TRENCH WIDTH: MINIMUM = PIPE O.D. PLUS 1'-4"
MAXIMUM = PIPE O.D. PLUS 2'-0"
 2. CRUSHED ROCK FOR PIPE BEDDING FOR PIPES 15 INCHES IN DIAMETER AND SMALLER SHALL CONFORM TO GRADATIONS AS FOLLOWS:
SIEVE SIZE PERCENTAGE PASSING
3/4 INCH 100
3/8 INCH 60 ± 15
NO. 4 30 ± 15
NO. 10 15 ± 10
NO. 200 5 ± 5
 3. CRUSHED ROCK FOR PIPE BEDDING SHALL BE SUBSIDIARY TO THE COST OF THE PIPE. IF UNSTABLE TRENCH BOTTOM SUBGRADE CONDITIONS ARE ENCOUNTERED, ADDITIONAL CRUSHED ROCK FOR BEDDING AND EXTENT SHALL BE AS DIRECTED BY THE ENGINEER. THE COST, MEASUREMENT, AND PAYMENT FOR ADDITIONAL CRUSHED ROCK FOR UNSTABLE TRENCH BOTTOM SUBGRADE PIPE BEDDING CONDITIONS SHALL BE PAID FOR PER TON OF CRUSHED ROCK PLACED.
 4. TRENCH SHALL BE BRACED, SHEETED OR SLOPED AS NECESSARY FOR THE SAFETY OF WORKMEN AND PROTECTION OF OTHER UTILITIES IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
 5. HDPE SHOWN IS FOR DRAINAGE AND NOT WELL FIELD. WHEN APPLICABLE, SEE MECHANICAL PLANS FOR WELL FIELD INFORMATION.

2
C2.02
PIPE ENVELOPE
NO SCALE



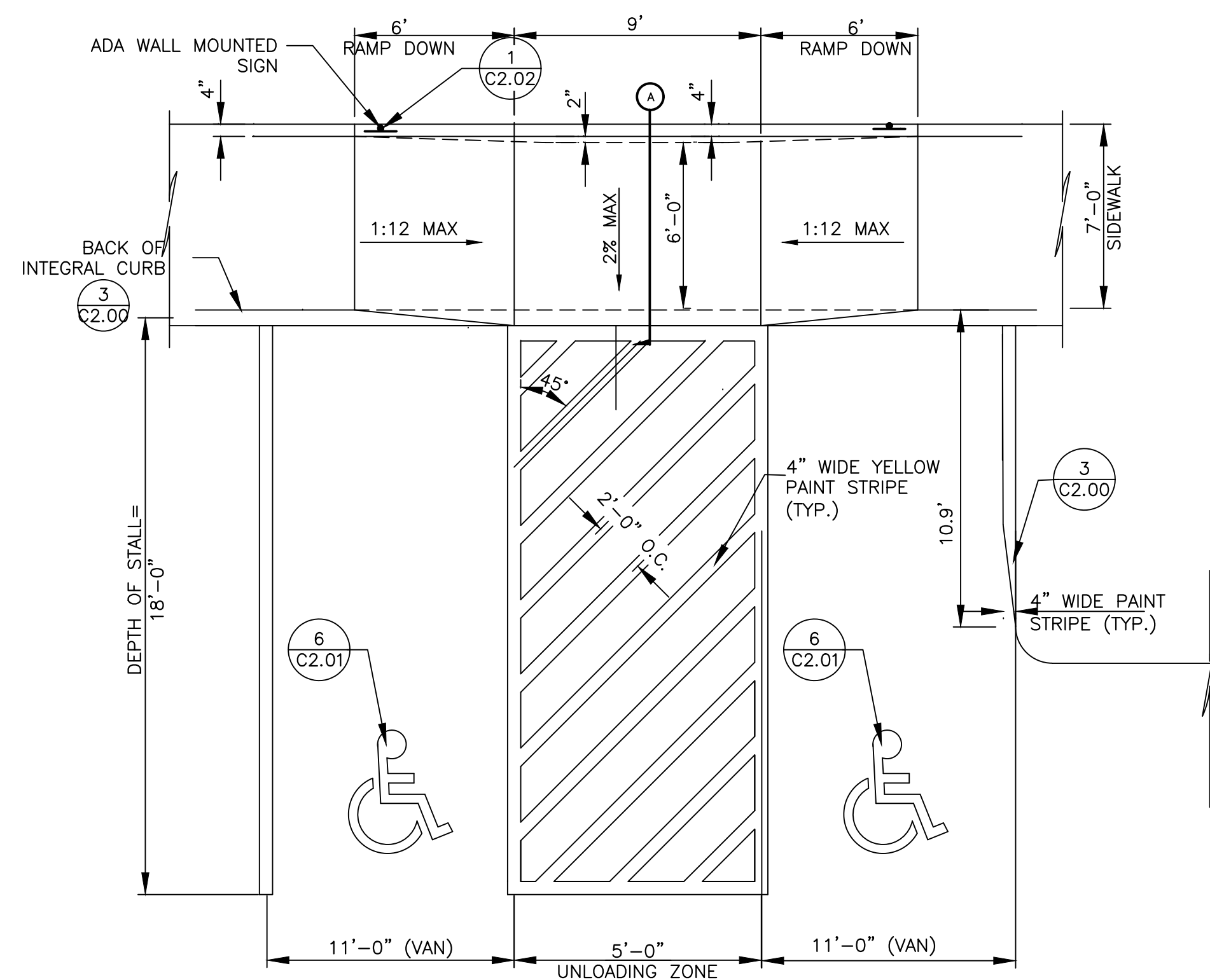
- NOTES:
1. FOR BOLLARDS PLACED IN CONCRETE, TOP OF FOOTING SHALL BE 18" SQUARE. FOR BOLLARDS PLACED IN ASPHALT, TOP OF CONCRETE SHALL BE 18" ROUND.

5
C2.02
PIPE BOLLARD DETAIL
NO SCALE

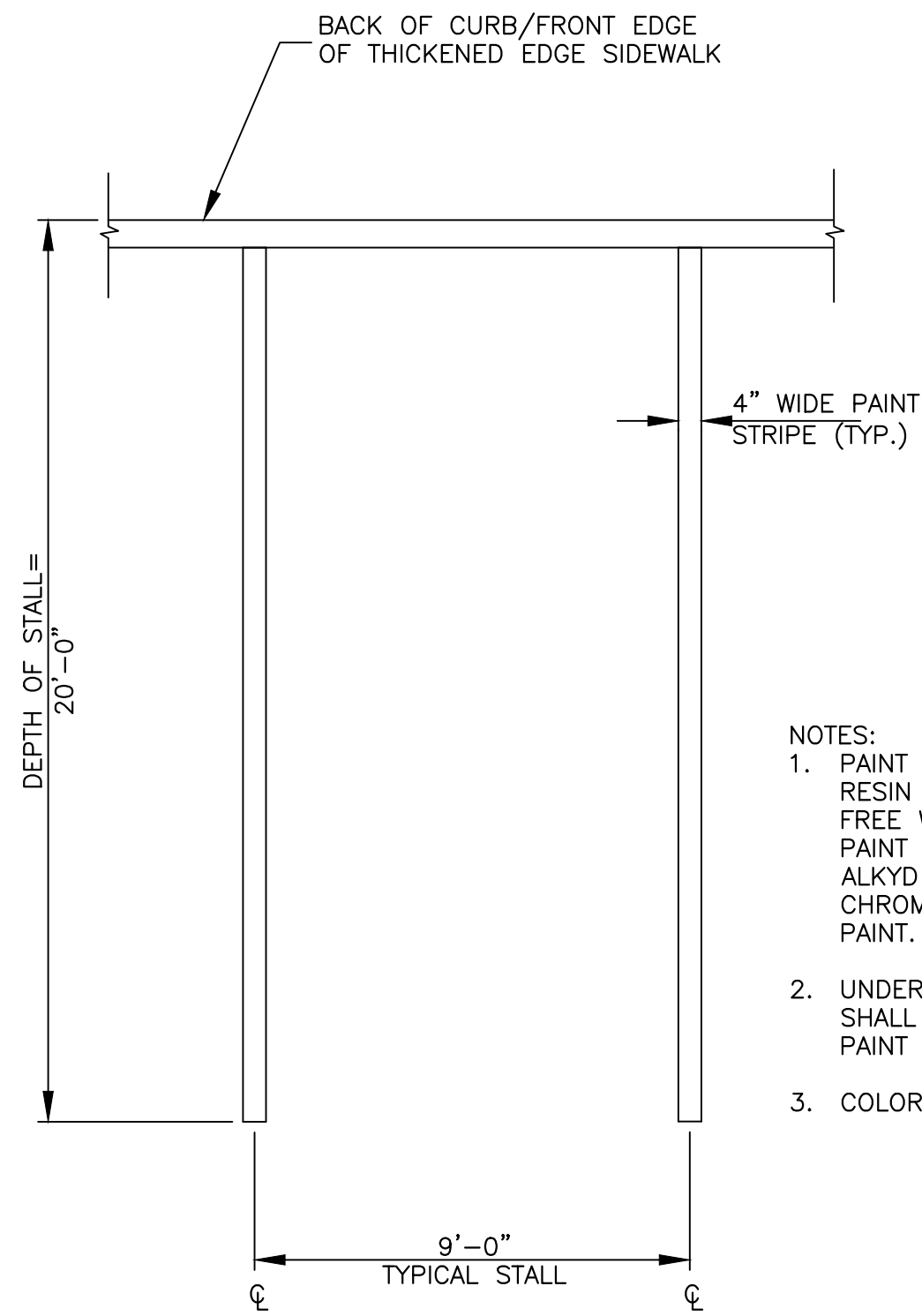


- NOTES:
1. PAINT SHALL BE ACRYLIC RESIN LEAD AND CHROMIUM FREE WATERBORNE TRAFFIC PAINT OR VOC COMPLIANT ALKYD RESIN LEAD AND CHROMIUM FREE TRAFFIC PAINT.
 2. COLOR SHALL BE YELLOW.
 3. SEE PLAN FOR MARKING LOCATIONS.

3
C2.02
PAVEMENT MARKING
NO SCALE

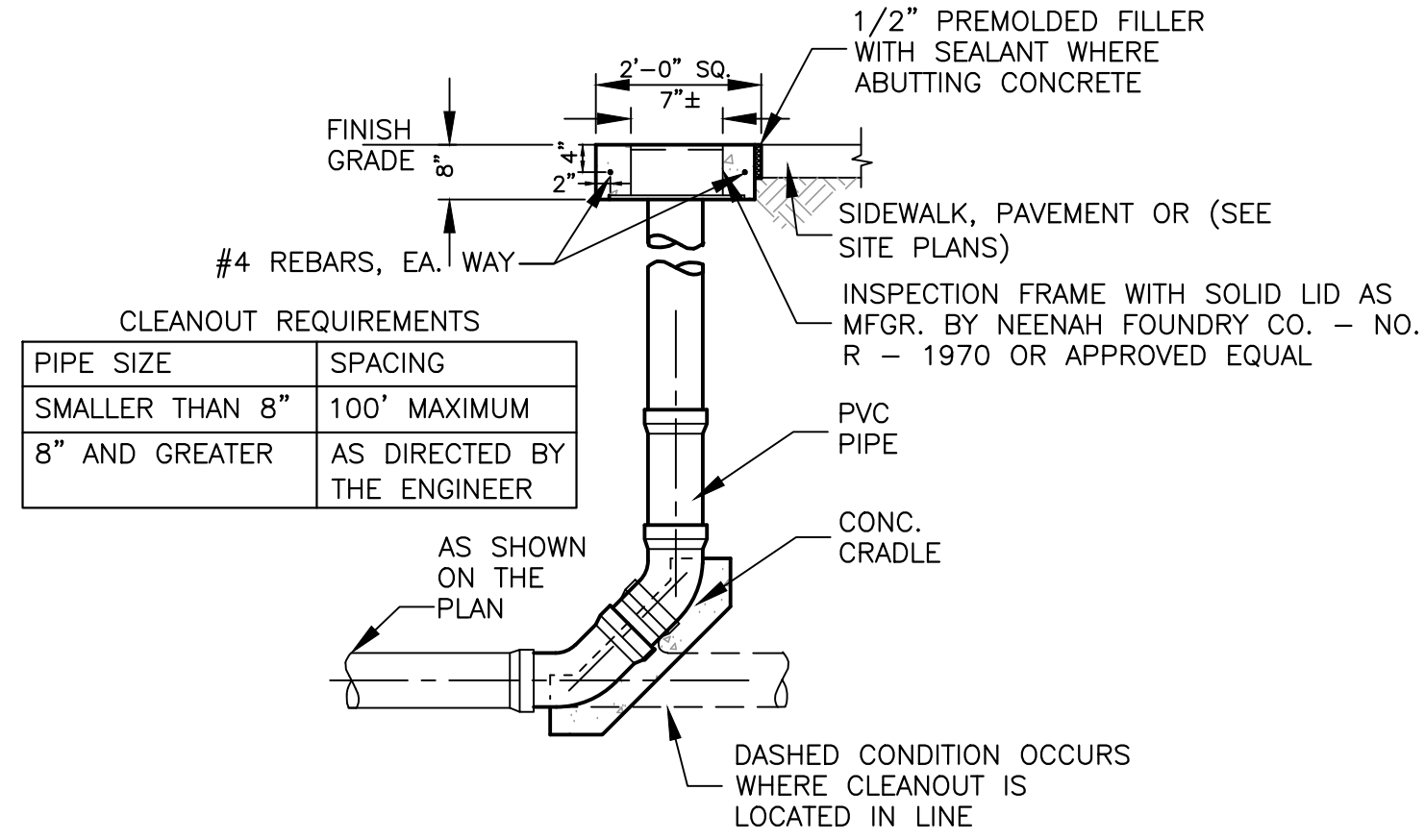


6
C2.02
HANDICAP PARKING STALL PAINT STRIPING
NO SCALE

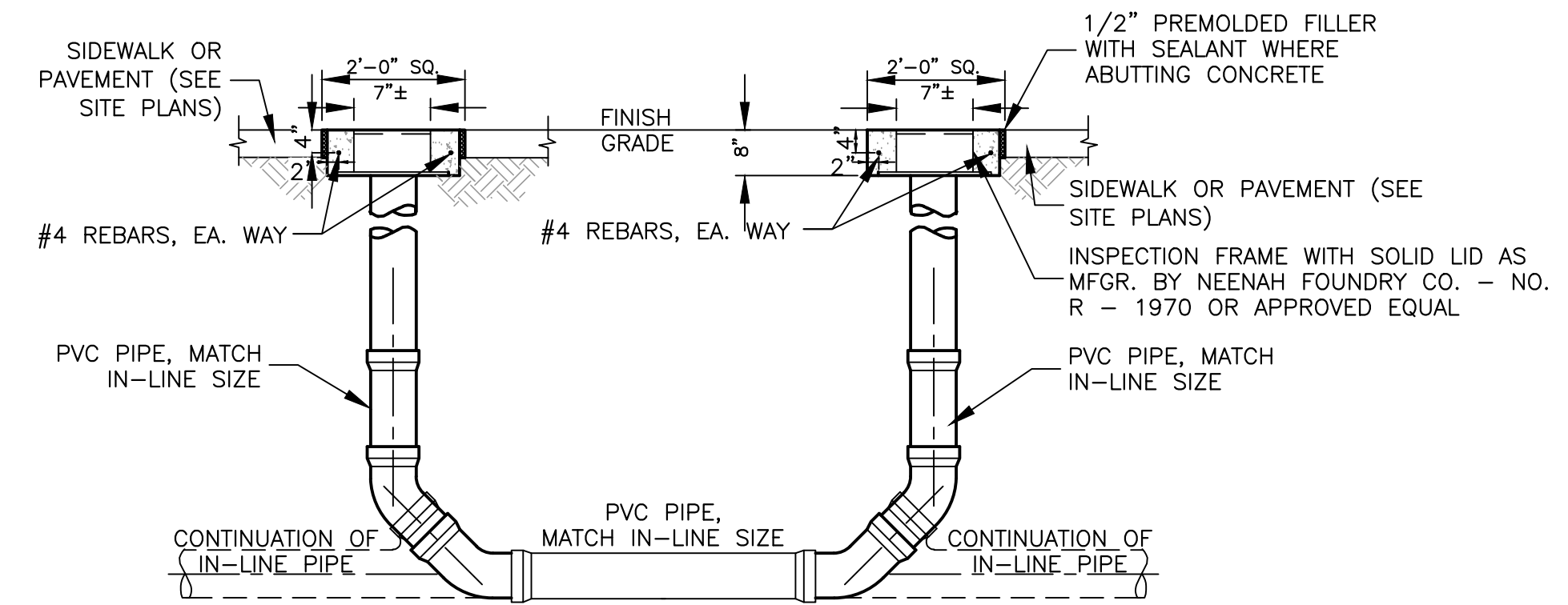


- NOTES:
1. PAINT SHALL BE ACRYLIC RESIN LEAD AND CHROMIUM FREE WATERBORNE TRAFFIC PAINT OR VOC COMPLIANT ALKYD RESIN LEAD AND CHROMIUM FREE TRAFFIC PAINT.
 2. UNDER NO CIRCUMSTANCES SHALL FACE OF CURB BE PAINT STRIPPED.
 3. COLOR SHALL BE YELLOW.

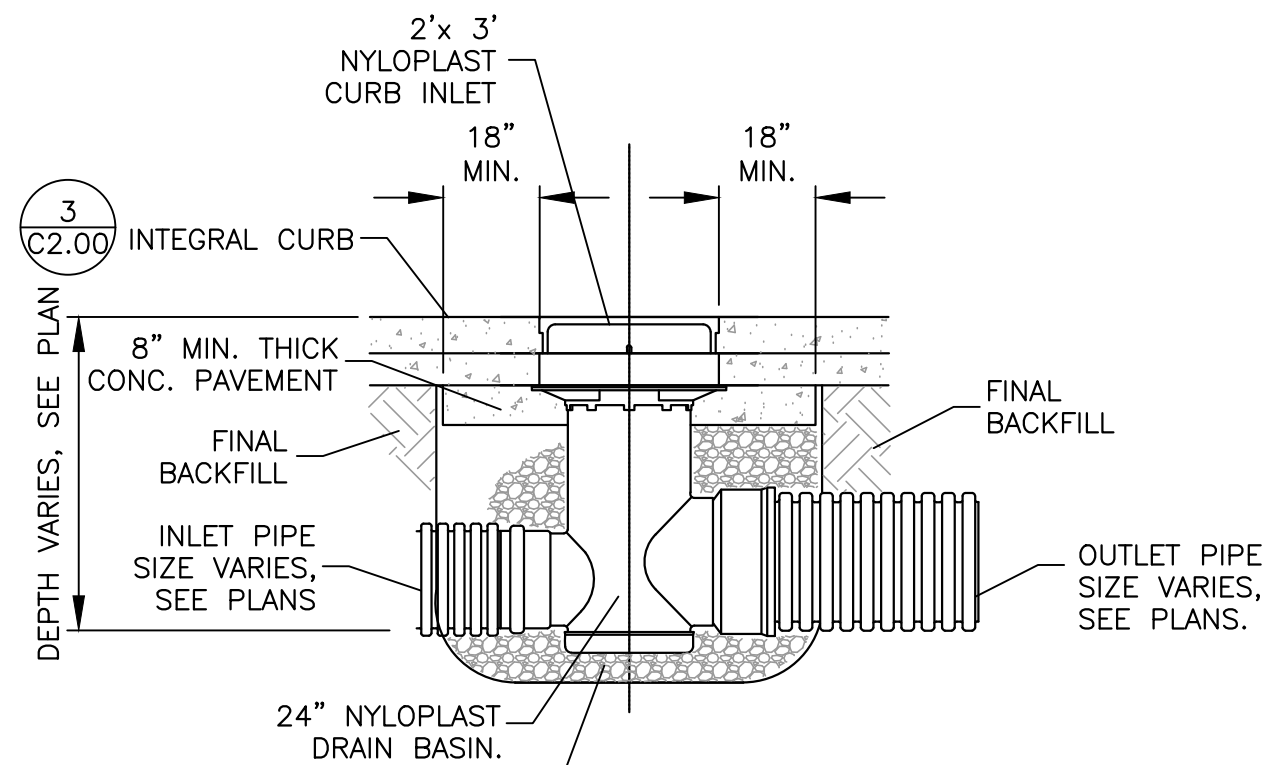
1
C2.03 PARKING STALL PAINT STRIPING
NO SCALE



2
C2.03 CLEANOUT DETAIL
NO SCALE

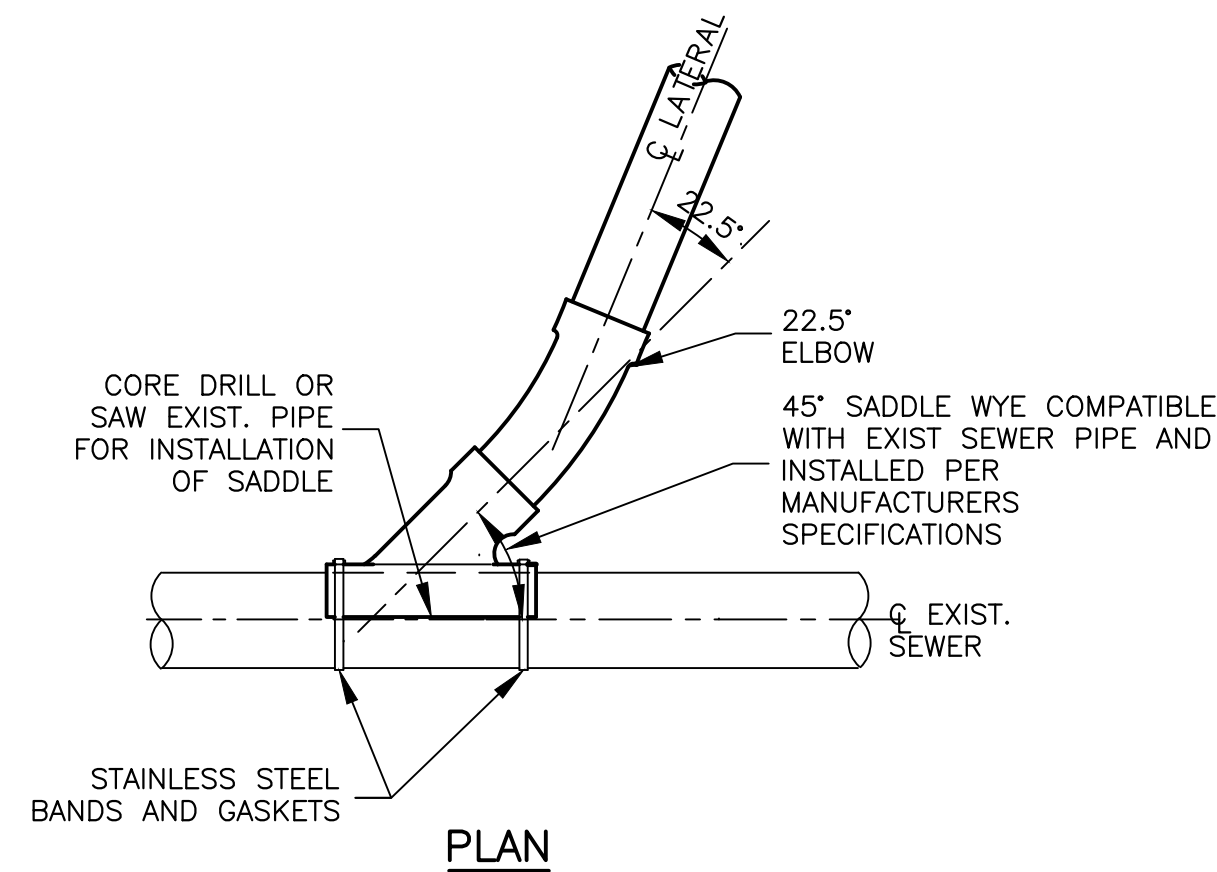


3
C2.03 DOUBLE CLEANOUT DETAIL
NO SCALE

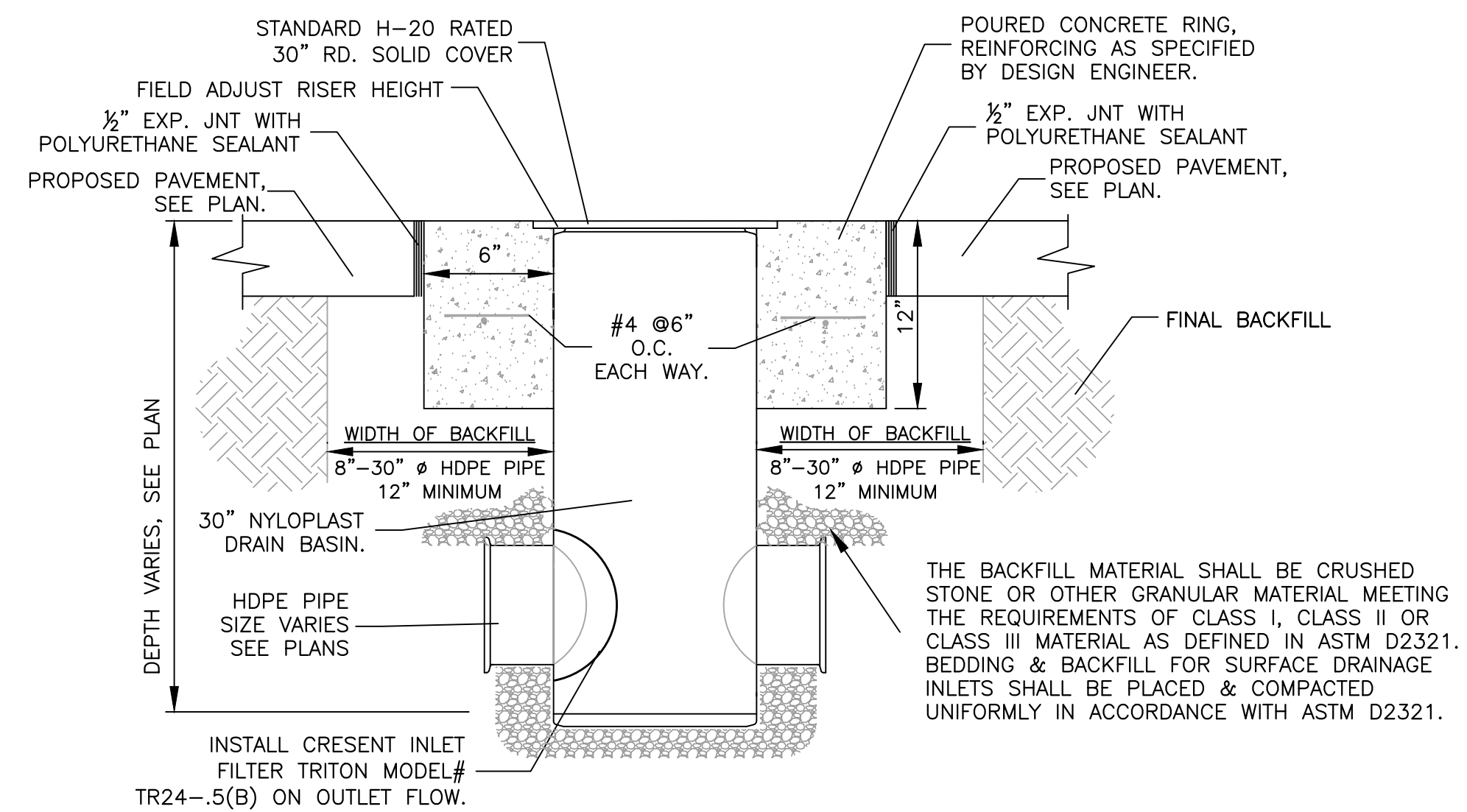


- NOTES:
1. INSTALL PER MANUFACTURES SPECIFICATIONS.
 2. FOR EXTRA DEEP DRAIN BASINS, FOLLOW NYLOPLAST DRAIN BASIN DEEP BURIAL INSTALLATION GUIDELINES.

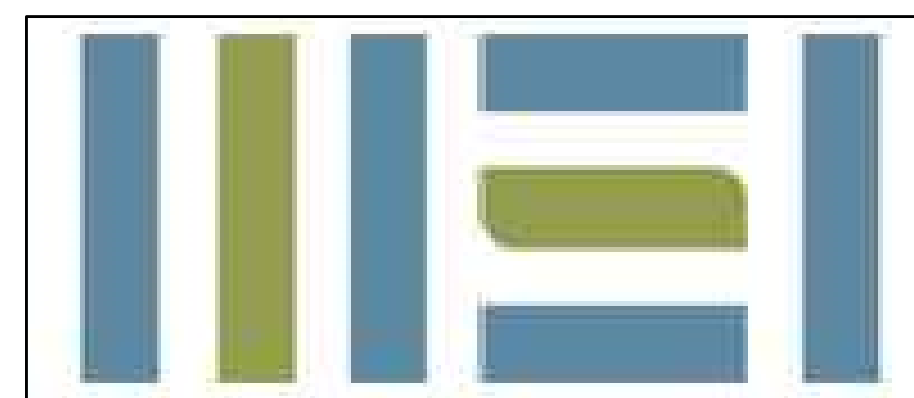
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C2.03 NYLOPLAST CURB INLET
NO SCALE

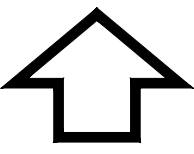
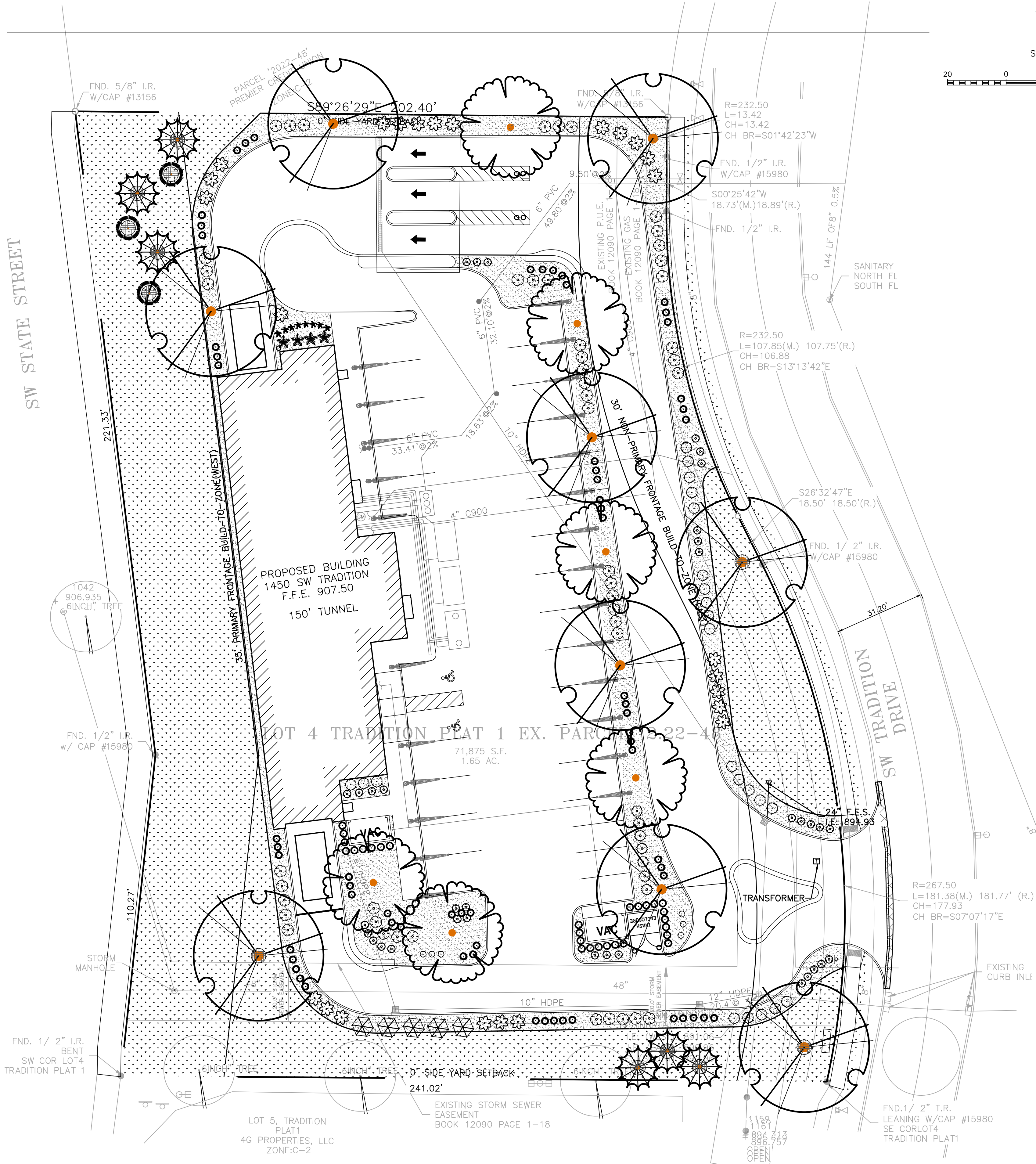


5
C2.03 SANITARY SEWER TAP
NO SCALE

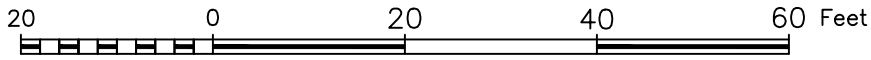


6
C2.03 30" NYLOPLAST JUNCTION BOX
NO SCALE





NORTH
SCALE 1" = 20'



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	MATURE HEIGHT	MATURE WIDTH
	6	Acer rubrum 'PNI 0268' / October Glory® Red Maple	2.5" Cal.	B&B	40 - 65ft. ht.	25 - 40ft. w.
	9	Quercus bicolor / Swamp White Oak	2" Cal.	B&B	40 - f ht.	25 - 0' w.
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	MATURE HEIGHT	MATURE WIDTH
	3	Picea omorika 'Sky Trails' / Sky Trails Serbian Spruce	6" Ht.	B&B		
	6	Picea pungens / Colorado Blue Spruce	6" Ht.	B&B	40 - f ht.	15 - 25ft. w.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	MATURE HEIGHT	MATURE WIDTH
	28	Berberis thunbergii 'Orange Rocket' / Orange Rocket Japanese Barberry	3 gal.	Pot	3 - 6ft. ht.	1 - 3ft. w.
	65	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 gal.	Pot	3 - 6ft. ht.	1 - 3ft. w.
	5	Cornus sericea 'Cardinal' / Cardinal Red Twig Dogwood	3 gal.	Pot	6 - 10ft. ht.	6 - ' w.
	23	Diervilla x 'G2X88544' / Kodiak® Orange Diervilla	3 gal.	Pot	3 - 6ft. ht.	3 - 6ft. w.
	6	Hemerocallis x 'Ruby Stella' / Ruby Stella Daylily	1 gal.	Pot	18 - 36in. ht.	1 - 3ft. w.
	4	Hosta x 'Formal Attire' / Formal Attire Hosta	2 gal.	Pot	18 - 36in. ht.	3 - 6ft. w.
	8	Hosta x 'Paul's Glory' / Paul's Glory Hosta	2 gal.	Pot	18 - 36in. ht.	3 - 6ft. w.
	7	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	3 gal.	Pot	3 - 1' ht.	1 - 3ft. w.
	25	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	3 gal.	Pot	3 - 6ft. ht.	3 - 6ft. w.
	47	Rosa shrub 'Double Knock Out' / Double Knock Out Rose	3 gal.	Pot	3 - 6ft. ht.	
	35	Spiraea japonica 'Yan' / Double Play® Gold Spirea	3 gal.	Pot	18 - 36in. ht.	1 - 3ft. w.

GROUNDCOVERS	QTY	DESCRIPTION
	10,000 S.F.	Shrub Bed/Planting Area / 1-1/2" river rock. Provide sample for approval. Install over 5 oz woven polypropylene weed fabric. 3" average depth, see inert groundcover detail 4, sheet L1.01. Separate grass (or rock) from mulch.
	20,100 S.F.	Rhizomatous Tall Fescue (RTF) sod.
	180 S.F.	Hardwood mulch; 5' diameter around tree trunk.

- Notes:
- Basic plant material standards:
 - Evergreen trees: minimum height of six feet.
 - Shrubs: minimum two-gallon size container, or the equivalent height and/or spread.
 - Ground cover shrubs: minimum spacing upon installation of 18 inches on center.
 - Deciduous shade trees: minimum caliper of two inches as measured 12 inches above ground.
 - All other specifications shall conform to the American Standards for Nursery Stock, published by the American Association of Nurseriesmen for that type of tree or shrub at the time of installation.
 - All plant material shall be installed free of disease and in a manner that ensures the availability of sufficient soil and water to sustain healthy growth.
 - All plant material shall be planted with a minimum of six inches of organic soil and mulched to a depth of three inches.
 - Refer to general landscape notes and general irrigation notes on sheet L1.01.
 - Refer to utility plan sheet C1.07 for irrigation sleeve locations. Coordinate final location and size with irrigation contractor.

LANDSCAPE REQUIREMENTS:
C-2 ZONING REQUIREMENTS APPLIED PER TRADITION PUD
AREA OF SITE: 71,856 SF
MINIMUM OPEN SPACE REQUIREMENT (20%): 14,371 SF
ONE LANDSCAPE UNIT PER 3,000 SF REQUIRED OPEN SPACE
ONE LANDSCAPE UNIT = 2 TREES + 6 SHRUBS
REQUIRED TREES: TWO (2) TREES PER 3,000 SF OF REQUIRED OPEN SPACE.
14,371/3,000=4.79. 10 TREES REQUIRED ON SITE.
REQUIRED SHRUBS: SIX (6) SHRUB PER 3,000 SF OF REQUIRED OPEN SPACE.
14,371/3,000=4.79. 29 SHRUBS REQUIRED ON SITE.
OR
ONE LANDSCAPE UNIT = 3 TREES + 3 SHRUBS
REQUIRED TREES: THREE (3) TREES PER 3,000 SF OF REQUIRED OPEN SPACE.
14,371/3,000=4.79. 15 TREES REQUIRED ON SITE.
REQUIRED SHRUBS: THREE (3) SHRUB PER 3,000 SF OF REQUIRED OPEN SPACE.
14,371/3,000=4.79. 15 SHRUBS REQUIRED ON SITE.
13 TREES PROVIDED
237 SHRUBS PROVIDED
SCREENING REQUIREMENTS
C-2 ZONING ADJACENT, NO SCREENING REQUIRED BETWEEN PROPERTIES.
SOUTH SCREEN PROVIDED (INCLUDED IN OPEN SPACE CALCULATIONS)
36 SHRUBS + 3 EVERGREEN TREES + 1 DECIDUOUS TREE
NORTH SCREEN PROVIDED (INCLUDED IN OPEN SPACE CALCULATIONS)
19 SHRUBS + 3 EVERGREEN TREES + 3 DECIDUOUS TREES
20% SHADE REQUIRED FOR PARKING AREAS
PARKING AREAS (INCLUDING DRIVES) = 20% OF 34,800 SF / 706 SF
SHADE TREES REQUIRED = 10
SHADE TREES PROVIDED = 11

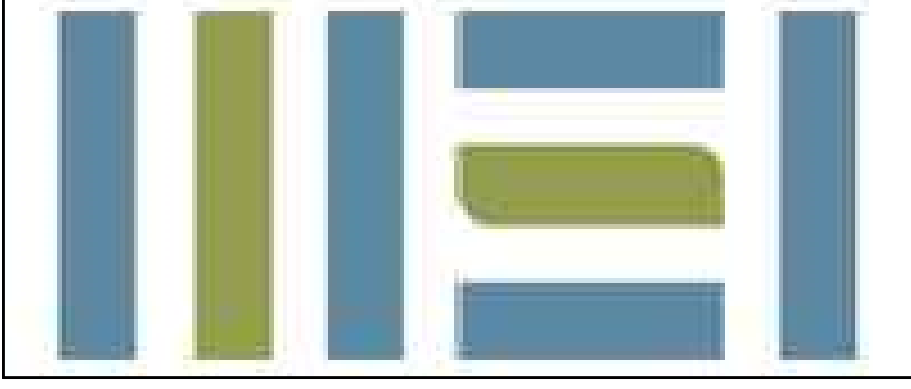
BENCHMARKS(AS PROVIDED)

BENCHMARK #1, CUT TRIANGLE IN S.E. CORNER
CONCRETE TRAFFIC SIGNAL BASE @S.W. CORNER
ORALABOR & S.E. STATE ST.
EL=920.282
BENCHMARK #2, CUT TRIANGLE S. NOSE OF ISLAND,
N.SIDE ORALABOR & SW.STATE ST.
EL=920.837



ROCKET CARWASH
ANKENY IA.
LANDSCAPING PLAN

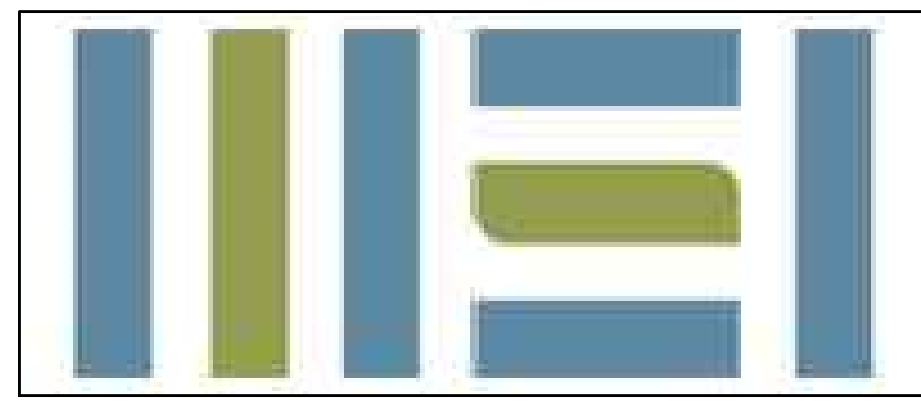
L1.00

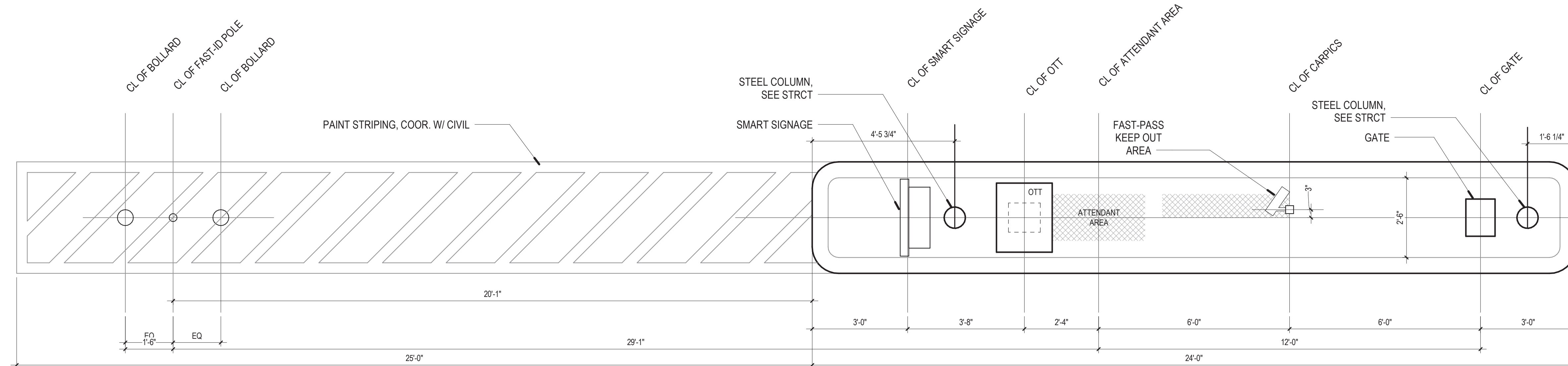
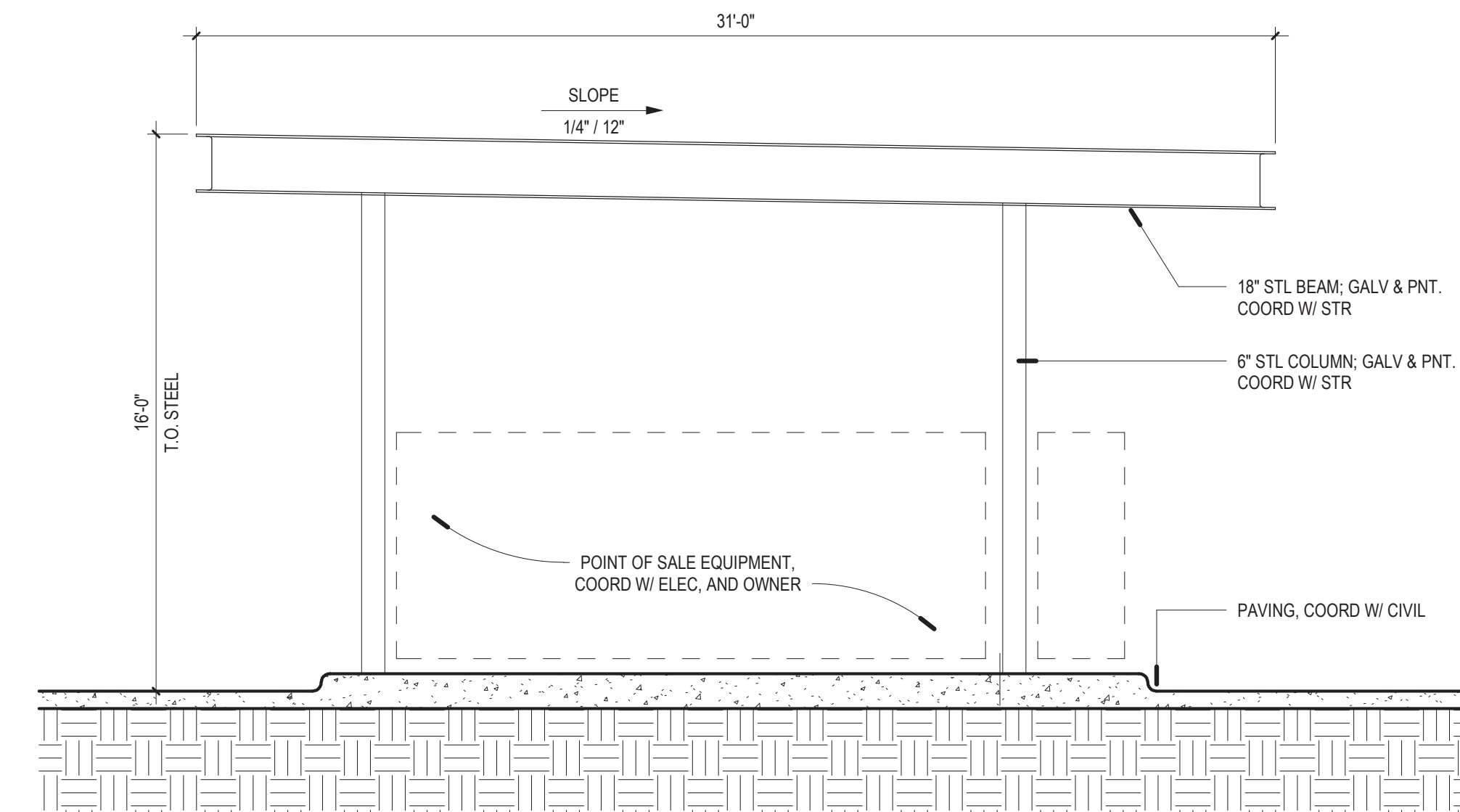
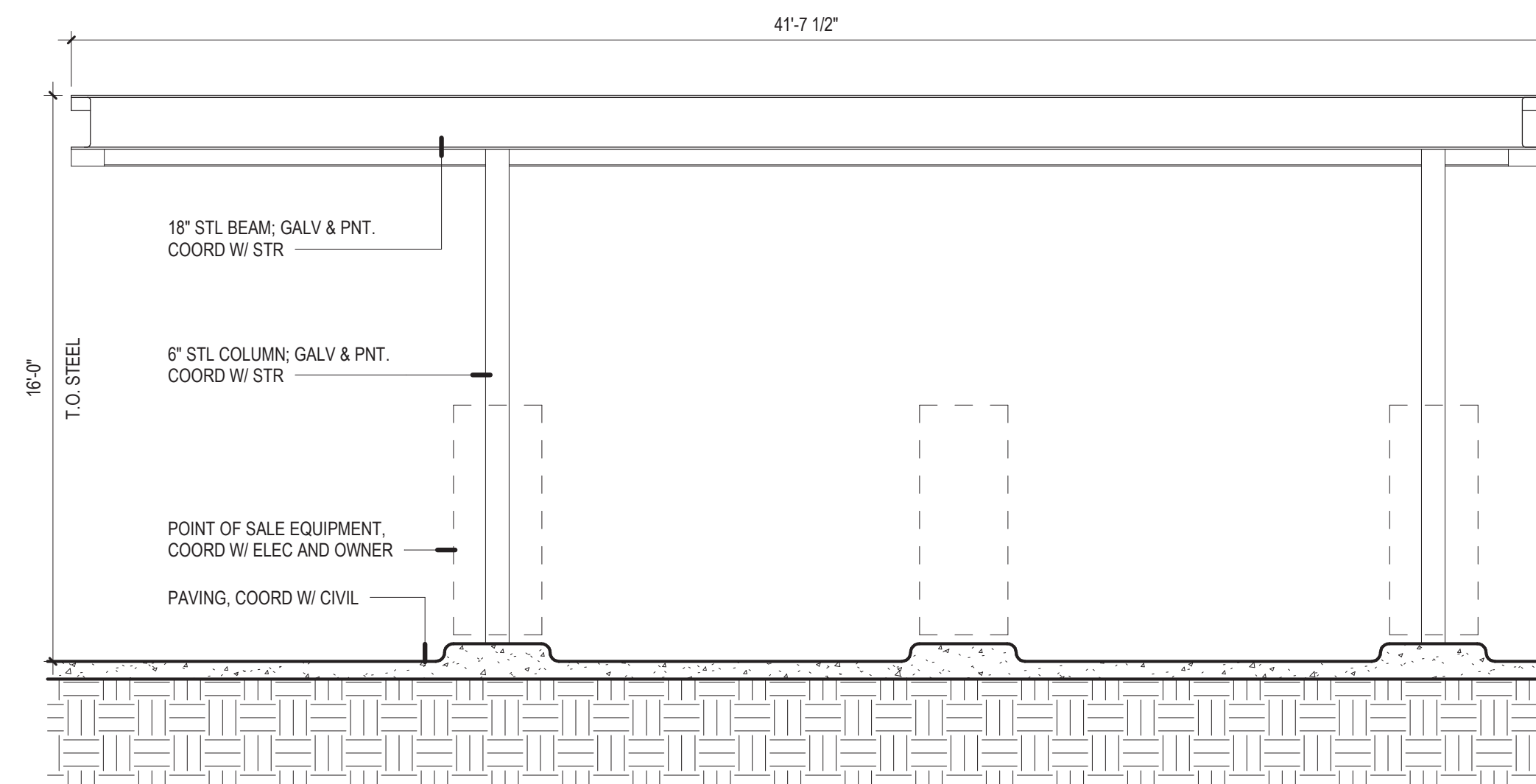
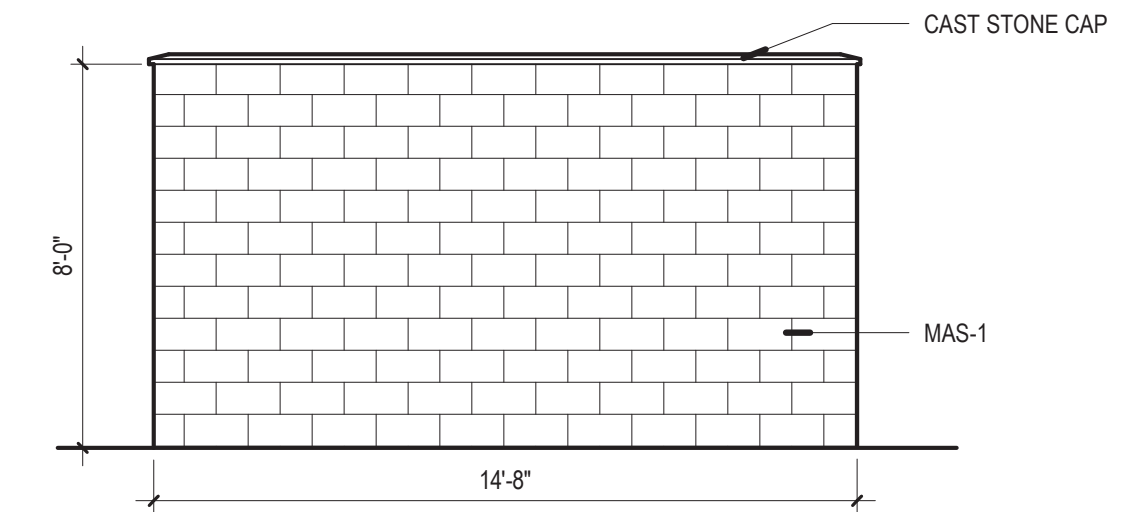
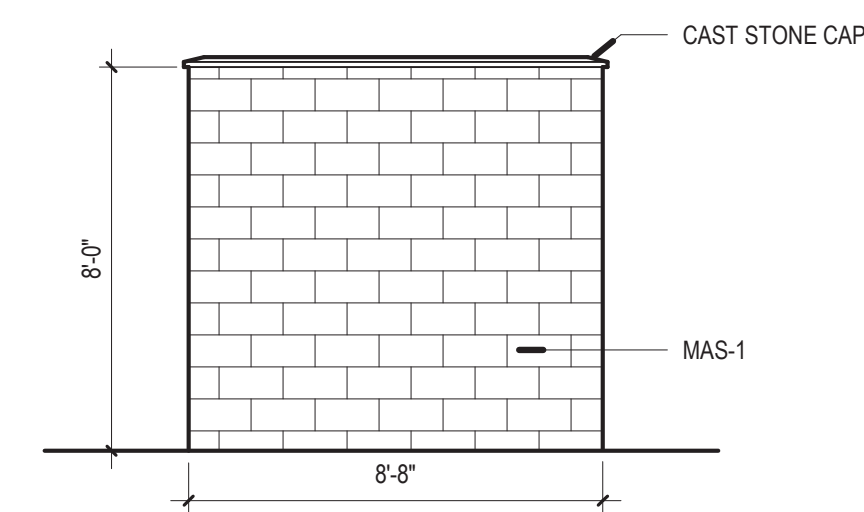
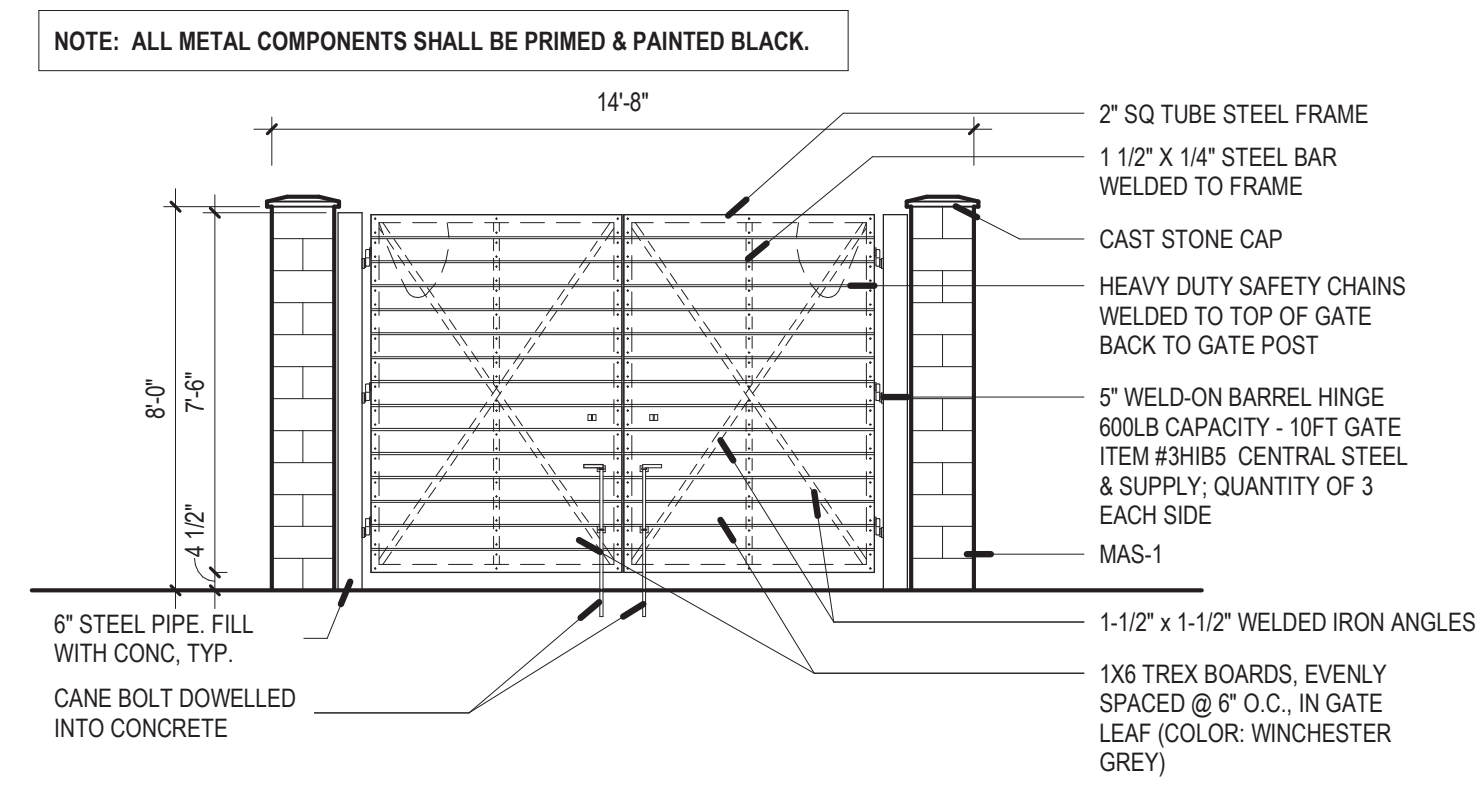
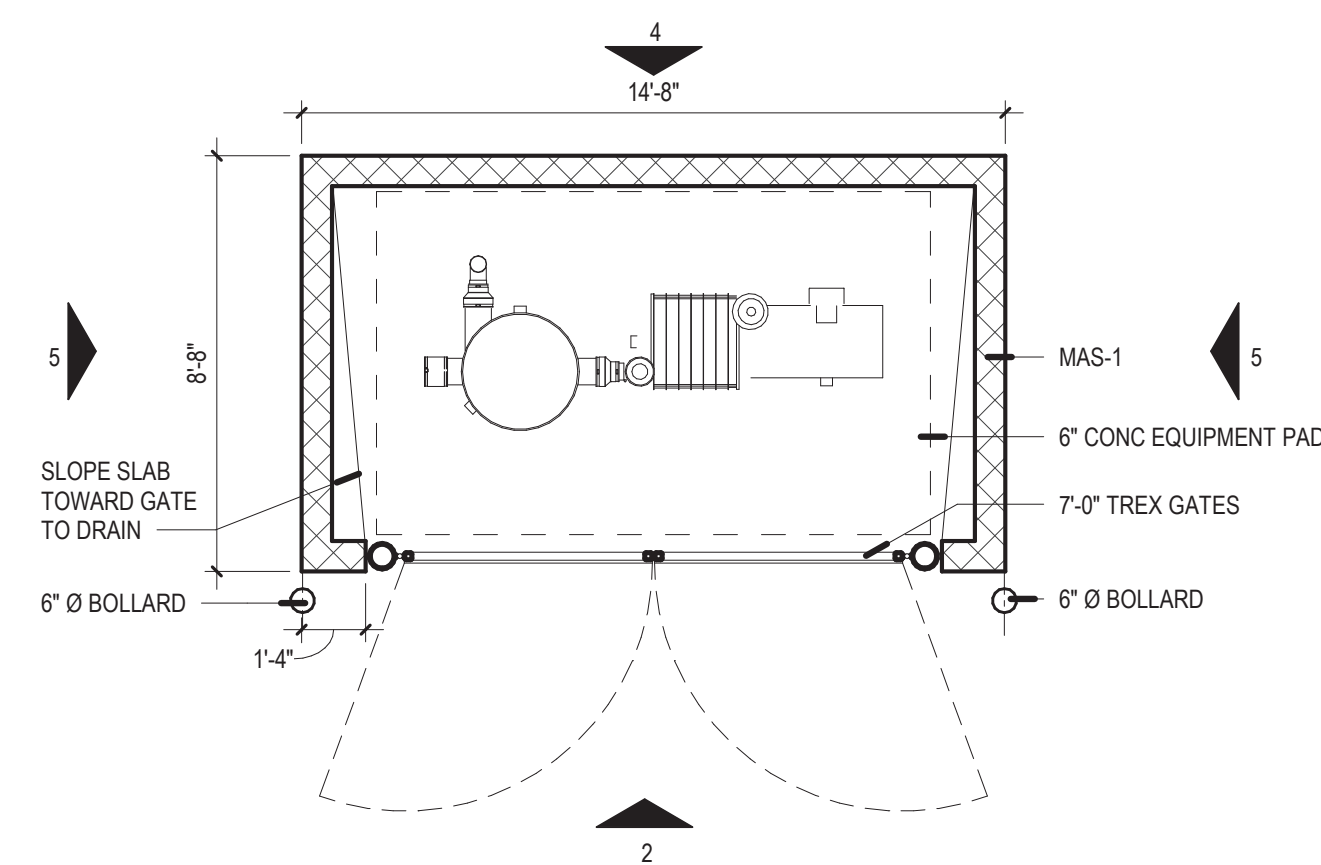


1. ALL UTILITIES ARE APPROXIMATE. COORDINATE INSTALLATION WITH WORK OF OTHER SECTIONS. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WITH OWNER OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE WITHIN THE CONSTRUCTION AREA PRIOR TO ANY CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CALL 811 TO NOTIFY UTILITY COMPANY FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
2. AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. REPAIR AT NO COST TO OWNER ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL REPORT TO THE OWNER ANY DAMAGE TO OWNER'S PROPERTY AND OR UTILITIES PRIOR TO REPAIR.
3. PLANTING SOIL SHALL BE A MINIMUM DEPTH OF 6" AND CONSIST OF 50% SELECT LOAMY SOIL, 25% PEAT MOSS, 25% PIRUN SAND. PLANTING SOIL SHALL BE NEUTRAL BALANCED OF Ph OF 5.5-7.4 FRIABLE AND CONTAINING NOT GREATER THAN 2.0%-5% ORGANIC MATTER BY DRY WEIGHT. PLANTING SOIL SHALL BE FREE OF NON-SOIL THINGS SUCH AS STONES, CONSTRUCTION DEBRIS, STICKS, TRASH AND OTHER DELETERIOUS MATTER. EXISTING TOPSOIL (STOCKPILE FROM SITE) USED MAY NOT EXCEED 10% CLAY CONTENT, SILT SHALL NOT EXCEED 25% AND FREE OF WEEDS, WEED SEEDS, INSECTS AND PESTS.
4. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANT MATERIAL SHALL BE OF GOOD QUALITY, FREE OF DISEASE AND SIZES SHALL MEET REQUIRED SIZES AS SPECIFIED. ALL PLANT MATERIAL SHALL BE RATED FOR ESTABLISHMENT, GROWTH AND SURVIVAL IN PLANT HARDINESS ZONE 4 AND/OR ACCORDING TO THE LATEST VERSION OF THE USDA PLANT HARDINESS ZONE MAP. ALL PLANTS SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND WATERING OF ALL PLANT MATERIAL UNTIL SUBSTANTIAL PROJECT COMPLETION OR OWNER AND ENGINEER/ARCHITECT ACCEPTANCE OF ALL LANDSCAPED AREAS, WHICHEVER IS LATER.
6. DO NOT INSTALL PLANT MATERIAL WHEN AMBIENT TEMPERATURES MAY DROP BELOW 32 DEGREES F (0 DEGREES C) FOR MORE THAN 24 HOURS. DO NOT INSTALL PLANT MATERIAL WHEN TEMPERATURES OVER 100 DEGREES F WITHOUT WRITTEN DIRECTION FROM THE LANDSCAPE ARCHITECT. DO NOT INSTALL PLANT MATERIAL WHEN WIND VELOCITY EXCEEDS 30 MPH.
7. IN ALL AREAS TO RECEIVE SOD, PLANTING BED PREPARATION, MULCHING, FERTILIZING AND PRE-EMERGENT APPLICATION SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS.
8. THE CONTRACTOR SHALL COORDINATE HIS/HER EFFORTS SO THAT THE SITE CAN BE SODDED AS SOON AS POSSIBLE FOLLOWING RE-SPREAD OF TOPSOIL.
9. ALL PLANTING BEDS (SHRUBS AND GROUNDCOVERS) SHALL RECEIVE 3" AVERAGE DEPTH OF RIVER PEBBLES LANDSCAPE ROCK.
10. CONTRACTOR SHALL PROVIDE A 5-FOOT DIAMETER RING OF NATURAL COLOR HARDWOOD MULCH WITH STEEL EDGE AROUND ALL TREES PER DETAIL.
11. PLANT QUANTITIES IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY AND ARE NOT GUARANTEED. QUANTITIES ON PLAN WILL PREVAIL IF DISCREPANCIES OCCUR.
12. LANDSCAPE CONTRACTOR TO MARK ALL TREE LOCATIONS AND LAYOUT ALL OF PLANT MATERIAL IN THE FIELD FOR APPROVAL BY THE ENGINEER PRIOR TO PLANTING UNLESS APPROVED OTHERWISE.
13. SHRUBS ARE NOT TO BE LOCATED CLOSER THAN 2 FEET TO CURB OR SIDEWALKS. PERENNIALS / GRASSES ARE NOT TO BE LOCATED CLOSER THAN ONE FOOT TO CURB OR SIDEWALKS. LANDSCAPE CONTRACTOR SHALL PLANT THREE TREES FOR OWNER / ENGINEER FOR APPROVAL PRIOR TO PLANTING THE REMAINDER OF THE TREES ON SITE.
14. ALL LANDSCAPING TO BE INSTALLED IN STRICT ACCORDANCE WITH CITY OF ANKENY REGULATIONS. DEMONSTRATION SHALL ILLUSTRATE A COMPREHENSIVE UNDERSTANDING OF INFORMATION INCLUDED IN THE PLANTING DETAIL AND SPECIFICATIONS.
15. PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR APPROVAL OF PLANT LAYOUT AND SAMPLE TREE PLANTINGS.
16. STAKING AND GUYING OF TREES PER NATIONAL NURSERY STANDARDS.
17. SWEEP AND WASH ALL PAVED SURFACES. REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
18. GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING OF THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY AS PER DIRECTION OF OWNER/ENGINEER.

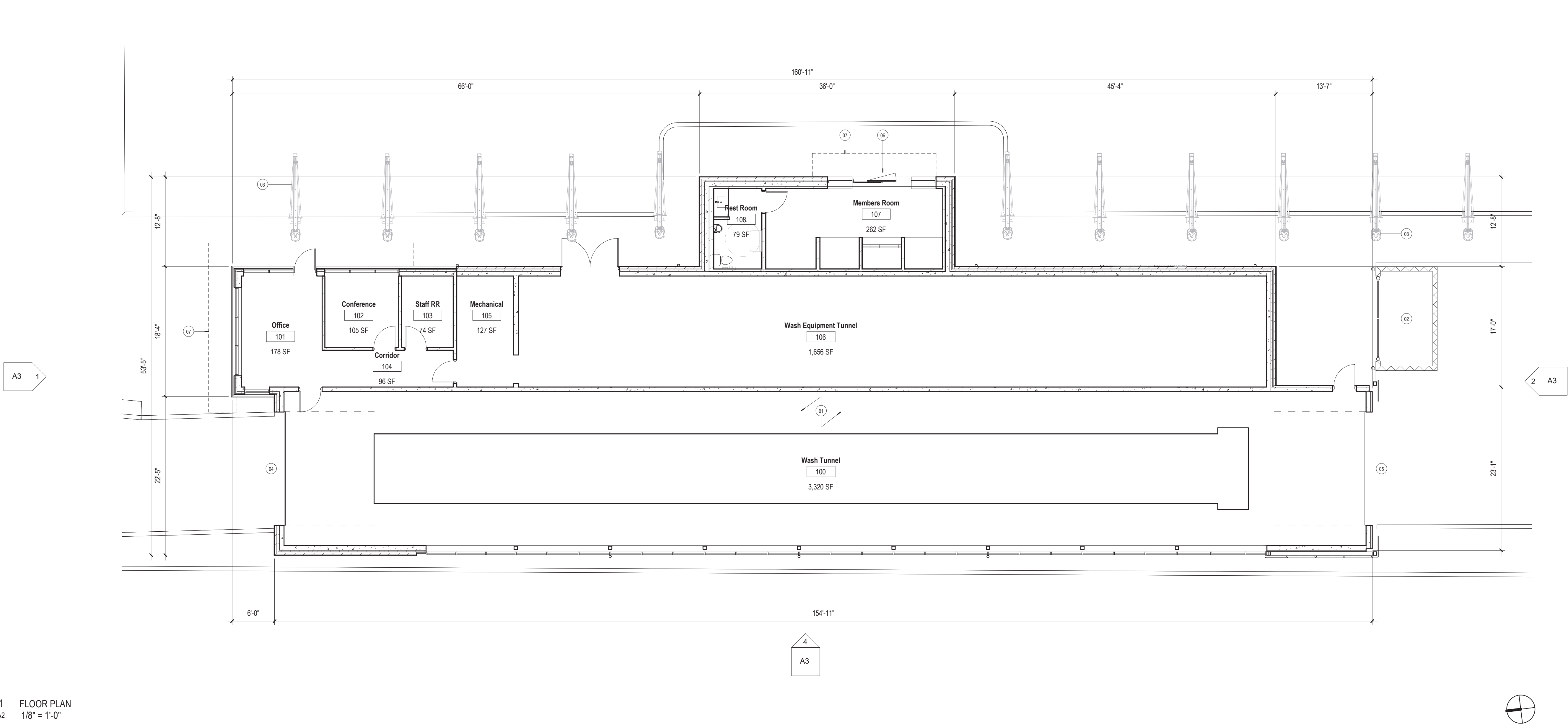


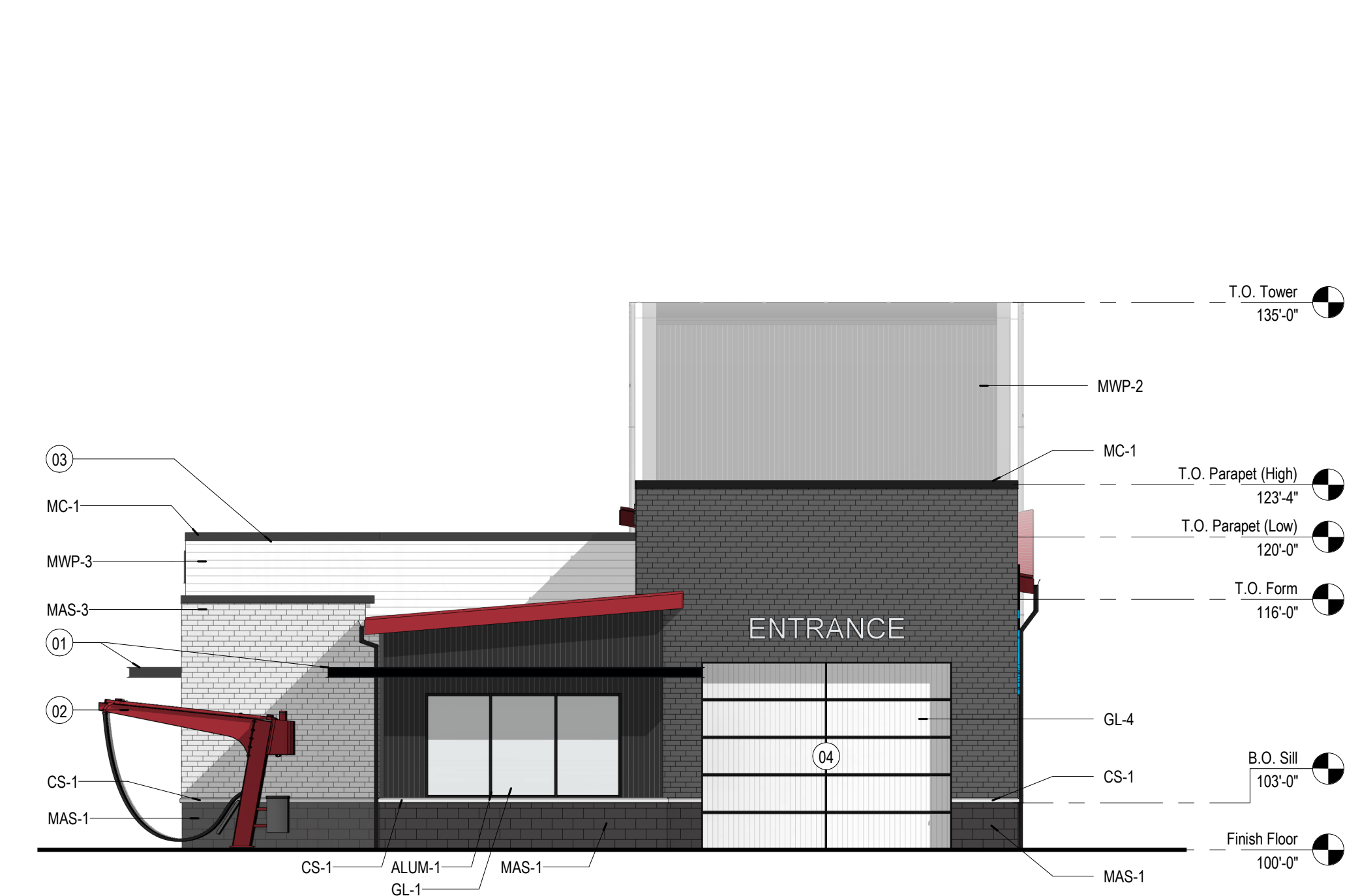
THE DESIGN OF THIS PROJECT IS BASED ON A TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED TO REGA ENGINEERING BY THE CLIENT. REGA ENGINEERING ACCEPTS NO RESPONSIBILITY FOR ACTUAL FIELD CONDITIONS OF TOPOGRAPHIC FEATURES AND ANY NEGATIVE AFFECTS SAID TOPOGRAPHIC SURVEY HAS ON THE DESIGN AND CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL FIELD VERIFY ALL NECESSARY ELEVATIONS AND HORIZONTAL CONTROL BEFORE COMMENCING WORK.



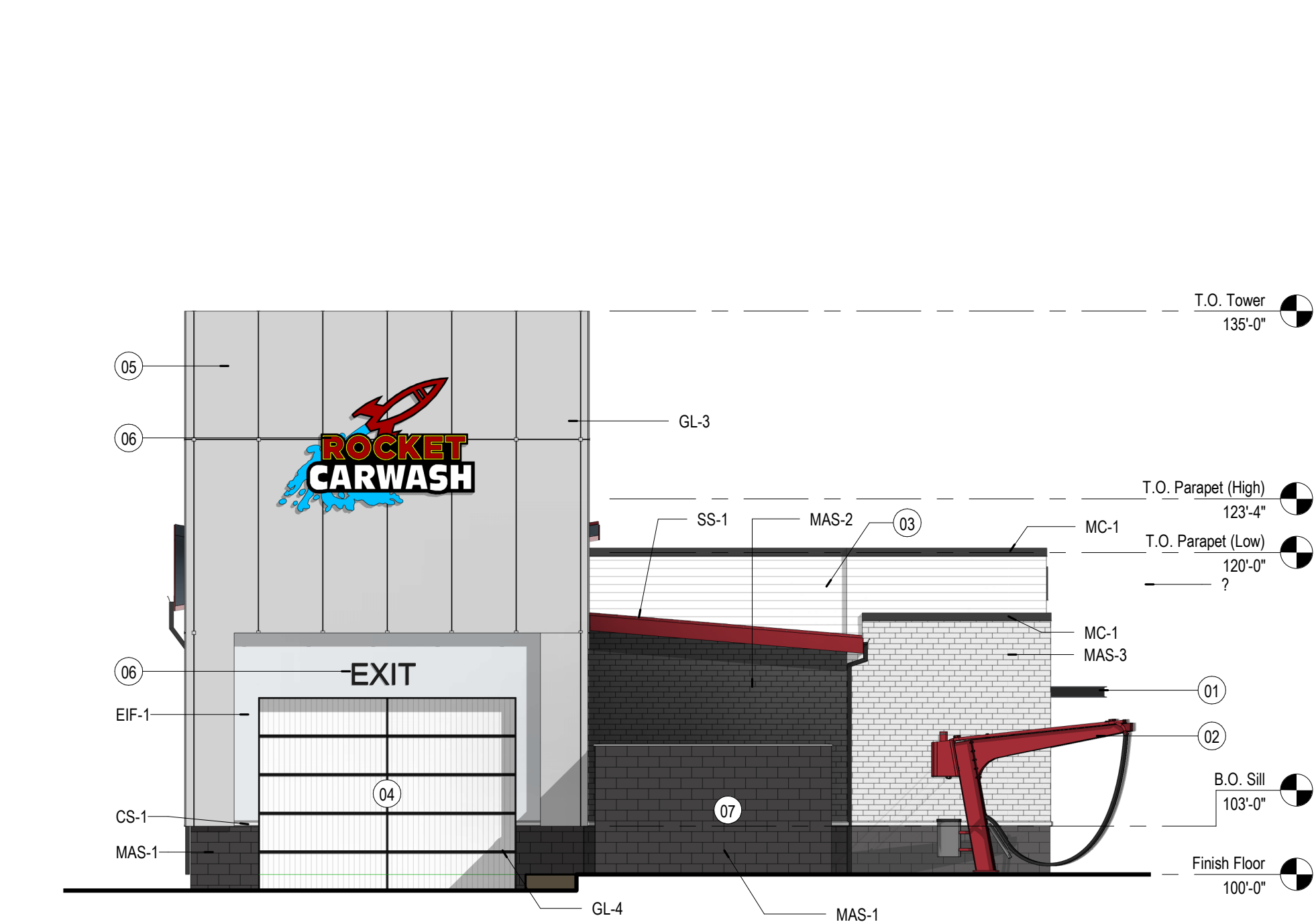


Floor Plan Notes	
MARK	DESCRIPTION
01	TOTAL BUILDING SQFT = 6130 SF
02	VACUUM ENCLOSURE
03	VACUUM STATION
04	WASH TUNNEL ENTRY
05	WASH TUNNEL EXIT
06	CUSTOMER ENTRY
07	PRE-ENGINEERED ALUMINUM CANOPY W/ DECORATIVE 'C' CHANNEL FASICA. COLOR : BLACK

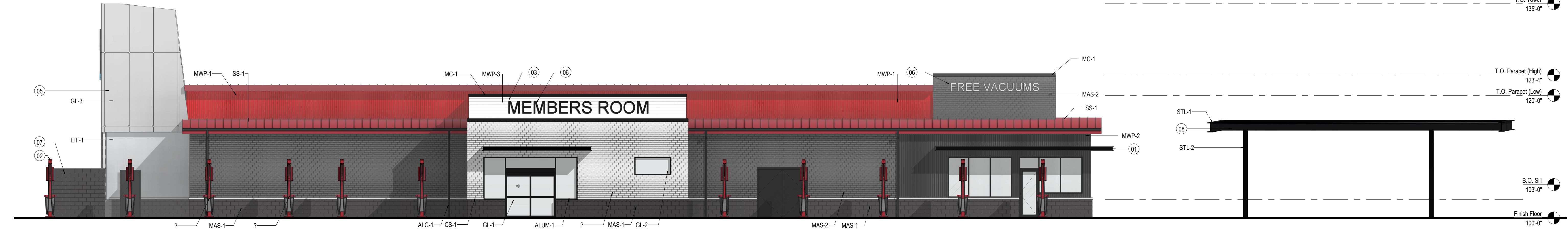




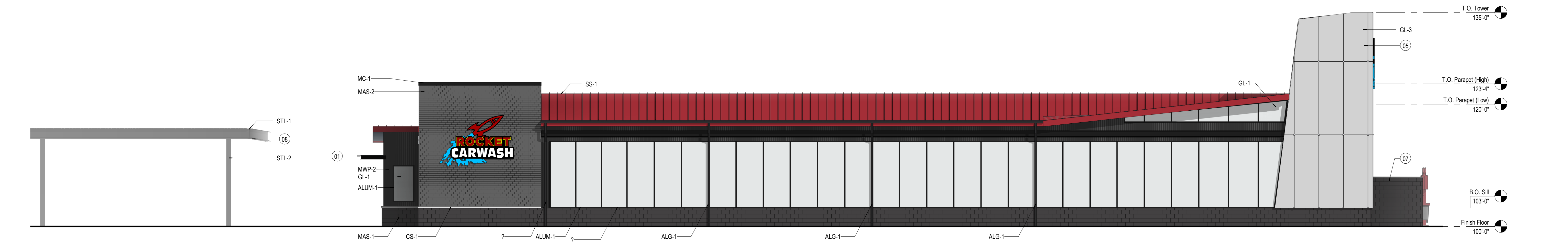
1 EXTERIOR ELEVATION - NORTH
A3 1/8" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
A3 1/8" = 1'-0"



3 EXTERIOR ELEVATION - EAST
A3 1/8" = 1'-0"



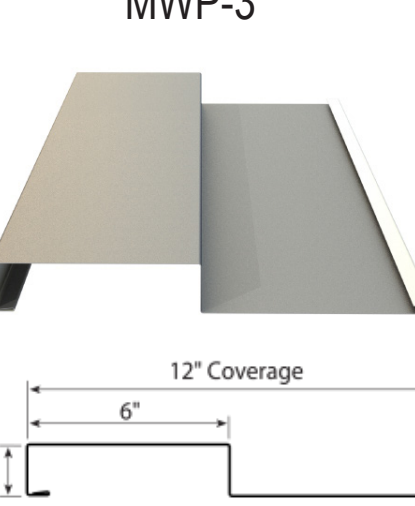
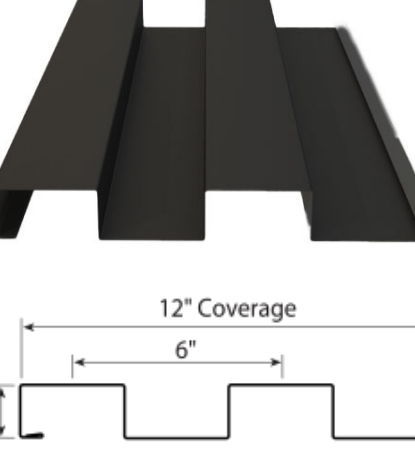
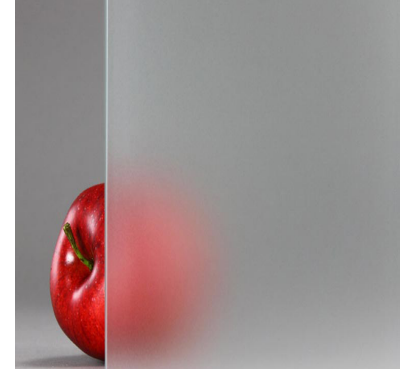
4 EXTERIOR ELEVATION - WEST
A3 1/8" = 1'-0"

Rocket Carwash - 1450 Traditions
Exterior Material Analysis
12/16/2022

	Material	Type	SF	%
NORTH ELEVATION	Masonry	Primary	611	50.1%
	Glazing	Primary	83	6.8%
	Metal Panel	Secondary	526	43.1%
		Primary	694	56.9%
		Secondary	526	43.1%
	Total		1220	100.0%
SOUTH ELEVATION	Masonry	Primary	462	36.5%
	Glazing	Primary	594	47.0%
	Metal Panel	Secondary	128	10.1%
	EIFS	Secondary	81	6.4%
		Primary	1056	83.5%
		Secondary	209	16.5%
	Total		1265	100.0%
EAST ELEVATION	Masonry	Primary	1697	53.6%
	Glazing	Primary	571	18.0%
	Metal Panel	Secondary	768	24.3%
	EIFS	Secondary	129	4.1%
		Primary	2268	71.7%
		Secondary	897	28.3%
	Total		3165	100.0%
WEST ELEVATION	Masonry	Primary	890	28.4%
	Glazing	Primary	1837	58.7%
	Metal Panel	Secondary	374	12.0%
	EIFS	Secondary	28	0.9%
		Primary	2727	87.2%
		Secondary	402	12.8%
	Total		3129	100.0%
ALL ELEVATIONS	Masonry	Primary	3660	41.7%
	Glazing	Primary	3085	35.1%
	Metal Panel	Secondary	1796	20.5%
	EIFS	Secondary	238	2.7%
		Primary	6745	76.8%
		Secondary	2034	23.2%
	Total		8779	100.0%

Elevation Keyed Notes	
MARK	DESCRIPTION
01	PRE-ENGINEERED CANOPY W/ DECORATIVE 'C' CHANNEL
02	VACUUM STATION
03	MECHANICAL SCREEN
04	OVERHEAD DOOR W/ TRANSLUCENT PANELS
05	CURTAIN WALL TOWER W/ FROSTED GLAZING AND BACKLIT ILLUMINATION.
06	SIGNAGE
07	VACUUM ENCLOSURE
08	POINT OF SALE CANOPY

Exterior Materials Legend	
MARK	DESCRIPTION
ALUM-1	PREFINISHED ALUM STOREFRONT; COLOR : BLACK
CS-1	CAST STONE SILL
EIF-1	EXTERIOR INSULATION FINISHING SYSTEM; COLOR : WHITE
GL-1	CLEAR GLAZING, TEMPERED
GL-2	FROSTED GLAZING, TEMPERED
GL-3	CURTAIN WALL; GLASS : FROSTED
GL-4	16MM POLYCARBONATE DOOR PANEL; COLOR : CLEAR
MAS-1	INTEGRALLY COLOR BURNISHED CONCRETE MASONRY UNIT; COLOR : SMOKE
MAS-2	FULL DEPTH MASONRY VENEER, ONE THIRD BOND; COLOR: MANGANESE IRONSPOT
MAS-3	FULL DEPTH MASONRY VENEER, ONE THIRD BOND; COLOR: WHITE
MC-1	PREFINISHED ALUM COPING; COLOR : BLACK
MWP-1	VERTICAL, 24 GA., ARCHITECTURAL CONCEALED FASTENER METAL WALL PANEL; COLOR : RED
MWP-2	VERTICAL, 24 GA., ARCHITECTURAL CONCEALED FASTENER METAL WALL PANEL; COLOR : BLACK
MWP-3	HORIZONTAL, 24 GA., ARCHITECTURAL CONCEALED FASTENER METAL WALL PANEL; COLOR: WHITE
SS-1	STANDING SEAM METAL ROOF; COLOR : RED
STL-1	DECORATIVE STEEL CHANNEL; COLOR : BLACK
STL-2	STEEL COLUMN; COLOR: BLACK





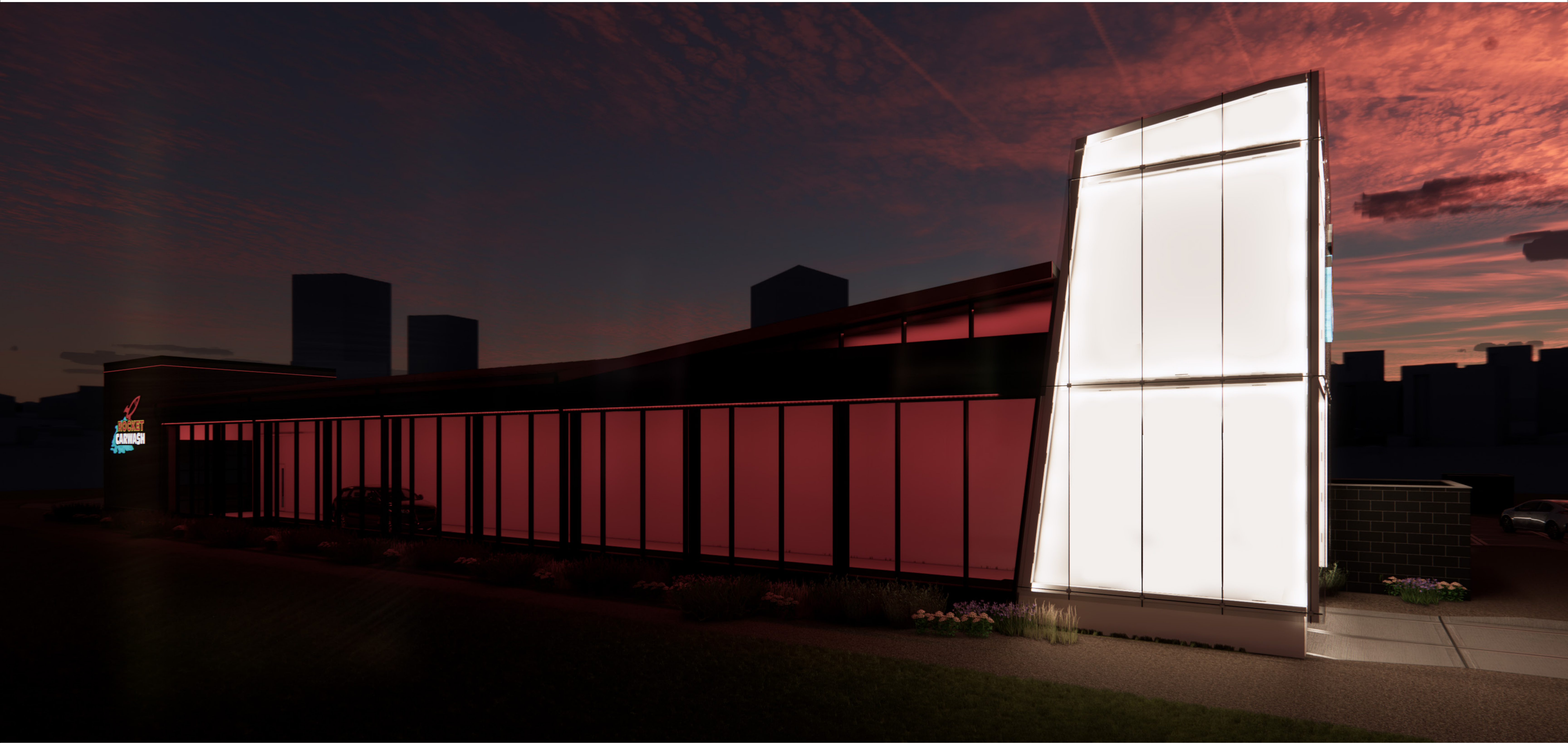












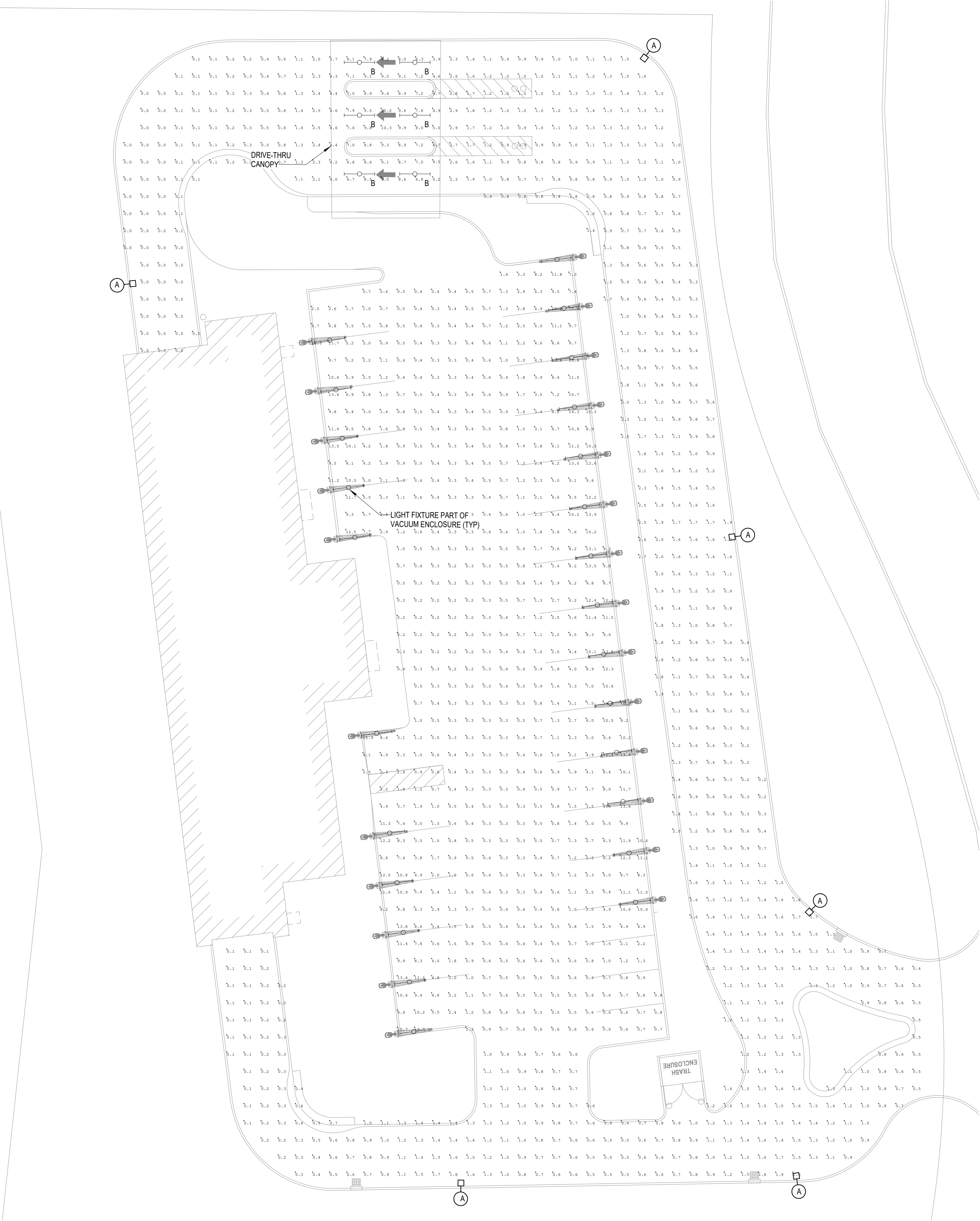


SITE LIGHTING SCHEDULE - CITY REVIEW															
MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	BEAM DIST.	LIGHT SOURCE			ELECTRICAL		FINISH	QTY. PER POLE	POLE SPEC.		ACCEPTABLE MANUFACTURERS	REMARKS
					SPEC.	CCT	TYPE	LOAD	VOLTS			TYPE	HEIGHT		
A	AREA LIGHT - TYPE 4 - SINGLE HEAD	LITHONIA	DSX1 LED P1 40K T4M MVOLT RPA DBLXD	IV	6,327 LM	4000K	LED	54 W	277 V	BLACK	1	RSS	20' - 0"	NOTE 1	
B	CANOPY FIXTURE	LITHONIA	CLX L96 6000LM SEF FDL MVOLT GZ10 40K 80CRI MB	-	6,000 LM	4000K	LED	38 W	277 V	BLACK	-	-	-	NOTE 1	

PARKING LOT LIGHTING CALCULATION STATISTICS

AREA	PARKING	DRIVE AISLES
AVERAGE FOOTCANDLES	3.1	1.5
MAXIMUM FOOTCANDLES	14.3	10.3
MINIMUM FOOTCANDLES	0.2	0.0

- NOTES:
- CALCULATIONS ARE BASED ON FIXTURE TYPE SCHEDULED. IF FIXTURE OTHER THAN THOSE SPECIFIED IS PROVIDED, THE MANUFACTURER SHALL PROVIDE A DETAILED POINT-BY-POINT CALCULATION TO VERIFY COMPLIANCE WITH LOCAL STREET AND PARKING LOT LIGHTING GUIDELINES.
 - CALCULATIONS DO NOT INCLUDE CONTRIBUTIONS FROM STREET OR EXISTING LIGHT FIXTURES. ACTUAL FOOTCANDLE LEVELS MAY VARY DEPENDING ON LOCATIONS AND QUANTITIES OF FIXTURES OUTSIDE OF PROPERTY LINE.



① ELECTRICAL SITE PLAN REVIEW
1/16" = 1'-0"



PLAN AND ZONING COMMISSION

January 4, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Public Hearing

LEGAL:

SUBJECT:

Hubbell Realty Company, on behalf of NGR, Inc., request to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District

EXECUTIVE SUMMARY:

See attached staff report.

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):

PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to close the public hearing, and receive and file documents.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download [Aerial Map](#) [Staff Report](#) [Applicant Letter](#) [Rezoning Exhibit](#) [Zoning Map](#) [Future Land Use Map](#)



SE Four Mile Dr



1 inch = 625 feet

Date: 12/16/2022

NGR East - Rezoning



*Plan and Zoning Commission
Staff Report*

Meeting Date: January 4, 2023

Agenda Item: NGR East Rezoning – Public Hearing
Report Date: December 29, 2022
Prepared By: Bryan Morrissey *ESL*
Associate Planner

Discussion

The applicant, Hubbell Realty Company, on behalf of NGR, Inc., is requesting to rezone property from R-1, One-Family Residence District to M-1, Light Industrial District.

The area subject to the proposed rezoning consist of one parcel and totals approximately 31.17 acres (+/-). The subject area is generally located three-quarters of a mile north of SE Corporate Woods Drive and immediately east of SE Four Mile Drive. The parcel subject to the rezoning is currently in the process of being annexed into the City of Ankeny as part of the recently approved NGR Four Mile Drive Annexation. Once the annexation is officially recorded in January, the subject parcel will be zoned R-1, One-Family Residence District as is standard procedure for newly annexed properties in Ankeny. Surrounding properties to the southwest and west are zoned M-1, Light Industrial District, while properties to the east and north are not within Ankeny's Corporate Limits.

The proposed rezoning aligns with what's shown on the *Ankeny Plan 2040 Future Land Use Map*, which identifies the subject parcel as being suitable for Airport Business Park uses and Open Space. Per the *Ankeny Plan 2040*, the M-1, Light Industrial District is listed as being a compatible zoning district within the Airport Business Park future land use classification. Examples of common uses often seen within the M-1 District and along SE Four Mile Drive include, but are not limited to, warehousing, distribution, storage, and wholesale.

The applicant has submitted the required rezoning petitions consisting of the signatures of more than 50% of the land area subject to the rezoning, as well as the signatures of the owners of at least 60% of the land area within 250' of the subject property. Notifications of the public hearing were sent to surrounding property owners on December 21st, 2022; and a legal notice was published in the Des Moines Register on December 23rd, 2022. Additionally, the zoning ordinance requires the applicant to post on-site notification of the public hearing to further inform the public of the proposed changes. The required signage was posted by December 28th, providing the required seven days of notice prior to the public hearing.

Staff will listen to any comments or questions that are discussed during the public hearing and will follow up with a complete staff report at the next Plan & Zoning Commission meeting on January 18, 2023.



6900 Westown Parkway
West Des Moines, IA 50266
www.hubbellrealty.com
515-243-3228
FAX 515-280-2000

December 1, 2022

Community Development Department
City of Ankeny
1210 NW Prairie Ridge Drive
Ankeny, IA 50023

To whom it may concern,

By direction of the current property owner, NGR, Inc., Hubbell Realty Company would like to request rezoning parcel **190/00054-002-000** from R-1 (One-Family Residence District) to M-1 (Light Industrial District); see attached map exhibit for further details. The current use of this property is agricultural cropland with a future intended use as warehouse/logistics facility similar to existing structures within the Four Mile Drive corridor.

We have started collecting petitions from adjacent property owners and expect to have those forms submitted to city staff ahead of the forthcoming Planning and Zoning Commission deadline. Should you have any questions or concerns regarding this rezoning request, please don't hesitate to call or email our team at the contact listed below.

Best regards,


Clint Sloss

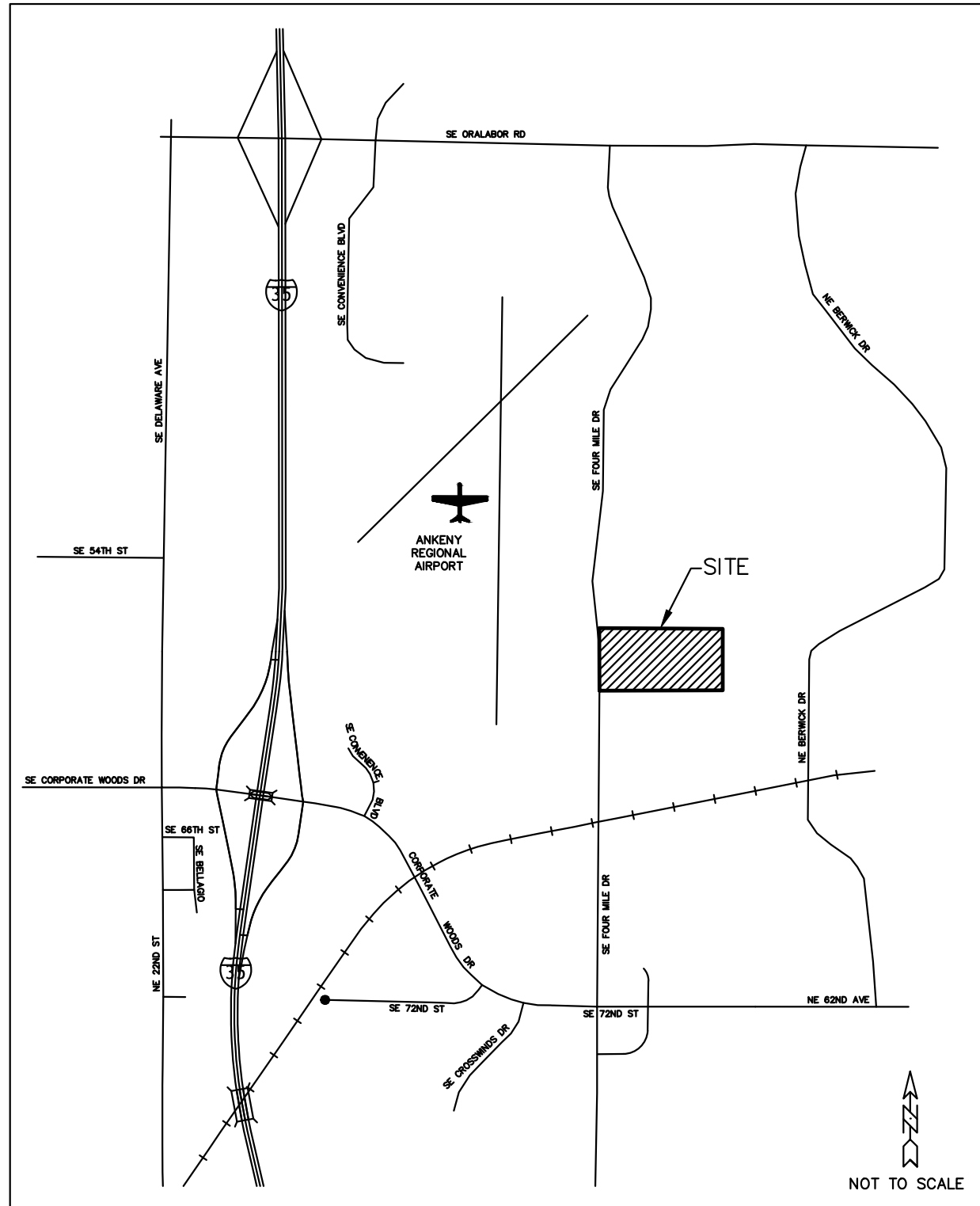
HUBBELL DEVELOPMENT SERVICES

6900 Westown Parkway, West Des Moines, IA 50266

O: 515 280 2061 | M: 712 308 2484 | F: 515 280 2000

clint.sloss@hubbellrealty.com

VICINITY MAP



NOTIFICATION AREA & CONSENT TABLES

PROPERTY NO.	OWNER	250' NOTIFICATION AREA (ACRES)	% OF AREA	Consenting
1	N.G.R., INC.	5.23	15.91%	Yes
2	GRAND CAPITAL, LC	1.81	5.51%	Yes
3	BERNARD HILBERT	10.19	31.00%	Yes
4	SCOTT KIRSTEIN	0.60	1.83%	No Response
5	KAREN PEARCE	1.73	5.26%	No
6	ROGER PENN	1.52	4.62%	No Response
7	RAYMOND McPHERSON	1.43	4.35%	No Response
8	JAMES KROHSE	2.03	6.18%	No
9	FRANCES McKNIGHT	5.89	17.92%	Yes
10	GRAND CAPITAL, LC	2.44	7.42%	Yes
TOTALS		32.87	100.00%	

BREAKDOWN OF CONSENTING PROPERTIES

1	N.G.R., INC.	5.23	15.91%
2, 10	GRAND CAPITAL, LC	4.25	12.93%
3	BERNARD HILBERT	10.19	31.00%
9	FRANCES McKNIGHT	5.89	17.92%
TOTALS			77.76%

PREPARED FOR/DEVELOPER

HUBBELL REALTY COMPANY
6900 WESTOWN PARKWAY
WEST DES MOINES, IA 50266

MATT WELLER
(515) 243-3228

RECORD TITLE OWNER

N.G.R. INC.
P.O. BOX 132
WAYNE, NE 68787

DAVE EWING
(402) 375-3385

CORRECTED WARRANTY DEED:
BOOK 6315, PAGE 417

ZONING

EXISTING: R-1, ONE-FAMILY RESIDENCE DISTRICT

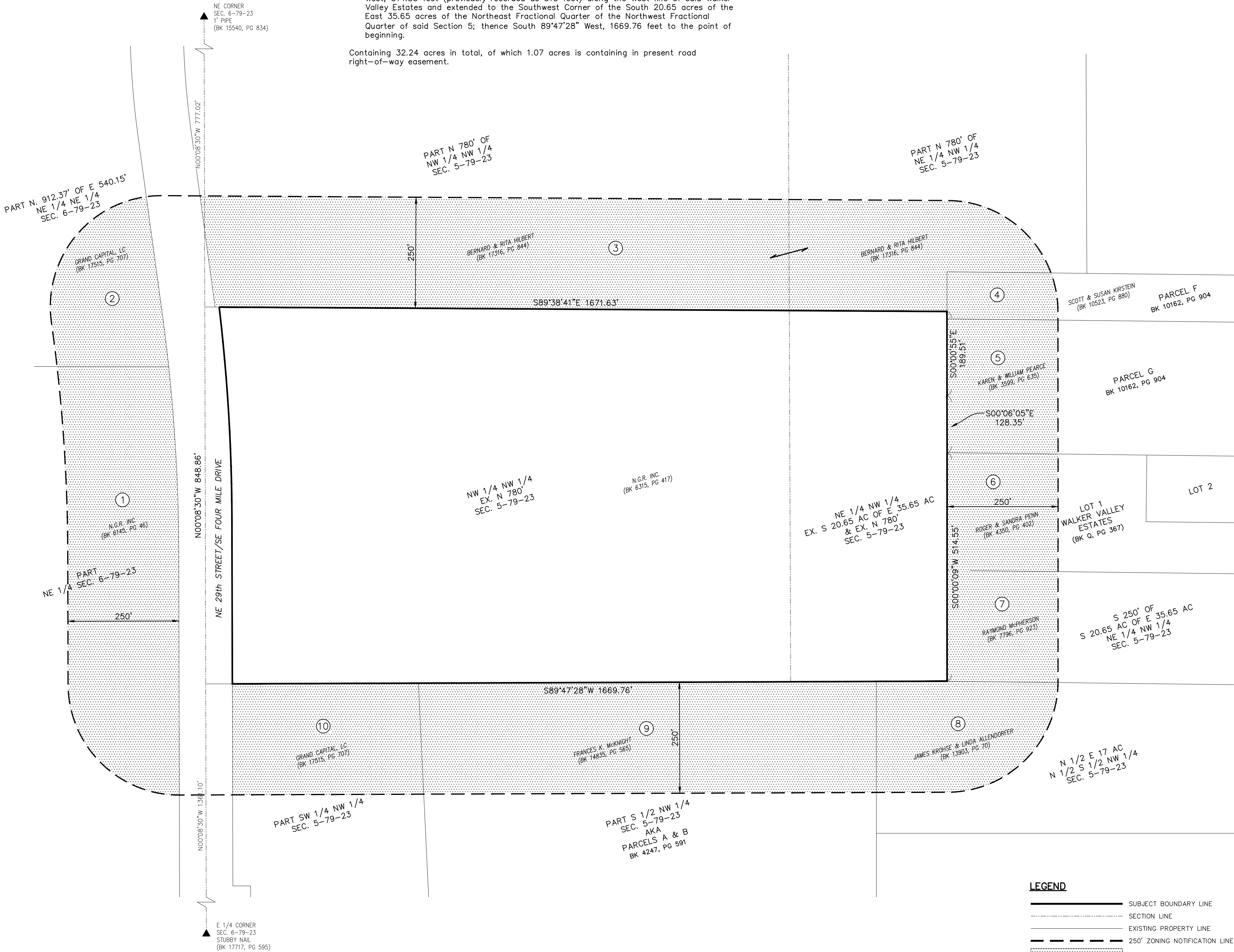
PROPOSED: M-1, LIGHT INDUSTRIAL

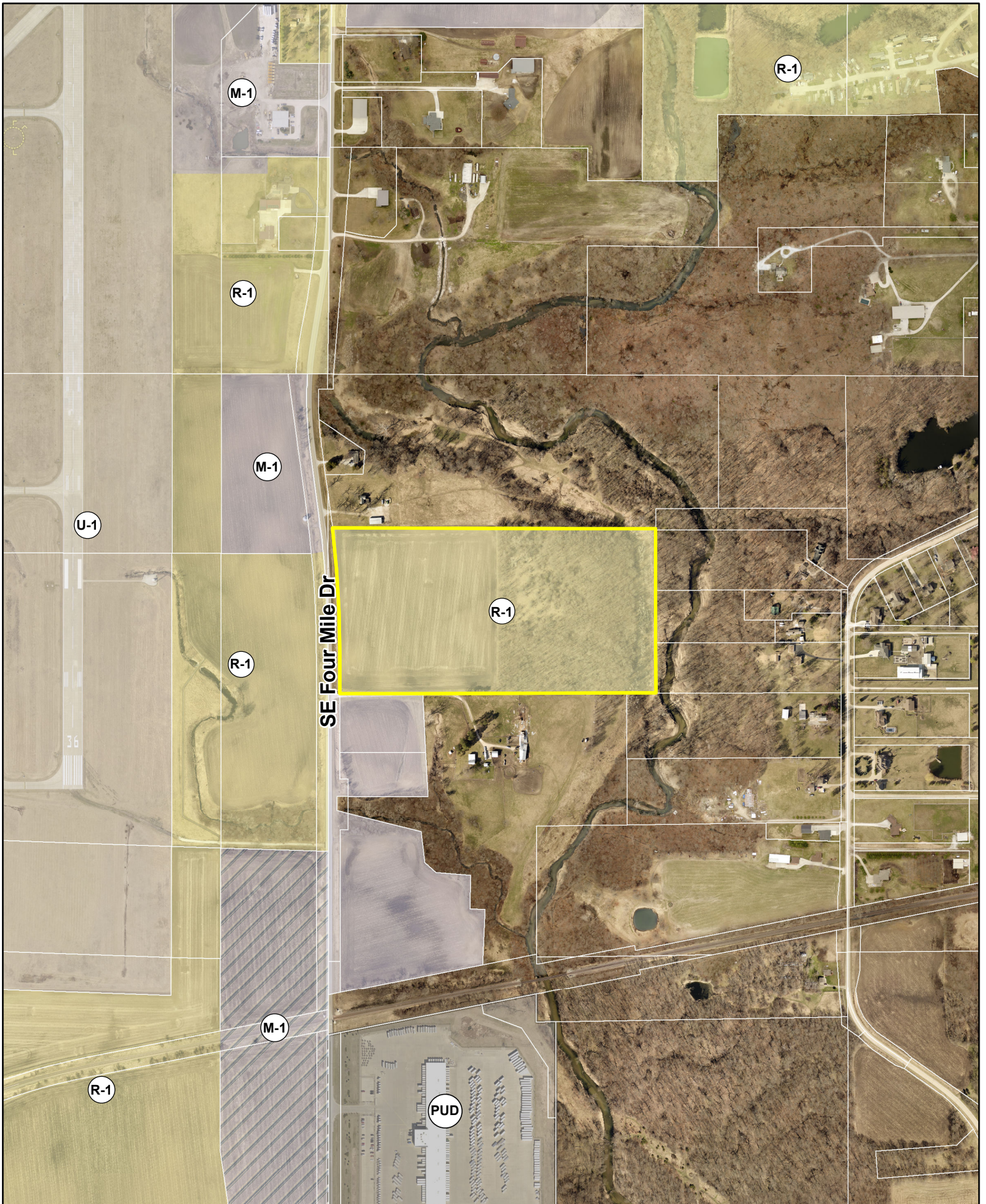
PROPERTY DESCRIPTION

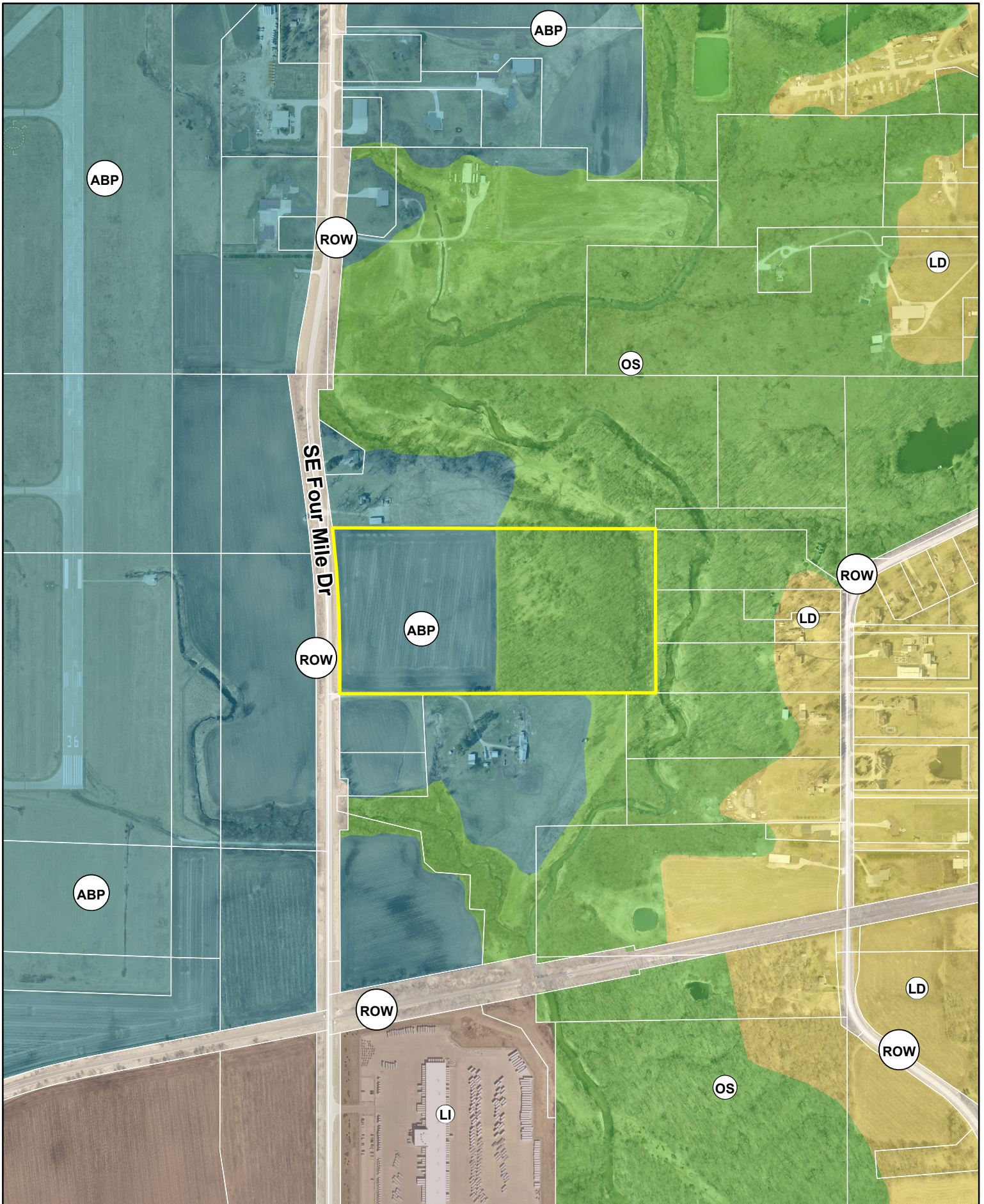
Part of the Northwest Fractional Quarter of the Northwest Fractional Quarter and part of the Northeast Fractional Quarter of the Northwest Fractional Quarter of Section 5, Township 79 North, Range 23 West of the 5th P.M., now included in and forming a part of Polk County, Iowa, being more particularly described by survey as follows:

Commencing at the West Quarter Corner of said Section 5; thence North 00°(degrees) 08'(minutes) 30"(seconds) West, 1361.10 feet (previously recorded as North, 1361.1 feet) along the West line of the Northwest Fractional Quarter of said Section 5 to the Point of Beginning; thence continuing North 00°08'30" West, 848.86 feet; thence South 89°38'41" East, 1671.63 feet to the West line of the South 20.65 acres of the East 35.65 acres of the Northeast Fractional Quarter of the Northwest Fractional Quarter of said Section 5 also being the West line of Parcel F of that Plat of Survey filed in Book 10162 at Page 904 in the Office of the Recorder for Polk County, Iowa; thence South 00°00'55" East (previously recorded as North 00°04'19" West), 189.51 feet along the West lines of said Parcel F and Parcel G of that Plat of Survey filed in Book 10162 at Page 904 in the Office of the Recorder for Polk County, Iowa; thence South 00°06'05" East, 128.35 feet (previously recorded as North 00°05'57" West, 128.39 feet) along the West line of said Parcel G to the Northwest Corner of Lot 1 in Walker Valley Estates, an Official Plat in Polk County, Iowa; thence South 00°00'09" West, 514.55 feet (previously recorded as 515 feet) along the West line of said Walker Valley Estates and extended to the Southwest Corner of the South 20.65 acres of the East 35.65 acres of the Northeast Fractional Quarter of the Northwest Fractional Quarter of said Section 5; thence South 89°47'28" West, 1669.76 feet to the point of beginning.

Containing 32.24 acres in total, of which 1.07 acres is containing in present road right-of-way easement.









PLAN AND ZONING COMMISSION

January 4, 2023

6 : 30 PM

 [Print](#)

ORIGINATING DEPARTMENT:

Planning and Building

COUNCIL GOAL:

Ensure Economic Vitality

ACTION REQUESTED:

Motion

LEGAL:

SUBJECT:

Albaugh Four Mile Industrial Preliminary Plat

EXECUTIVE SUMMARY:

Staff report attached

FISCAL IMPACT: **No**

STAFF RECOMMENDATIONS:

PREVIOUS COUNCIL/COMMISSION/BOARD ACTION(S):





PUBLIC OUTREACH EFFORTS:

ACTION REQUESTED:

Action: Consider MOTION to recommend City Council approval of Albaugh Four Mile Industrial Preliminary Plat.

ADDITIONAL INFORMATION:

ATTACHMENTS:

Click to download	
	Aerial Map
	Staff Report
	Applicant Letter
	Preliminary Plat



N



1 inch = 800 feet

Date: 12/13/2022

Albaugh Four Mile Industrial Park - Preliminary Plat



*Plan and Zoning Commission
Staff Report*

Meeting Date: January 4, 2023

Agenda Item: Albaugh Four Mile Industrial – Preliminary Plat
Report Date: December 29, 2022
Prepared By: Bryan Morrissey *ETC*
Associate Planner

Staff Recommendation:

That the Plan and Zoning Commission recommend City Council approval of the Albaugh Four Mile Industrial Preliminary Plat.

Project Summary:

The Albaugh Four Mile Industrial Preliminary Plat is a proposed 67.10-acre (+/-) plat generally located south of SE Oralabor Road and east of SE Four Mile Drive. The preliminary plat includes nine buildable lots and three additional lots that lie within a flood hazard area; all of which are zoned M-1, Light Industrial District. The lots that lie within the floodplain will be tied to their corresponding adjacent lot to ensure they are not sold separately. The preliminary plat includes the addition of a public street (SE 36th Circle) that will provide access for lots 1-6. Lots 7-9 will be accessed from SE Four Mile Drive via an access drive that is positioned between lots 8 & 9.

Project Report:

- Streets:** The subject development includes the creation of SE 36th Circle that will provide access for lots 1-6. SE 36th Circle will be deeded to the City during the final platting process. As has been the case with similar developments in this area, sidewalk installation along SE Four Mile Drive will be deferred until a time that the Council deems to be appropriate.
- Water:** Service for the development will stem from a twelve-inch water line that runs along the south end of the subject property. A ten-inch line will be extended through lots 1-4 while an eight-inch line will be extended through lots 5-9.
- Sewer:** Eight-inch sanitary service will be extended throughout the development by connecting to the sixty-inch WRA sanitary line that runs along the eastern side of the property.
- Drainage:** Individual lots on the site will require on-site detention while stormwater in the area generally flows from west to east. The area lies within the Middle Fourmile Creek Subwatershed.
- Parkland:** Dedication for parkland is not required for Industrial Developments.

November 28, 2022

City of Ankeny
1210 NW Prairie Ridge Drive
Ankeny, Iowa 50023

RE: Albaugh Four Mile Industrial Park – Approval Letter

Planning and Building Director, Planning and Zoning Commission, Honorable Mayor and Members of the City Council:

On behalf DRA Properties, LC, we are submitting the enclosed Preliminary Plat for Albaugh Four Mile Industrial Park located in the SW and NW quarters of Section 32-80-23. The property consists of 67.1 acres and was recently annexed into the City of Ankeny. The property was recently rezoned from R-1 to M-1 and anticipated uses are expected to be consistent with the City's comprehensive plan.

The preliminary plat proposes 9 buildable lots ranging from 2.03 to 8.29 acres in size. A public street is proposed along with public sanitary sewer, water main, and storm sewer. Each lot within the development will be required to provide on site stormwater detention.

We respectfully request the City's review and approval of this Preliminary Plat to allow the project to proceed. If you should have any questions or require any additional information, please feel free to contact me to discuss such items further. Thank you very much for your time and consideration.

Sincerely,

Adam Schoeppner, PLS
NILLES ASSOCIATES, INC.

ALBAUGH FOUR MILE INDUSTRIAL PARK

PRELIMINARY PLAT

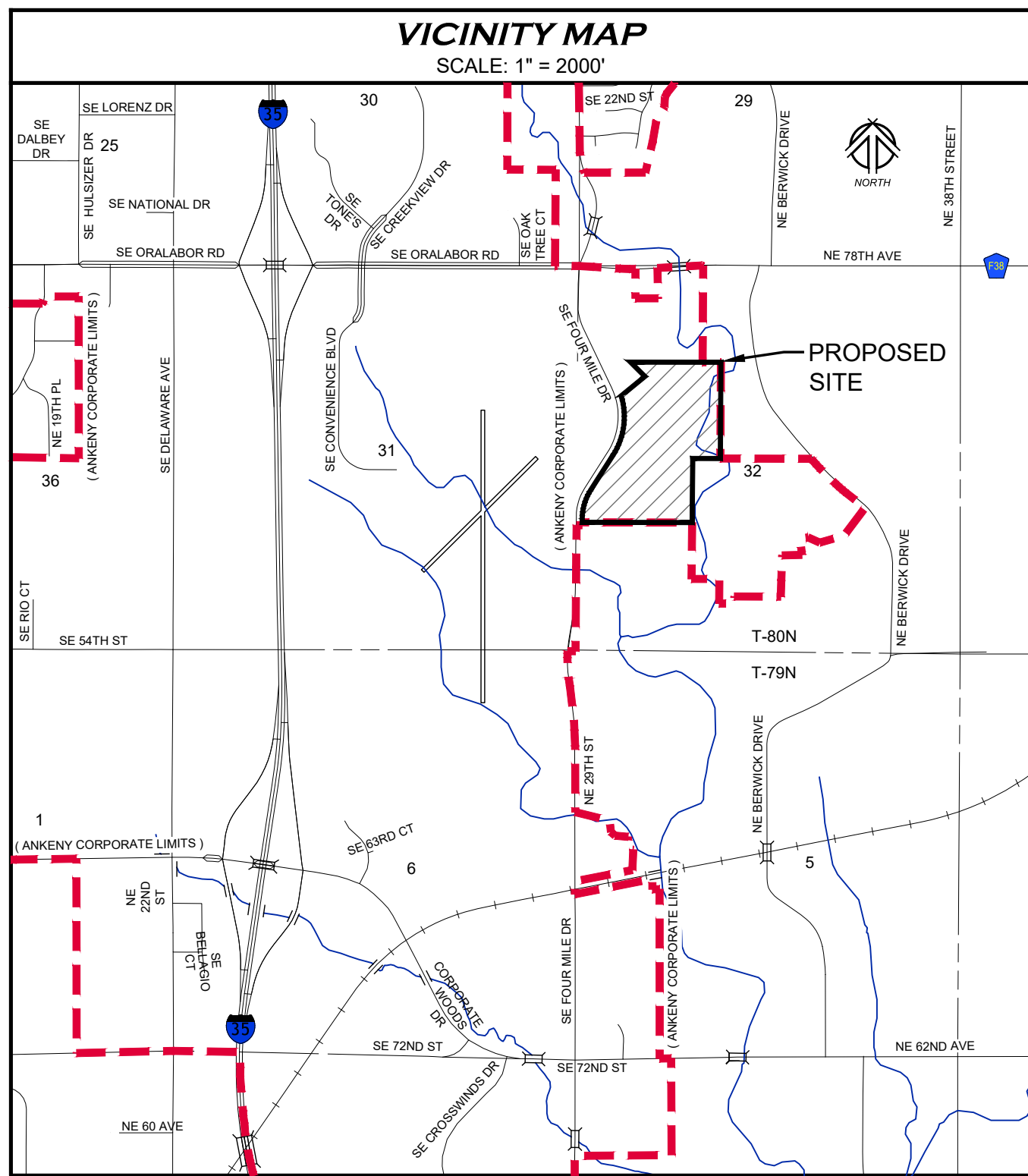
CURVE TABLE					
Curve #	Length	Radius	Delta	Chord Distance	Chord Bearing
C1	420.50'	755.00'	31°54'41"	415.09'	N16°42'22"E
C1 (R)	420.50'	755.00'	31°54'41"	415.09'	N16°33'49"E
C2	846.64'	975.00'	49°45'09"	820.29'	N7°47'08"E
C2 (R)	846.64'	975.00'	49°45'09"	820.29'	N7°38'35"E
C3	139.52'	975.00'	8°11'56"	139.40'	N21°11'24"W
C3 (R)	139.52'	975.00'	8°11'56"	139.40'	N21°19'58"W
C4	279.87'	755.00'	21°14'20"	278.27'	S11°22'12"W
C5	70.03'	755.00'	5°18'51"	70.00'	S24°38'48"W
C6	70.61'	755.00'	5°21'30"	70.58'	S29°58'58"W
C7	35.01'	975.00'	2°03'26"	35.01'	S31°38'00"W
C8	278.46'	975.00'	16°21'48"	277.51'	S22°25'23"W
C9	180.26'	975.00'	10°35'34"	180.00'	S8°56'42"W
C10	185.20'	975.00'	10°53'00"	184.92'	S1°47'35"E
C11	167.72'	975.00'	9°51'21"	167.51'	S12°09'46"E
C12	145.62'	340.00'	24°32'23"	144.51'	S77°37'24"E
C13	175.60'	410.00'	24°32'23"	174.26'	N77°37'24"W
C14	553.28'	215.00'	147°26'42"	412.76'	N16°23'04"E
C15	178.05'	285.00'	35°47'39"	175.17'	S72°12'36"W
C16	254.92'	285.00'	51°14'55"	246.51'	S28°41'19"W
C17	300.45'	285.00'	60°24'08"	286.73'	S27°08'13"E

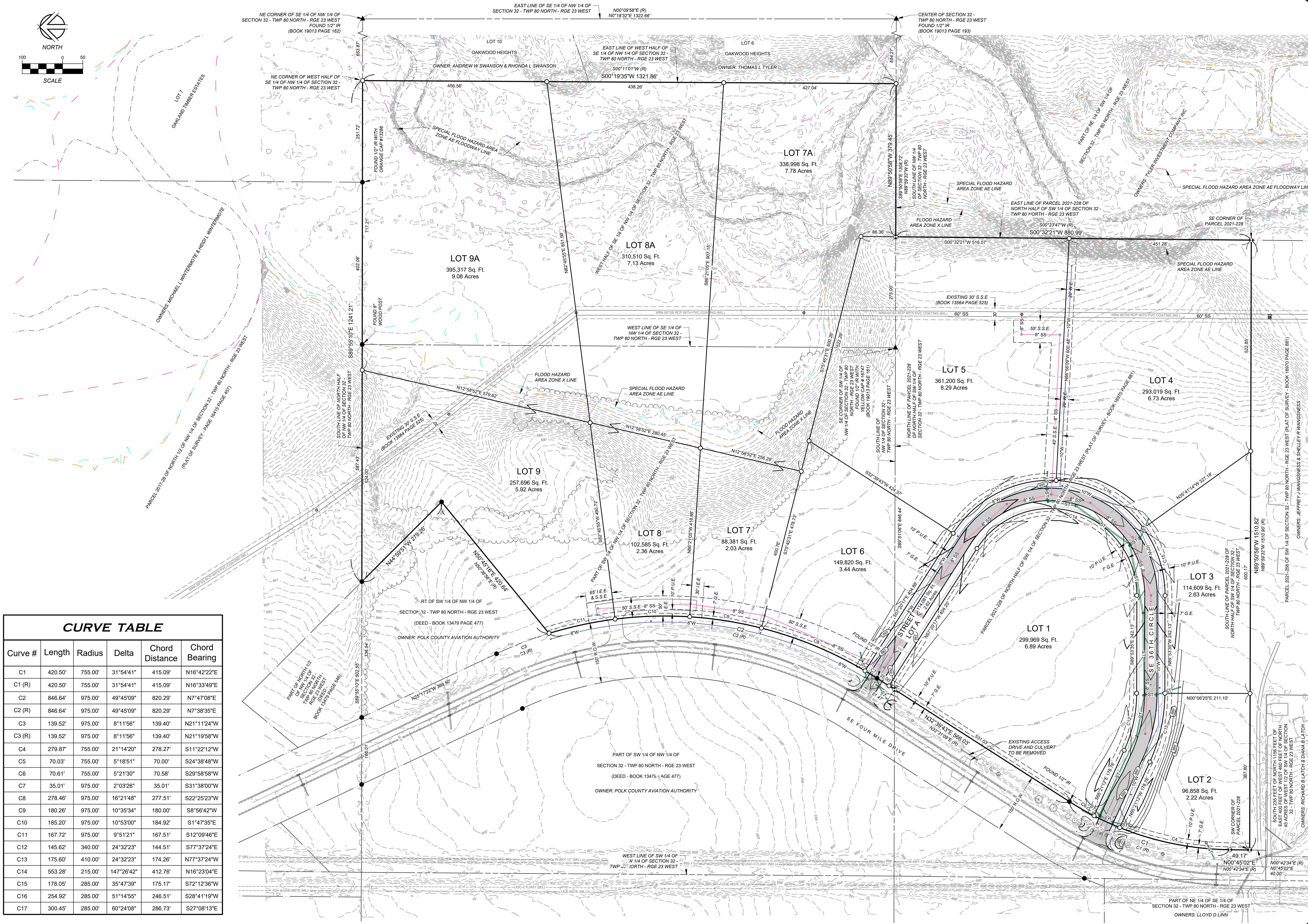
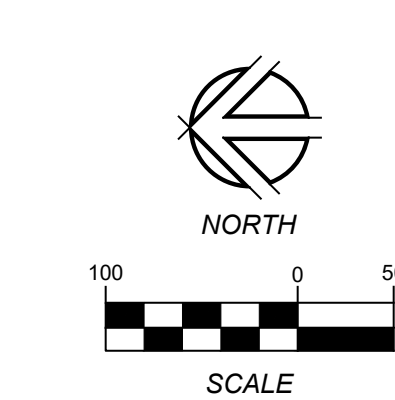
SURVEY NOTES

- Land area : 67.10 acres
- Zoning : M-1 Light Industrial District
Front Yard: 50 feet
Side Yard: None required, except when adjacent to any Residential district or street right-of-way line, in which case – 50 feet
Rear Yard: 40 feet. Where a railroad right-of-way line lies immediately adjacent to the rear of a lot, the rear yard requirements need not apply
Maximum Height: 75 feet
Maximum Number of Stories: 5 stories
- The site lies within Zone X with areas of minimal flood hazard; Zone X with areas of 0.2% annual chance flood hazard; Zone AE and Zone AE Floodway with areas of special flood hazard with base flood elevations or depth; all of which as shown on the Flood Insurance Rate Map Community Panel Number 190153 CO210F, with an effective date of February 1, 2019.
- The east line of East line of Parcel 2021-228 of North Half of Southwest Quarter of Section 32 - Township 80 North - Range 23 West, is assumed to bear South 00 degrees 32 minutes 21 seconds West.
- Street Lot A to be dedicated to the City of Ankeny for public right-of-way purposes.
- Lots 7A, Lot 8A and 9A are to be tied to their corresponding adjacent lot.
- The developer shall be responsible for streetlight installation.
- Lots 1, 2, & 6 shall not have access off of NE Four Mile Drive.
- The drive shown between Lots 8 and 9 will be a shared access with an ingress/egress easement as shown on the plat.
- Proposed utility layouts shown are preliminary and subject to modification with the submittal of public improvement construction drawings.
- The City may require the construction of sidewalk along SE Four Mile Drive at a future date. The owners of Lots 1, 2, 6, 7, 8 and 9 shall be responsible for construction of 5' sidewalk along their respective frontage, if required.

LEGEND

Existing / Proposed	Existing / Proposed
IR IP PCC ACC FL RCP CMP CPP PVC CIP B.E. P.U.E. S.W.F.E. S.T.M.F.E.	Round iron rebar Round iron pipe Portland cement concrete Asphaltic cement concrete Pipe flowline elevation Reinforced concrete pipe Corrugated metal pipe Corrugated plastic pipe Polyvinyl chloride pipe Cast iron pipe Buffer easement Public utility easement Surface Water Flowage easement Storm Water Maintenance Facility Easement & Agreement MidAmerican Energy Company Underground Electric Easement Gas easement Ingress / Egress easement Landscape buffer easement Recreational trail easement Sanitary sewer easement Storm sewer easement Sidewalk easement Water main easement Back of curb to back of curb Subject boundary line Section line Proposed boundary line Existing boundary line Future boundary line Proposed easement line Existing easement line Setback line Edge of delineated wetland line Zoning boundary line Barbed wire fence line Chain-link fence line Edge of water Straw Wattle Silt fence Sanitary sewer & size Storm sewer and size Water main and size Gas main & size Overhead electric & wires Overhead communication Underground electric Underground television Underground communication Contour elevation Special Flood Hazard Area Zone AE Floodway line Special Flood Hazard Area Zone AE line Other Areas of Flood Hazard Zone X - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile
M.E.C. G.E. I.E.E. L.E. R.T.E. S.S.E. S.T.S.E. S.W.E. W.E. B/B	Found section corner monument, as noted Found monument 1/2" IR with orange cap #11579, unless otherwise noted Found monument 1/2" IR with yellow cap #16747, unless otherwise noted Set monument 5/8" IR with blue cap #26306, unless otherwise noted Address Spot elevation Sanitary sewer manhole Cleanout Storm sewer manhole Storm sewer intake Storm sewer beehive Flared end section Fire Hydrant Assembly Water valve Water service shut-off Water main manhole Monitoring well Yard hydrant Well Gas meter Gas valve Air conditioning unit Electric manhole Electric meter Electric pedestal Electric transformer Utility hand hole Utility pole Utility pole with light Light pole Guy wire Traffic signal Traffic signal with light Traffic manhole Communication pedestal Telephone booth TV pedestal Billboard sign Street sign Down spout Tree shrub Deciduous tree and trunk diameter Coniferous tree and trunk diameter Swale flowline Edge of tree dripline Proposed orange construction fence and grading limit line. Proposed street light. 200 feet hydrant radius





CURVE TABLE

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